

**Anthony Esson, Architect**  
**PO Box 479**  
**Gaylord, Michigan 49734**

**Boyne Falls Public School**  
**Flooring Replacement Project**

**June 22, 2026**

**Project No. 304-26A**

**ADDENDUM NO. 1**

This Addendum is being issued for the purpose of modifying and/or clarifying the original Bidding Documents dated June 5, 2026 and shall take precedence over them.

All work included herein shall be in accordance with the general requirements of the original bidding documents, except as specifically noted herein.

This Addendum is being sent to all known plan holders, suppliers, plan rooms, and governmental agencies having received Bidding Documents.

Supplemental Documents Issued:

Revised Bid Category 9.3 dated June 22, 2026  
Revised Sheet D1.1 dated June 22, 2026

- Item No. 1: Refer to 00 21 13 - Instruction to Bidders; 1.5 Contract Time; Paragraph B. Note that the completion date for carpeting to be completed during the 2026 Summer Recess is August 19, 2026. Also note that replacement of resilient flooring and base in rooms designated for replacement (other than carpeted classrooms with VCT only at sinks) is not required to be completed during the 2026 Summer Recess.
- Item No. 2: Refer to revised Bid Category 9.3 issued with this Addendum. Note clarifications to the Inclusion for this Project with respect to toilet fixture and toilet partitions as required for removal and replacement of new flooring.
- Item No. 3: Refer to revised Drawing sheet D1.1 issued with this Addendum. Note the correction of Keynotes in Gymnasium 168 for removal of ceramic tile and wall base at the drinking fountain alcove near the gymnasium entrance doors.

**END OF ADDENDUM NO. 1**

### **BID CATEGORY 9.3 – FLOORING**

#### **General Inclusions for This Category's Work**

1. The term "general contractor" will not apply to any body of work for this project. Each trade discipline will be responsible for such work as described by Bid Category content.
2. Provide all required layout for this Bid Category's work.
3. Provide daily housekeeping and clean up and dispose of any wastes generated by this bid category in dumpster provided by the Construction Manager unless noted otherwise in Specific Inclusions below. "Daily" means daily. Should it be necessary for the Construction Manager to get involved in clean up the costs will be passed along to this contractor.
4. Contractor shall have a competent supervisor on site while performing any work for this bid category.
5. Contractor shall be responsible for coordination and interface with other contractors for the duration of the project.
6. Contractor shall be responsible for the receiving, unloading, storage and storage facilities for materials brought to the site.
7. The owner shall have the right to reclaim demolished materials.
8. All front end paperwork such as insurance certificates, schedule of values, submittals and/or shop drawings must be submitted to the Construction Manager within ten work days of award.
9. Contractor shall be responsible for safe work practices as required by Michigan Laws and as per the safety policy of the Construction Manager.
10. Contractor is responsible for the complete bid documents including drawings, specifications, Addenda, schedules, etc. and shall perform all that is required for a complete product that complies with same.
11. Contractor's representative shall attend scheduled progress meetings each week as directed by the Construction Manager.
12. Any Contractor that knowingly installs their work on another's mistake or faulty work will be responsible for correcting same.
13. All contractors shall complete their work to a fully operational condition in full compliance with governing codes and authorities.
14. Contractors shall obtain and pay all costs for permits that are associated with this categories work. Scheduling inspections by governing officials will be by this bid category and shall be coordinated with the Construction Manager. The Building Permit will be purchased by the Construction Manager.
15. Copies of permits (if applicable) shall be forwarded to the Construction Manager as soon as received. Occupancy approvals shall also be forwarded on or before the date of substantial completion.
16. Contractor shall supply sufficient manpower or any overtime that might be required to meet the project schedule.
17. Contractor is responsible for the protection of existing structures, plants, lawns, trees, etc.
18. Mud and/or debris tracked onto the parking lots, streets or any roadways by this contractor shall be swept and properly cleaned by this contractor.
19. Bid Category descriptions are intended to define the job scope in as much detail as possible however not necessarily "all" inclusive. Each bidder shall review all Bid Categories for a clear understanding of responsibility of scope and should advise the Architect of any conflicts or irregularities that could affect the bidding or the execution of this contract.
20. Should there be a conflict regarding assignment of work between the Bid Category descriptions and notes and/or Architect's specifications, the Bid Category descriptions shall take precedence.
21. All Contractors shall be subject to liquidated damages for failure to meet the specified date of substantial completion as set forth in these documents and/or obtaining a Certificate of Occupancy (temporary or final), by the Michigan Bureau of Construction Codes prior to said date.
22. The Construction Manager will have a safety policy governing the work activities of this project. Each Contractor shall comply with said policy as well as the minimum requirements under Michigan Law.

