

Telephone: 989-790-9120
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Addendum #2

Attn: Estimator	Date: November 26, 2024
From: Lisa Donahue, Project Administrator	Pages: 25 (including cover page)
Re: Bullock Creek School District 2024 Bond Series 1	Project: 2025 Summer Projects HS/MS/Elem/Pine River/Floyd and Maintenance Building
CC:	Proj. #: A24907

Architect Write Up	3 Pages
Revised Bid Division Description 060000	4 Pages
RFI log	5 Pages
Revised Drawings	12 Pages

Electronic bids can only be submitted using Building Connected see link or sent to the school admin office

<https://app.buildingconnected.com/login?retUrl=%2F>

If you would like to listen in while bids are being opened, use the link.

<https://8x8.vc/wolgast/lisa.donahue>

Bid Date is scheduled for:
Tuesday December 3, 2024
At 3:00 PM

Opening bids at the Bullock Creek High School Cafeteria located at
1420 S Badour Road, Midland, MI 48640

ADDENDUM #2

Project: No. 24-120 2023 Bond – Series 1 2025 Improvements

Owner: Bullock Creek Schools
1420 South Badour Road
Midland, Michigan 48640

Architect: THA Architects Engineers
817 E. Kearsley Street
Flint, Michigan 48503

Issue Date: November 25, 2024



GENERAL NOTES

The following are changes, clarifications, and additions made in specification and working drawings prior to receipt of bids and shall be noted by the Contractor responsible for the same. All of these items shall be considered part of the Contract Documents.

The general character of the work required by this addendum shall be the same as originally specified, and all incidentals required in connection with the work hereinafter described shall be included even though not specifically mentioned.

The Contractor shall be held responsible to include and adjust the work of all trades involved as required to complete the work described hereinafter. All bidders shall review Addendum as it alters the work shown on the drawings and specifications.

ITEMS INCLUDE

SPECIFICATIONS

- Item #1:** Provide the following door hardware key cores at the locations indicated:
- a. At Project 'A' – Bullock Creek High School, provide Sargent to match existing cores.
 - b. At Project 'C' – Bullock Creek Elementary School, provide Schlage to match existing cores.
- Coordinate with THA and the Owner prior to ordering.
- Item #2:** The following substitution requests have been approved for hand dryers Specification Section 102800 – Toilet Accessories:
- a. Speedflow by Saniflow – Model No M06AF-UL
 - b. Slimdri by World Dryer – Model L-974A

PROJECT 'A'

ARCHITECTURAL ITEMS

- Item #A1:** Revise Sheet A-G001 as follows:
- a. Revise drawing number to be "A-ME102 Mechanical partial roof plans."

ELECTRICAL ITEMS

- Item #E1: Revise Sheet A-M102 as follows:
- a. Revise drawing number to be "A-ME102".
 - b. At exhaust fan replacement locations, pull wire and conduit from existing exhaust fan for new installation and extend wire and conduit as needed.

PROJECT 'B'

ARCHITECTURAL ITEMS

- Item #A1: Revise Sheet B-A103 as follows:
- a. Revise detail 7 to show W8x24 steel beam lintel with 11 ½" x 3/8" bottom plate and 6" x 3/8" vertical plate. Show radiant heat unit cover to be reinstalled.

MECHANICAL ITEMS

- Item #M1: Revise Sheet B-A102 as follows:
- a. Remove and reinstall existing fin tube in Storage 129 above door for new wall opening. Reinstall fin tube with bottom of enclosure even with new door opening. Re-pipe hot water heating supply and return to fin tube exposed down along wall.
 - b. Install new isolation valves in hot water heating supply and return lines feeding existing fin tube and cabinet unit heater.

PROJECT 'C'

ARCHITECTURAL ITEMS

- Item #A1: Revise Sheet C-A201 as follows:
- a. Revise demolition elevations to show extent of removal of existing brick on the East side.

- Item #A2: Revise Sheet C-A301 as follows:
- a. Revise Detail 6 to eliminate note regarding steel beam.

- Item #A3: Revise Sheet C-A601 as follows:
- a. Add Conference Room 101 to room finish schedule.
 - b. Revise wall base at Art Room 135 as shown.

MECHANICAL ITEMS

- Item #M1: Install new duct detector (provided by Electrical trades) for RTU-B1 replacing existing exposed ductwork. Wire to rooftop unit controls to shut down unit. Install weatherproof enclosure for exterior installation.

ELECTRICAL ITEMS

- Item #E1: Revise Sheet C-E103 as follows:
- a. Add note to provide new smoke detector in return air duct.

PROJECT 'F'

ARCHITECTURAL ITEMS

- Item #A1: Revise Sheet F-G001 as follows:
- a. Revise drawing number and title for previous plumbing sheet P-101 to be "F-MP101 POLE BARN MECHANICAL & PLUMBING PLAN".
- Item #A2: Revise Sheet F-A101 as follows:
- a. Revise elevations to show louver locations.
- Item #A3: Revise Sheet F-A103 as follows:
- a. Revise detail 10 to call for 2x6 purlins in lieu of 2x4 purlins.
 - b. Add detail 11 showing louver

MECHANICAL ITEMS

- Item #M1: Revise Sheet F-P101 as follows:
- a. Revise drawing number to be "F-MP101".
 - b. Install exhaust fans "EF-M1" and "EF-M2" with associated ductwork, grilles, louvers and dampers.
 - c. Install intakes for associated exhaust with louvers, ductwork and dampers. Dampers to be interlocked with associated exhaust fan.
 - d. Install carbon monoxide CO single point gas detection system with NO2 sensor for each exhaust fan.

ELECTRICAL ITEMS

- Item #E1: Revise Sheet F-E102 as follows:
- a. Provide electrical connections to exhaust fans.

THA ARCHITECTS ENGINEERS



Madonna Bennett, AIA
Project Manager

MLB/JESS/jal

cc: THA File, Wolgast

P:\Bullock Creek\24-120 2023 Bond Series 1 2025 Improvements\Bid Documents\Addendums\Add--2 2024 1125.Docx

STANDARD ABBREVIATIONS

at	air conditioning	KO	knockout
ACCUST	acoustical	LAM	laminated
AD	adjustable	LAV	lavatory
AF	above Finish Floor	LH	left hand
ALT	alter	LL	live load
ALUM	aluminum	LLH	long leg horizontal
ANCH	anchor, anchorage	LLV	long leg vertical
ARCH	architect/architectural	LTX	light weight
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	blotting	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NIC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRG	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHWR	chilled water return	OA	overall
CHWS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit		
CO	clean out		
COL	column		
CONC	concrete		
CONSTR	construction		
CONT	continuous/continuing	PCF	pounds per cubic foot
CONTR	contract/contractor	PLAS	plaster
CONV	convector	+/-	plus or minus
CRS	course(s)	PLF	pounds per linear foot
CT	ceramic tile	PSF	pounds per square foot
CUH	cabinet unit ventilator	PSI	pounds per square inch
CW	domestic cold water	PART	partition
CY	cubic yard	PVC	polyvinyl chloride
		PMT	pavement
°	degree		
DET	detail	R	riser/radius
DF	drinking fountain	RA	return air
DIAS	diagonal	RD	roof drain
DIA or Ø	diameter	RE	reference
DM	dimension	REF	refrigerator
DIV	division	REINF	reinforce(d)/reinforcing
DP	dampening	RES	resilient
DS	downspout	REV	revision(s)/revised
DWG	drawing	RH	right hand
		RM	room
		RO	rough opening
EA	each	ROV	right of way
EFS	exterior insulation finish system	RS	roof sump
	(synthetic plaster)	RWC	rainwater conductor
ELEG	electric/electrical		
EQ	equal	SAN	sanitary
EQUIP	equipment	SD	storm drain
EWAC	electric water cooler	SECT	section
EXST	existing	SHT	sheet
EXH	exhaust	SM	similar
EXT	exterior	SPEC	specification(s)
		SQ	squares
FA	fire alarm	SS	service sink
FAI	fresh air intake	SSS	stainless steel
FD	floor drain	STD	standard
FE	fire extinguisher	STL	steel
FEC	fire extinguisher cabinet	STD	standard
FIN	Finish(ed)	SUSP	suspended
FL	flooring	SYM	symmetry/symmetrical
FOUND	foundation		
FTR	fin tube radiation	T&G	tongue/groove
FTG	footing	T&G	tread
		TB	tackboard
G	gas	TEL	telephone
GA	gauge/gauge	TERR	terrace
GC	general contractor	THR	threshold
GI	galvanized iron	TV	television
GL	glass/glazing	TYP	typical
GST	gypsum structural tile		
GALV	galvanized	UH	unit heater
		UR	urinal
HB	hose bibb	UV	unit ventilator
HDX	hardware	V	vent
HM	hollow metal	VERT	vertical
HORIZ	horizontal		
HGT	height	W	width/wide
HTG	heating	W/W	with
HVAC	heating/ventilating/air conditioning	WC	water closet
HW	hot water	WD	wood
HWHR	hot water heating return	WH	water heater
HWHS	hot water heating supply	WI	wrought iron
HWR	domestic hot water return	W/W	wall to wall
		WWR	welded wire reinforcement
ID	inside dimension		
INT	interior		
INV	invert		

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACOUST TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	PLYWOOD

GENERAL NOTES

ANY PENETRATIONS OF CORRIDOR WALLS MUST MAINTAIN 1-HOUR FIRE RATING AND RESIST THE PASSAGE OF SMOKE

SYMBOLS KEY

	NORTH		EXISTING ELEVATION POINT
	NEXT ELEVATION POINT		ELEVATION TARGET
	COLUMN NUMBER		COLUMN CENTERLINE
	DETAIL NUMBER SHEET NUMBER		BUILDING SECTION
	WALL SECTION		DETAIL BUBBLE
	ROOM NAME		ROOM NUMBER
	DOOR NUMBER		WINDOW NUMBER
	INTERIOR ELEVATION		DEMOLITION NOTE

DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES

- 2015 MICHIGAN REHABILITATION CODE
- ALTERATIONS LEVEL 2
- 2015 MICHIGAN BUILDING CODE
- 2021 MICHIGAN MECHANICAL CODE
- 2021 MICHIGAN PLUMBING CODE
- 2011 MICHIGAN ELECTRICAL CODE
- NFPA 101 LIFE SAFETY CODE 1991 AS ADOPTED BY MICHIGAN BUREAU OF FIRE SAFETY

BUILDING USE
EXISTING: E, EDUCATION

BUILDING CONSTRUCTION TYPE
TYPE II-B (0,0,0)

BUILDING AREA
EXISTING GROSS AREA = 146,800 SF

BUILDING OCCUPANCY
TOTAL DESIGN OCCUPANT LOAD: 1615
WEIGHT ROOM, GYM & AUDITORIUM ARE NON-SIMULTANEOUS USE

TOTAL FIXTURE COUNT REQUIRED:

TOILETS:	UNI-SEX	MEN'S	WOMEN'S
LAVATORIES:	-	17	17

TOTAL FIXTURE COUNT EXISTING:

TOILETS (URINALS):	UNI-SEX	MEN'S	WOMEN'S
LAVATORIES:	9	22 (24)	44
	9	25	26

TOTAL FIXTURE COUNT PROPOSED:

TOILETS (URINALS):	UNI-SEX	MEN'S	WOMEN'S
LAVATORIES:	9	19 (25)	39
	9	25	26

LOCATION MAP

BULLOCK CREEK SCHOOL DISTRICT 2023 BOND- SERIES 1 2025 IMPROVEMENTS THA PROJECT #24-120

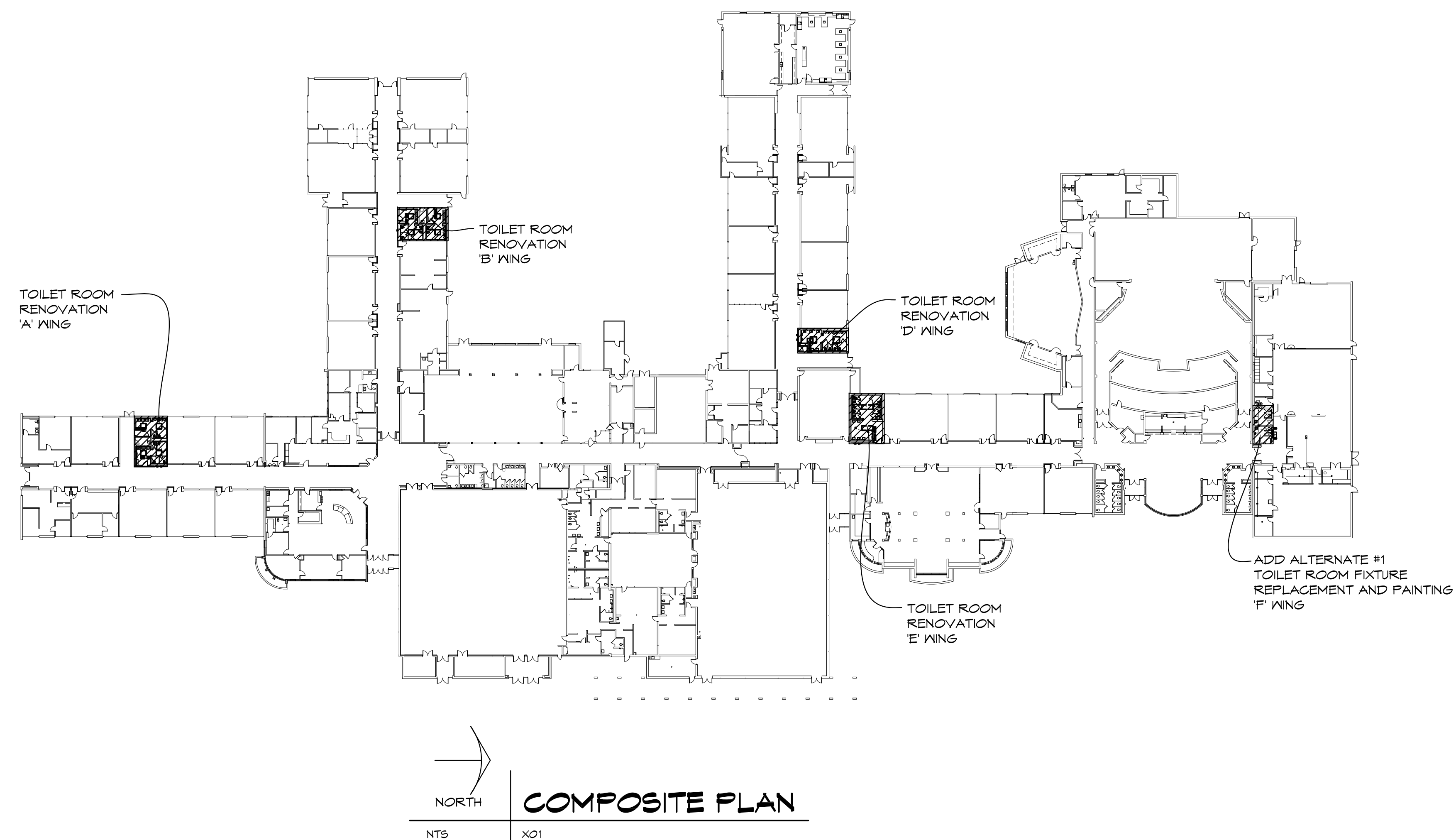
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

PROJECT 'A' RENOVATIONS TO: BULLOCK CREEK HIGH SCHOOL

1420 SOUTH BADOUR ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

A-G001	TITLE SHEET
A-A101	TOILET ROOM DEMOLITION PLANS
A-A102	TOILET ROOM ENLARGED PLANS
A-A103	TOILET ROOM REFLECTED CEILING PLANS
A-A601	DOOR SCHEDULE, ROOM FINISH SCHEDULE, & DETAILS
A-M101	MECHANICAL TOILET ROOM ENLARGED PLUMBING PLAN
A-ME102	MECHANICAL PARTIAL ROOF PLANS
A-P101	'A' WING ENLARGED TOILET ROOM PLUMBING PLAN
A-P102	'B' WING ENLARGED TOILET ROOM PLUMBING PLAN
A-P103	'D' WING ENLARGED TOILET ROOM PLUMBING PLAN
A-P104	'E' WING ENLARGED TOILET ROOM PLUMBING PLAN
A-P105	'F' WING ENLARGED TOILET ROOM PLUMBING PLAN
A-E000	ELECTRICAL COVER SHEET
A-E101	TOILET ROOM ELECTRICAL DEMOLITION PLANS
A-E102	TOILET ROOM ELECTRICAL PLANS
A-E601	ELECTRICAL DETAILS AND SCHEDULES



THA
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www.wolcastconstruction.com

**BULLOCK CREEK SCHOOL DISTRICT
2023 BOND- SERIES 1 2025 IMPROVEMENTS
THA PROJECT# 24-120**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640
**PROJECT 'A'
RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640

2	APPENDUM #2	11/25/24
1	APPENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. A-G001
	REVIEWED MLB	DRAWING NO. A-G001
	DATE OCT 18, 2024	SHEET NO. 1 OF 16
	SCALE N.T.S.	

GENERAL MECHANICAL NOTES

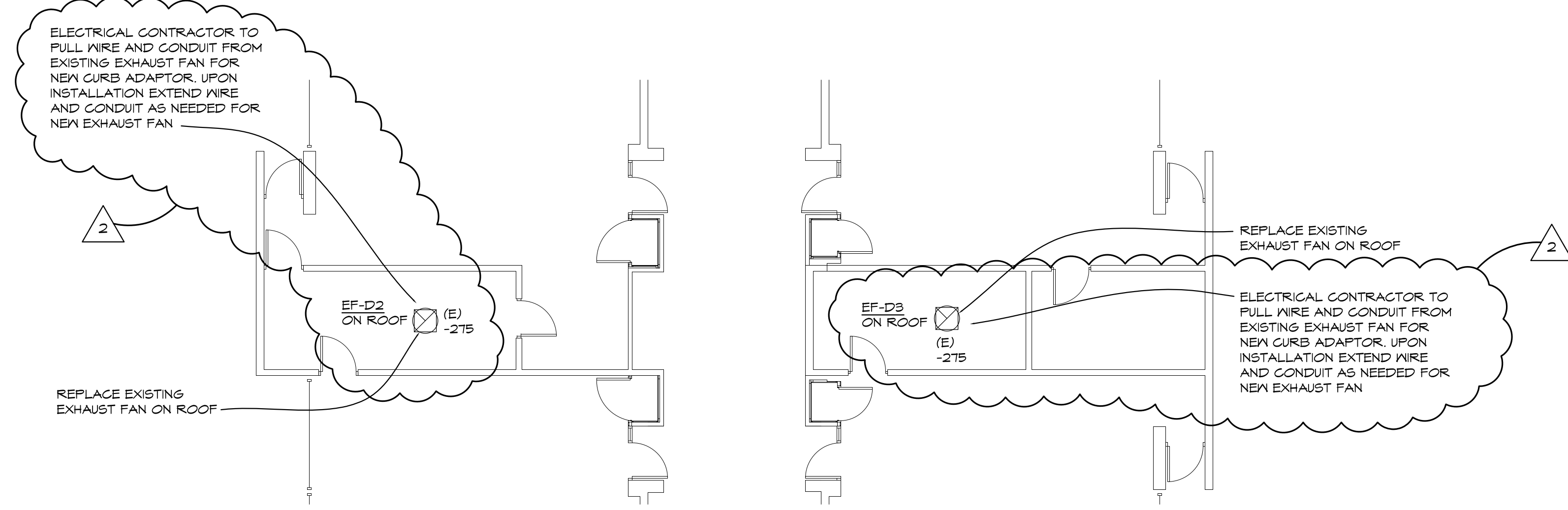
- 1. CONTRACTOR TO FIELD VERIFY EXISTING CONVECTOR COVERS FOR SIZES & GRILLE OPENINGS PRIOR TO ORDERING

EXHAUST FAN SCHEDULE									
TAG	AREA SERVED	GREENHECK MODEL NO.	ELEC.	CFM	'SP	FAN HP	FAN RPM	SONES	NOTES
EF-C3	DISHWASHING ROOM	G-095-VG	120V/1Ø	300	0.375	1/6	1810	5.6	1,2,3,4
EF-C4	FOOD STORAGE	G-090-VG	120V/1Ø	250	0.25	1/10	1021	4.0	1,2,3,4
EF-D2	PREP ROOM	G-090-VG	120V/1Ø	275	0.25	1/10	1044	4.2	1,2,3,4
EF-D3	PREP ROOM	G-090-VG	120V/1Ø	275	0.25	1/10	1044	4.2	1,2,3,4
EF-F1	STORAGE ROOMS	G-095-VG	120V/1Ø	710	0.25	1/6	1523	8.5	1,2,3,4
EF-F3	TOILET ROOMS	G-095-VG	120V/1Ø	400	0.375	1/6	1231	6.0	1,2,3,4

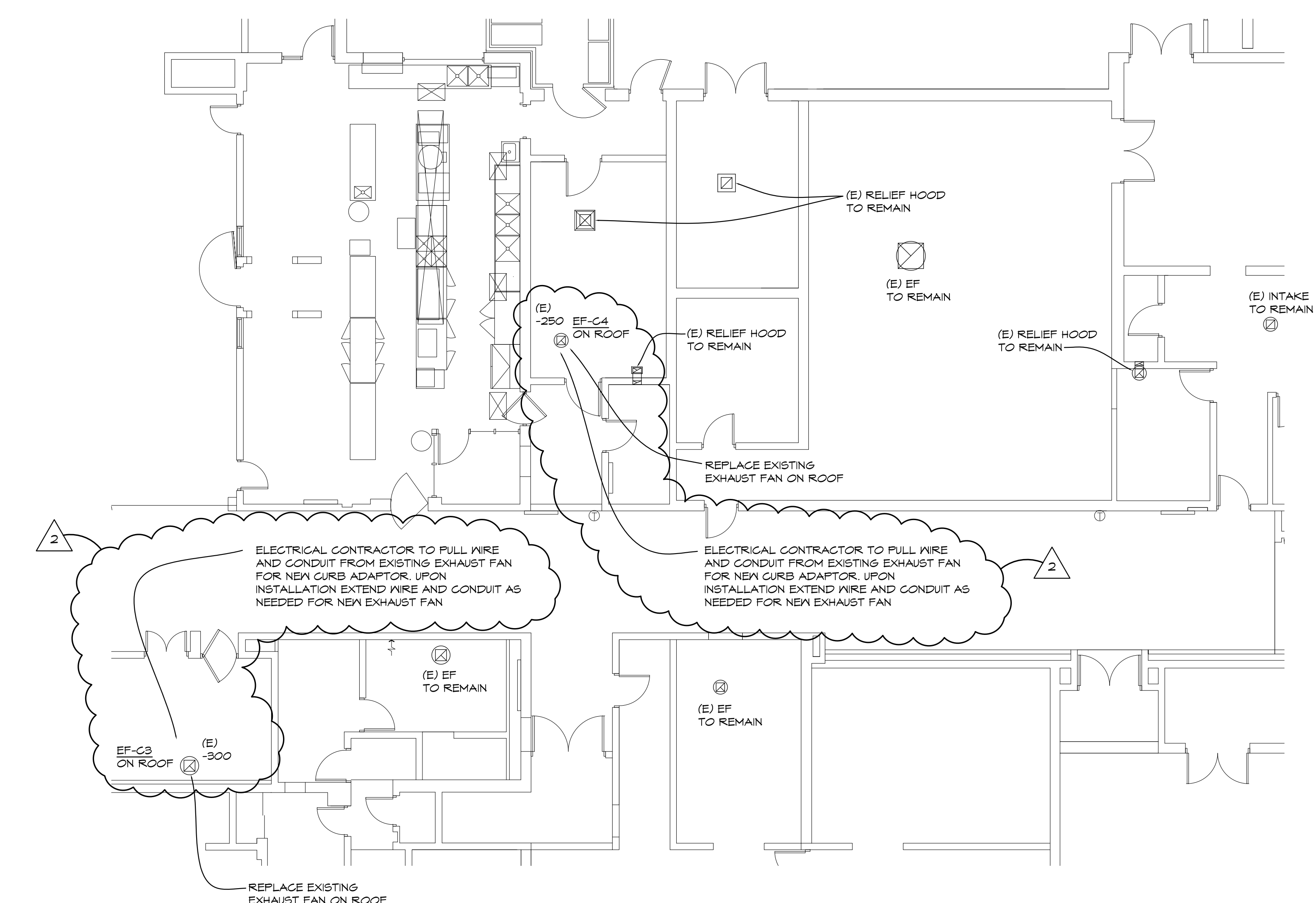
- NOTES:
- PROVIDE WITH BACK DRAFT DAMPER, DISCONNECT, ROOF CURB.
 - PROVIDE WITH CURB ADAPTOR TO FIT EXISTING CURB (FIELD VERIFY SIZE)
 - CONNECT EXHAUST FAN TO EXISTING CIRCUIT/SWITCH
 - PROVIDE SPEED CONTROLLER IN FAN

RELIEF AIR HOOD SCHEDULE							
TAG	MANUFACTURER	MODEL #	CFM	TOTAL PRESSURE	THROAT VEL.	FREE AREA	NOTES
RH-F1	GREENHECK	GR51-20	500	0.01	222	2.0 SF	1

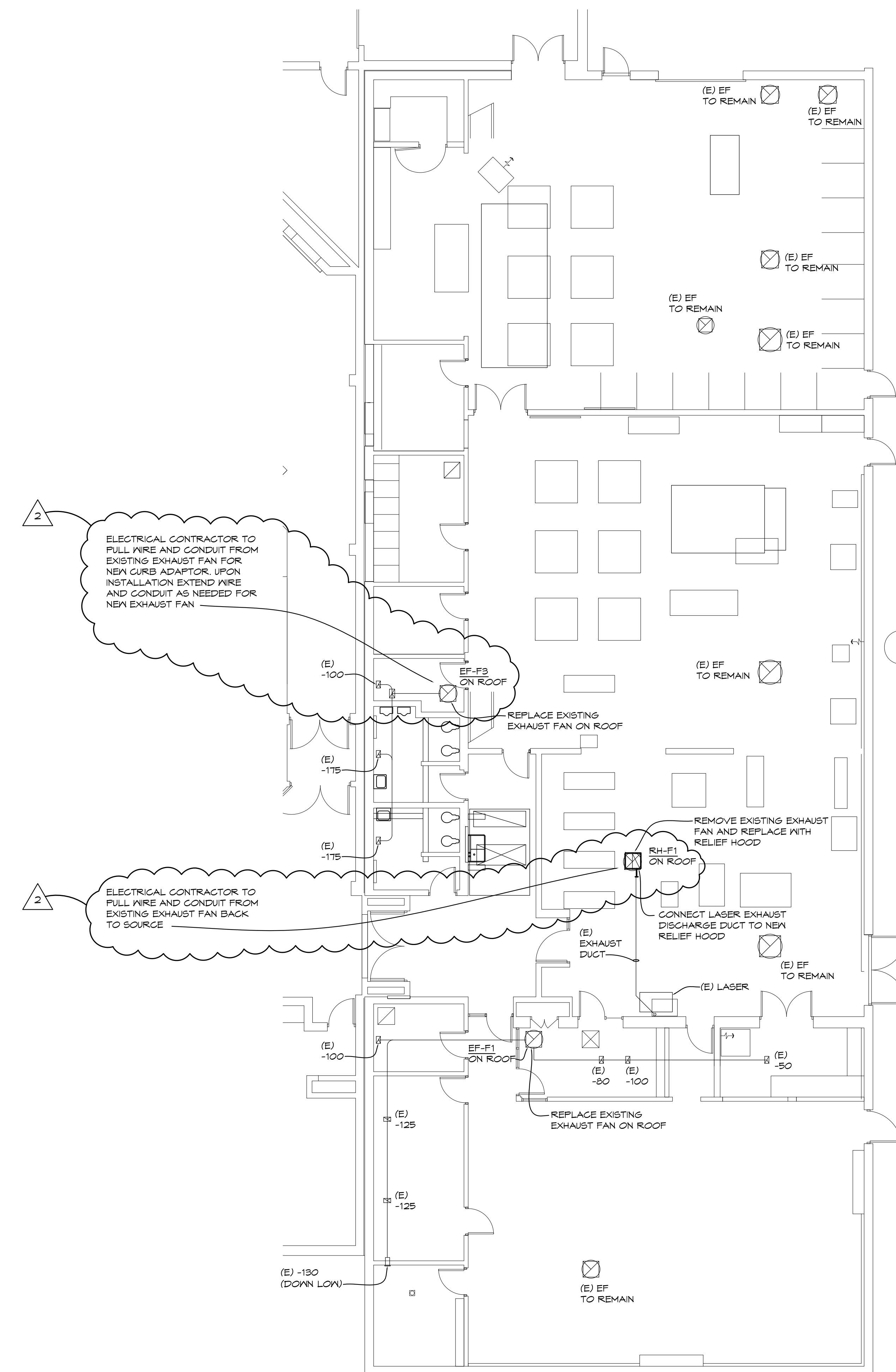
- NOTES:
- PROVIDE WITH INSULATED CURB ADAPTOR TO FIT EXISTING CURB (FIELD VERIFY SIZE)



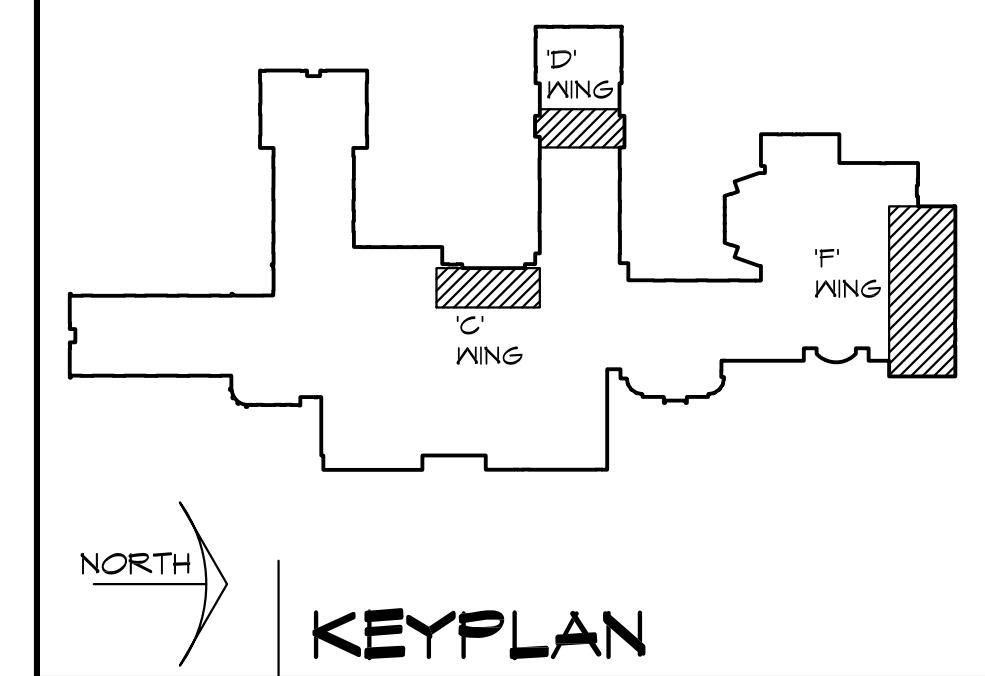
'D' WING PARTIAL MECHANICAL PLAN
1/4" = 1'-0" X01



