

BID PACKAGE 1 - K.C. LING ELEMENTARY

HEMLOCK PUBLIC SCHOOLS Hemlock, Michigan CONSTRUCTION DOCUMENTS

DESIGN TEAM

ARCHITECT/ENGINEER

TowerPinkster
Architecture · Engineering · Interiors

4 EAST FULTON STREET, SUITE 200
GRAND RAPIDS, MICHIGAN 49503
PHONE: 616.456.9944
FAX: 616.456.5936

CIVIL CONSULTANT

Prein&Newhof

3260 EVERGREEN DR NE
GRAND RAPIDS, MI 49525
PHONE: 616.250.4457

CONSTRUCTION MANAGER

Wolgast
CORPORATION

4835 TOWNE CENTER RD, SUITE 203
SAGINAW, MI 48604
PHONE: 989.737.9034

SITE ADDRESS

K.C. LING ELEMENTARY SCHOOL
835 N PINE STREET
HEMLOCK, MI. 48626

REFERENCED CODES

BUILDING: 2015 MICHIGAN BUILDING CODE AND 2012 NFPA 101 LIFE SAFETY CODE
ENERGY: 2015 MICHIGAN ENERGY CODE
PLUMBING: 2018 MICHIGAN PLUMBING CODE
MECHANICAL: 2015 MICHIGAN MECHANICAL CODE
FUEL GAS: (IFGC) 2015 INTERNATIONAL FUEL GAS CODE
ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS
BARRIER-FREE: 2015 MICHIGAN BUILDING CODE AND 2009 ICC & C A117.1
USE GROUP: E
CONSTRUCTION TYPE: 2B (0,0,0)
AUTOMATIC SPRINKLERS: PARTIAL

PROJECT AREA

EXISTING BUILDING: 51,980 SQ. FT.
TOTAL FINISHED PROJECT: 51,980 SQ. FT.

DRAWING INDEX

GENERAL

G 001.1 COVER SHEET
G 002.1 INTERIOR PARTITION TYPES, DEVICE ALIGNMENT GUIDELINES & TYPICAL SYMBOLS
G 101.1 FIRST FLOOR CODE COMPLIANCE PLAN

SURVEY

D-5911-1 OVERALL SURVEY
D-5911-2 SURVEY
D-5911-3 SURVEY
D-5911-4 SURVEY
D-5911-5 SURVEY
D-5911-6 SURVEY
D-5911-7 SURVEY
D-5911-8 SCHEDULES
D-5911-9 BUILDING SKETCHES

CIVIL

C 100.1 EXISTING CONDITIONS AND REMOVALS OVERALL
C 101.1 EXISTING CONDITIONS AND REMOVALS SOUTH
C 102.1 EXISTING CONDITIONS AND REMOVALS NORTH
C 200.1 OVERALL SITE PLAN
C 201.1 SITE PLAN SOUTH
C 202.1 SITE PLAN NORTH
C 300.1 OVERALL GRADING PLAN
C 301.1 GRADING PLAN SOUTH
C 302.1 GRADING PLAN NORTH
C 400.1 OVERALL UTILITY PLAN
C 401.1 UTILITY PLAN SOUTH
C 402.1 UTILITY PLAN NORTH
C 403.1 DRAINAGE CALCULATIONS
C 500.1 SITE DETAILS

LANDSCAPE

L 100.1 OVERALL SITE LAYOUT & LANDSCAPE PLAN
L 110.1 SITE LAYOUT & LANDSCAPE PLAN - SOUTH
L 120.1 SITE LAYOUT & LANDSCAPE PLAN - NORTH
L 130.1 SITE LAYOUT & LANDSCAPE PLAN - EAST
L 140.1 SITE SIGNAGE PLAN - NORTH
L 200.1 SITE DETAILS
L 300.1 TENNIS COURT LAYOUT PLAN AND DETAILS
L 400.1 ALTERNATE 3 SOFTBALL FIELD DETAILS

STRUCTURAL

S 001.1 GENERAL NOTES AND TYPICAL DETAILS
S 201.1A ROOF FRAMING PLAN - UNIT A

ARCHITECTURAL DEMOLITION

AD 101.1A DEMOLITION PLAN - UNIT A
AD 101.1B DEMOLITION PLAN - UNIT B
AD 101.1C DEMOLITION PLAN - UNIT C

ALTERNATES

ALTERNATE #3: K.C. LING SOFTBALL FIELD
ALTERNATE #4: K.C. LING SINKS

ARCHITECTURAL

A 101.1 OVERALL FIRST FLOOR PLAN
A 101.1A FIRST FLOOR PLAN - UNIT A
A 101.1B FIRST FLOOR PLAN - UNIT B
A 101.1C FIRST FLOOR PLAN - UNIT C
A 201.1A FIRST FLOOR REFLECTED CEILING PLAN - UNIT A
A 201.1B FIRST FLOOR REFLECTED CEILING PLAN - UNIT B
A 201.1C FIRST FLOOR REFLECTED CEILING PLAN - UNIT C