23. The Construction Manager will designate an area outside the school for contractor lunch room trailers.
24. Smoking is not permitted anywhere on School Property.
25. Questions that arise during the construction period shall be directed to the Construction Manager who will provide the appropriate response. Contractors shall not approach the owner or any persons employed by the owner with job questions or concerns.
26. Certain areas may be occupied by the owner during construction. Profane or abusive language, pornography, etc. will not be tolerated.
27. Provide and maintain dust control for this Bid Category's work.
28. Contractors will be given access to the site from 7:00am to 5:30pm weekdays only. Weekend work may be granted by special permission or if so stated in your bid proposal.

**The contractor shall provide all labor, materials and equipment to perform the work specified in the construction documents and as set forth in this Bid Category description.**

**Specifications Included for This Bid Category:**

(Total responsibility for these sections in their entirety unless otherwise noted)

02 41 19 – Selective Demolition  
08 70 00 - Hardware  
09 30 00 – Tiling  
09 65 13 – Resilient Base and Accessories  
09 65 19 – Resilient Flooring  
09 68 13 – Tile Carpeting

**Reference Specifications for This Bid Category:**

(Include portions of these specifications as they apply to this bid category)

All sections under Division 1 General Requirements

**Inclusions for This Project: (but not limited to):**

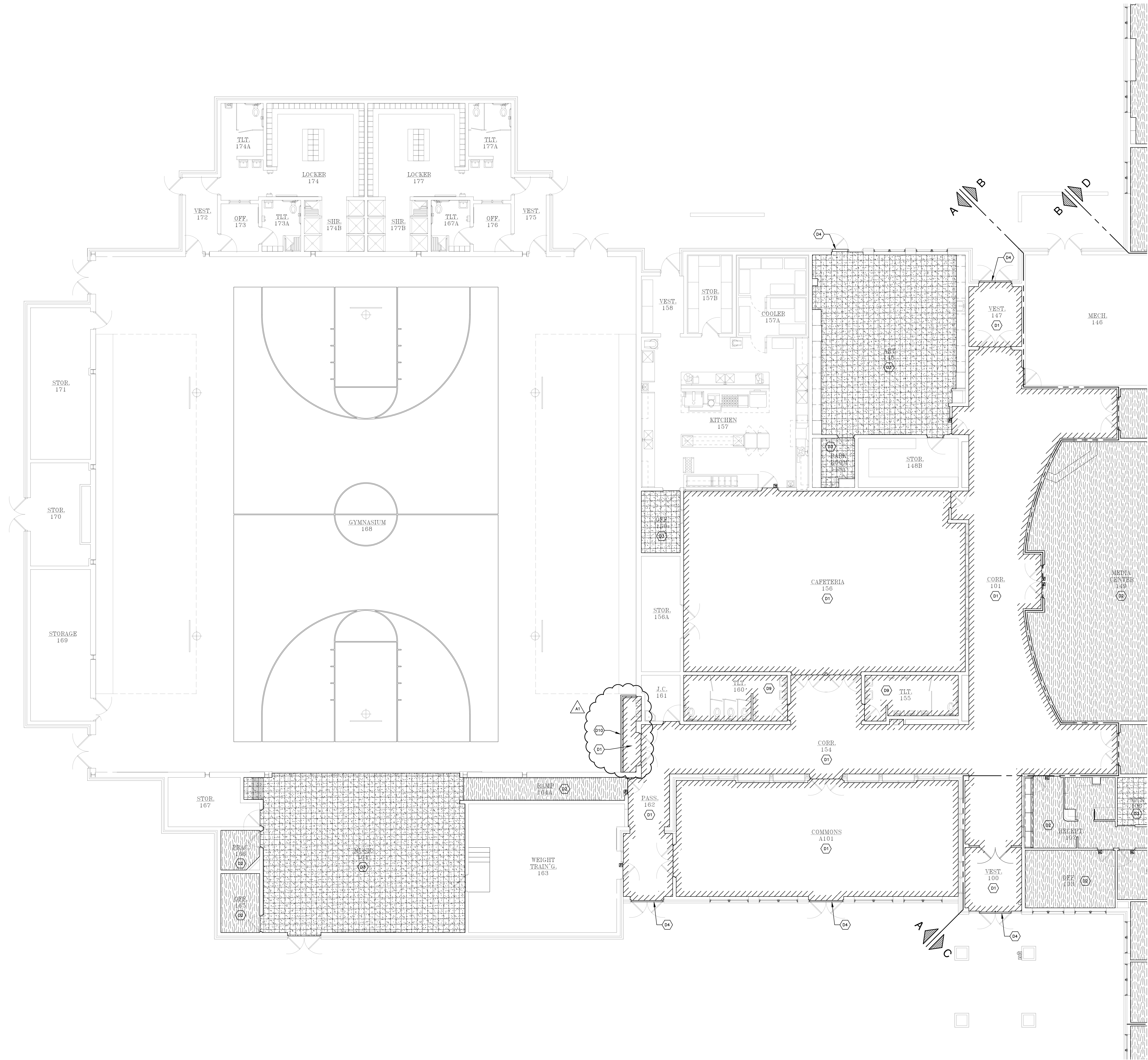
**Any work that may be reasonably construed as part of this bid category's responsibility shall be included.**