'C' WING PARTIAL MECHANICAL FLOOR PLAN
1/8" = 1'-0" X01



'F' WING PARTIAL MECHANICAL FLOOR PLAN
1/8" = 1'-0" X01



KEYPLAN

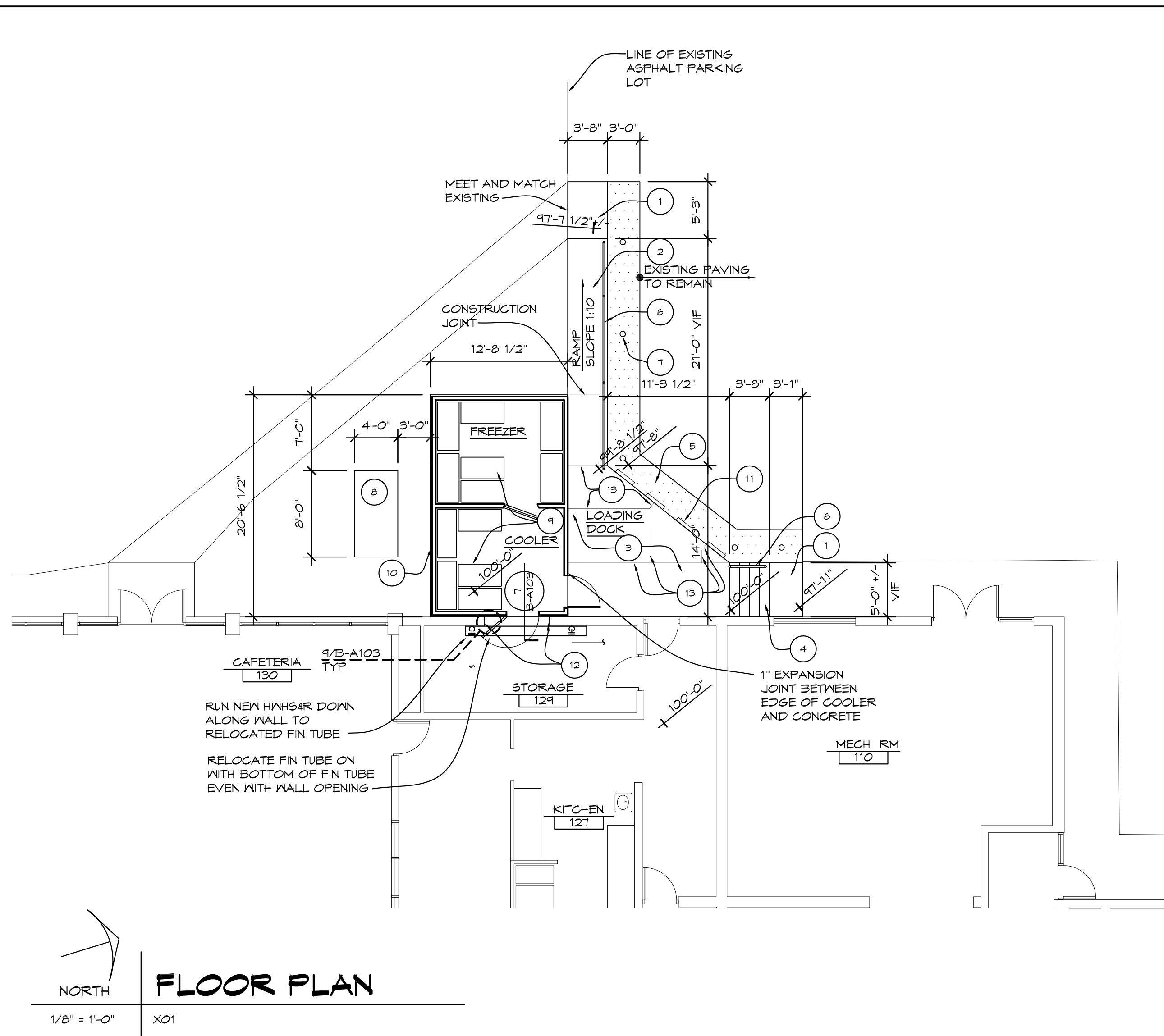
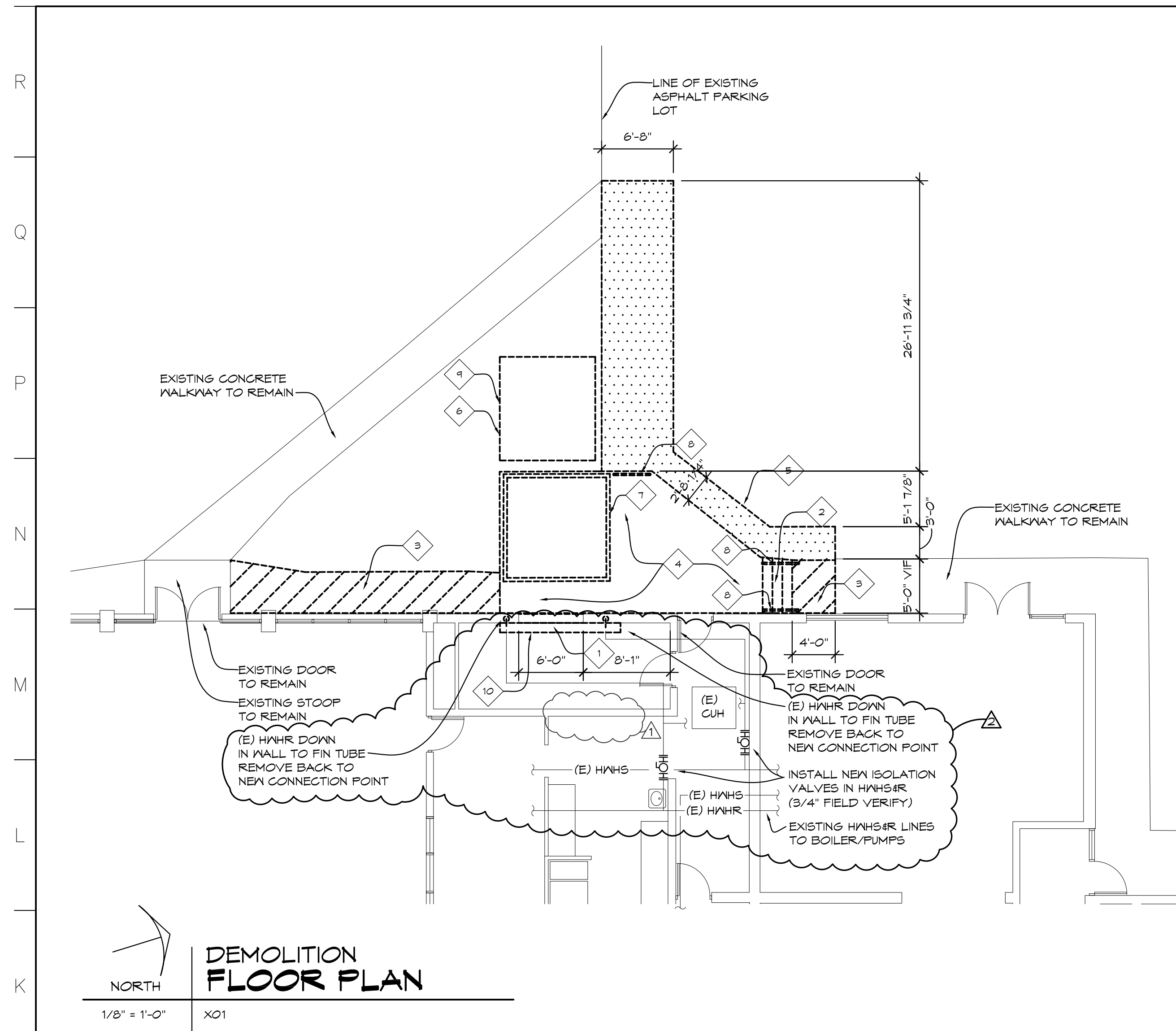
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2	ADDENDUM #2	11/25/24
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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

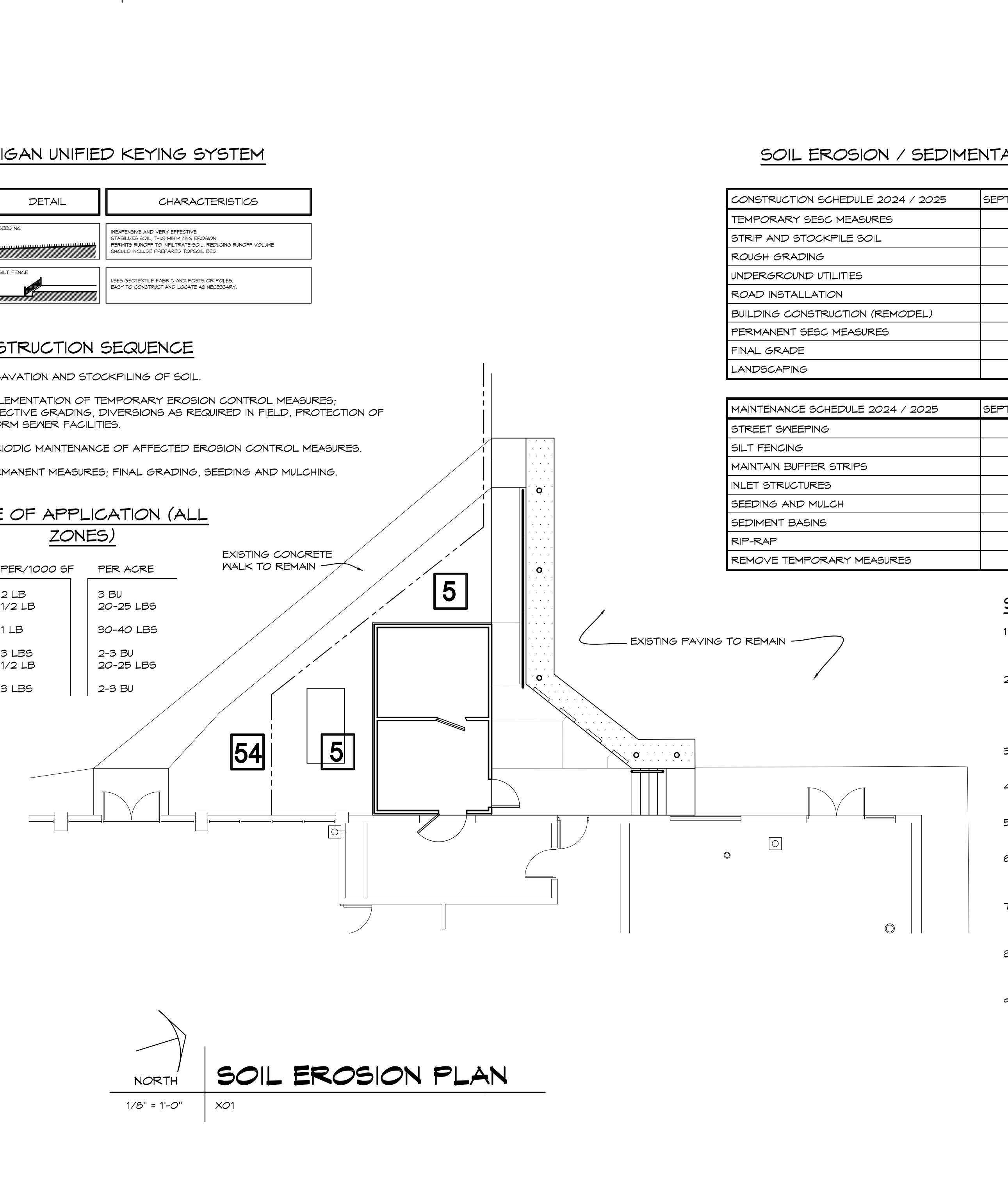
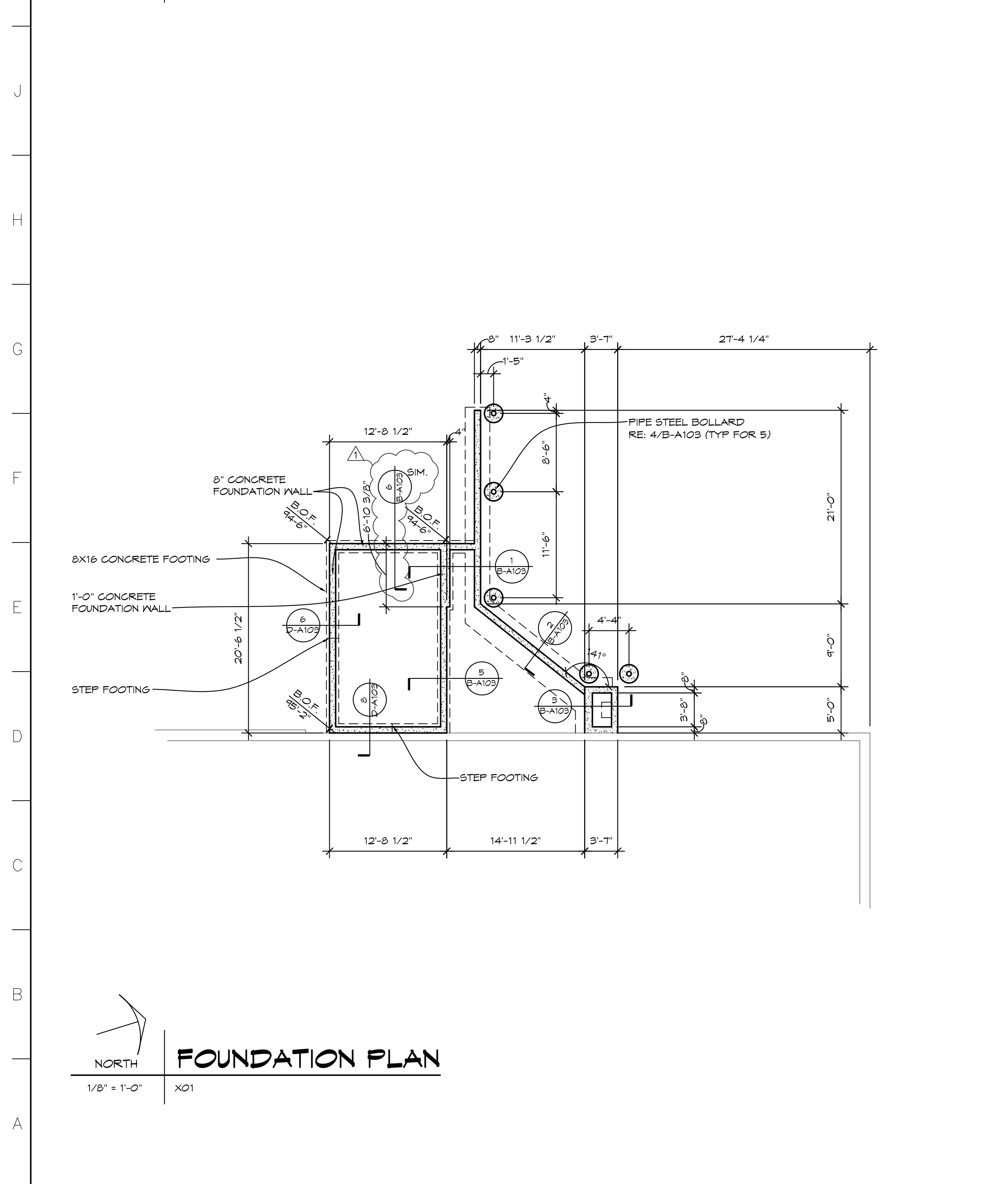
DRAWING TITLE
MECHANICAL PARTIAL ROOF PLANS

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-122
	CHECKED KLS	CAD FILE NO. A-ME102
	REVIEWED MLB	DRAWING NO. A-ME102
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	7 OF 16



- DEMOLITION GENERAL NOTES**
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - AT ALL DEMOLITION AREAS, PATCH AND FINISH TO MATCH EXISTING FINISHES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACINGS AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL ITEMS SCHEDULED FOR REMOVAL.
 - UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. NO GUARANTEE IS MADE EITHER TO COMPLETENESS OR ACCURACY.
 - CONTACT "MISS DIG" AT 1-800-482-7111 PRIOR TO EXCAVATION OR DEMOLITION.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
 - NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- DEMOLITION NOTES**
- REMOVE PORTION OF EXISTING MASONRY WALL ASSEMBLY.
 - REMOVE EXISTING CONCRETE STAIR AND FOUNDATIONS.
 - REMOVE EXISTING CONCRETE WALKWAY AND BASE.
 - REMOVE EXISTING CONCRETE LOADING DOCK COMPLETE INCLUDING CONCRETE FOUNDATIONS.
 - REMOVE PORTION OF EXISTING ASPHALT AND BASE.
 - EXISTING SHED TO BE REMOVED BY OWNER.
 - EXISTING COOLER TO BE REMOVED BY OTHERS.
 - REMOVE EXISTING HANDRAIL.
 - REMOVE EXISTING CONCRETE PAD.
 - RELOCATE EXISTING FIN TUBE, ENCLOSURE PIPING & DANFOSS CONTROL VALVE FOR NEW WALL OPENING REINSTALL ABOVE DOOR NEW WALL OPENING

- CONSTRUCTION GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD, AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
 - COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS TO REMAIN DURING CONSTRUCTION TO PREVENT DAMAGE.
 - DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
- CONSTRUCTION NOTES**
- PROVIDE NEW CONCRETE WALKWAY AND BASE, RE: 000/B-A103.
 - PROVIDE NEW CONCRETE RAMP, RE: 1/B-A103.
 - PROVIDE NEW CONCRETE LOADING DOCK, RE: 2/B-A103.
 - PROVIDE NEW CONCRETE STAIR, RE: 3/B-A103.
 - PROVIDE NEW ASPHALT PAVING TO MATCH EXISTING.
 - PROVIDE NEW 1 1/2" DIAMETER STEEL TUBE GUARDRAIL, RE: SHEET B-A103.
 - STEEL PIPE BOLLARD, TYP OF 5, RE: 4/ B-A103.
 - PROVIDE 6" CONCRETE PAD, WITH 6x6x1.4x1.4 W/WR ON 4" COMPACTED FILL.
 - SHELVING BY FSE CONTRACTOR.
 - NEW WALK-IN COOLER/ FREEZER, RE: SHEET B-FSI.
 - PROVIDE DOCK BUMPERS, RE: SPEC.
 - TOOTH IN NEW MASONRY AND PROVIDE JAMB COVER, RE: 9/B-A103.
 - PROVIDE EXPANSION JOINT.



MICHIGAN UNIFIED KEYING SYSTEM

KEY	DETAIL	CHARACTERISTICS
5	EROSION	NONPERMEABLE AND VERY EROSION-RESISTANT SOIL TREATMENT EROSION CONTROL MEASURE. THIS MEASURE SHOULD INCLUDE PREPARED TYPICAL SECTION. SEE SHEET B-A103 FOR DETAILS.
54	SILT FENCE	SEE DETAIL FOR TYPICAL AND NOTES ON PAGES 54 TO 55 FOR CONSTRUCTION AND MAINTENANCE.

CONSTRUCTION SEQUENCE

- EXCAVATION AND STOCKPILING OF SOIL.
- IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING; DIVERSIONS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
- PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
- PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.

RATE OF APPLICATION (ALL ZONES)

PER/1000 SF	PER ACRE
1/2 LB	3 BU
1 LB	20-25 LBS
3 LBS	30-40 LBS
1/2 LB	2-3 BU
3 LBS	20-25 LBS
3 LBS	2-3 BU

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
TEMPORARY BESS MEASURES														
STRIP AND STOCKPILE SOIL														
ROUGH GRADING														
UNDERGROUND UTILITIES														
ROAD INSTALLATION														
BUILDING CONSTRUCTION (REMODEL)														
PERMANENT BESS MEASURES														
FINAL GRADE														
LANDSCAPING														

MAINTENANCE SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
STREET SWEEPING														
MAINTAIN BUFFER STRIPS														
INLET STRUCTURES														
SEEDING AND MULCH														
SEDIMENT BASINS														
RIP-RAP														
REMOVE TEMPORARY MEASURES														

SOIL EROSION AND SEDIMENTATION CONTROL

- DEVELOPER / PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND / OR GRADING OPERATIONS.
- BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF PLAN REVIEW.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
- ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE REMOVED FROM ROAD RIGHT-OF-WAY AREAS PRIOR TO ACCEPTANCE OF STREETS FOR ROUTINE MAINTENANCE.
- VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION GUARANTEE BY THE ROAD COMMISSION.

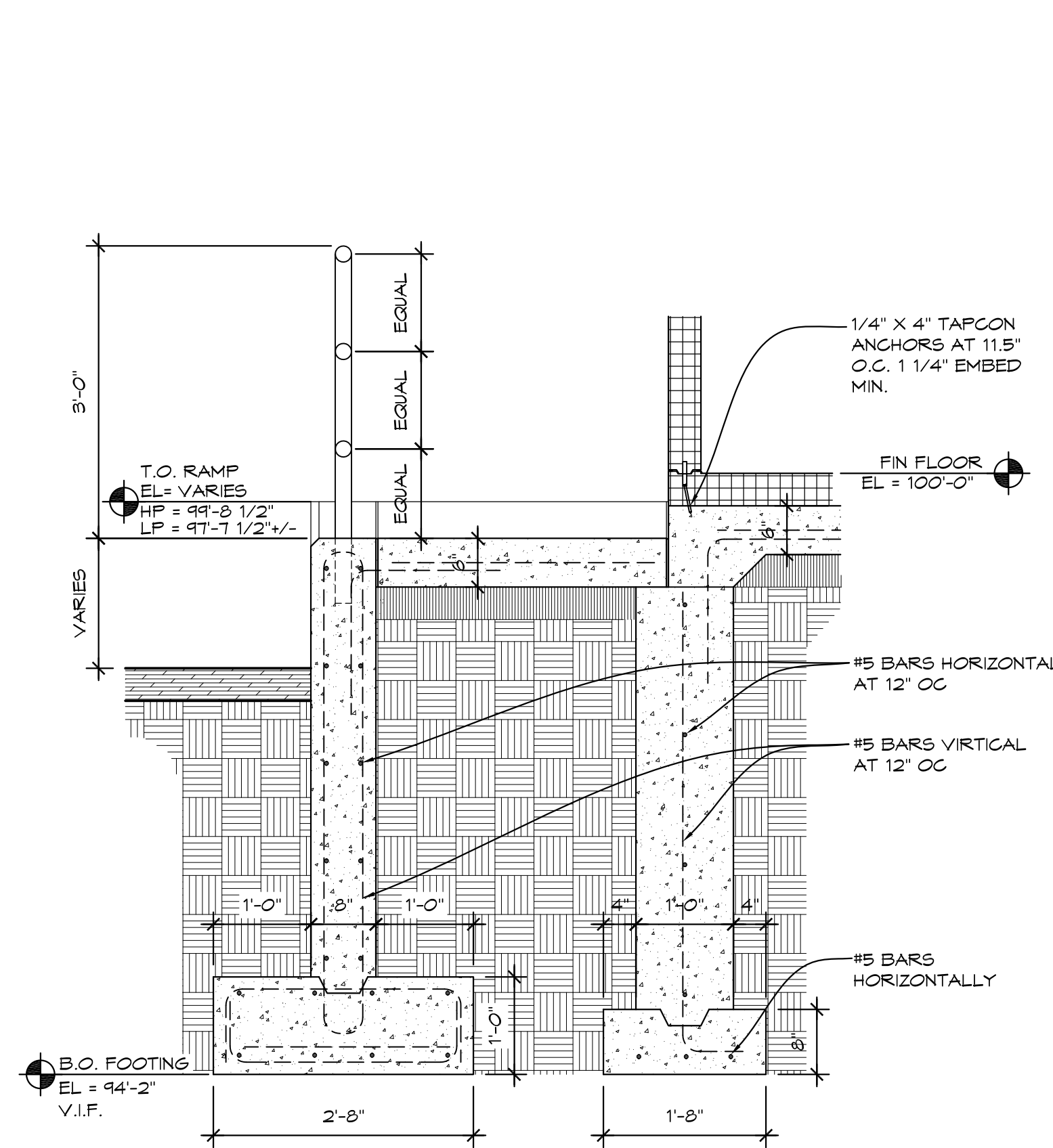


PROJECT 'B'
**BULLOCK CREEK
MIDDLE SCHOOL
IMPROVEMENTS**
664 SOUTH BADOUR ROAD
MIDLAND, MI

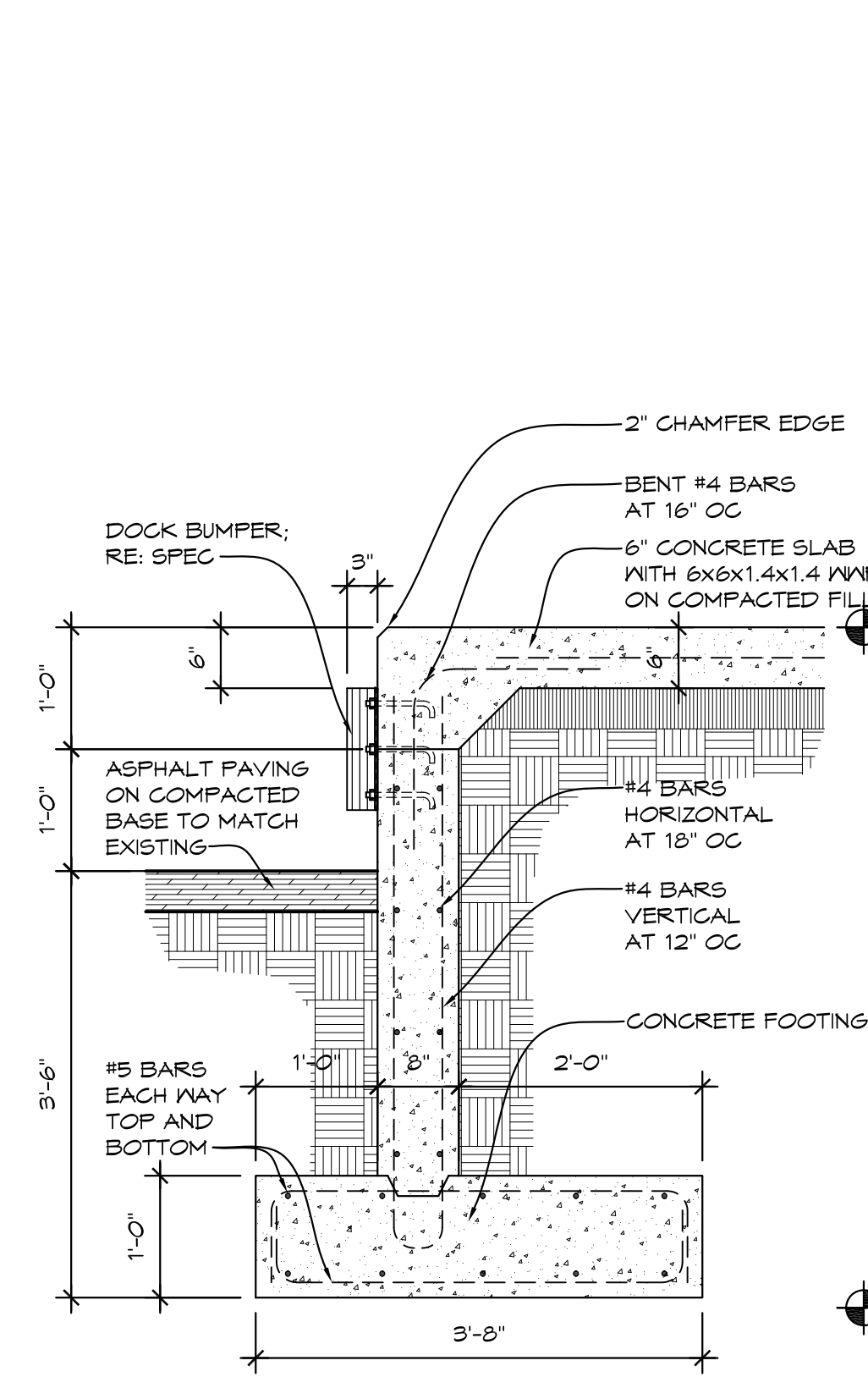
DRAWING TITLE
**COOLER/ REFRIGERATOR
DEMOLITION PLAN,
FLOOR PLAN**

SEAL	DRAWN	PROJECT NO.
	EVA	24-120
	CHECKED	CAD FILE NO.
	JESS	B-A102
	REVIEWED	DRAWING NO.
	MLB	B-A102
	DATE	SHEET NO.
	OCT 18, 2024	
	SCALE	
	1/8" = 1'-0"	3 OF 7

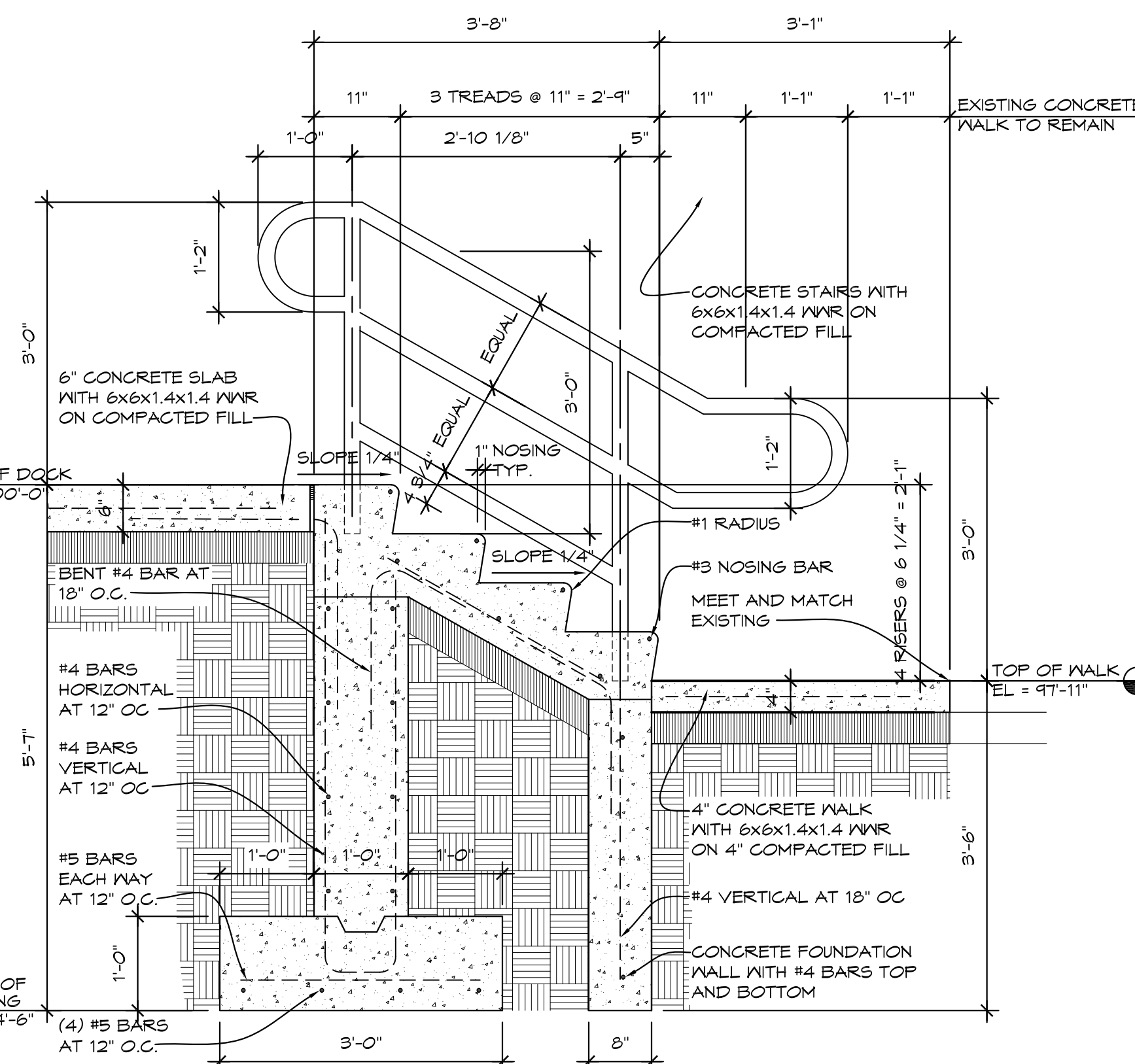
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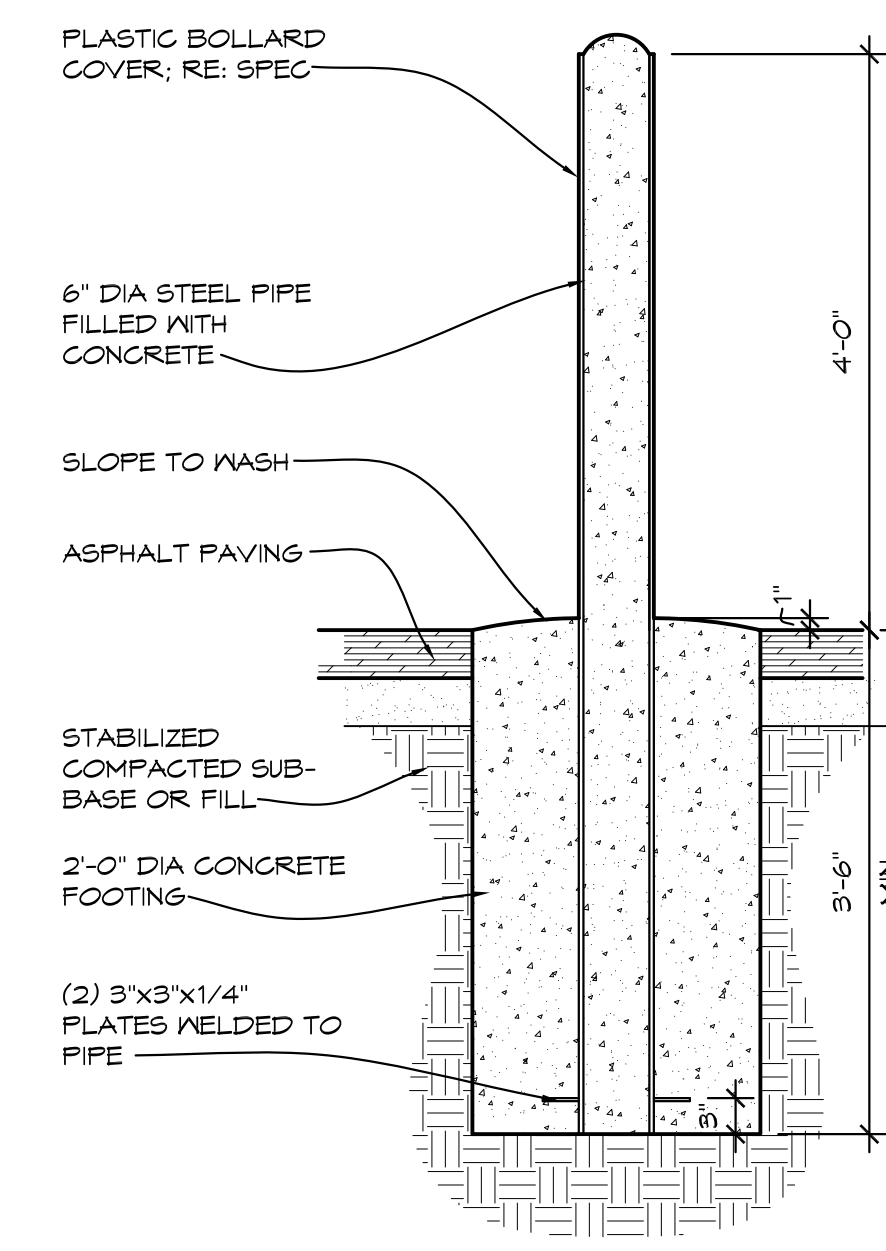
1 RAMP DETAIL
3/4" = 1'-0" MSEC02