INTERIORS

I 001.1 MATERIAL SELECTION SCHEDULE & TYPICAL DETAILS
I 101.1A FIRST FLOOR FINISH PLAN - UNIT A
I 101.1B FIRST FLOOR FINISH PLAN - UNIT B
I 101.1C FIRST FLOOR FINISH PLAN - UNIT C
I 201.1 ENLARGED PATTERN PLANS & ELEVATIONS

MECHANICAL & PLUMBING GENERAL

MP 001.1 MECHANICAL & PLUMBING SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES

PLUMBING DEMOLITION

PD 101.1B FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT B
PD 101.1C FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT C

PLUMBING

P 101.1A FIRST FLOOR PLUMBING PLAN - UNIT A
P 101.1B FIRST FLOOR PLUMBING PLAN - UNIT B
P 101.1C FIRST FLOOR PLUMBING PLAN - UNIT C

MECHANICAL

M 101.1A FIRST FLOOR SHEET METAL PLAN - UNIT A
M 101.1B FIRST FLOOR SHEET METAL PLAN - UNIT B

ELECTRICAL SITE

E 001.1 ELECTRICAL SYMBOLS AND GENERAL NOTES

ELECTRICAL SITE

EDS 101.1 ELECTRICAL DEMOLITION SITE PLAN
ES 101.1 ELECTRICAL SITE PLAN

ELECTRICAL DEMOLITION

ED 101.1A FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT A
ED 101.1B FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT B
ED 101.1C FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT C

ELECTRICAL

E 101.1A FIRST FLOOR POWER PLAN - UNIT A
E 101.1B FIRST FLOOR POWER PLAN - UNIT B
E 101.1C FIRST FLOOR POWER PLAN - UNIT C
E 201.1A FIRST FLOOR LIGHTING PLAN - UNIT A
E 201.1B FIRST FLOOR LIGHTING PLAN - UNIT B
E 201.1C FIRST FLOOR LIGHTING PLAN - UNIT C
E 401.1 ELECTRICAL ONE LINE AND CONNECTION SCHEDULES
E 420.1 LIGHTING SCHEDULE AND DETAILS
E 501.1 ELECTRICAL PANEL LOAD SHEETS

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
COVER SHEET

SHEET NUMBER
G 001.1
21113.20

DATE
DECEMBER 21, 2022

ISSUED FOR _____ DATE _____

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
INTERIOR PARTITION TYPES, DEVICE ALIGNMENT GUIDELINES & TYPICAL SYMBOLS

SHEET NUMBER
G 002.1

DATE
DECEMBER 21, 2022

LOCATION
Hemlock, Michigan

GENERAL NOTES - ARCHITECTURAL

1. THE OWNER RESERVES THE RIGHT TO REMOVE ANY ITEM FROM THE PROJECT PRIOR TO COMMENCEMENT OF CONTRACTED DEMOLITION WORK.
2. ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED BEFORE WORK BEGINS.
3. DIMENSIONS GIVEN ARE ACTUAL AND ARE TO THE FACE OF MASONRY UNITS OR TO THE FACE OF STUD FRAMING, UNLESS NOTED OTHERWISE.
4. DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. FOR CONDITIONS NOT SHOWN, USE DETAILS CLOSEST TO CONDITION IN QUESTION.
5. EXTEND ALL INTERIOR WALL PARTITIONS FROM FLOOR TO STRUCTURE/DECK ABOVE UNLESS NOTED OR DETAILED OTHERWISE.
6. WITHIN BUILDING INTERIOR PROVIDE BULLNOSE BLOCK IN CMU WALL ASSEMBLIES AT ALL EXPOSED OUTSIDE CORNERS, INCLUDING WINDOW AND DOOR JAMBS, UNLESS NOTED OR DETAILED OTHERWISE. PROVIDE SQUARE OUTSIDE CORNERS AT ALL LOCATIONS FINISHED WITH TILE TLE. REFER TO FINISH PLANS (AGOO SHEETS) FOR LOCATIONS.
7. TOOTH-IN MASONRY AT NEW OPENINGS IN EXISTING WALLS.
8. TOOTH-IN NEW MASONRY INFILL INTO EXISTING OPENINGS AT ALL BULLNOSE BLOCK LOCATIONS.
9. STUD WALLS SPANNING OVER 12'-0" IN HEIGHT SHALL BE A MINIMUM OF 20 GAGE.
10. STUD WALL SUPPORTING WALL CABINETS SHALL BE A MINIMUM OF 20 GAGE.
11. DOORS ARE TO BE 4" FROM CORNER OF ROOM, UNLESS NOTED OR DIMENSIONED OTHERWISE.
12. FIRESTOP ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES AND CONCEALED WALL SPACES AT CEILING, FLOOR AND ROOF LEVELS.
13. FIRESEAL ALL PENETRATIONS, SUCH AS, PIPES, DUCTS, CONDUITS, ETC. THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES.
14. FOR CONTROL JOINT (C.J.) LOCATIONS REFER TO EXTERIOR ELEVATIONS AND/OR FLOOR PLANS.
15. PAINT ALL ELECTRICAL PANEL COVERS AND ACCESS PANELS TO MATCH ADJACENT FINISHES. USING OIL-BASED PAINT, NOT LATEX WALL PAINT.
16. PROVIDE WOOD BLOCKING IN WALLS THAT REQUIRE WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE WITH EQUIPMENT OR ACCESSORY MANUFACTURER.
17. PROVIDE ALL ASSOCIATED CURBS FOR ROOF TOP EQUIPMENT AND MECHANICAL ROOF TOP UNITS. LARGE VOIDS BELOW THE AIR HANDLING UNITS SHALL BE FILLED WITH INSULATION AS SPECIFIED FOR NOISE CONTROL.
18. ALL EXISTING ROOF TOP PENETRATIONS THROUGH ROOF REQUIRE ROOF PATCHING TO MATCH EXISTING ADJACENT.