1. Coordination with other trade contractors.
2. Demo existing flooring and base and prep existing floor for new surfaces as required.
3. Furnish and install new resilient flooring and base.
4. Furnish and install carpet tile as shown.
5. Furnish and install porcelain tile as shown.
6. This Bid Category will be responsible for protection of existing finishes that it may affect. Damages by this category will be repaired at the expense of this Bid Category.
7. Furnish contractor lunch facilities as required for this Bid Category.
8. The intent is to finish the carpet replacement summer of 2026 and the balance of the work by August 20<sup>th</sup> of 2027.
9. **Removal and reinstallation of existing toilet fixtures as required for removal and replacement of flooring.**
10. **Removal and reinstallation of toilet partition components and accessories as required for removal and replacement of flooring.**

**Exclusions:**

1. Temporary restrooms will be provided by the Construction Manager.

**END OF BID CATEGORY 9.3**



# FLOOR PLAN PART "A" - DEMOLITION

SCALE:

1/8" = 1'-0"

## GENERAL DEMOLITION NOTES

REMOVE EX'G ASSEMBLIES TO THE EXTENT REQUIRED FOR THE INSTALLATION OF NEW WORK, AND TO ALLOW FOR CONNECTION OF NEW WORK TO EX'G ADJACENT CONSTRUCTION. KEYED DEMOLITION NOTES ARE GENERAL IN NATURE. ALL EX'G CONDITIONS ARE TO BE FIELD VERIFIED. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO DEMOLITION AS REQ'D TO ACHIEVE THE OVERALL DESIGN INTENT.

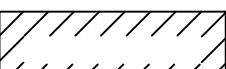
CONTRACTOR SHALL SALVAGE AND REMOVE EX'G. NIGHT-LOCK DEVICES FOR REINSTALLATION, WHERE PRESENT IN ROOMS SUBJECT TO FLOORING REMOVAL.

CONTRACTOR SHALL REMOVE EX'G FLOORING AND WALL BASE FINISHES AND TRANSITIONS AS REQ'D TO ALLOW FOR THE INSTALLATION OF NEW FINISHES AND TRANSITIONS AS NOTED.

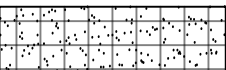
## KEYED DEMOLITION NOTES

- D1 REMOVE EX'G. CERAMIC TILE, WALL BASE, AND ACCESSORY TRANSITIONS. EX'G. MUD SET SUB-BASE (IF ANY) TO REMAIN.
- D2 REMOVE EX'G. SHEET CARPETING, RESILIENT WALL BASE, AND ACCESSORY TRANSITIONS.
- D3 REMOVE EX'G. VCT, RESILIENT WALL BASE, AND ACCESSORY TRANSITIONS.
- D4 REMOVE EX'G. THRESHOLD.
- D5 REMOVE EX'G. CERAMIC FLOOR TILE AND ACCESSORY TRANSITIONS. EX'G. CERAMIC WALL BASE AND WAINSCOT TO REMAIN. EX'G. MUD SET SUB-BASE (IF ANY) TO REMAIN.
- D6 REMOVE EX'G. CERAMIC FLOOR TILE AND ACCESSORY TRANSITIONS. EX'G. MUD SET SUB-BASE (IF ANY) TO REMAIN.
- D7 REMOVE EX'G. CERAMIC FLOOR TILE AND ACCESSORY TRANSITIONS, AND RESILIENT WALL BASE. MUD-SET (IF ANY) TO REMAIN.
- D8 REMOVE EX'G. SHEET CARPETING, VCT, RESILIENT WALL BASE, AND ACCESSORY TRANSITIONS.
- D9 REMOVE EX'G. CERAMIC FLOOR TILE AND COVE BASE, AND ACCESSORY TRANSITIONS. EX'G. CERAMIC WAINSCOT ABOVE COVE BASE TO REMAIN. EX'G. MUD SET SUB-BASE (IF ANY) TO REMAIN.
- D10 SALVAGE AND REMOVE EX'G. ALUMINUM THRESHOLD FOR REINSTALLATION AFTER NEW FLOORING.
- D11 SALVAGE AND REMOVE EX'G. COMPOSITE WALL ANGLE FOR REINSTALLATION AFTER NEW FLOORING. REMOVE EX'G. CERAMIC FLOOR TILE AND BASE. EX'G. MUD SET SUB-BASE (IF ANY) TO REMAIN.

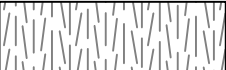
## FLOORING DEMOLITION LEGEND



REMOVE CERAMIC TILE AND BASE - SEE KEYNOTES FOR SPECIFIC INSTRUCTIONS.



REMOVE VCT AND BASE - SEE KEYNOTES FOR SPECIFIC INSTRUCTIONS.



REMOVE SHEET CARPET AND BASE - SEE KEYNOTES FOR SPECIFIC INSTRUCTIONS.