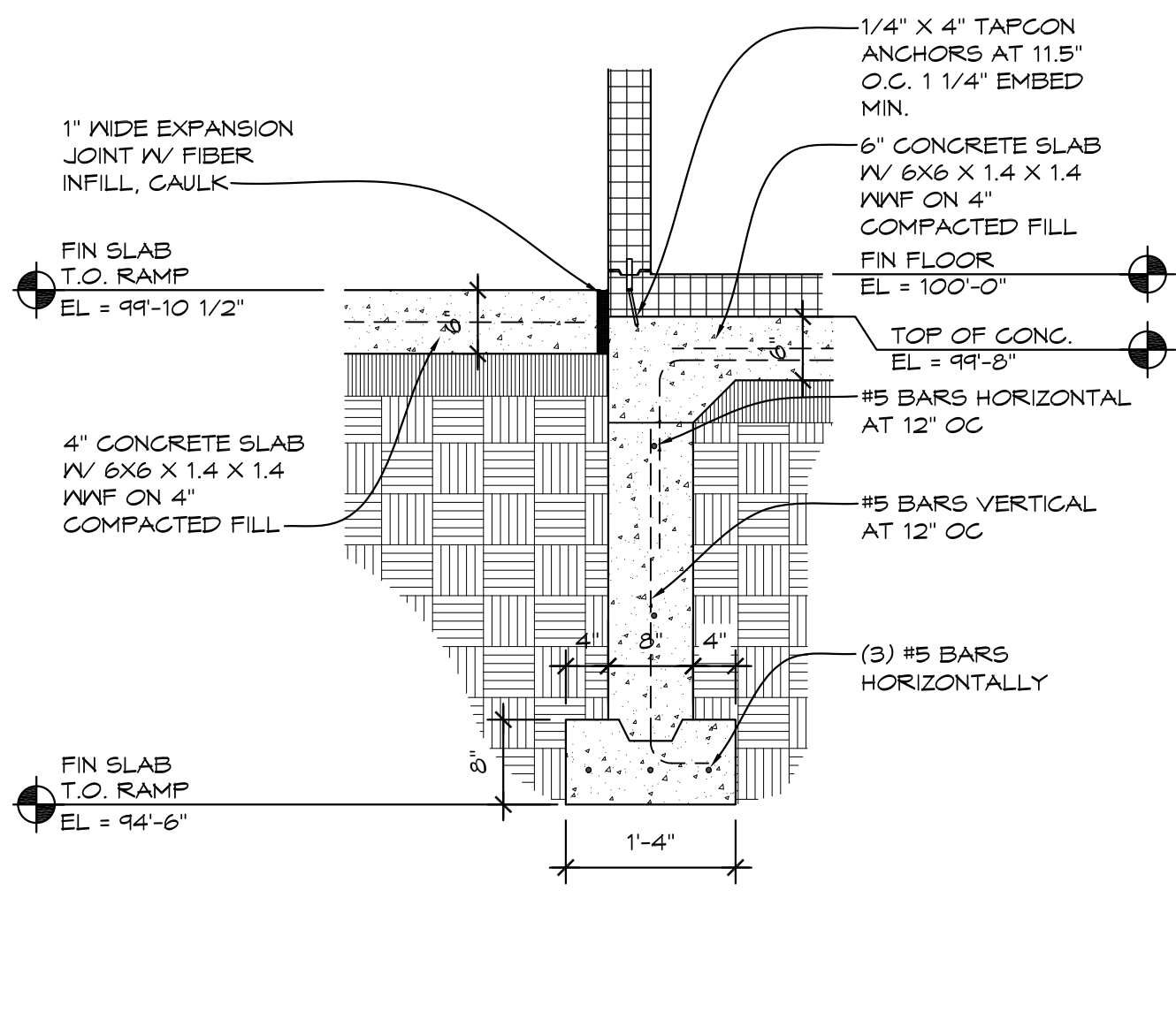
2 LOADING DOCK DETAIL
3/4" = 1'-0" MSEC01



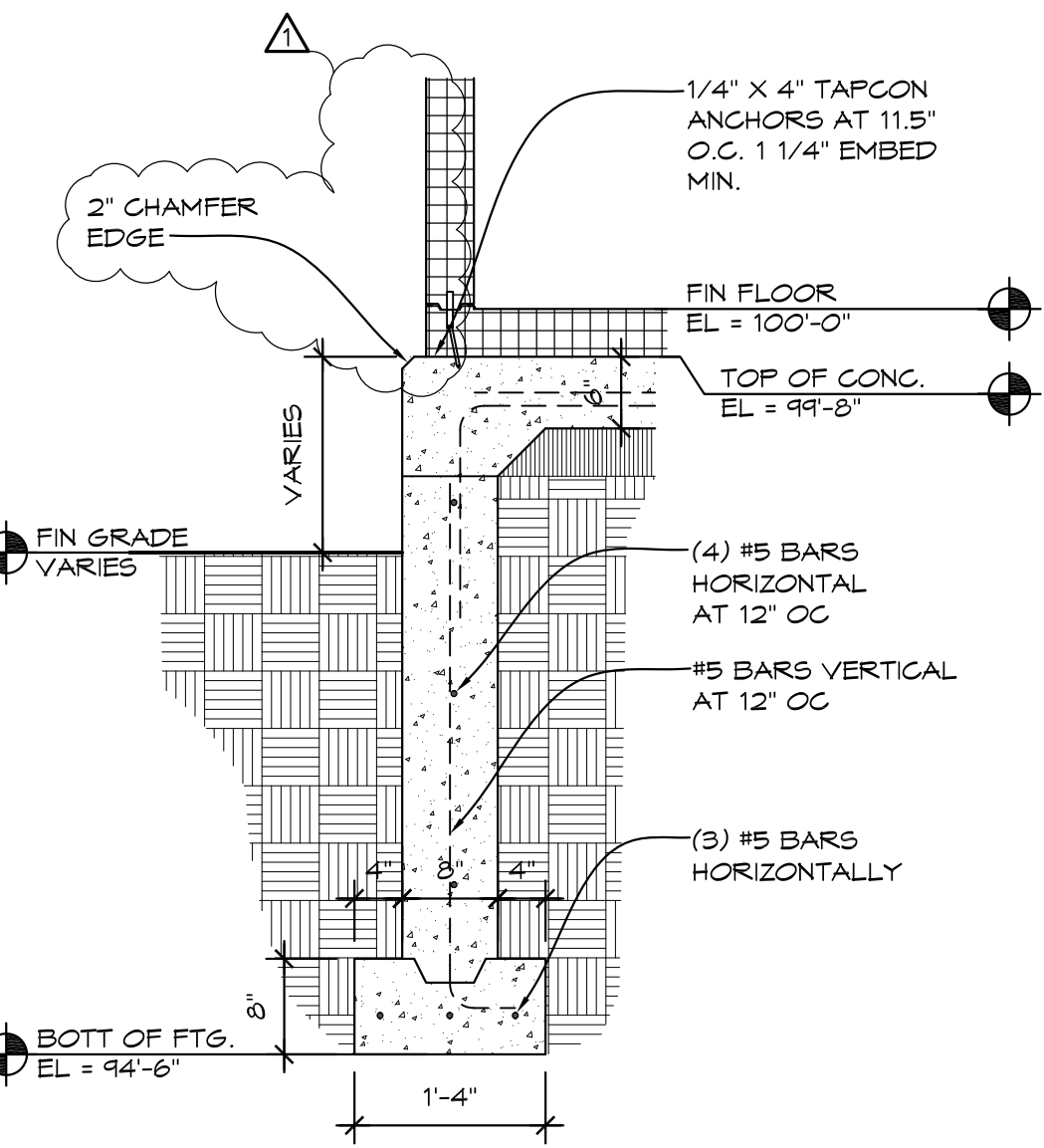
3 STAIR DETAIL
3/4" = 1'-0" MSEC04



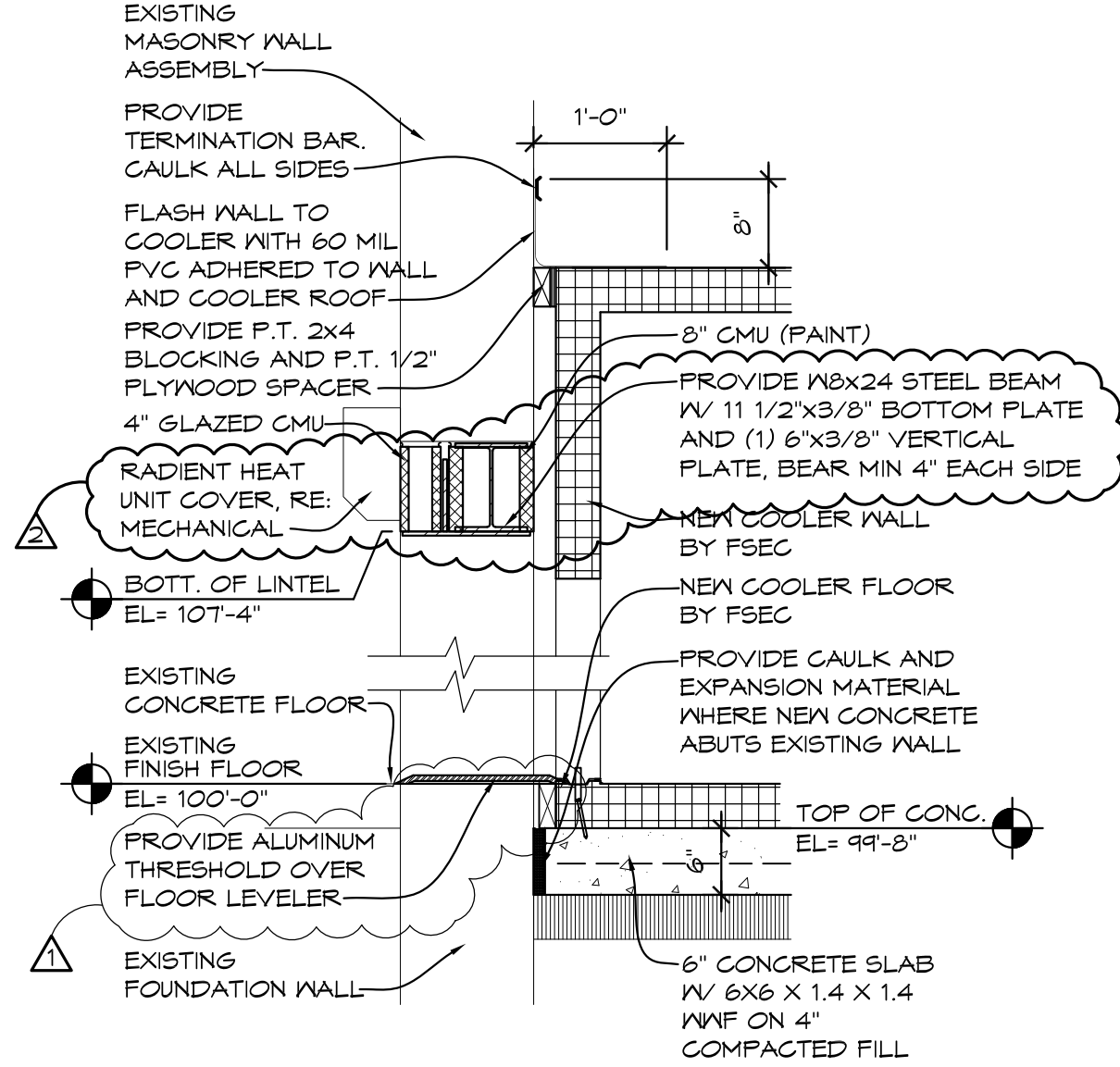
4 BOLLARD DETAIL
3/4" = 1'-0" MSEC04



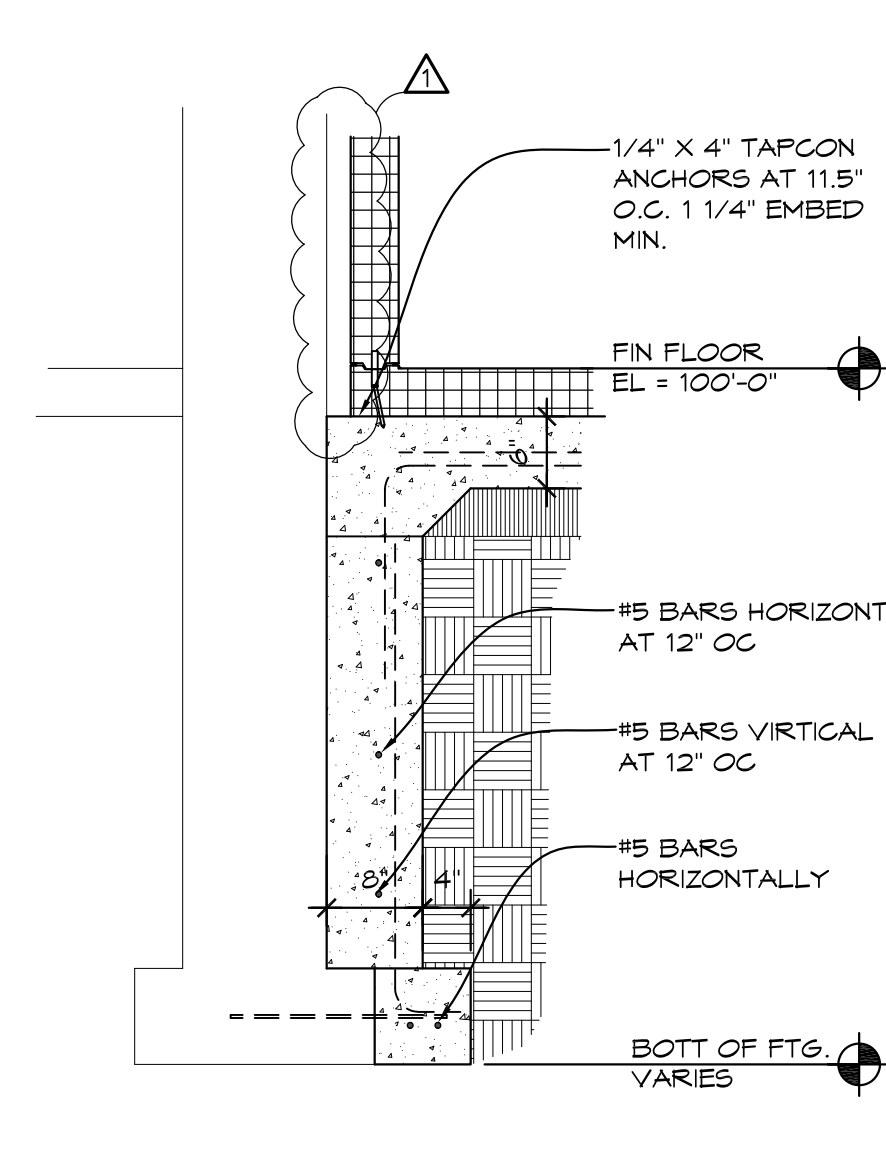
5 LOADING DOCK DETAIL
3/4" = 1'-0" MSEC03



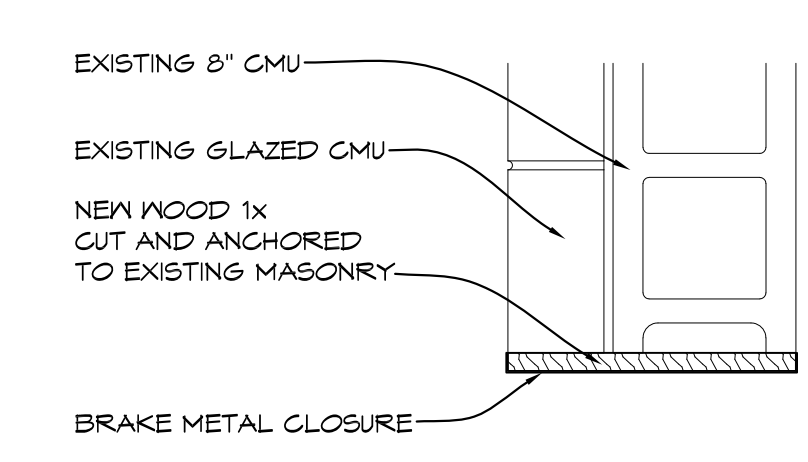
6 LOADING DOCK DETAIL
3/4" = 1'-0" MSEC05



7 DETAIL
3/4" = 1'-0" MSEC06



8 DETAIL
3/4" = 1'-0" MSEC06



9 DETAIL
1 1/2" = 1'-0" MSEC06

NO.	REVISIONS / SUBMISSIONS	DATE
2	ADDENDUM #2	11/25/24
1	ADDENDUM #1	11/14/24



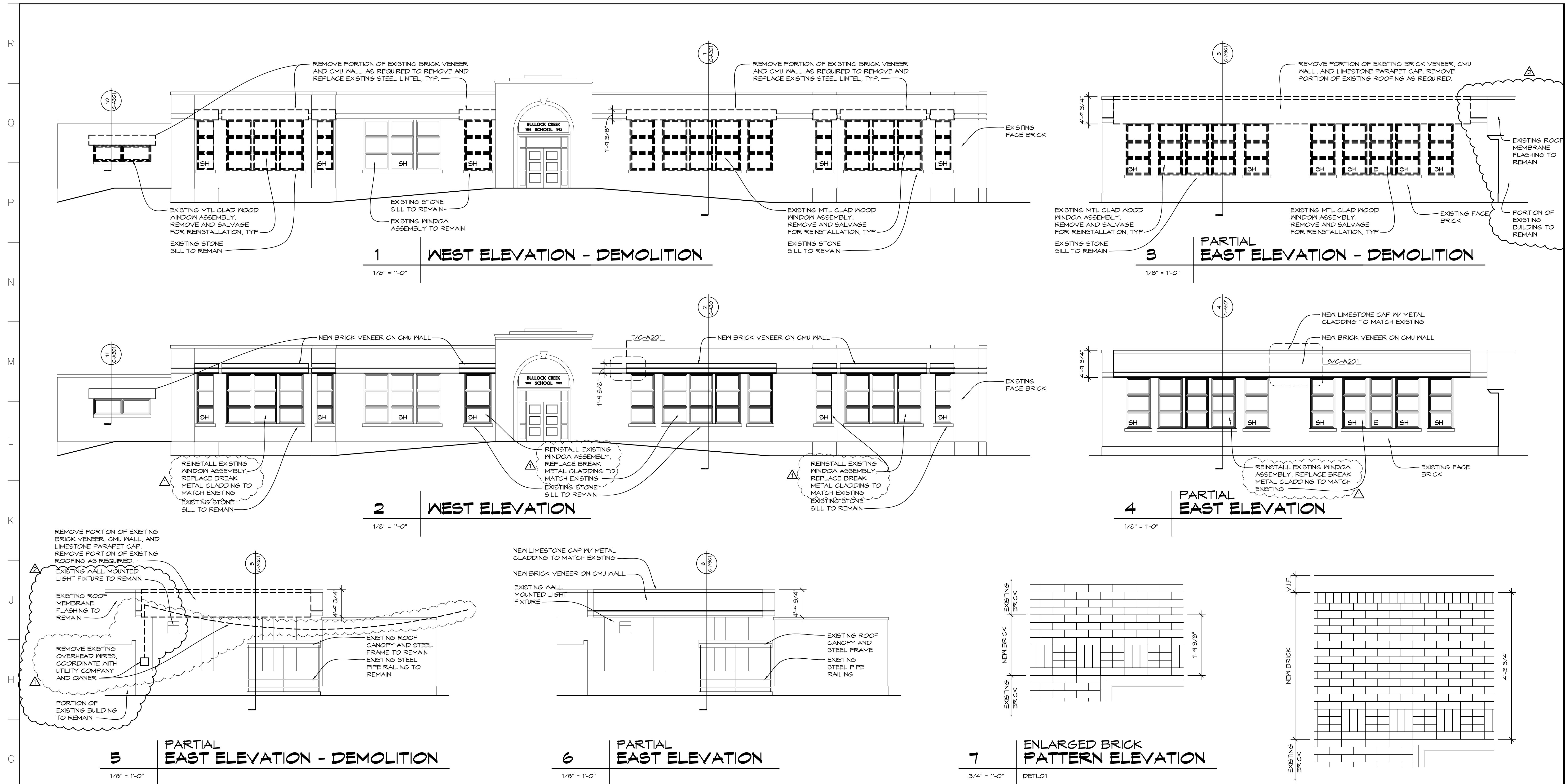
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Ph: 810-767-5600 | THA-Flint.com

PROJECT 'B'
BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

DETAILS

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. B-A103
	REVIEWED MLB	DRAWING NO. B-A103
	DATE OCT 18, 2024	SHEET NO.
	SCALE 3/4" = 1'-0"	4 OF 7

PROJECT 'B'



9 TUCK-POINTING DIAGRAMS
NTS

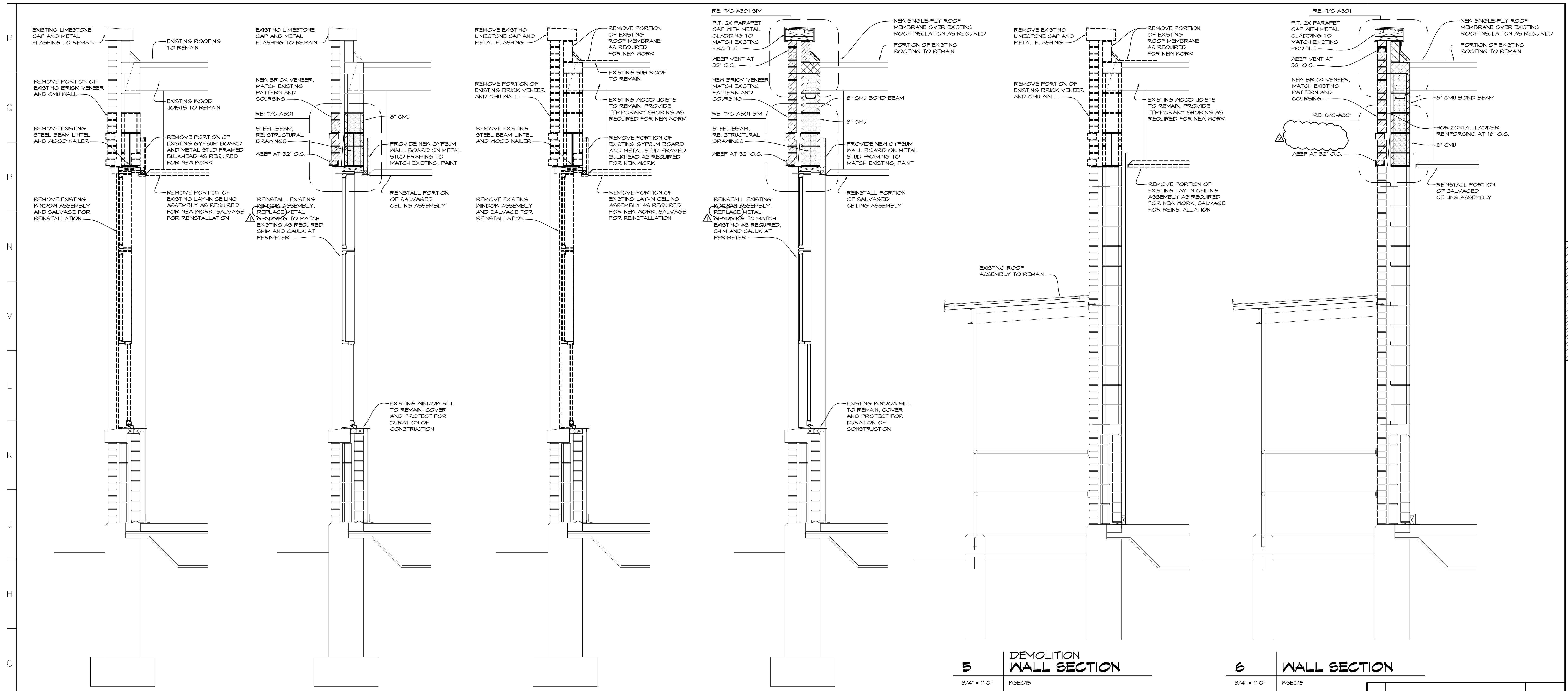
NO.	REVISIONS / SUBMISSIONS	DATE
2	ADDENDUM 2	11/25/24
1	ADDENDUM 1	11/14/24

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
EXTERIOR ELEVATIONS

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A201
	REVIEWED MLB	DRAWING NO. C-A201
	DATE OCT 18, 2024	SHEET NO. 10 OF 21
	SCALE AS NOTED	



1 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC01

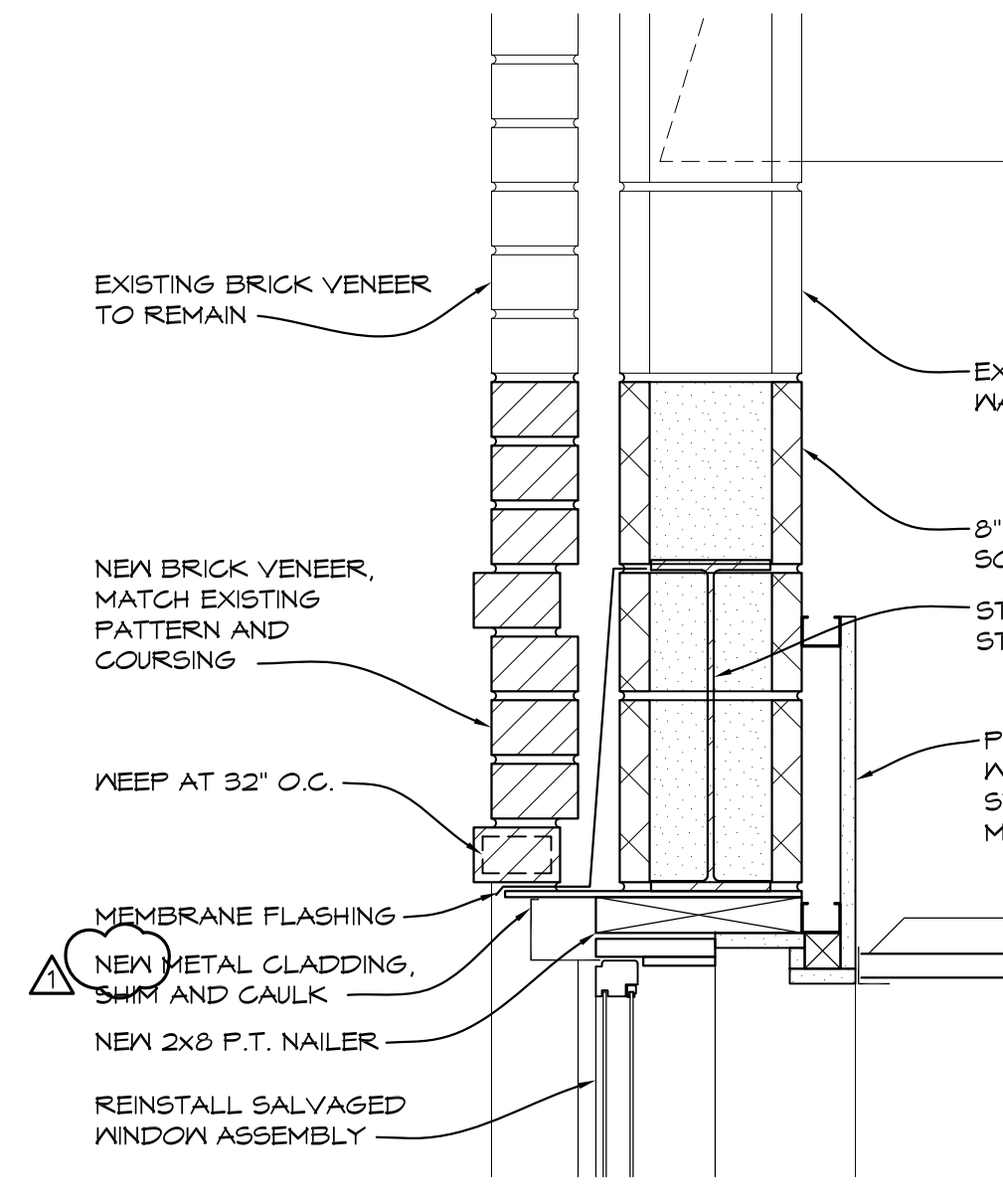
2 WALL SECTION
3/4" = 1'-0" WSEC01

3 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC02

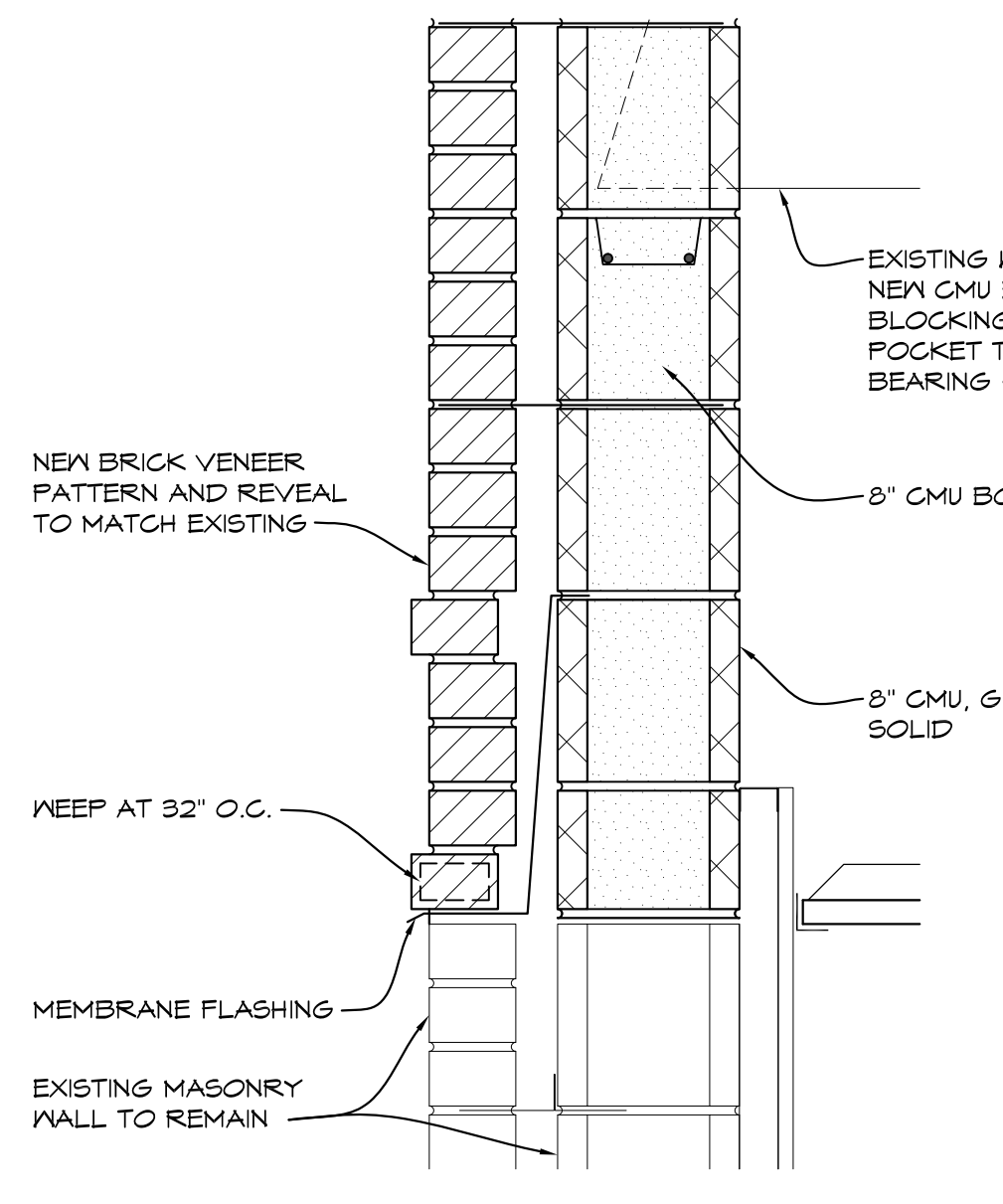
4 WALL SECTION
3/4" = 1'-0" WSEC02

5 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC15

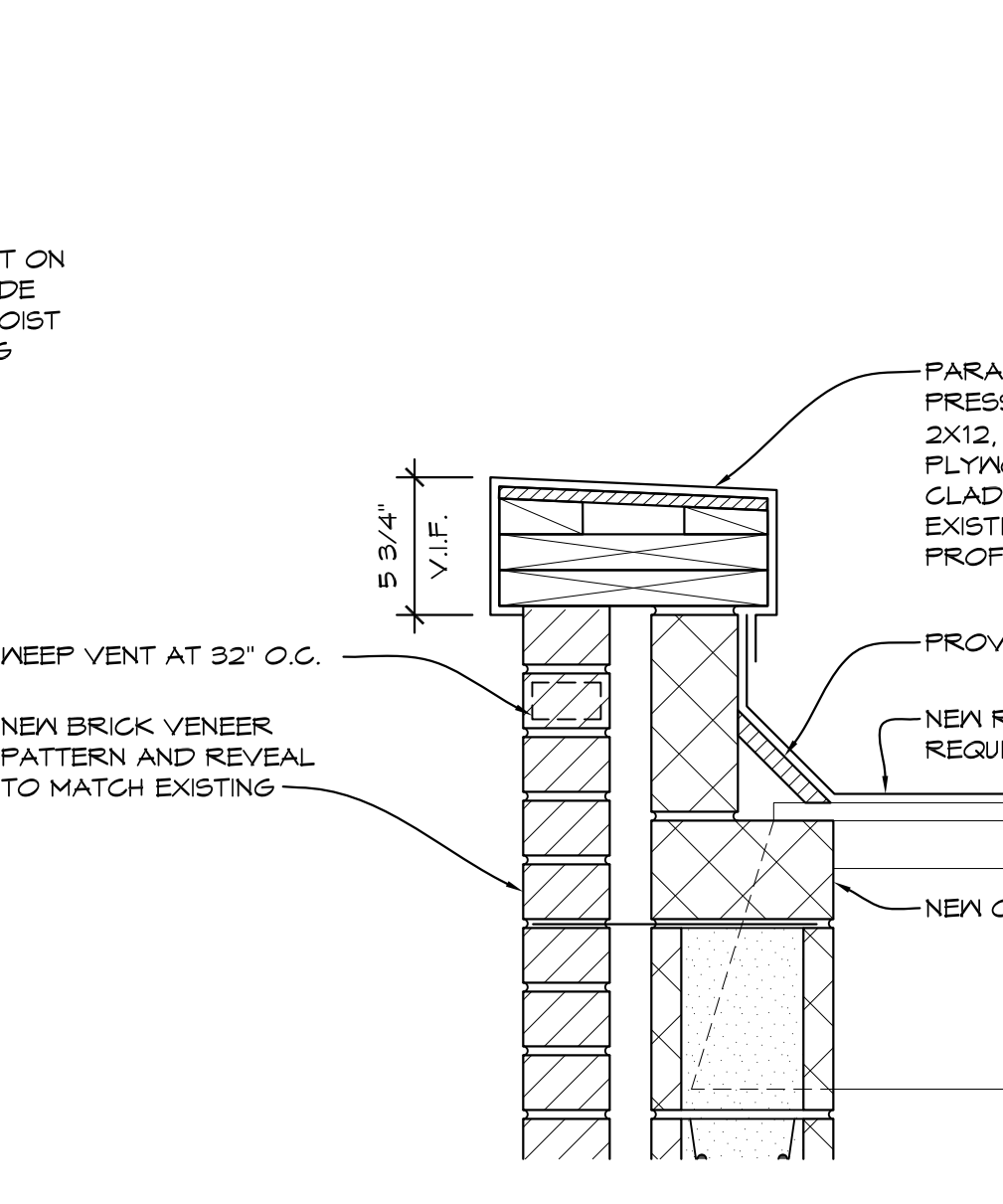
6 WALL SECTION
3/4" = 1'-0" WSEC15



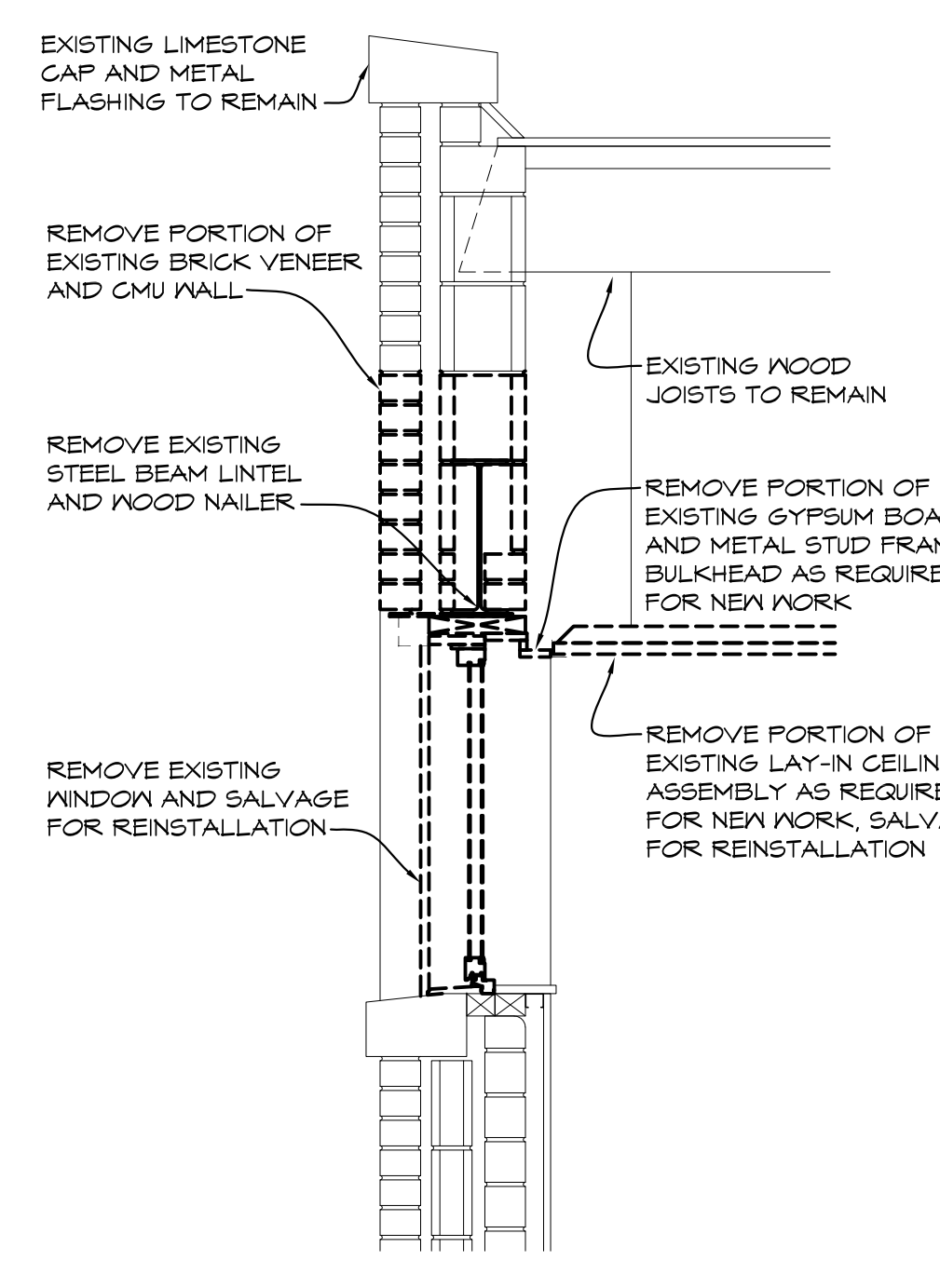
7 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC01



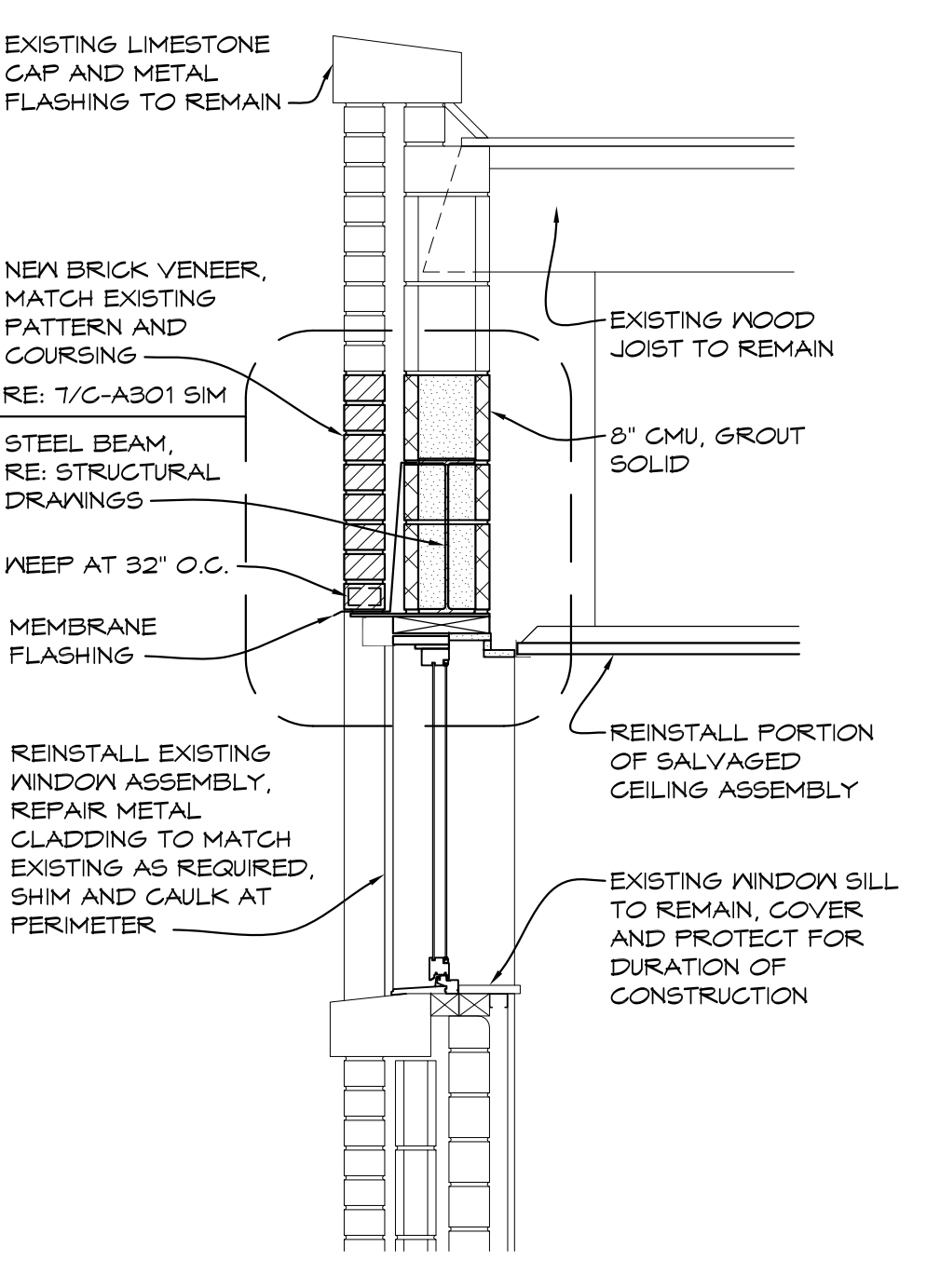
8 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC15



9 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC15



10 WALL SECTION
3/4" = 1'-0" WSEC03



11 WALL SECTION
3/4" = 1'-0" WSEC03

NO.	REVISIONS / SUBMISSIONS	DATE
2	ADDENDUM 2	11/25/24
1	ADDENDUM 1	11/14/24

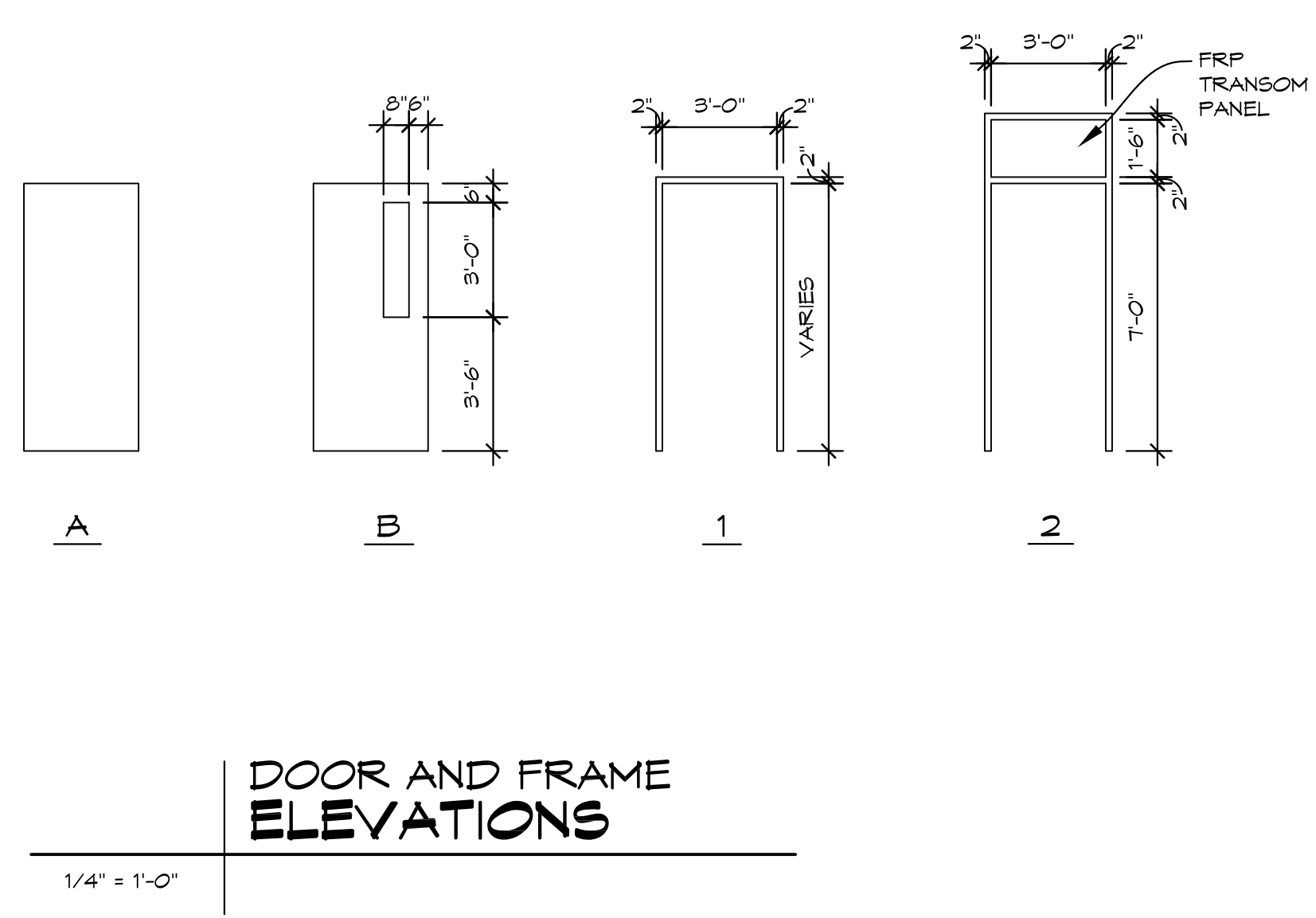
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
WALL SECTIONS

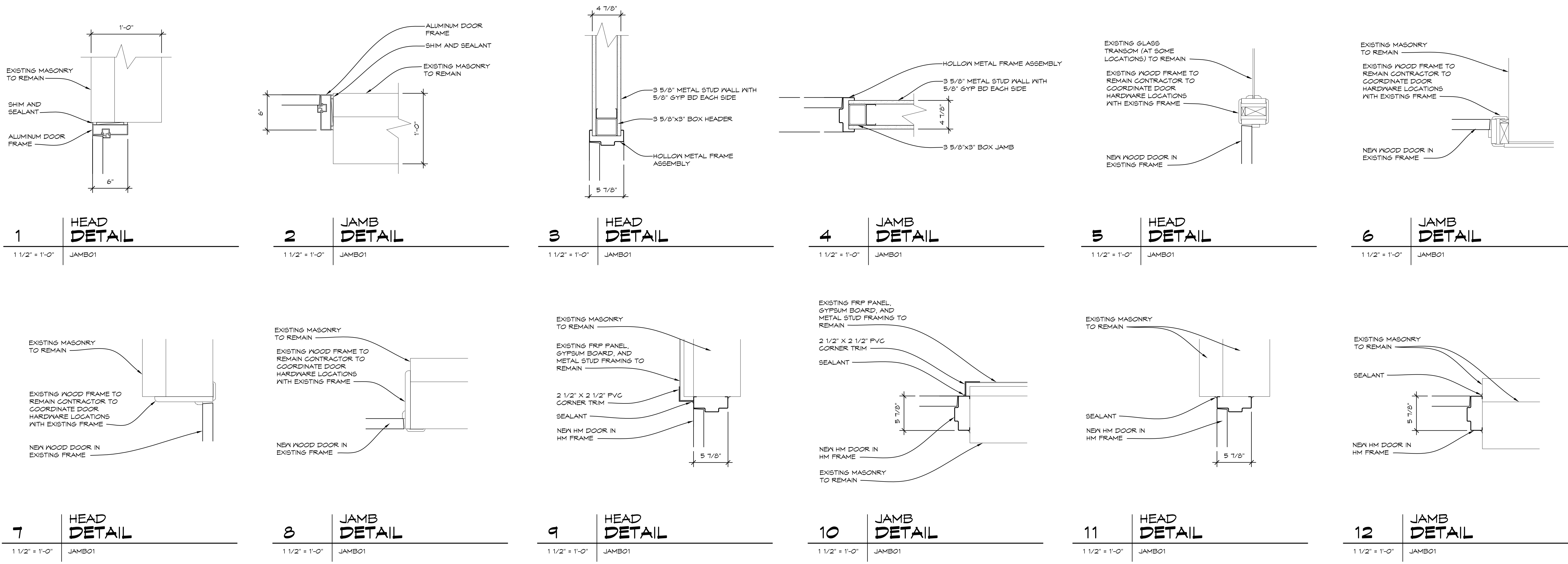
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	CHECKED JESS	CAD FILE NO. C-AB01
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-AB01
	SCALE AS NOTED	SHEET NO. 11 OF 21

DOOR & FRAME SCHEDULE										
DOOR NO.	DOOR				FRAME			FIRE RATING (HOURS)	HARDWARE	NOTES
	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD	JAMB			
113A	3'-0" x 7'-0"	A	VD	EX	VD	N/A	N/A	20	08	
125A	3'-0" x 6'-8"	A	VD	EX	VD	5/C-A601	6/C-A601	20	08	
132A	3'-0" x 6'-8"	A	HM	1	HM	11/C-A601	12/C-A601	45	11	
132B	3'-0" x 7'-0"	A	FRFP	2	ALUM	1/C-A601	2/C-A601	---	01	
134A	3'-0" x 7'-0"	B	VD	1	HM	3/C-A601	4/C-A601	20	06	1
135A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	06	1
145A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
146A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
147A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
148A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
149A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
150A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
151A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
152A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
154A	3'-0" x 7'-0"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
155A	3'-0" x 7'-0"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
156A	3'-0" x 7'-0"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
159A	3'-0" x 7'-2"	A	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
159B	3'-0" x 7'-2"	A	FRFP	1	ALUM	1/C-A601	2/C-A601	---	02	1
160A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	20	13	1
161A	3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	20	09	1
162A	3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	---	09	1
163A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	---	10	1
164A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	20	12	1
165A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	---	13	1
166A	3'-0" x 7'-0"	A	VD	EX	VD	7/C-A601	8/C-A601	20	06	1
167A	3'-0" x 7'-0"	A	HM	1	HM	9/C-A601	10/C-A601	45	03	



ROOM FINISH SCHEDULE										
ROOM NO.	ROOM TITLE	FLOOR	BASE	WALLS				CEILING	ACCESSORIES	NOTES
		MATERIAL	MATERIAL	NORTH	EAST	SOUTH	WEST	MATERIAL HEIGHT		
101	CONFERENCE ROOM	F02	B01	N/A	N/A	N/A	N/A			
102	MEDIA CENTER	F02	B01	N/A	N/A	N/A	N/A			
105	COMPUTER ROOM	F02	B01	N/A	N/A	N/A	N/A			
106	CLERICAL	F02	B01	N/A	N/A	N/A	N/A			
107	OFFICE	F02	B01	N/A	N/A	N/A	N/A			
109	WORK ROOM	F02	B01	N/A	N/A	N/A	N/A			
117	SPECIAL ED	N/A	N/A	NO1	NO1	NO1	NO1			
118	SPECIAL ED	N/A	N/A	NO1	NO1	NO1	NO1			
119	SPECIAL ED	N/A	N/A	NO1	NO1	NO1	NO1			
120	SPECIAL ED	N/A	N/A	NO1	NO1	NO1	NO1			
121	SPECIAL ED	N/A	N/A	NO1	NO1	NO1	NO1			
134	MUSIC	F01	B01	NO1	NO1	NO1	NO1			
135	ART ROOM	F01	B01	NO1	NO1	NO1	NO1			
139	SCIENCE	F01	B01	NO1	NO1	NO1	NO1			
140	CLASSROOM	F01	B01	NO1	NO1	NO1	NO1			
141	CLASSROOM	F01	B01	NO1	NO1	NO1	NO1			
143	CLASSROOM	F01	B01	NO1	NO1	NO1	NO1			
144	CLASSROOM	F01	B01	NO1	NO1	NO1	NO1			
145	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
146	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
147	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
148	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
149	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
150	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
151	KINDERGARTEN	F01	B02	NO1	NO1	NO1	NO1			
152	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
154	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
155	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			
156	CLASSROOM	F01	B02	NO1	NO1	NO1	NO1			

ROOM FINISH LEGEND		
FLOOR F01	LVT	
F02	CARPET	
BASE B01	4" VINYL	
B02	SHOE MOLDING, STAINED TO MATCH EXISTING	
WALLS NO1	EXISTING - PAINT	
CEILING CO1		
ACCESSORIES AO1		
NOTES NO1		



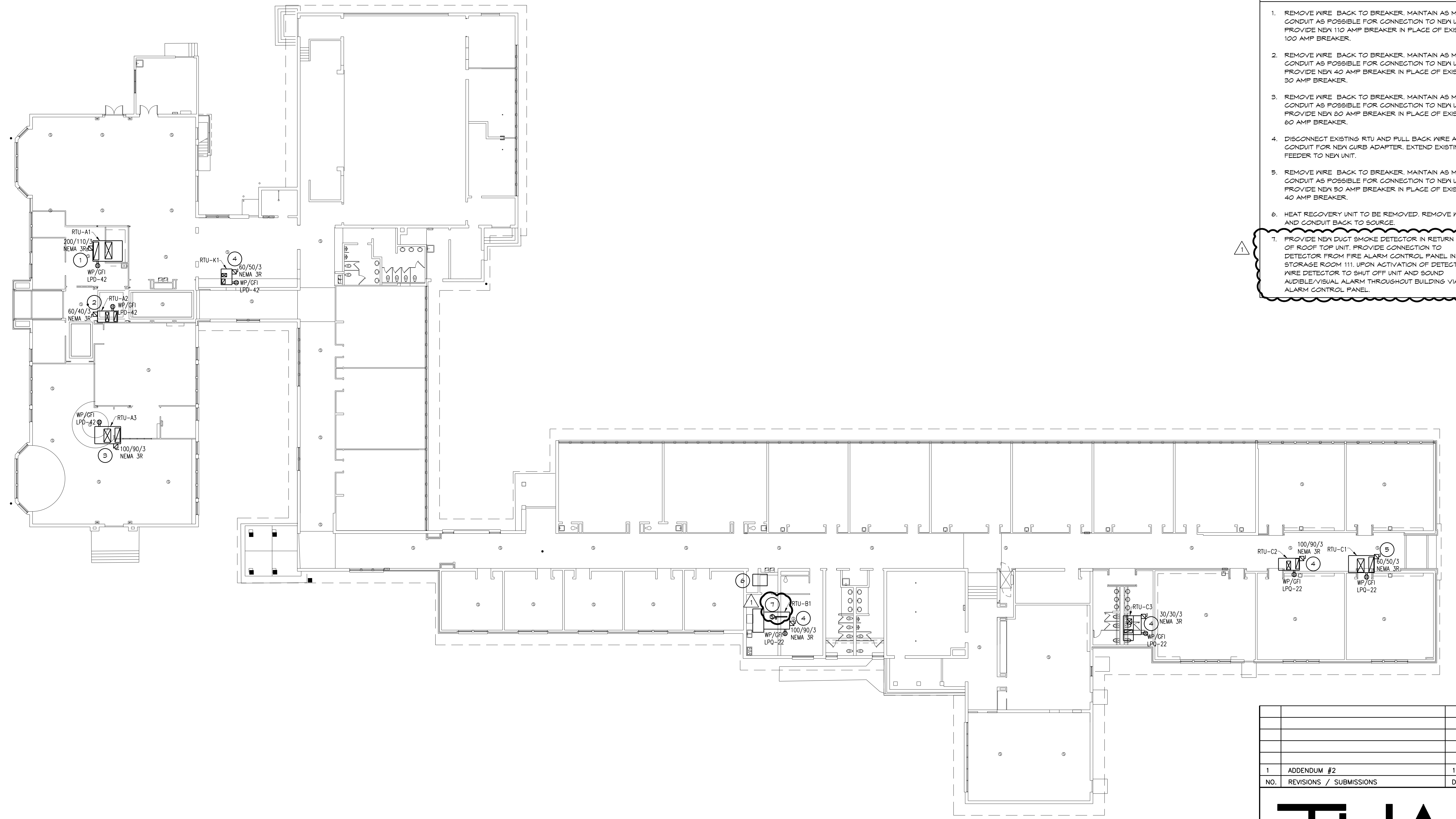
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
 1037 S. ROSEVILLE RD
 MIDLAND, MI

DRAWING TITLE:
DOOR SCHEDULE
ROOM FINISH SCHEDULE,
& DETAILS

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A601
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A601
	SCALE AS NOTED	SHEET NO. 12 OF 21

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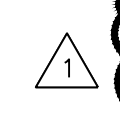
NORTH
1/16" = 1'-0"
X01
ROOF ELECTRICAL PLAN

GENERAL NOTES

1. COORDINATE ALL MECHANICAL DISCONNECTS AND BREAKERS PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

1. REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 110 AMP BREAKER IN PLACE OF EXISTING 100 AMP BREAKER.
2. REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 40 AMP BREAKER IN PLACE OF EXISTING 30 AMP BREAKER.
3. REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 80 AMP BREAKER IN PLACE OF EXISTING 60 AMP BREAKER.
4. DISCONNECT EXISTING RTU AND PULL BACK WIRE AND CONDUIT FOR NEW CURB ADAPTER. EXTEND EXISTING FEEDER TO NEW UNIT.
5. REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 50 AMP BREAKER IN PLACE OF EXISTING 40 AMP BREAKER.
6. HEAT RECOVERY UNIT TO BE REMOVED. REMOVE WIRE AND CONDUIT BACK TO SOURCE.
7. PROVIDE NEW DUCT SMOKE DETECTOR IN RETURN DUCT OF ROOF TOP UNIT. PROVIDE CONNECTION TO DETECTOR FROM FIRE ALARM CONTROL PANEL IN STORAGE ROOM 111. UPON ACTIVATION OF DETECTOR, WIRE DETECTOR TO SHUT OFF UNIT AND SOUND AUDIBLE/VISUAL ALARM THROUGHOUT BUILDING VIA FIRE ALARM CONTROL PANEL.



PROJECT 'C'

1	ADDENDUM #2	11/25/24
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ELECTRICAL ROOF PLAN

SEAL	DRAWN TJA 24-120	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. A-E000
	REVIEWED RCH	DRAWING NO. C-E103
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	21 OF 21

THA Architects Engineers - C-010 ELECTRICAL ROOF PLAN
PLOT DATE: 11/25/2024 2:36 PM

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

STANDARD ABBREVIATIONS

at	air conditioning	KO	knockout
A/C	acoustical	LAM	laminated
ACUST	adjustable	LAV	lavatory
AD	above Finish floor	LH	left hand
ALF	aluminum	LL	live load
ALUM	aluminum	LLH	long leg horizontal
ANCH	anchor, anchorage	LLV	long leg vertical
ARCH	architect/architectural	LTY	light weight
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	blotting	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRG	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHNR	chilled water return	OA	overall
CHAS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit		
CO	clean out	PCF	pounds per cubic foot
COL	column	PLAS	plaster
CONC	concrete	±	plus or minus
CONST	construction	PLF	pounds per linear foot
CONT	continues/continuing	PSF	pounds per square foot
CONTR	contract/contractor	PSI	pounds per square inch
CONV	convector	PART	partition
CRS	course(s)	PVC	polyvinyl chloride
CT	ceramic tile	PMT	pavement
CUH	cabinet unit ventilator		
CW	domestic cold water		
CY	cubic yard		
°	degree		
DET	detail	R	riser/radius
DF	drinking fountain	RA	return air
DIAS	diagonal	RD	roof drain
DIA or Ø	diameter	RE	reference
DM	dimension	REF	refrigerator
DIV	division	REIN	reinforce(d)/reinforcing
DP	dampproofing	RES	resilient
DS	downspout	REV	revision(s)/revised
DWG	drawing	RH	right hand
		RM	room
EA	each	RO	rough opening
EFS	exterior insulation finish system (synthetic plaster)	ROW	right of way
ELEG	electric/electrical	RS	roof sump
EQ	equal	RAC	rainwater conductor
EQUIP	equipment	SAN	sanitary
EW	electric water cooler	SD	storm drain
EXST	existing	SECT	section
EXH	exhaust	SHT	sheet
EXT	exterior	SM	similar
		SPEC	specification(s)
FA	fire alarm	SQ	squares
FAI	fresh air intake	SS	service sink
FD	floor drain	SSS	stainless steel
FE	fire extinguisher	STL	steel
FEC	fire extinguisher cabinet	STD	standard
FIN	Finish(ed)	SUSP	suspended
FL	flooring	SYM	symmetry/symmetrical
FOUND	foundation		
FTR	fin tube radiation	T&G	tongue/groove
FTG	footing	TB	tackboard
		TEL	telephone
G	gas	TER	terrace
GA	gauge/gauge	THR	threshold
GC	general contractor	TV	television
GI	galvanized iron	TYP	typical
GL	glass/glazing		
GST	glazed structural tile		
GALV	galvanized	UH	unit heater
		UR	unit ventilator
HB	hose bibb	UY	unit ventilator
HDA	hardware	V	vent
HM	hollow metal	VERT	vertical
HORIZ	horizontal		
HGT	height	W	width/wide
HTG	heating	W/W	with
HVAC	heating/ventilating/air conditioning	WC	water closet
HW	domestic hot water	WD	wood
HWHR	hot water heating return	WH	water heater
HWHS	hot water heating supply	WI	wrought iron
HWR	domestic hot water return	W/W	wall to wall
		WWR	welded wire reinforcement
ID	inside dimension		
INT	interior		
INV	invert		

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACOUST TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	FLYWOOD

SYMBOLS KEY

	NORTH		NORTH ARROW
	EXISTING ELEVATION POINT		NEX ELEVATION POINT
	ELEVATION TARGET		COLUMN NUMBER
	COLUMN CENTERLINE		BUILDING SECTION
	WALL SECTION		DETAIL BUBBLE
	ROOM NAME		ROOM NUMBER
	DOOR NUMBER		WINDOW NUMBER
	INTERIOR ELEVATION		DEMOLITION NOTE

DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES
 2015 MICHIGAN BUILDING CODE
 2021 MICHIGAN MECHANICAL CODE
 2021 MICHIGAN PLUMBING CODE
 2017 MICHIGAN ELECTRICAL CODE

SITE AREA
 35.36± ACRES (ENTIRE HIGH SCHOOL SITE)

BUILDING AREA
 NEW BUILDING AREA = 2560 S.F.

BUILDING HEIGHT
 NEW BUILDING AREA = 20'-0"

BUILDING USE
 (NEW) : S-1

BUILDING CONSTRUCTION TYPE
 TYPE VB

OCCUPANCY
 3 OCCUPANTS

ASSUMED SOIL BEARING CAPACITY
 1500 PSF

**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT #24-120**

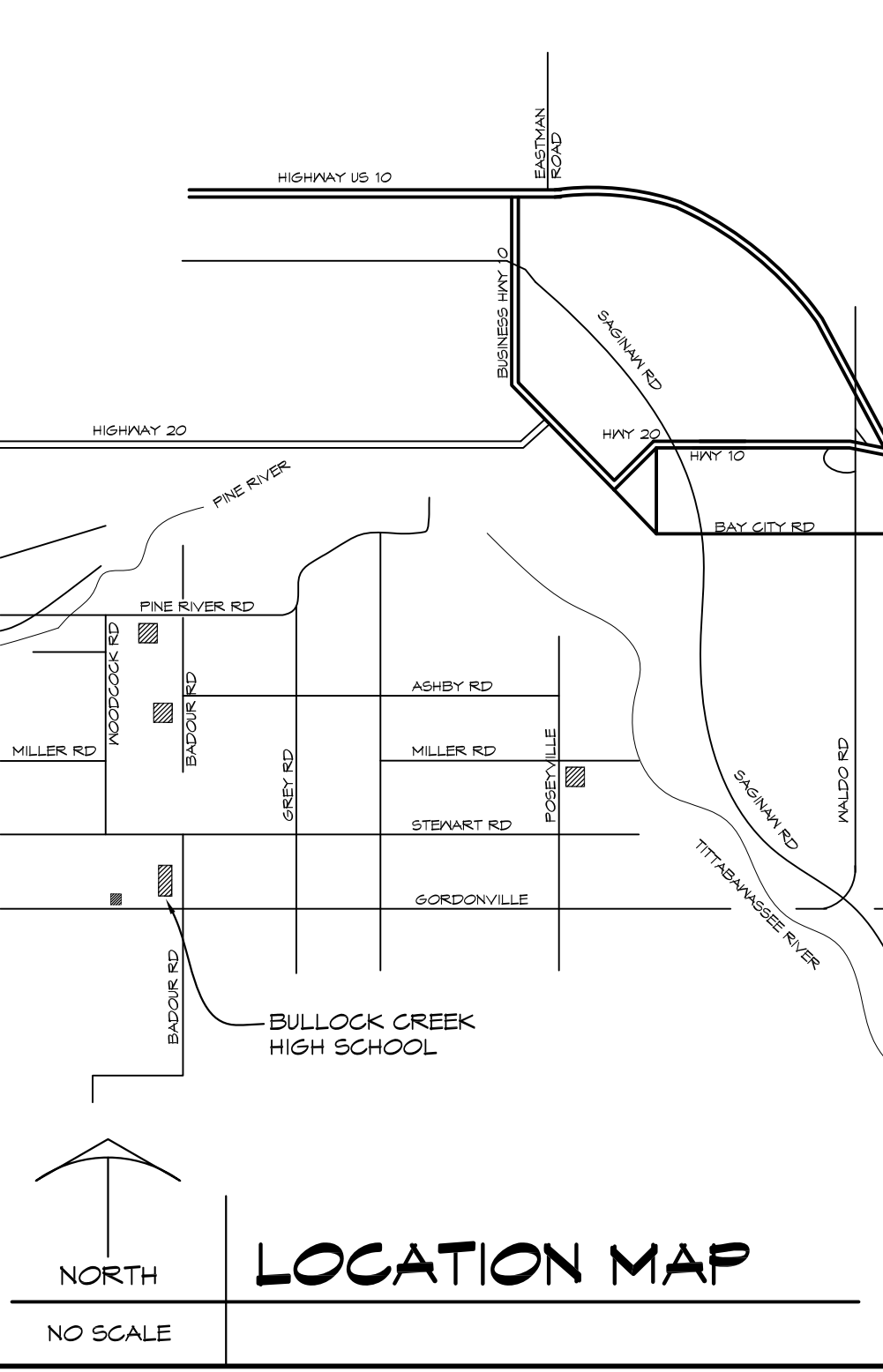
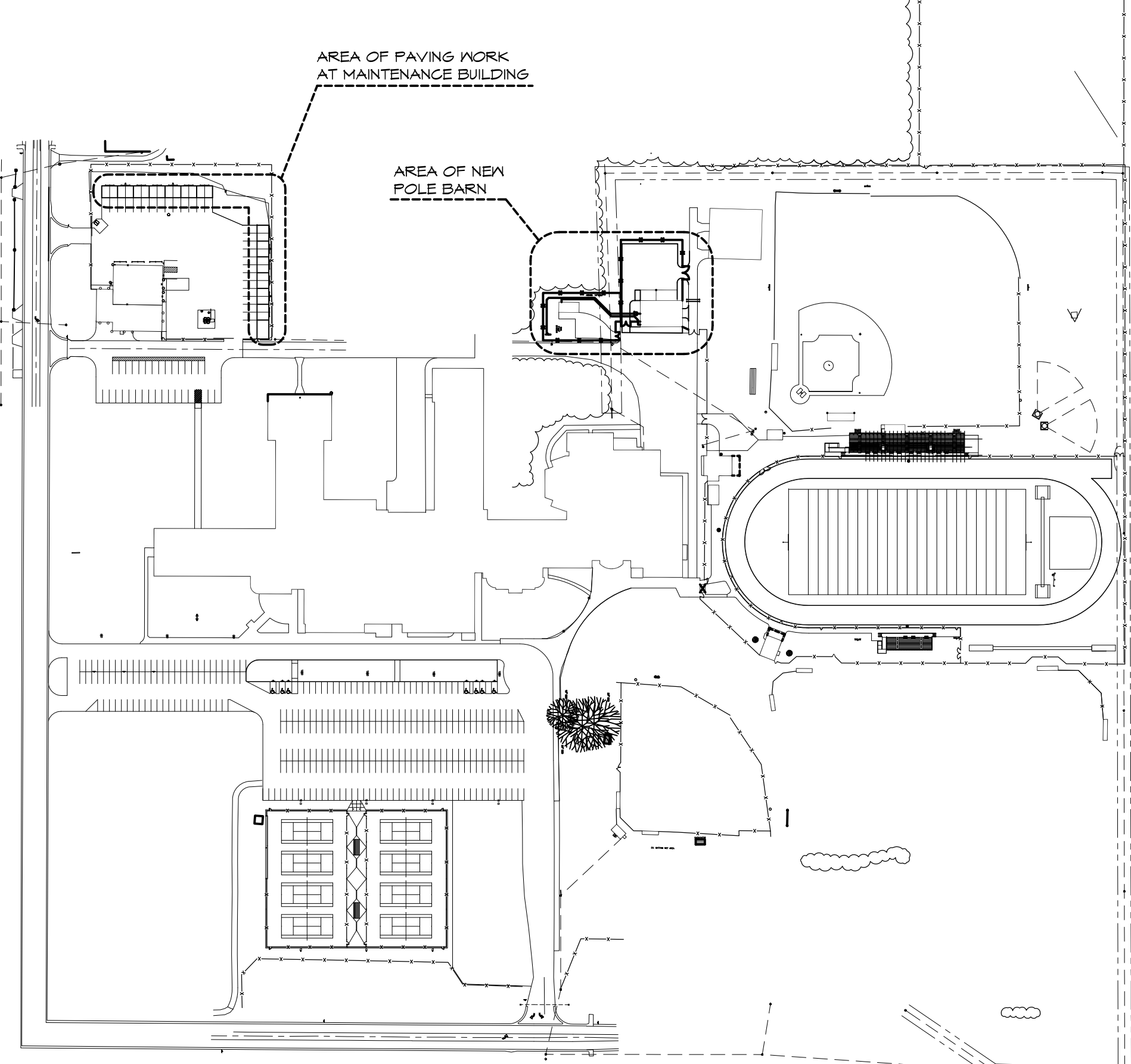
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

**PROJECT 'F'
 SITE WORK AT MAINTENANCE BUILDING &
 NEW POLE BARN**

1420 SOUTH BADOUR ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

- F-G001 TITLE SHEET
- F-C101 SITE DEMOLITION PLAN
- F-C102 SITE DEVELOPMENT PLAN
- F-C103 MAINTENANCE BUILDING SITE DEVELOPMENT PLAN
- F-C104 SESS PLANS
- F-A101 POLE BARN PLANS AND ELEVATIONS
- F-A102 POLE BARN SECTIONS
- F-A103 POLE BARN ENLARGED DETAILS
- F-A104 MAINTENANCE BUILDING PARTIAL DEMOLITION PLAN, PARTIAL FLOOR PLAN AND DETAIL
- F-MP101 POLE BARN MECHANICAL & PLUMBING PLAN
- F-E000 ELECTRICAL COVER SHEET
- F-E101 SITE ELECTRICAL DEMOLITION PLAN
- F-E102 SITE ELECTRICAL PLAN



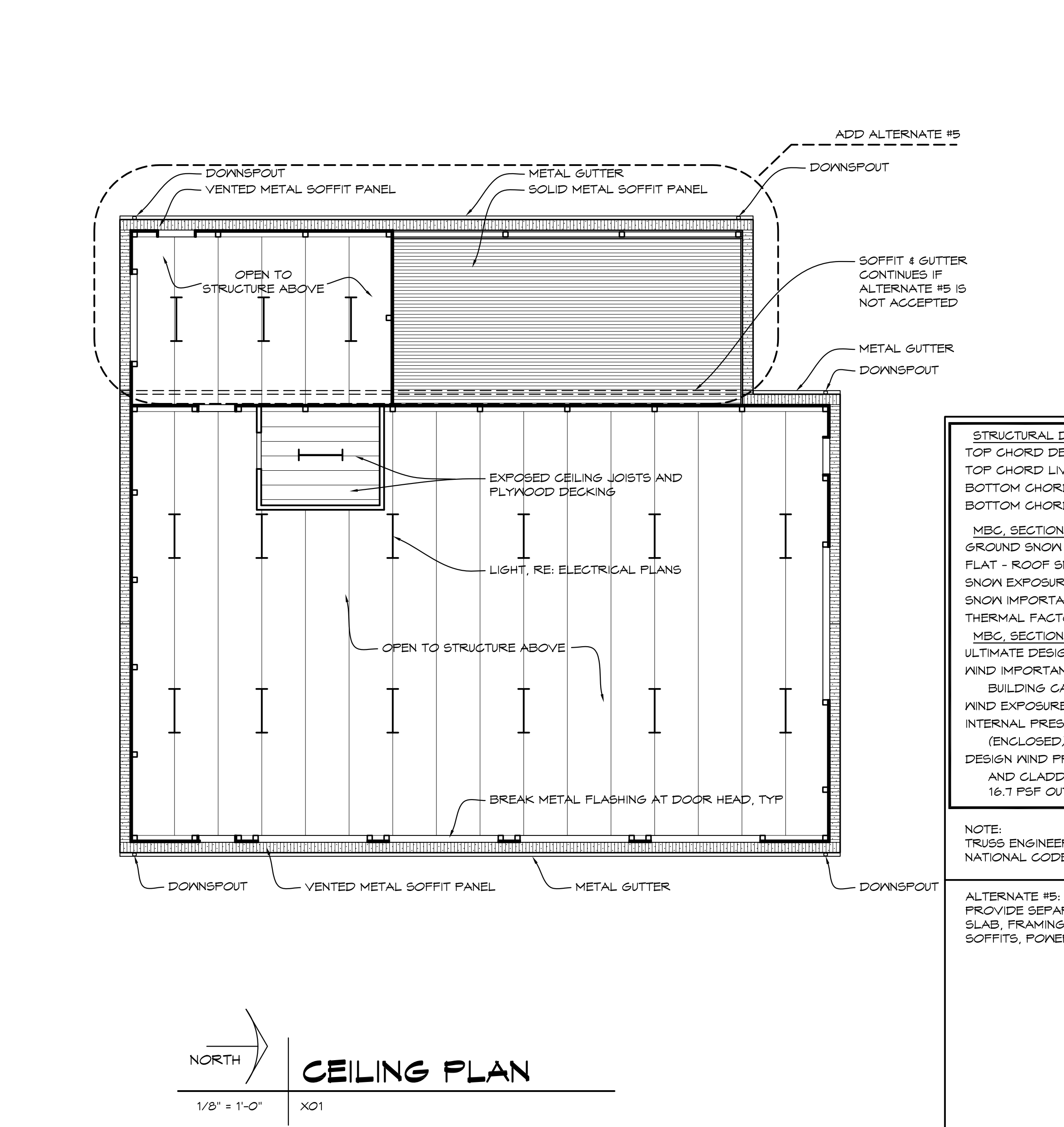
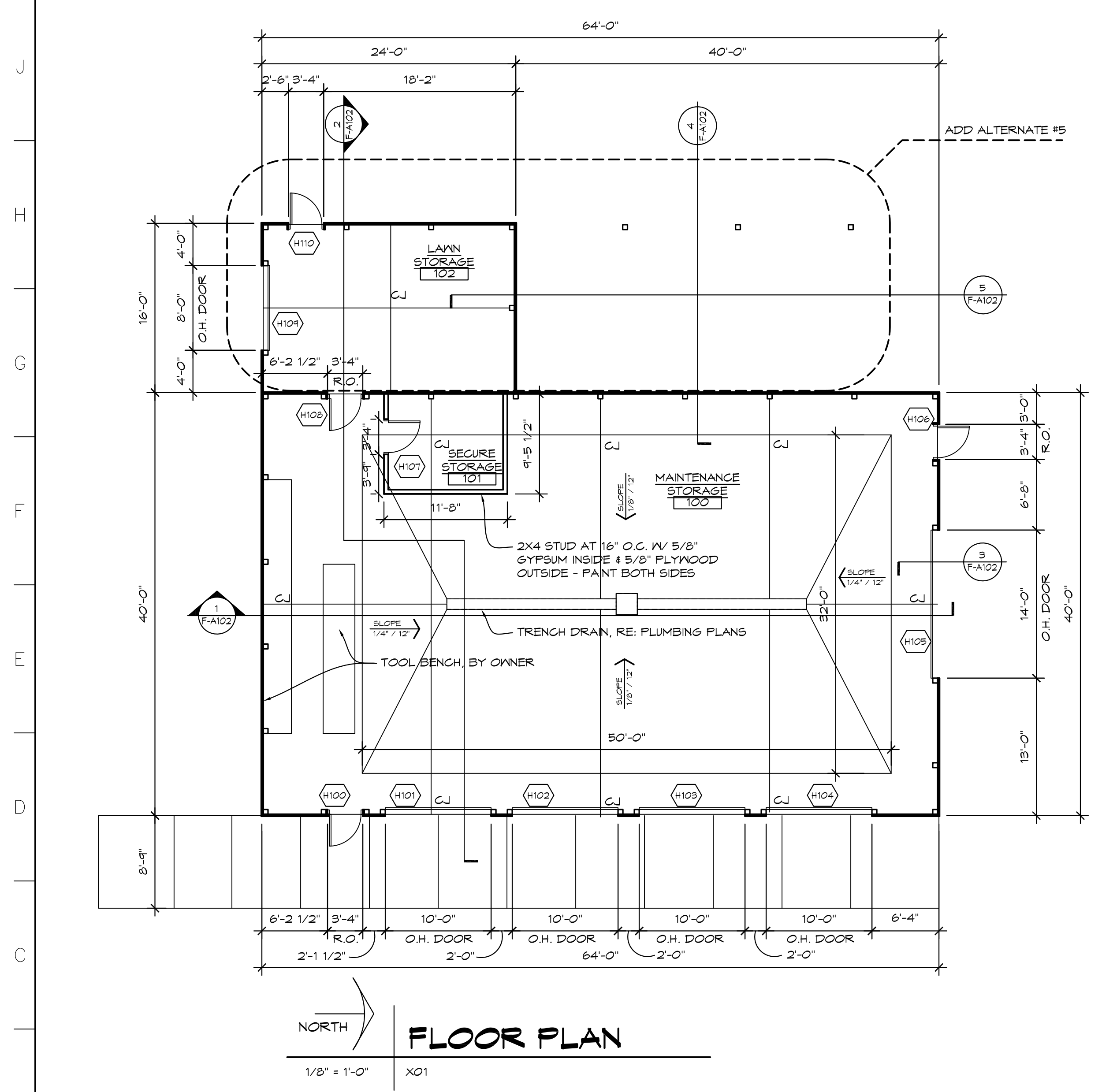
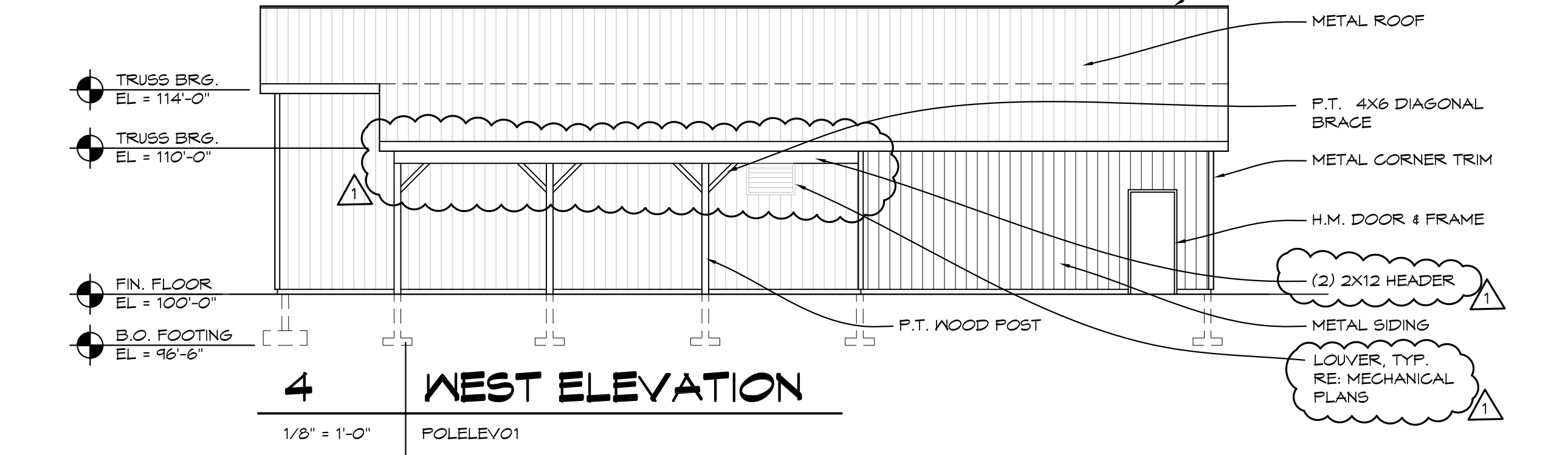
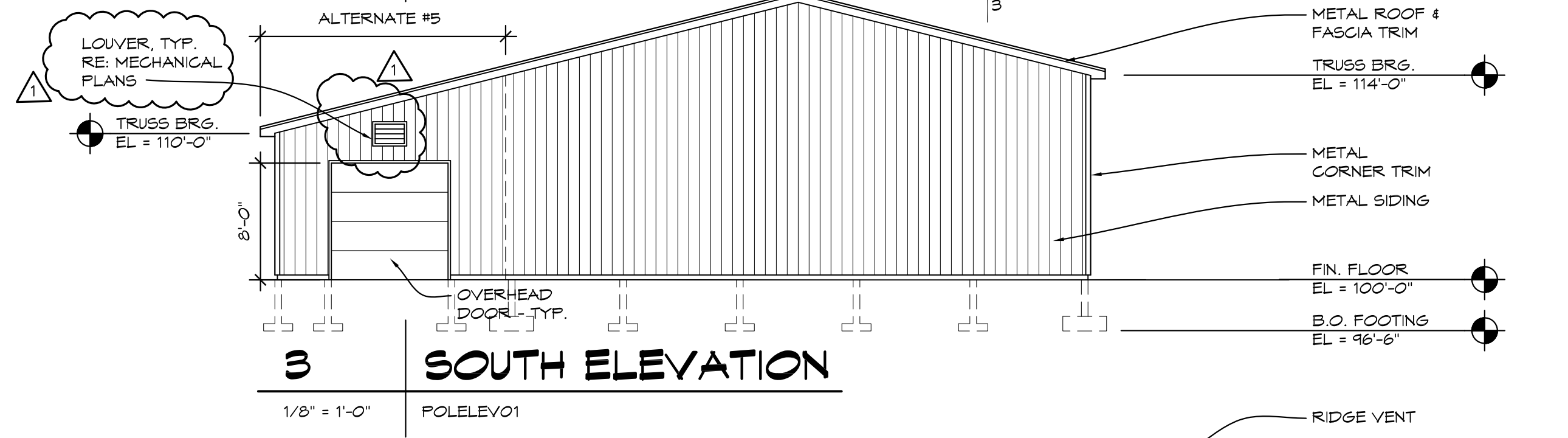
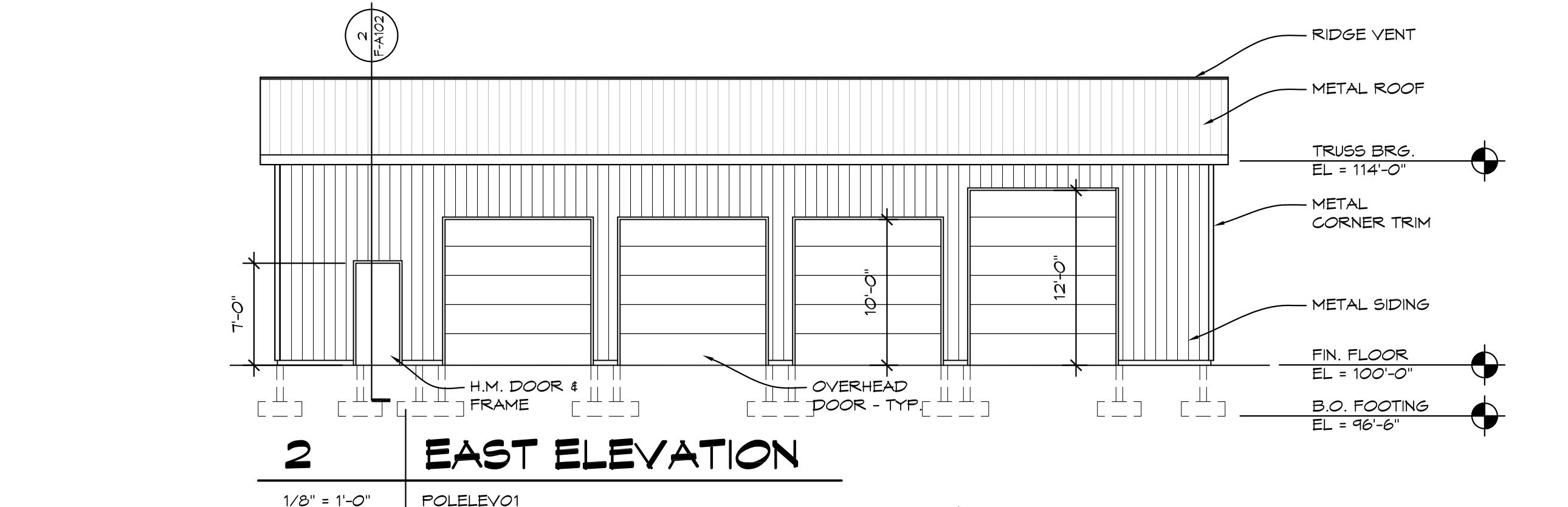
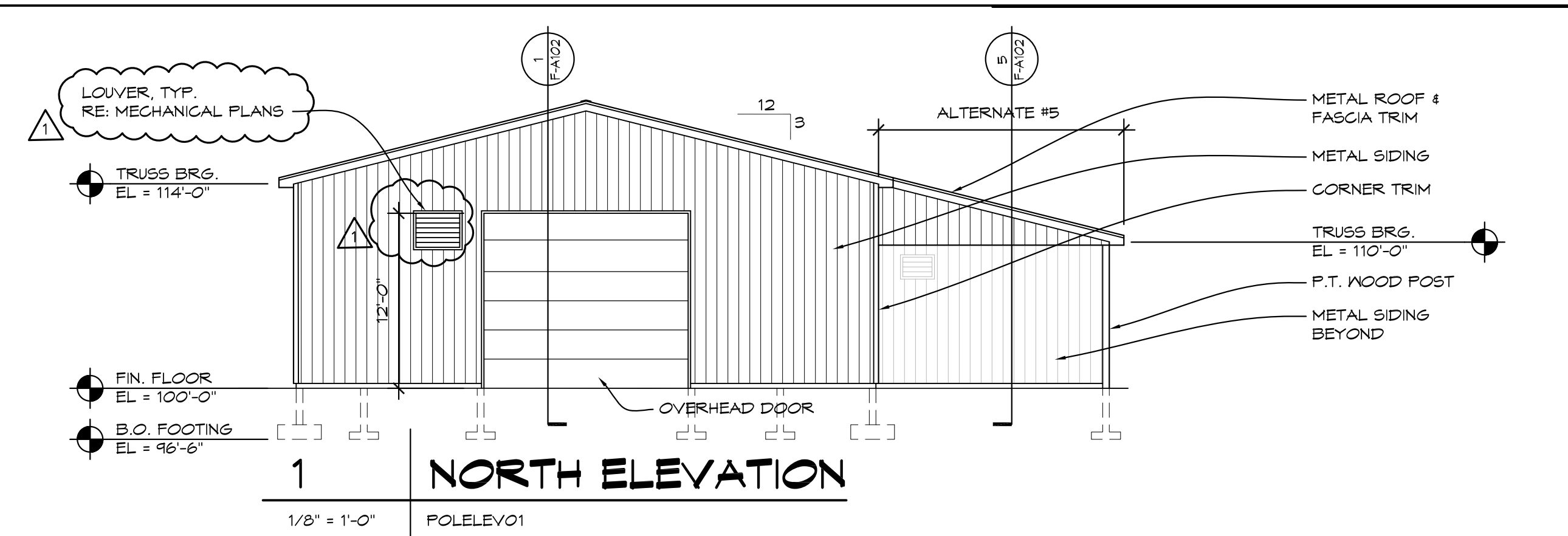
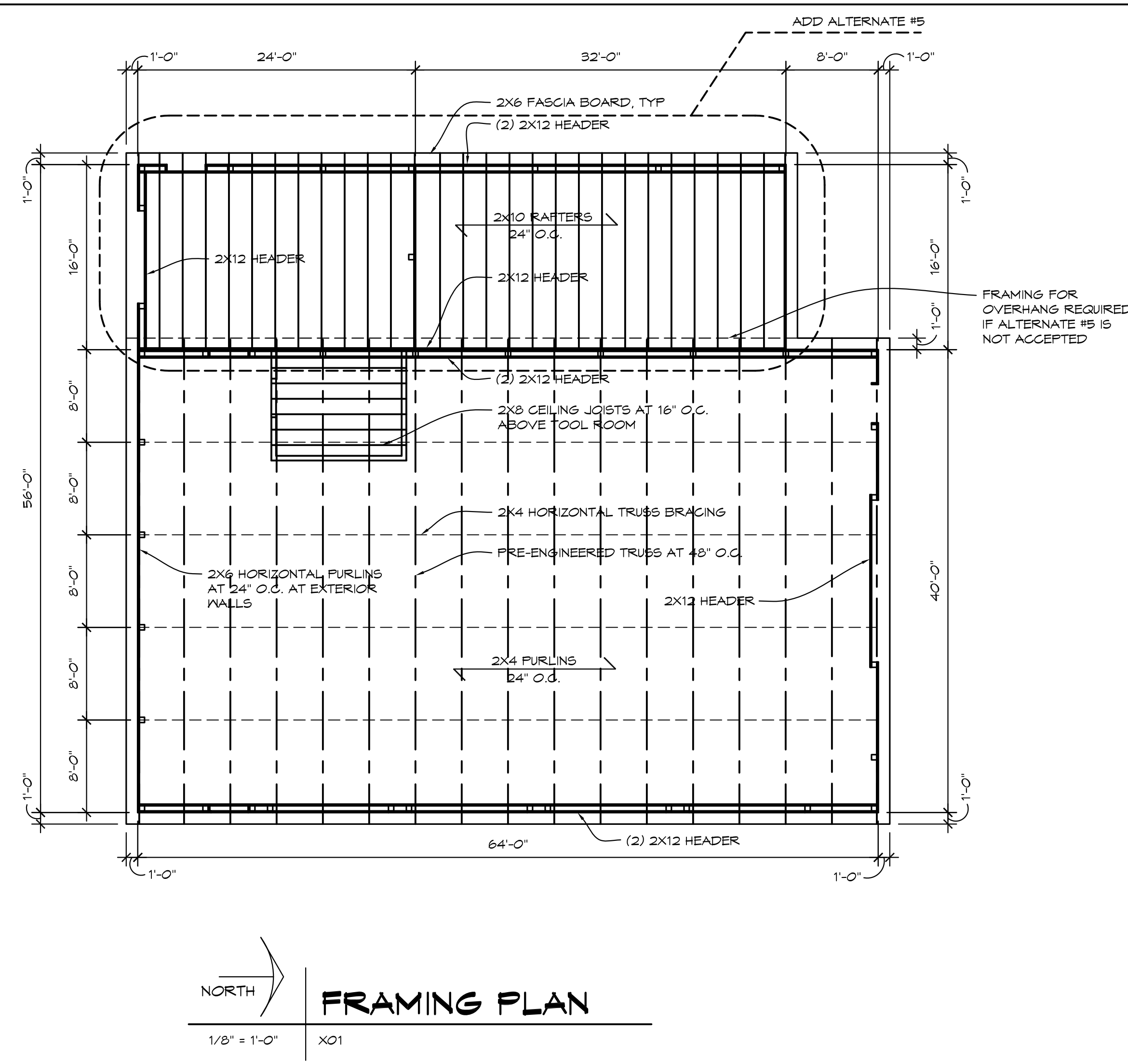
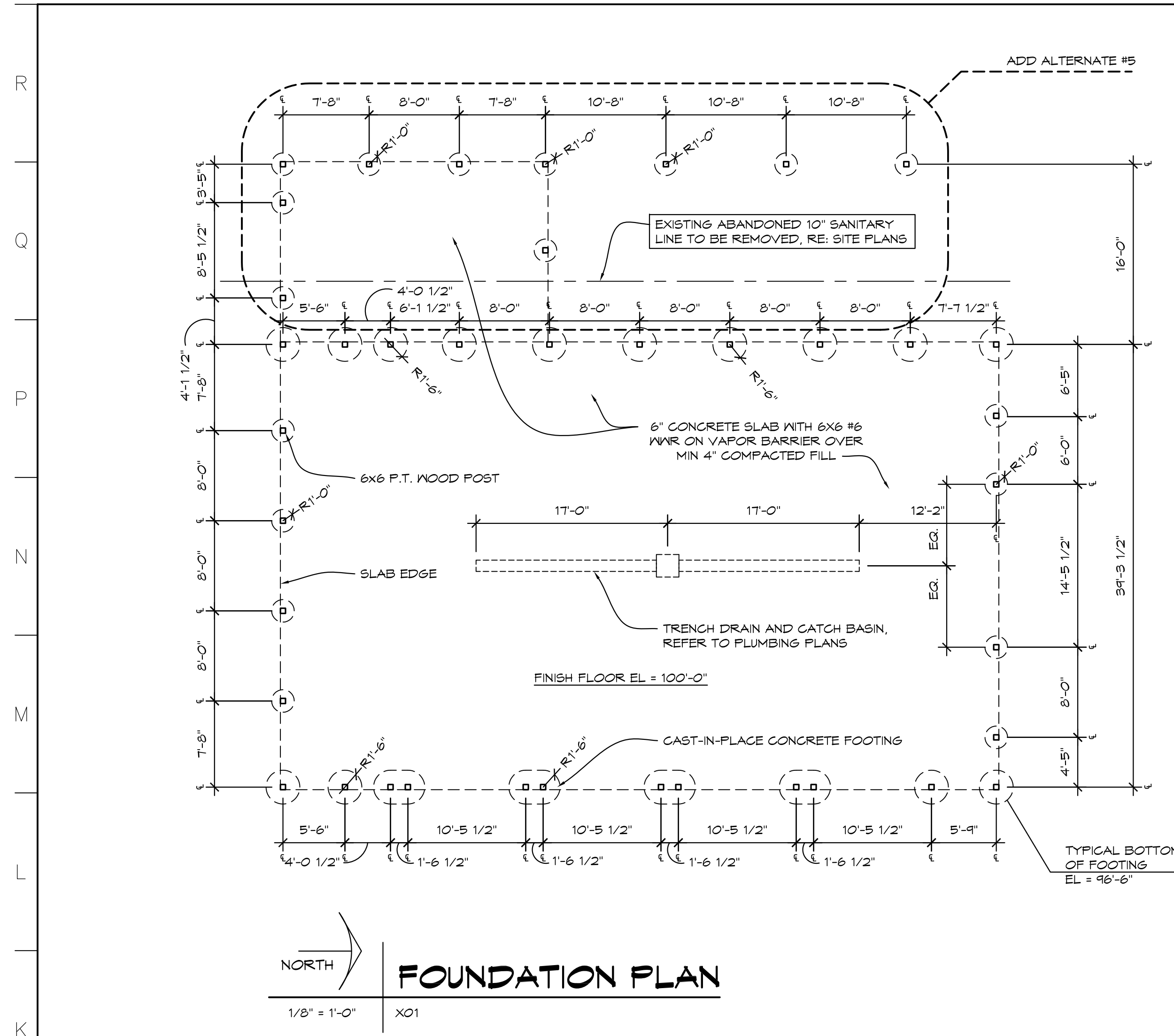
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 www.wolcastconstruction.com

**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT# 24-120**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640
**PROJECT 'F'
 SITE WORK AT MAINTENANCE BUILDING &
 NEW POLE BARN**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640

2	ADDENDUM #2	11/25/24
1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE
SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. F-G001
	REVIEWED MLB	DRAWING NO. F-G001
	DATE OCT 18, 2024	SHEET NO. 1 OF 13
	SCALE N.T.S.	

THA Architects Engineers - P:\Bullock Creek 24-120 2023 Bond Series 1 2025 Improvements\Drawing 01-CAD\BIC-MT-RELEDFG001 - ADD #2 - 11/14/24
 Plot Date: 11/20/2024 9:43 AM



STRUCTURAL DESIGN CRITERIA
 TOP CHORD DEAD LOAD = 7 PSF
 TOP CHORD LIVE LOAD (SNOW) = 32 PSF
 BOTTOM CHORD LIVE LOAD = 15 PSF
 BOTTOM CHORD DEAD LOAD = 0 PSF
 MBC SECTION 1603.1.3
 GROUND SNOW LOAD - Pg = 30 PSF
 FLAT - ROOF SNOW LOAD - Pf = 27.1 PSF
 SNOW EXPOSURE FACTOR - Ce = 1.0
 SNOW IMPORTANCE FACTOR - Is = 1.0
 THERMAL FACTOR - Ct = 1.2
 MBC SECTION 1604
 ULTIMATE DESIGN WIND SPEED = 115 MPH
 WIND IMPORTANCE FACTOR - Iw = 1.15
 BUILDING CATEGORY = CAT 2
 WIND EXPOSURE = EXP. B
 INTERNAL PRESSURE COEFFICIENT = +/- 0.18 (ENCLOSED)
 DESIGN WIND PRESSURES FOR COMPONENTS AND CLADDING = 11.6 PSF INWARD, 16.7 PSF OUTWARD

NOTE:
 TRUSS ENGINEER TO COMPLY WITH ALL LOCAL, STATE, AND NATIONAL CODES AND LOADING REQUIREMENTS.

ALTERNATE #5:
 PROVIDE SEPARATE PRICING FOR ALL FOOTINGS, CONCRETE SLAB, FRAMING, METAL SIDING, DOORS, FASCIAS, SOFFITS, POWER, AND LIGHTING WITHIN THE AREA SHOWN.

GENERAL NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
- OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
- COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
- REPAIR ALL WALLS, FLOORS AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

GENERAL FOUNDATION NOTES

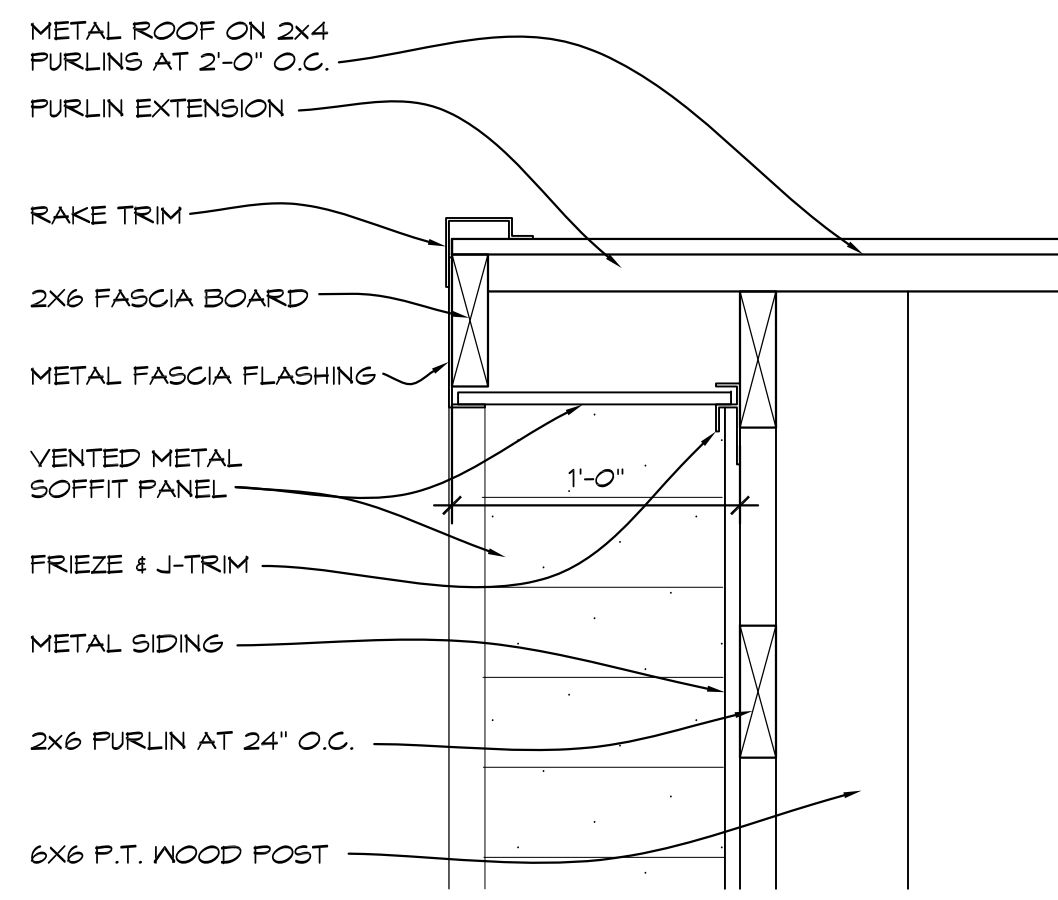
- FINISH FLOOR = 100'-0"
- ALL EXTERIOR FOOTINGS TO HAVE BOTTOM OF FOOTING AT 96'-6" UNLESS OTHERWISE NOTED
- PROVIDE 6" CONCRETE FLOOR SLAB IV 6x6x16 WVR ON VAPOR BARRIER OVER COMPACTED SAND FILL AT ALL SLAB ON GRADE AREAS UNLESS OTHERWISE NOTED
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL WITH MINIMUM BEARING CAPACITY OF 1,500 PSF
- PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS IN CONCRETE FLOOR SLABS AS SHOWN
- PROVIDE FIBER REINFORCED CONCRETE AT POST FOOTINGS - TYP. RE. SPEC

NO.	REVISIONS / SUBMISSIONS	DATE
1	APPENDUM #2	11/25/24

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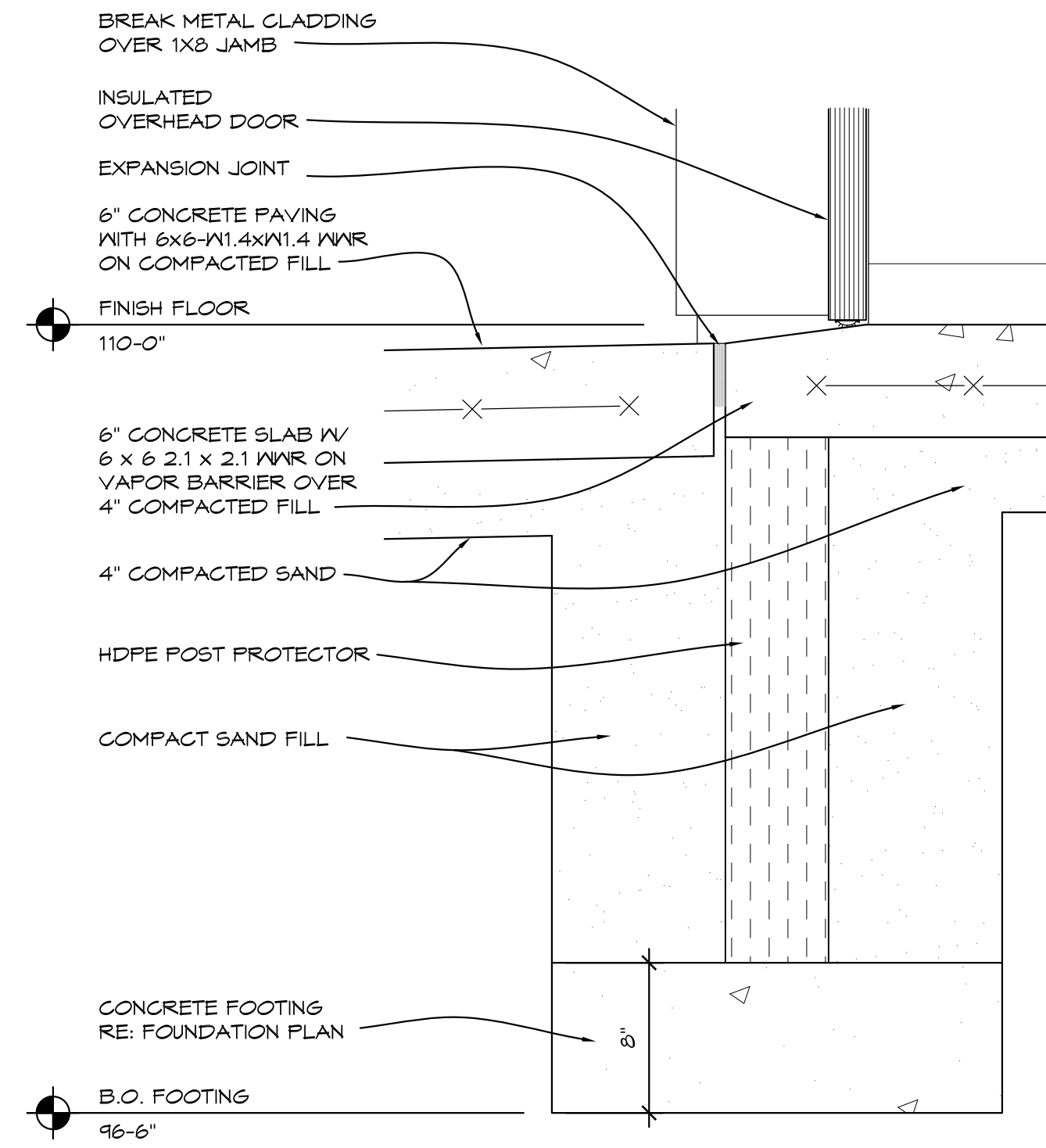
PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
 1420 SOUTH BADOUR ROAD
 MIDLAND, MI

DRAWING TITLE		PROJECT NO.	
POLE BARN PLANS AND ELEVATIONS		24-120	
SEAL		CAD FILE NO.	F-A101
DRAWN		REVIEWED	DRAWING NO.
EVA		MLB	F-A101
CHECKED		DATE	SHEET NO.
JESS		OCT 18, 2024	6 OF 13
SCALE		1/8" = 1'-0"	



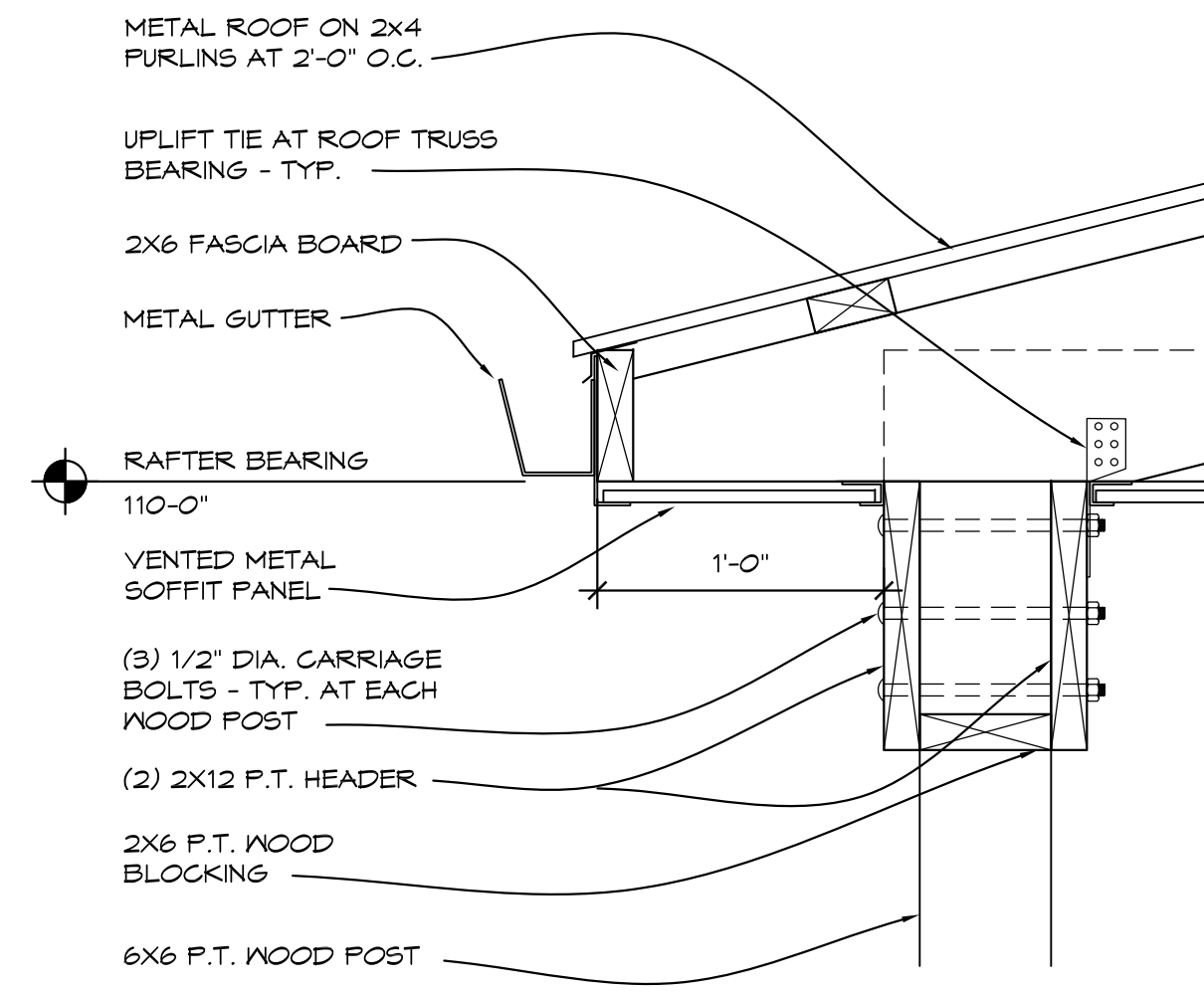
1 FASCIA DETAIL

1 1/2" = 1'-0" SEC01.DWG



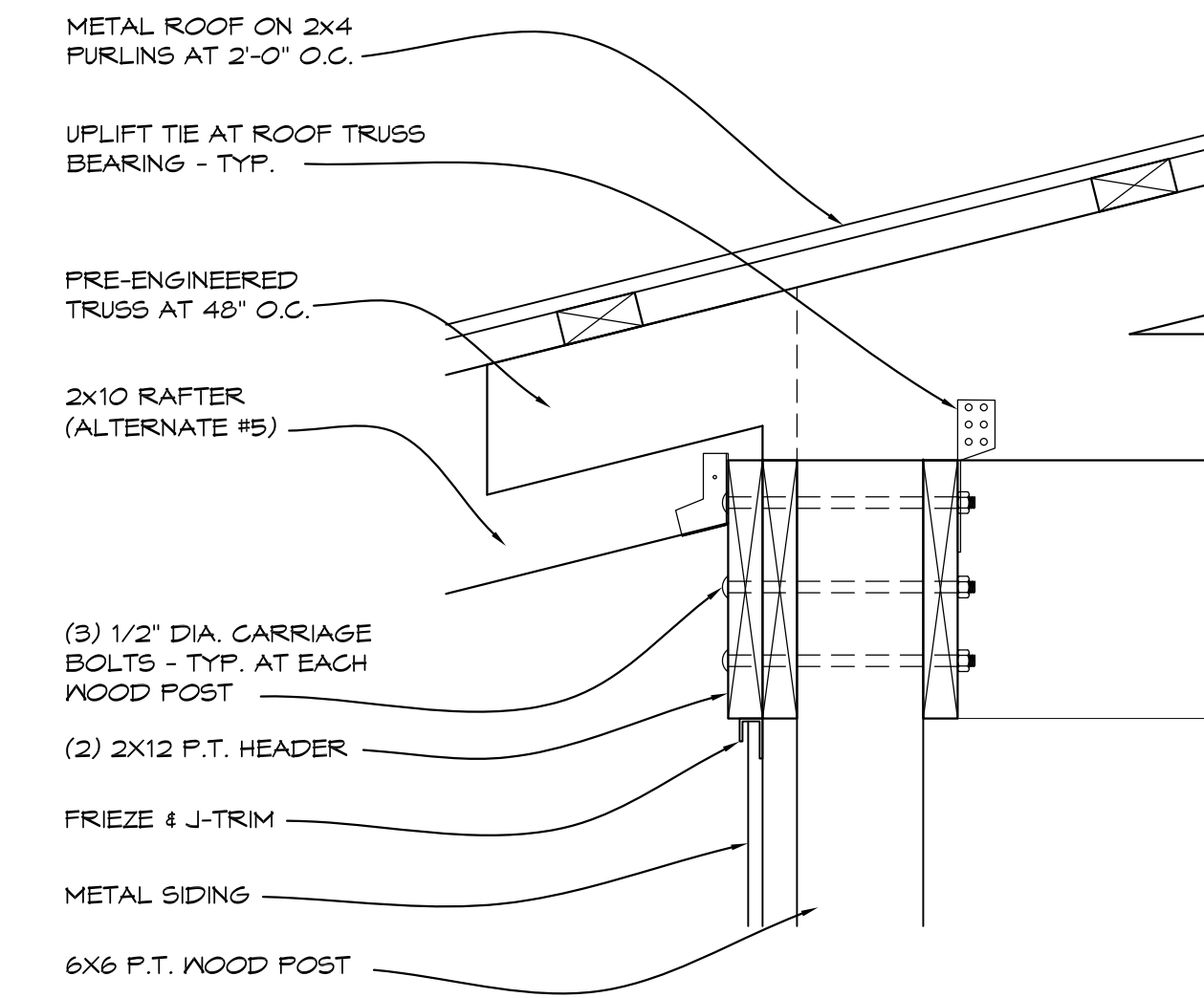
2 FOUNDATION DETAIL

1 1/2" = 1'-0" SEC01.DWG



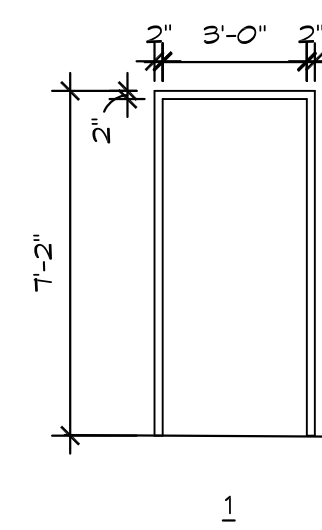
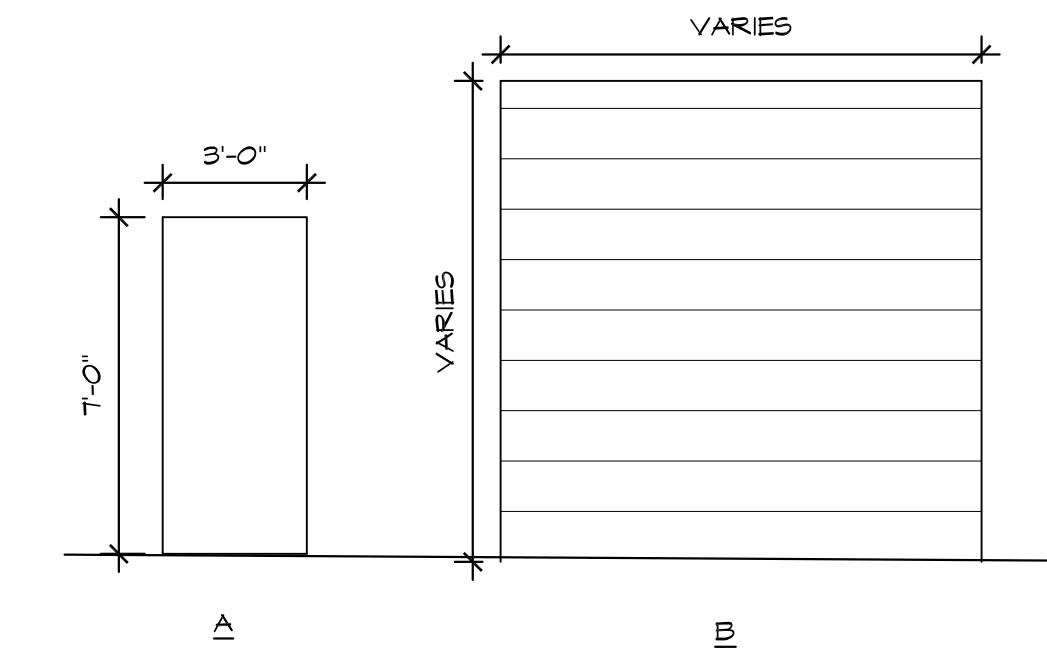
3 COLUMN DETAIL

1 1/2" = 1'-0" SEC01.DWG



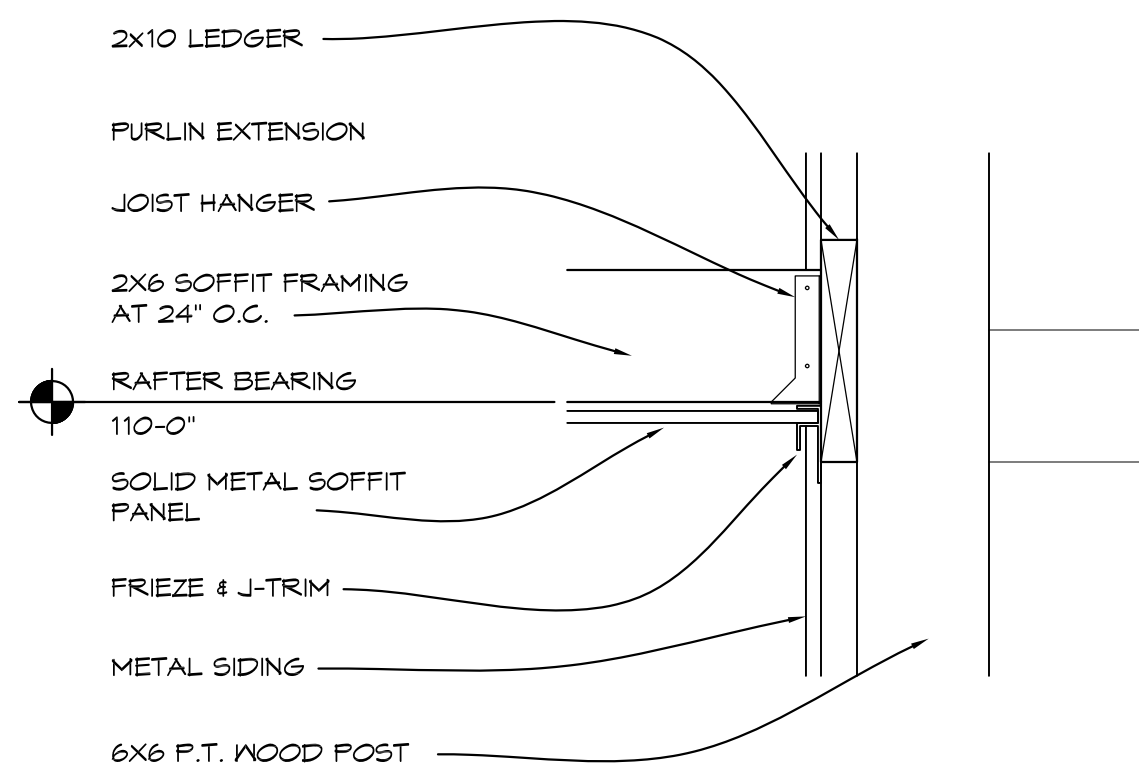
4 WALL DETAIL

1 1/2" = 1'-0" SEC01.DWG



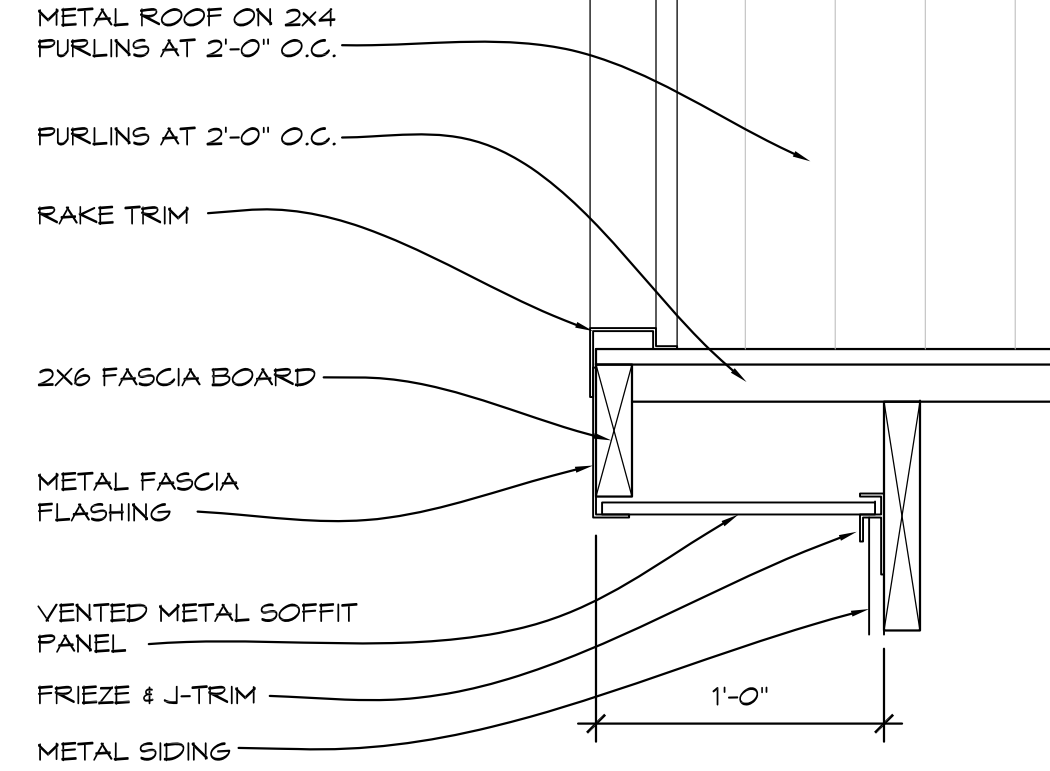
DOOR & FRAME ELEVATIONS

1/4" = 1'-0" DR ELEV.DWG



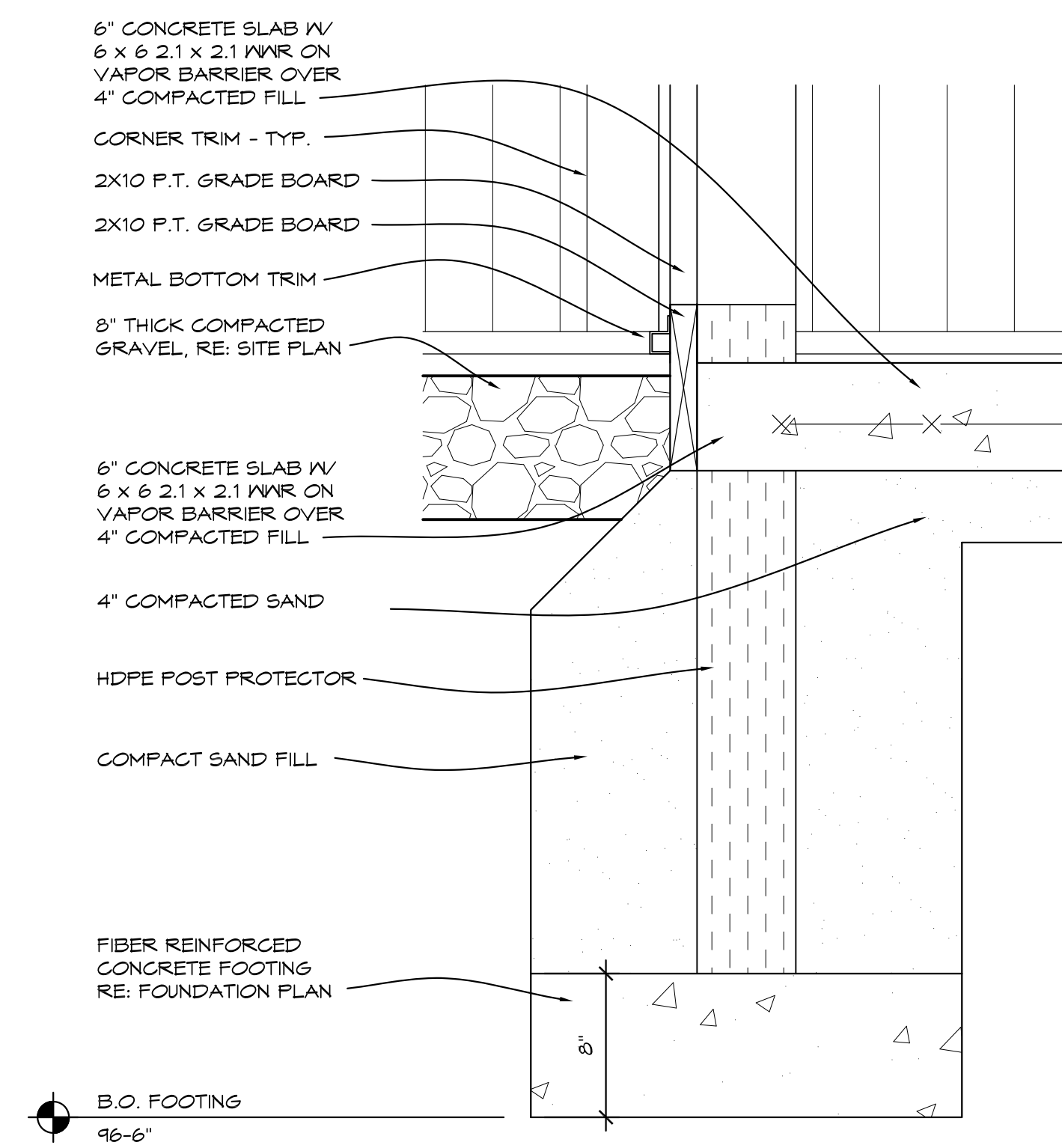
5 WALL DETAIL

1 1/2" = 1'-0" SEC01.DWG



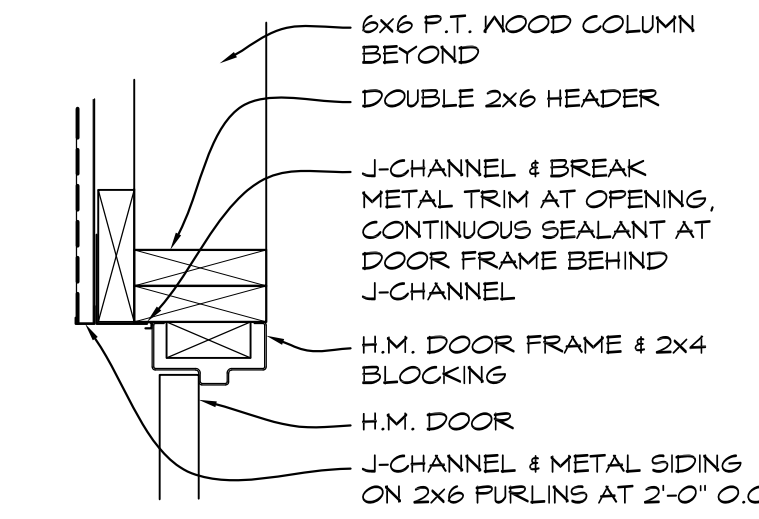
6 FASCIA DETAIL

1 1/2" = 1'-0" SEC01.DWG



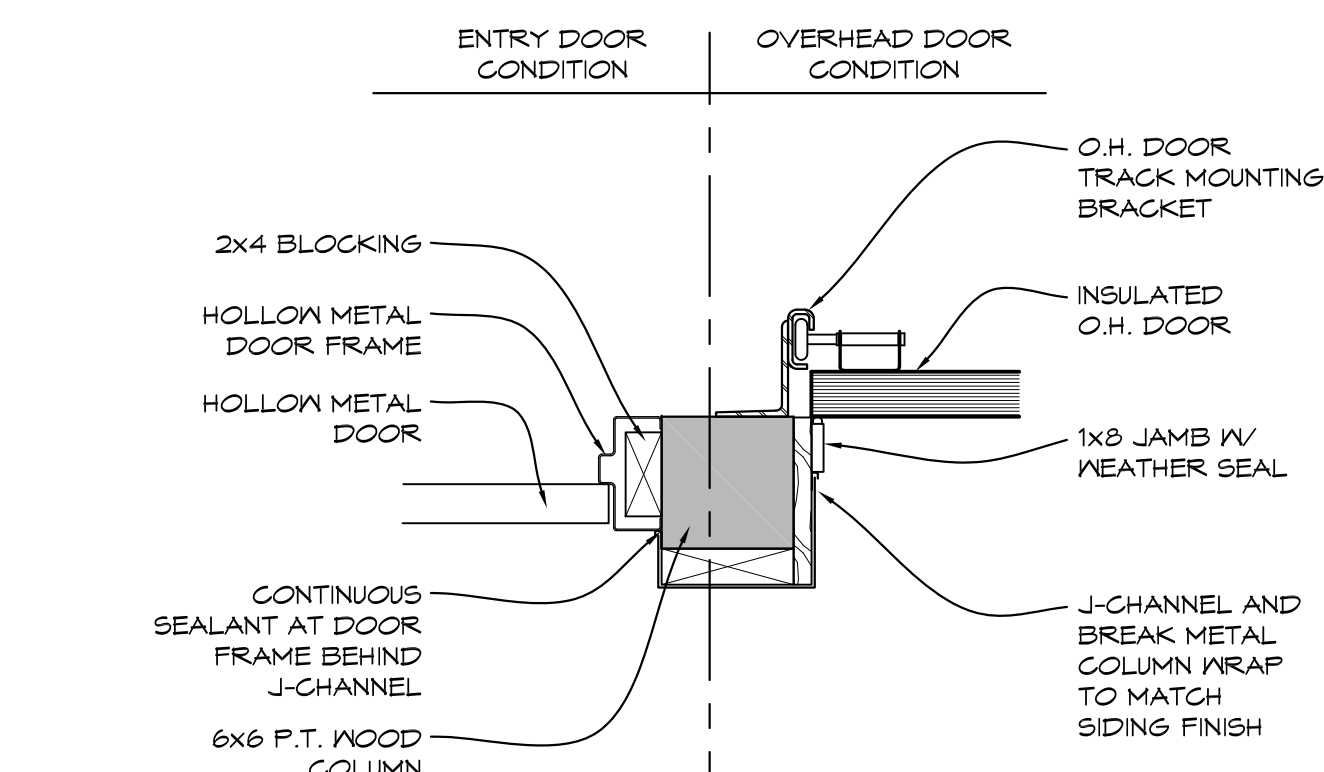
7 FOUNDATION DETAIL

1 1/2" = 1'-0" SEC01.DWG



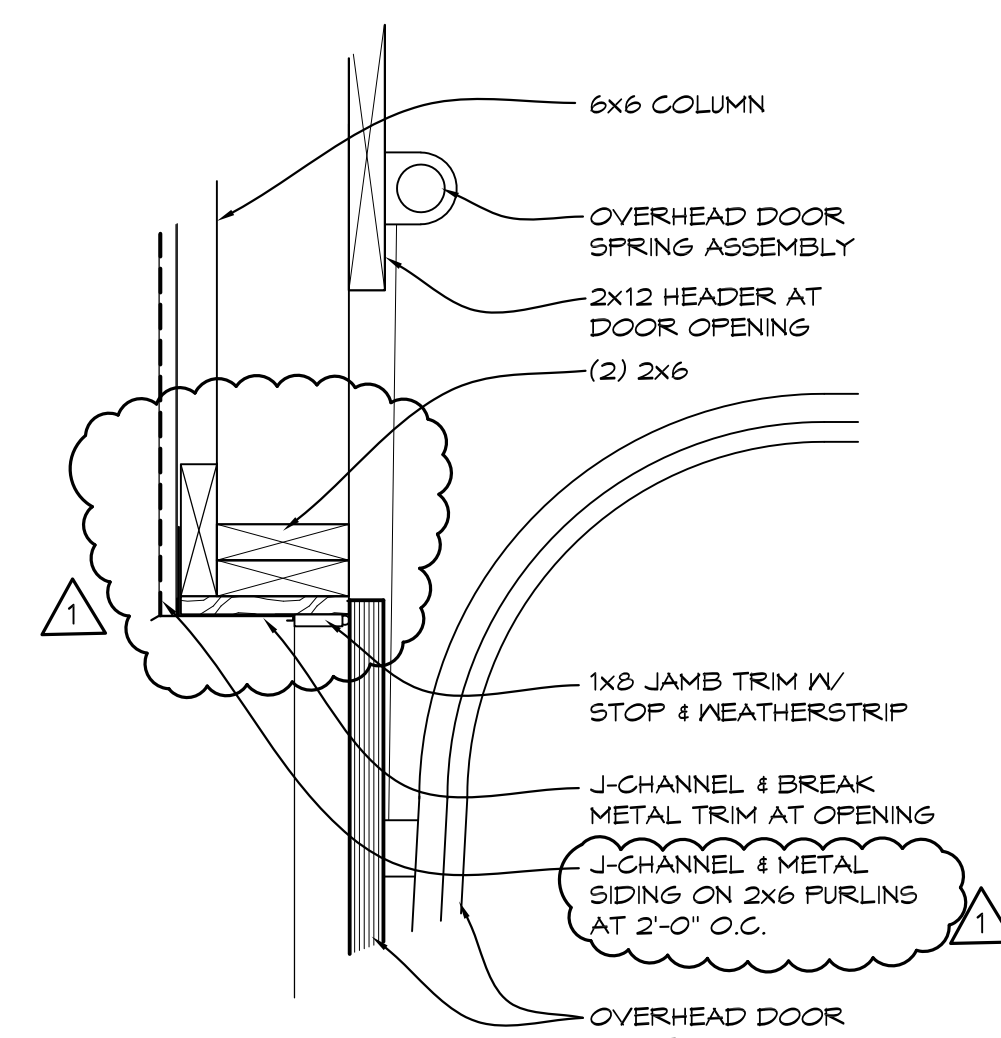
8 DOOR HEAD

1 1/2" = 1'-0" FB DOOR.H



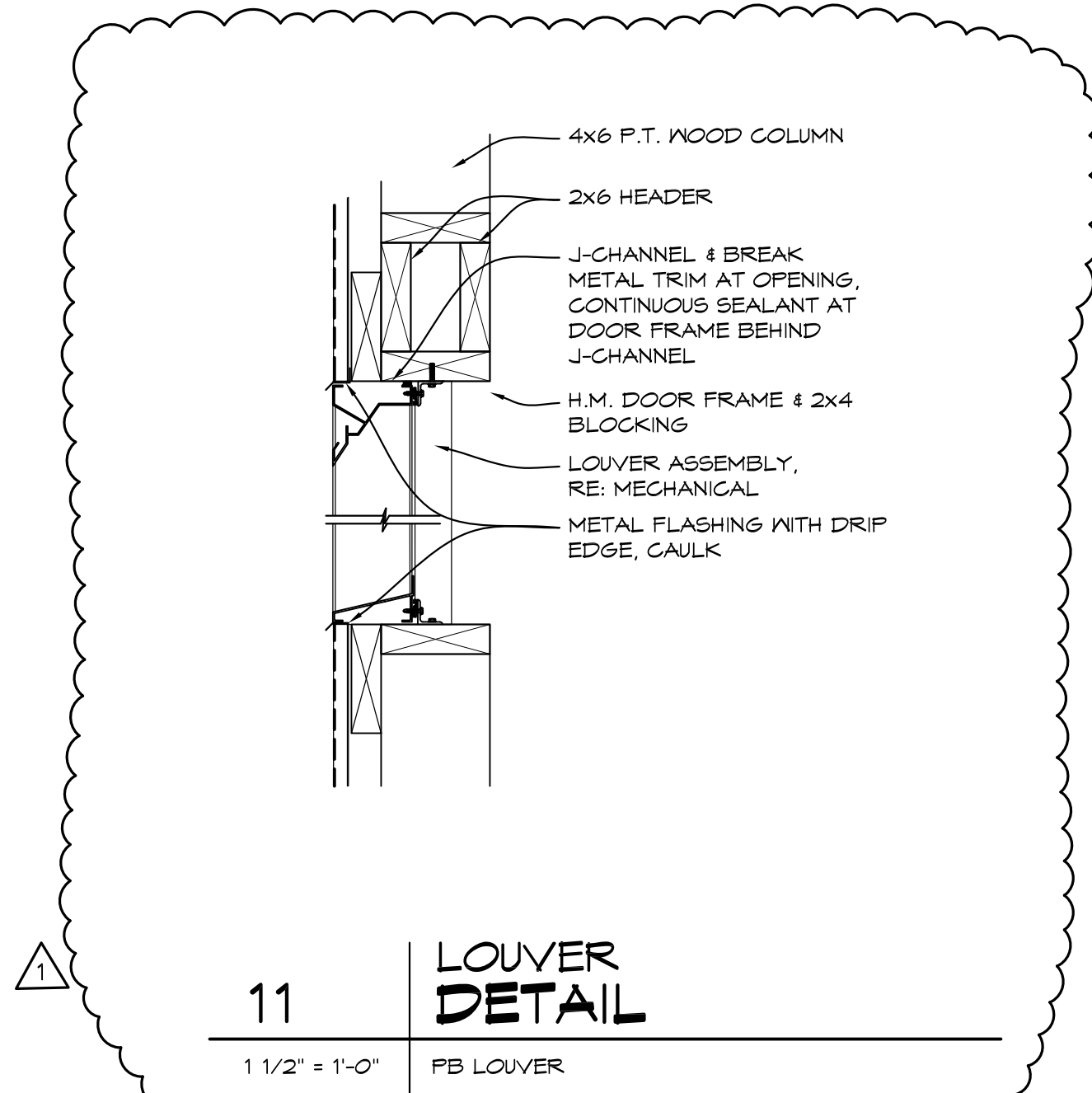
9 DOOR JAMB

1 1/2" = 1'-0" FB DOOR.J



10 OVERHEAD DOOR HEAD

1 1/2" = 1'-0" OHD H.DWG



11 LOUVER DETAIL

1 1/2" = 1'-0" FB LOUVER

DOOR & FRAME SCHEDULE									
DOOR NO.	DOOR			FRAME			FIRE RATING (REQUIRED)	HARDWARE	NOTES
	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD			
H100	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	H01
H101	10'-0"x10'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	OVERHEAD DOOR
H102	10'-0"x10'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	OVERHEAD DOOR
H103	10'-0"x10'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	OVERHEAD DOOR
H104	10'-0"x12'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	OVERHEAD DOOR
H105	14'-0"x12'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	OVERHEAD DOOR
H106	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	H04
H107	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	H04
H108	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	H07
H109	8'-0"x8'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	OVERHEAD DOOR
H110	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	H07

NO.	REVISIONS / SUBMISSIONS	DATE
1	APPENDUM 2	11/25/24

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PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
POLE BARN ENLARGED DETAILS

SEAL	DRAWN	PROJECT NO.
	EPS	24-120
	CHECKED	CAD FILE NO.
	JESS	F-A103
	REVIEWED	DRAWING NO.
	MLB	F-A103
	DATE	OCT 18, 2024
	SCALE	AS NOTED
		SHEET NO. 8 OF 13

PROJECT 'F'

GENERAL PLUMBING NOTES

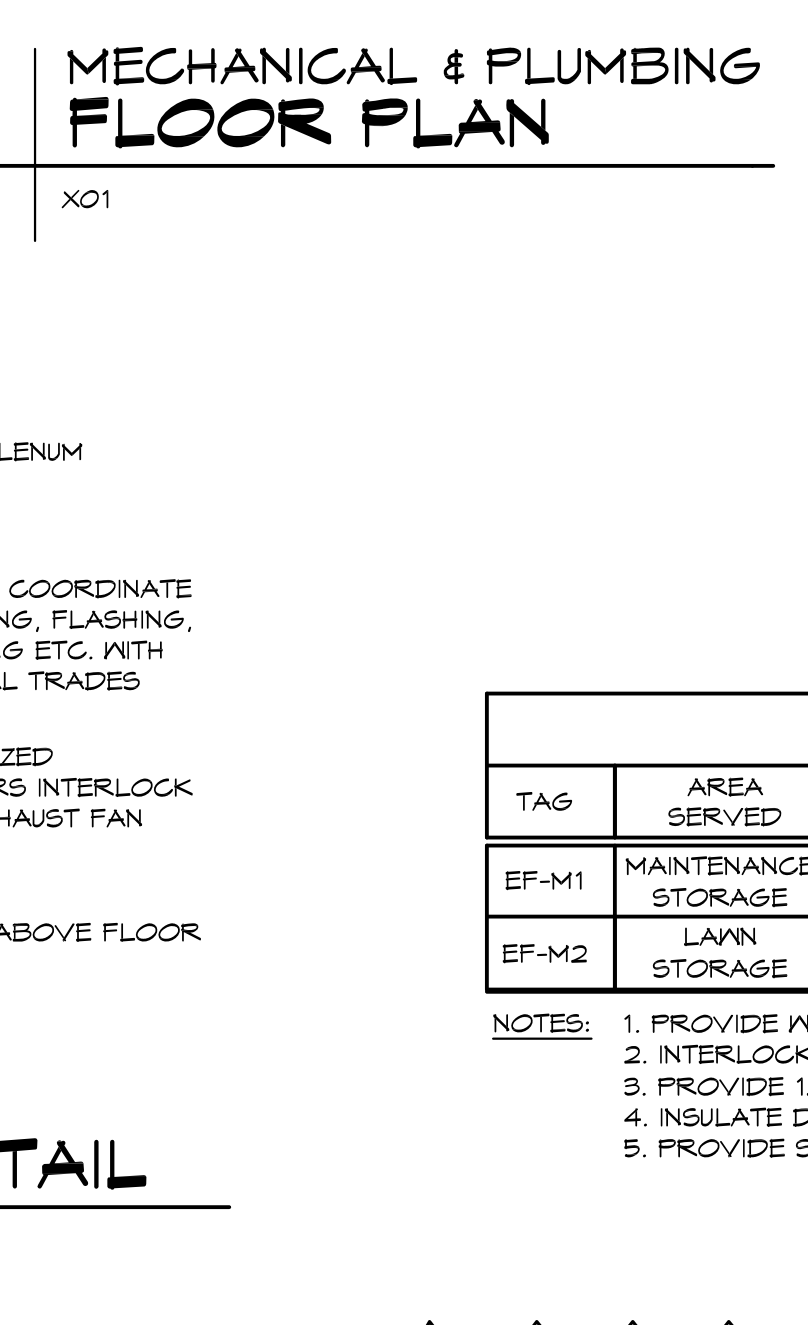
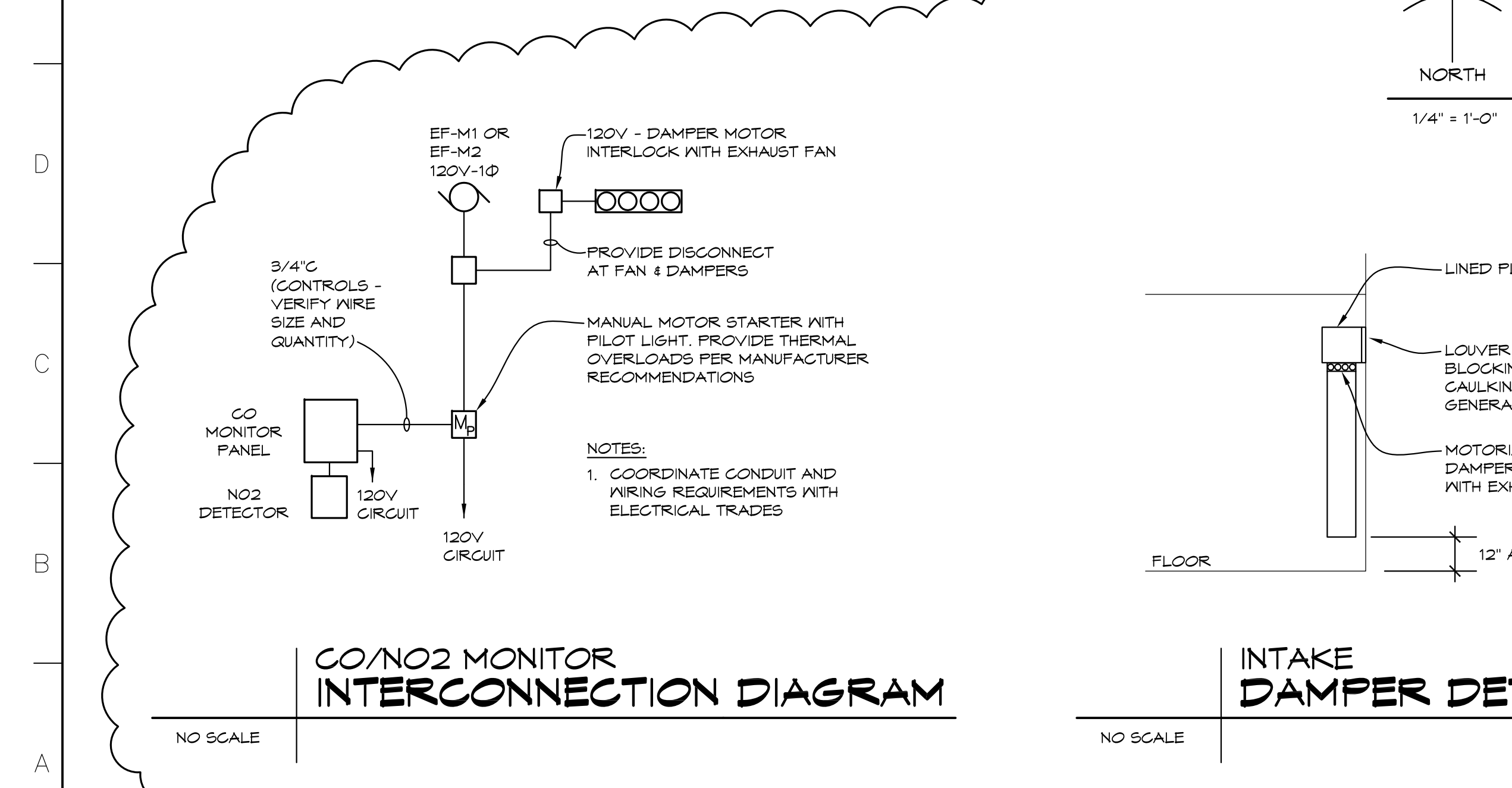
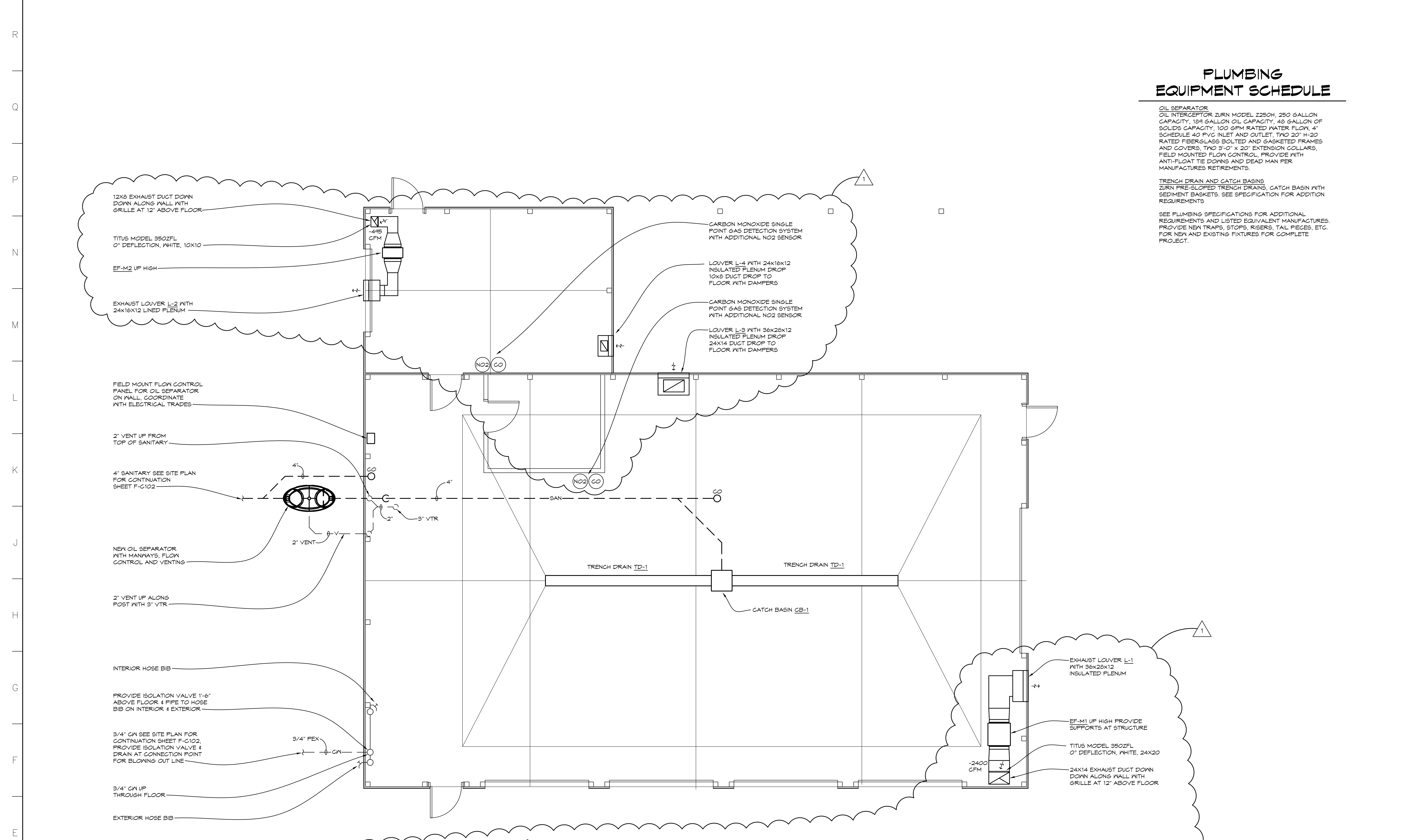
- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK
- COORDINATE ALL WORK WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED, HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

PLUMBING EQUIPMENT SCHEDULE

OIL SEPARATOR
 OIL INTERCEPTOR ZURN MODEL Z250H, 250 GALLON CAPACITY, 184 GALLON OIL CAPACITY, 48 GALLON OF SOLIDS CAPACITY, 100 GPM RATED WATER FLOW, 4" SCHEDULE 40 IRVQ INLET AND OUTLET, TWO 20" H=20 RATED FIBERGLASS BOLTED AND GASKETED FRAMES AND COVERS, TWO 3'-0" X 20" EXTENSION COLLARS, FIELD MOUNTED FLOW CONTROL, PROVIDE WITH ANTI-FLOAT TIE DOWNS AND DEAD MAN PER MANUFACTURERS RETIREMENTS.

TRENCH DRAIN AND CATCH BASINS
 ZURN PRE-SLOPED TRENCH DRAINS, CATCH BASIN WITH SEDIMENT BASKETS. SEE SPECIFICATION FOR ADDITION REQUIREMENTS

SEE PLUMBING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND LISTED EQUIVALENT MANUFACTURERS. PROVIDE NEW TRAPS, STOPS, RISERS, TAIL PIECES, ETC. FOR NEW AND EXISTING FIXTURES FOR COMPLETE PROJECT.



MECHANICAL EQUIPMENT SCHEDULE

CO AND NO2 GAS DETECTION SYSTEM
 INTEC (OR EQUAL) MODEL SFCS WALL MOUNTED GAS MONITOR WITH BUILT-IN CARBON MONOXIDE (CO) SENSOR, WITH KEY PAD, OVERLOAD AND SHORT CIRCUIT PROTECTION, NEMA 4X ENCLOSURE, PROVIDE WITH NITROGEN DIOXIDE (NO2) TRANSMITTER. PROVIDE WITH TRANSFORMER AND INTERLOCKED WITH EXHAUST FAN IN SPACE

EXHAUST FAN SCHEDULE

TAG	AREA SERVED	GREENHECK MODEL NO.	ELEC.	CFM	"SP	FAN HP	FAN RPM	SONES	NOTES
EF-M1	MAINTENANCE STORAGE	SQ-160-V6	120V/1Ø	2400	0.4	3/4	1003	6.3	1,2,3,4,5
EF-M2	LAWN STORAGE	GSP-A700	120V/1Ø	495	0.789	--	1035	3.6	1,2,3,4,5

- NOTES:
 1. PROVIDE WITH BACK DRAFT DAMPER
 2. INTERLOCK FAN WITH INTAKE DAMPER
 3. PROVIDE 120V-1Ø INTAKE DAMPER WITH FAN SEE PLAN FOR SIZE
 4. INSULATE DISCHARGE DUCT FROM FAN TO LOUVER
 5. PROVIDE SUPPORTS AT FAN

LOUVER SCHEDULE

TAG	UNIT(S) SERVED	MNFR.	MODEL	CFM	SIZE (WxH)	FREE AREA	FPM	AFD "WG	INTAKE/ EXHAUST	NOTES
L-1	EF-M1	RUSKIN	ELF375DXH	2400	36X28	3.4	706	0.09	EXHAUST	1,2,3,4
L-2	EF-M2	RUSKIN	ELF375DXH	495	24X16	0.74	667	0.09	EXHAUST	1,2,3,4
L-3	--	RUSKIN	ELF375DXH	2400	36X28	3.4	706	0.1	INTAKE	1,2,3,4
L-4	--	RUSKIN	ELF375DXH	495	24X16	0.74	667	0.08	INTAKE	1,2,3,4

- NOTES:
 1. PROVIDE WITH INSECT SCREEN
 2. COLOR TO BE SELECTED DURING SHOP DRAWINGS.
 3. 4" DEEP, DRAINABLE LOUVER
 4. PROVIDE FRAMING TO SEAL AROUND LOUVER

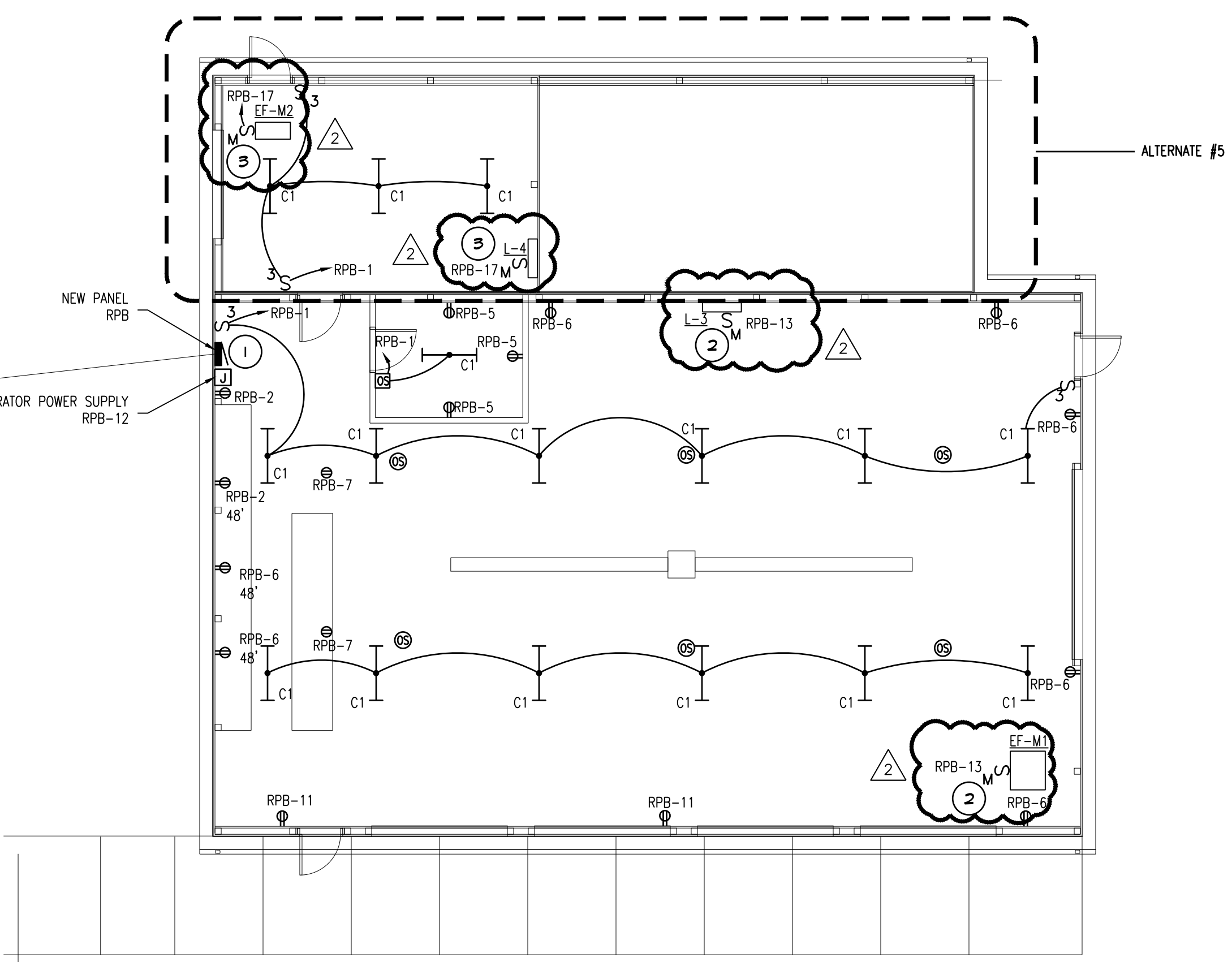
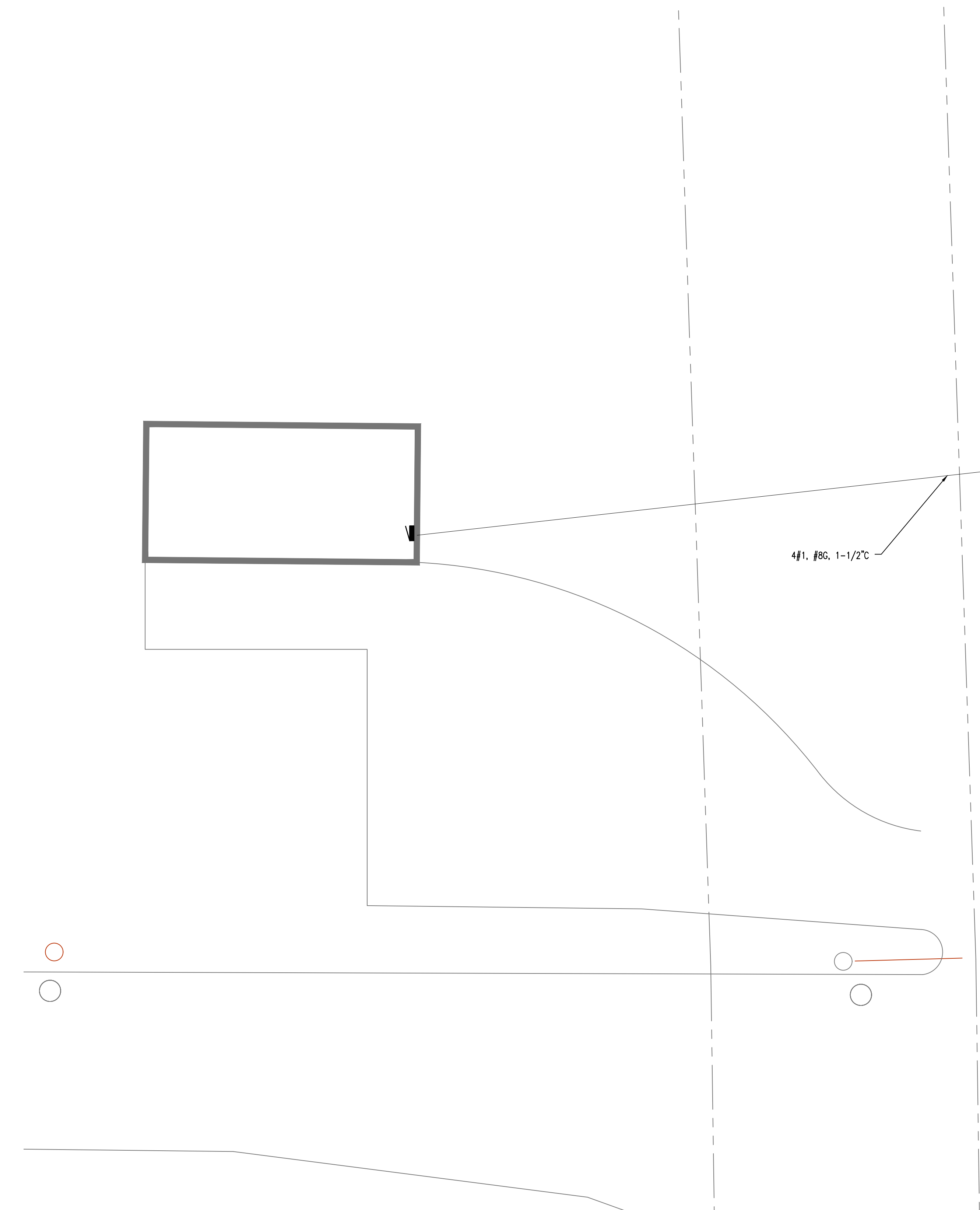
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PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
 1420 SOUTH BADOUR ROAD
 MIDLAND, MI

DRAWING TITLE
POLE BARN MECHANICAL & PLUMBING PLAN

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. F-MP10
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	SHEET NO. 10 OF 13
	SCALE 1/4" = 1'-0"	

R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A



EXISTING PANEL PHOTO

CONSTRUCTION NOTES

1. PROVIDE CONNECTION TO NEW PANEL IN NEW STORAGE BUILDING FROM EXISTING BREAKER IN EXISTING BUILDING.
2. PROVIDE CONNECTION TO EXHAUST FAN. EXHAUST FAN TO BE INTERLOCKED WITH DAMPER IN LOUVER L-3. COORDINATE CONTROLS OF EXHAUST FAN WITH MECHANICAL PLANS.
3. PROVIDE CONNECTION TO EXHAUST FAN. EXHAUST FAN TO BE INTERLOCKED WITH DAMPER IN LOUVER L-4. COORDINATE CONTROLS OF EXHAUST FAN WITH MECHANICAL PLANS.

LOAD		LOAD VOLT-AMPERES				LOAD VOLT-AMPERES				LOAD		
CKT	DESCRIPTION	LTS	REC	MOTOR	OTHER	CKT	PH	CKT	P	CKT	DESCRIPTION	CKT
1	LIGHTING	700				20	1	A	2	1	20	360
3	SPACE											
5	RECP	540				20	1	B	4	1	540	
7	CBLING RECP	360				20	1	A	8	1	360	
9	SPACE											
13	EF-M1 AND DAMPER	1800				20	1	A	14	1	20	
15	SPACE											
17	EF-M2 AND DAMPER	1800				20	1	C	18	1	20	
19	SPACE											
21	SPACE											
23	SPACE											
25	SPACE											
27	SPACE											
29	SPACE											
31	SPACE											
33	SPACE											
35	SPACE											
37	SPACE											
39	SPACE											
41	SPACE											
42	SPACE											

SUBTOTAL CONNECTED KVA		LOAD SUMMARY & FEEDER CALCULATION				CONNECTED KVA	
PHASE	CONNECTED KVA	LTS	REC	MOTOR	OTHER	KIT	TOTAL
PHASE A	0.7	1.1	1.8	0.0	0.0	0.0	3.6
PHASE B	0.0	0.0	0.0	0.0	0.0	0.0	0.0
PHASE C	0.0	1.4	1.8	1.5	0.0	0.0	4.7
25% OF LARGEST MOTOR							0.0
RECEPTACLE DEMAND FACTOR							
100% FIRST 10 KVA • 50% REMAINING							

NORTH
1/8" = 1'-0" X01
SITE ELECTRICAL PLAN

LIGHTING FIXTURE SCHEDULE							
DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS			BALLAST	MOUNTING	NOTES
		QUANTITY AND WATTS					
		FLUOR	LED	INC			
C1 4' LED STRIP FIXTURE. 5000 LUMEN. 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10W/LCP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CLXL48-5000LM-SEP-WDL-MVOLT-GZ10-40K-80CR/WH-ZACVHM100		32W		DRIVER	SUSPENDED	

NO.	REVISIONS / SUBMISSIONS	DATE
2	ADDENDUM #2	11/25/24
1	ADDENDUM #1	11/14/24

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MAINTENANCE BUILDING
& NEW POLE BARN
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE		
ELECTRICAL PLAN		
SEAL	DRAWN FLA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. A-E000
	REVIEWED RCH	DRAWING NO. F-E102
	DATE OCT 18, 2024	SHEET NO. 13 OF 13
	SCALE AS NOTED	

PROJECT "F"

Bid Division: 060000 – General Trades

Bid to Include:

Total Responsibility for Specification Sections:

Section 033000 – Cast in Place Concrete
Section 040101 – Masonry Tuckpointing
Section 042000 – Unit Masonry
Section 051200 – Structural Steel Framing
Section 055000 – Metal Fabrications
Section 055213 – Pipe and Tube Railings
Section 061000 – Rough Carpentry
Section 061753 – Shop-Fabricated Wood Trusses
Section 062000 – Finish Carpentry
Section 074213 – Metal Wall and Roof Panels
Section 081113 – Hollow Metal Frames
Section 081416 – Flush Wood Doors
Section 081601 – Insulated Composite Doors
Section 083613 – Sectional Doors
Section 087100 – Door Hardware
Section 087101 – Door Hardware Schedule
Section 088000 – Glazing
Section 092116 – Gypsum Board Assemblies
Section 095100 – Acoustical Ceilings
Section 102113.19 – Plastic Toilet Compartments
Section 102800 – Toilet, Bath, and Laundry Accessories
Section 111313 – Loading Dock Bumpers
Section 321313 – Concrete Paving

Limited Responsibility for Specification Sections (as it relates to work in this Bid Division):

Section 024100 – Demolition
Section 078400 – Firestopping (As it relates to work in this Bid Division)
Section 079205 – Joint Sealants (As it relates to work in this Bid Division)

Provide all labor, materials, tools, and equipment necessary to perform the work of the specified bid sections. The contractor must also furnish, deliver, unload, store, protect, erect and install all items required for the completion of the work of this bid division in compliance with all drawings and specifications for a complete operational system including but not limited to:

General Inclusions:

1. There is no general contractor associated with this project; any and all reference to a “general contractor” related to the work of this bid division shall be understood to mean the contractor of this bid division.
2. The contractor for this bid division work is required to include but is not limited to all items, services, tasks, materials, personnel, equipment, etc. identified in this bid division description regardless of the presence of language in other bid division descriptions that is the same or is similar to that found in this contractor’s bid division description.
3. Coordination of the work of this bid division with any and all work of other bid division contractors for the scheduling and integration of the work of this contractor.
4. All contractors are responsible for the entire set of plans and specifications, including tables, schedules, and notes.
5. Provide continuous housekeeping and clean-up, and proper legal off-site disposal of any debris generated by this Bid Division’s work.

Wolgast Corporation – Construction Management

Bid Division: 060000 – General Trades

6. The contractor is responsible for their own dumpster(s) and all removal and disposal charges thereof. (Use of the Owner's dumpsters is strictly prohibited.)
7. All Contractors are required to inspect the existing project components and are to include all work necessary to complete the work to deliver a fully operational system in compliance with all governing codes.
8. This Contractor shall be responsible for performing all work in full compliance with all health and safety standards including Asbestos Awareness and Notification, Lead Paint Abatement, and all MIOSHA Standards. This Contractor shall also be responsible for satisfying all safety violations and/or fines resulting from the actions or lack of action by this Contractor at the sole expense of this Contractor.
9. Any contractor who makes a mistake by installing their product on another Contractor's obvious faulty work will assume responsibility for repair of said work.
10. This contractor shall repair and restore any damaged area to an original or better condition with no detectable evidence that the area has been repaired. Repairs must be done by personnel qualified in the execution of the work skilled and licensed in that trade. Whenever possible, repairs to the work shall be done by the original installer of the work.
11. Submittal of all insurance, unit pricing, schedule of values, required product data and shop drawings within (2) two weeks of Owner's Notice to commence work.
12. Must provide all submittals within 20 working days of contract award or sooner, unless specifically clarified with the construction manager prior to contract award.
13. Provide all layout and measurements required to perform the work of this Bid Division.
14. The Owner reserves the right to salvage any materials removed from the site during the duration of the project.
15. Coordinate delivery of materials with Construction Manager (48 hours) in advance of the delivery and provide proper personnel and equipment to perform the unloading.
16. Contractor shall submit to the field construction manager a complete written daily field report stating the work being done on site and the number of employees performing the work for each day the Contractor has representatives on site.
17. Contractor shall have a supervisor on site at all times when a crew is present on the job.
18. On Friday, or the last workday of each week, the Contractor must update the Master Copy of As-Builts, as it applies to the work of their Bid Division.
19. **Wolgast uses Software for their CM Software. Please note: We will upload all drawings, and drawing revisions as they are approved, to the Drawings tool. However, it is each contractor's responsibility to verify that they are working from the most up to date, approved, drawings.**

Division Inclusions:

1. Unloading, protection and record of all doors and frames.
2. All wood nailers for roof blocking, fascia, masonry, etc.
3. Wood blocking around windows and doors.
4. All temporary shoring as required for work in this Bid Division.
5. Provide, receive, store, protect, inventory, and install all described bid items.
6. Remove items indicated: clean, service and otherwise prepare them for reuse; store and protect against damage. Reinstall items in the same locations or in locations indicated.
7. Remove and legally dispose of items not indicated to be reinstalled, salvaged or to remain the Owner's property.
8. Cover all countertops with double layered corrugated cardboard.
9. Clean and dust all casework upon completion.
10. Clean, prep and adjust all equipment immediately prior to Owner occupancy.
11. Patch all demolished areas and items affected by demolition to a condition ready to receive finishes and finish materials.
12. Furnish and install all joint sealants and fire stopping as indicated in specifications and drawings including but not limited to perimeter joints of doors and louvers at interior and exterior, perimeter joints between interior wall surfaces and frames of interior doors and all other joints indicated.
13. Contractor shall furnish and install temporary insulated weather-tight closures of openings created as a result of the work in this scope in exterior surfaces to provide acceptable working conditions and protection for materials, to allow for temporary heating, and for building security. Provide doors with self-closing hardware and locks.

Bid Division: 060000 – General Trades

Project Inclusions:

1. Price all alternates
2. Include a \$10,000 Allowance to be used at the direct of the Construction Manager.
3. The School District will move contents out way for construction.
4. Provide and install concrete sign foundations with required reinforcement, and sign anchors.
5. Remove existing exterior Middle School building sign per drawing B-A101.
6. Fill in any holes left in masonry from sign or conduit per drawing B-A101.
7. Rework existing Middle School Gymnasium wall mats for electrical conduit per drawing B-A101.
8. Remove existing Floyd Elementary sign noted on drawing D-C101.
9. Include masonry removal, saw cutting and tothing in for new door opening at the Middle School per drawing B-A102, Floor Plan.
10. Provide and install all new foundation, walks, ramps, stairs, loading dock, cooler pad work at Bullock Creek Middle School. Include all reinforcement, control, and expansion joints.
11. Include equipment concrete pad for compressors shown on B-FS1.
12. Provide and install pipe bollards completely. Include steel bollards and pipe covers.
13. Provide and install new loading dock bumpers.
14. Provide and install all noted handrails.
15. Provide and install masonry / glazed tile, masonry lintel, and plywood at Middle School Cooler connection and main building. See drawing B-A103, Detail 7.
16. Provide and install wood nail and break metal per Drawing B-A103, Detail 9.
17. Include interior removals as noted on the drawings such as masonry, partitions, restroom accessories, doors and frames, flooring, and ceiling framing covering existing skylights.
18. Include all saw cutting to complete your work.
19. Turn-over items to be salvaged to the owner.
20. Include all concrete floor patches with reinforcement.
21. Include all new masonry walls and infills as noted. Include all required reinforcement. Fire rate as noted.
22. Include all metal stud framing with insulation and board.
23. Supply and install Restroom partitions.
24. Supply and install all Restroom accessories which include shelving complete.
25. Reinstall salvaged Restroom accessories.
26. Supply and install wood trim in areas called out on drawing A-A103.
27. Firestop existing top of walls noted on drawings such as A-A103.
28. Provide and install ceiling grid and tile. Include hold down clips where noted.
29. Include any detaching and reinstallation of ceilings grid and tile.
30. Provide and install all doors, frames, windows, and hardware complete.
31. All doors are to be ordered before construction begins. Field measure before demolition and provide any additional trims to complete the install.
32. Include removing and replacing concrete slab needed for plumbing replacement. Review High School plumbing drawings.
33. Include masonry demolition, temporary shoring, structural steel lintels, bearing plates, reinforcement, hangers and brick replacement.
34. Bullock Creek Elementary School temporary shoring drawings are included.
- ~~35. Provide and install parapet cap framing and metal. Reference detail 9 on C-A301.~~
36. Include masonry tuckpointing as noted.
37. Include any window removal and re-installation required to replace lintels and brick.
38. Include interior removals such as flooring and base. Grind any remaining flooring substrate for the surface to clean concrete. You will be responsible for any damage caused to the security boot system.
39. Provide and install wood shoe base as noted.
40. Remove existing Bullock Creek Elementary sign noted on drawing C-A101.
41. Include framing and roof decking at roof opening shown in detail 10 Drawing C-A107.

Bid Division: 060000 – General Trades

42. Include masonry opening work on drawing C-A105 details 1 and 2.
43. Include removal of masonry chimney shown on drawing C-A102
44. Provide and install noted Bullock Creek Elementary shoe molding. Finished by painter.
45. Provide site concrete as noted on New Pole Barn Drawings.
46. Provide concrete at bus parking.
47. Include removal and installation of concrete and reinforcement for new trench drain in existing maintenance building. Trench drain by Plumber.
48. Supply and install New Pole Barn concrete slab. Include all reinforcement.
49. Provide and install a complete Pole Barn to include but not limited to; excavation and setting of poles, metal roofing and siding, gutters and downspouts, office framing and drywall, and all doors. Not included would be the building slab, electrical, plumbing, and sitework.

Project Exclusions:

1. All demolition of conduits, ducts, pipes, fixtures, etc. (demolition required for all mechanical, plumbing, and electrical work) is to be performed by the specific mechanical, plumbing and electrical contractors.
2. Hand dryers
3. Supply and installation of trench drains.
4. ~~Pole barn metal, concrete building slab~~, electrical, plumbing, and sitework.
5. Finishing of new shoe base.
6. Soil Density testing
7. Concrete testing.

Consideration for award:

The ability to begin as soon as areas of work become available. To have proper equipment and responsible personnel to complete the above list of work. To repair any adjacent materials damaged in the execution of the above-listed work. Close cooperation with the Construction Manager and other bid divisions to provide input to develop a working schedule. An approved schedule of values will be required before approval is granted for the first payment request. Expediting communication and follow-up as required.

END OF BID DIVISION 060000

Wolgast Corporation – Construction Management



Wolgast Corporation

Job #: A24907-00 Bullock Creek SD 24 Bond Series 1 - Main
1420 S Badour Road
Midland, Michigan 48640
9896319022

RFI LOG

#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
16	Flooring Questions	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/22/2024	Dale Schwerin	11/27/2024	11/26/24					
Dale Schwerin Sent Fri Nov 22, 2024 at 04:25 pm EST														
Q: <ol style="list-style-type: none"> Is there a specific size, or pattern with different sizes for the Mannington LVT? (Spec says 12"x12" up to 18"x36") In the Conference Room 101, no finish listed on finish schedule, but notes on the floor plan pg C-A103 list as new carpet and vinyl base. In Art Room 135, shoe molding listed on finish schedule, but in notes listed as vinyl base 														
Julia Launius (THA ARCHITECTS ENGINEERS) Responded Tue Nov 26, 2024 at 08:26 am EST See revised answer submitted at 8:26 am:														
A: <ol style="list-style-type: none"> The size has not yet been determined because the sizes are style-dependent. Once the owner has selected a style & color we will know the size. It is our understanding that there is not much difference between the costs for the different sizes. Refer to forthcoming addendum 2. Refer to forthcoming addendum 2. PEND CLOSE--PB RFI 16 Flooring Questions (2024 1126)--RESPONSE.pdf														
15	Bullock Creek Elementary Chimney Question	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/22/2024	Dale Schwerin	11/27/2024	11/26/24					
Q: Dale Schwerin Sent Fri Nov 22, 2024 at 01:43 pm EST At Bullock Creek Elementary Addendum page C-A102, photo shows 2 chimneys. Now many are be demoed.														
Julia Launius (THA ARCHITECTS ENGINEERS) Responded Tue Nov 26, 2024 at 08:06 am EST A: There is only one chimney to be removed. This is two photos of the same chimney, taken from different angles. PB RFI 15 (BC Elem) Chimney Question (2024 1126)--RESPONSE.pdf														
14	Brick above Basement Stairs	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W..	11/22/2024	Dale Schwerin	11/27/2024	11/22/24					
Q: Dale Schwerin Sent Fri Nov 22, 2024 at 01:36 pm EST At Bullock Creek Elementary basement stair case, is that brick being replaced. What about lower wall that appears to be leaning.														
A: Dale Schwerin (WOLGAST CORPORATION) Responded Fri Nov 22, 2024 at 01:39 pm EST Yes. Reference drawing C-A201, Detail 6. Any additional brick replacement required will be done as an extra.														
13	Existing Ductwork and Plumbing at Temp Shoring Locations	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W..	11/22/2024	Dale Schwerin	11/27/2024	11/22/24					
Q: Dale Schwerin Sent Fri Nov 22, 2024 at 01:33 pm EST At Bullock Creek Elementary Ductwork and plumbing may need to be removed for access of shoring. Please advise.														
A: Dale Schwerin (WOLGAST CORPORATION) Responded Fri Nov 22, 2024 at 01:34 pm EST If ductwork or plumbing needs to be moved for temporary shoring to happen, this will be done as an extra.														
12	Pole Barn Door H108	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/22/2024	Dale Schwerin	11/27/2024	11/26/24					
Q: Dale Schwerin Sent Fri Nov 22, 2024 at 01:29 pm EST														



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#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
	Is Pole Barn door H108 included in Alternate 5 or in Main Building. Please advise.													
	Julia Launius (THA ARCHITECTS ENGINEERS) Responded Tue Nov 26, 2024 at 08:06 am EST													
	A: Door H108 shall be included in the base bid. PB RFI 12 Pole Barn Door (2024 1126)--RESPONSE.pdf													
11	Trench Drain Steel Drain Grates and Receivers	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (WOLGAST CORPORATION)	11/22/2024	Dale Schwerin	11/27/2024	11/22/24					
	Q: Dale Schwerin Sent Fri Nov 22, 2024 at 01:22 pm EST At the Maintenance Building the Plumbers are providing floor drain, are they also providing steel drain grates and receivers at existing Maintenance Building? Please advise.													
	A: Dale Schwerin (WOLGAST CORPORATION) Responded Fri Nov 22, 2024 at 01:22 pm EST Yes. Plumbers are providing a complete system.													
10	Bullock Creek Elementary Brick Removal and Beam Question	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (THA ARCHITECTS ENGINEERS)	11/21/2024	Dale Schwerin	11/26/2024	11/25/24					
	Q: Dale Schwerin Sent Thu Nov 21, 2024 at 03:30 pm EST It looks like the removal of the brick on the east side of the building, details 3 & 5 / C-A301 extends all the way across the east side of the building. Is this correct? Also does the steel beam shown in 5 & 6 / C-A301 get removed and replaced with new beams? Detail 6/C-A301 states "Steel Beam Re: Structural Drawings". When you look at the structural drawings it appears as if those beams are existing. Please advise.													
	Julia Launius (THA ARCHITECTS ENGINEERS) Responded Sat Nov 23, 2024 at 01:08 am EST The removal shall not extend the full length of the East side. Refer to forthcoming Addendum 2 for clarification on the extent of the removal on the East side.													
	A: The old beam shall be removed, but a new beam is not required since the window openings at this location have previously been infilled with CMU block. Refer to forthcoming Addendum 2 where the note referring to the steel beam at this location will be deleted. PB RFI 10 (BC Elem) Brick Removal & Beam(2024 1123)--RESPONSE.pdf													
9	General Trades, Project Exclusions, Number 4	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (WOLGAST CORPORATION)	11/21/2024	Dale Schwerin	11/26/2024	11/21/24					
	Q: Dale Schwerin Sent Thu Nov 21, 2024 at 10:48 am EST Is General Trades, Project Exclusions, Number 4 in the Bid Division Descriptions Correct?													
	Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 21, 2024 at 10:53 am EST General Trades Bid Division Descriptions Project Exclusions													
	A: 4. Pole Barn Metal, Concrete Building Slab, Electrical, Plumbing, and Sitework. Note: Pole Barn Metal and Concrete Building Slab should be in General Trades price. Electrical, Plumbing and Sitework for the Pole Barn will be by those Bid Divisions.													
8	Bid Allowance Break Down	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (WOLGAST CORPORATION)	11/20/2024	Dale Schwerin	11/25/2024	11/20/24					
	Q: Dale Schwerin Sent Wed Nov 20, 2024 at 01:05 pm EST How would you like us to allocate the allowance to each school on the Proposal Form.													
	A: Dale Schwerin (WOLGAST CORPORATION) Responded Wed Nov 20, 2024 at 01:16 pm EST General Trades													



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#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
	- High School \$4,000 Allowance - Middle School \$1,000 Allowance - B.C. Elementary\$4,000 Allowance - Pine River \$0 Allowance - Floyd \$0 Allowance - Maintenance \$1,000 Allowance - Total Bid Allowance \$10,000													
	Roofing - High School \$0 Allowance - Middle School \$0 Allowance - B.C. Elementary\$5,000 Allowance - Pine River \$0 Allowance - Floyd \$5,000 Allowance - Maintenance \$0 Allowance - Total Bid Allowance \$10,000													
	Flooring - High School \$2,500 Allowance - Middle School \$0 Allowance - B.C. Elementary\$2,500 Allowance - Pine River \$0 Allowance - Floyd \$0 Allowance - Maintenance \$0 Allowance - Total Bid Allowance \$5,000													
	Painting - High School \$2,500 Allowance - Middle School \$0 Allowance - B.C. Elementary\$2,500 Allowance - Pine River \$0 Allowance - Floyd \$0 Allowance - Maintenance \$0 Allowance - Total Bid Allowance \$5,000													
	Mechanical - High School \$2,500 Allowance - Middle School \$5,000 Allowance - B.C. Elementary\$5,000 Allowance - Pine River \$0 Allowance - Floyd \$0 Allowance - Maintenance \$2,500 Allowance - Total Bid Allowance \$15,000													
	Electrical - High School \$1,000 Allowance - Middle School \$1,000 Allowance - B.C. Elementary\$1,500 Allowance - Pine River \$500 Allowance - Floyd \$0 Allowance - Maintenance \$1,000 Allowance													



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#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
	- Total Bid Allowance \$5,000 Site Work - High School \$0 Allowance - Middle School \$5,000 Allowance - B.C. Elementary \$0 Allowance - Pine River \$0 Allowance - Floyd \$0 Allowance - Maintenance \$5,000 Allowance - Total Bid Allowance \$10,000													
7	Middle School Exterior Wall Opening for Cooler	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/18/2024	Dale Schwerin	11/21/2024	11/19/24					
	Q: Dale Schwerin Sent Mon Nov 18, 2024 at 03:04 pm EST At the Middle School Drawing B-A102 They want a 6' wide opening back by the existing dock. That is a 12" CMU wall so we would need details regarding lintel requirements to get proper opening size; and final rough CMU wall opening complete before we install that wood and metal wrap as detailed. Please advise.													
	A: Julia Launius (THA ARCHITECTS ENGINEERS) Responded Tue Nov 19, 2024 at 11:28 am EST Refer to forthcoming Addendum 2 for lintel size and required re-work of fin tube above if necessary. PB RFI 07 (MS) Exterior Wall Opening for Cooler (2024 1119)--RESPONSE.pdf													
6	Bullock Creek Elementary Landscaping	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W...	11/14/2024	Dale Schwerin	11/19/2024	11/14/24					
	Q: Dale Schwerin Sent Thu Nov 14, 2024 at 10:01 am EST Some of the existing Landscaping is in the way of doing the window lintel / brick replacement. Please advise.													
	A: Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 14, 2024 at 10:02 am EST Before work is to begin we will have a coordination meeting onsite to discuss what trees need to be removed and the School will remove.													
5	Parapet Cap Framing and Metal	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W...	11/14/2024	Dale Schwerin	11/19/2024	11/14/24					
	Q: Dale Schwerin Sent Thu Nov 14, 2024 at 09:28 am EST Per the Specification Roofing Project Exclusions States to not include: 1. Parapet cap framing and metal. Reference detail 9 on C-A301. Who is doing parapet framing and metal?													
	A: Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 14, 2024 at 09:50 am EST Specification General Trades Project Inclusion # 35 will be removed from General Trades scope of work and now be the Roofers responsibility.													
	A: Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 14, 2024 at 09:31 am EST That exclusion is incorrect. The Roofing Contractor will be responsible for all parapet cap framing and metal including but not limited to Detail 9 on C-A301.													
4	Bullock Creek Elementary Electrical Questions	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/14/2024	Dale Schwerin	11/19/2024	11/25/24					
	Q: Dale Schwerin Sent Thu Nov 14, 2024 at 09:14 am EST													



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#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
Bullock Creek Elementary Questions.														
3	High School Speakers	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Hale, Shawn (BULL...	11/14/2024	Dale Schwerin	11/19/2024	11/20/24					
2	Chimney and Incinerator Demolition	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/14/2024	Dale Schwerin	11/19/2024	11/19/24					
1	Light Fixture P2 and P3 at Bullock Creek Elementary	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/12/2024	Dale Schwerin	11/15/2024	11/19/24					
(None)	Bullock Creek Elementary Overhead Power Wires	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W...		Dale Schwerin		11/20/24					