GENERAL PARTITION NOTES

1. NOT ALL WALL TYPES MAY BE USED ON PROJECT.
2. REFER TO CODE COMPLIANCE PLANS FOR LOCATIONS OF SMOKE AND FIRE-RATED PARTITIONS.
3. ALL PARTITIONS EXTEND TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
4. LINE OF STRUCTURE/DECK AS SHOWN AT THE HEAD CONDITION OF EACH PARTITION TYPE IS DIAGNOSTIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS. TERMINATE RATED PARTITIONS AT UNDERSIDE OF STRUCTURAL DECK TO MAINTAIN RATING. PROVIDE APPROPRIATE FRAMING AND GYPSUM BOARD TO OFFSET AROUND STRUCTURE OR OTHER OBSTRUCTIONS, SUCH AS PIPING OR DUCTWORK, UNLESS NOTED OR DETAILED OTHERWISE.
5. PARTITIONS MAY TERMINATE AT STRUCTURAL MEMBERS WITH A RATING GREATER THAN OR EQUAL TO THE PARTITION, PROVIDED THAT RATING IS CONTINUOUS TO STRUCTURAL DECK ABOVE.
6. NON-RATED PARTITIONS THAT EXTEND TO STRUCTURE SHALL TERMINATE AT UNDERSIDE OF STRUCTURAL DECK TO MAINTAIN A CONTINUOUS PLANE OF GYPSUM BOARD AS A NOISE, SMOKE OR OTHER TYPE OF BARRIER.
7. ALL PARTITIONS EXTENDING TO STRUCTURE ABOVE SHALL TERMINATE WITH DEFLECTION TRACK - SEE TYPICAL DETAILS ON THIS SHEET.
8. ALL GYPSUM BOARD PARTITIONS NOT EXTENDING TO THE STRUCTURE MUST BE BRACED.
9. UL DESIGN NUMBERS REFER TO THE FIRE RESISTANCE DIRECTORY, UNDERWRITERS LABORATORY, LATEST EDITION.
10. MISCELLANEOUS FURRING AROUND COLUMNS TO BE 5/8" GYPSUM BOARD ON 1 1/2" STUDS, UNLESS NOTED OTHERWISE.
11. FIRE-RATED PARTITIONS TO HAVE FIRE STOPPING SEALANTS AT HEAD, SILL JUNCTURE WITH DISSIMILAR MATERIALS, ETC. AND AROUND ALL PENETRATIONS AND OPENINGS.
13. CONSTRUCT ALL PARTITIONS WITH SOUND ATTENUATION BATTS WITH THE FOLLOWING SOUND BATT THICKNESS: 2 1/2" OR LESS METAL STUD - 1 1/2" THICKNESS, 3 5/8" OR LARGER METAL STUD - 3" THICKNESS. UNLESS NOTED OTHERWISE.

METAL STUD/FURRING, CH STUD AND WOOD STUD KEY

DESIGNATION	SIZE
A	GYPSUM BOARD DIRECT APPLIED TO CMU
B	7/8"
C	1 1/2"
D	1 5/8"
E	2 1/2"
F	3 1/2"
G	3 5/8"
H	4"
J	5 1/2"
K	6"
L	8"
M	10"
N	12"
P	(OPEN)
Q	(OPEN)

DESIGNATION	SIZE
R	2 1/2"
S	4"
T	6"

DESIGNATION	SIZE
U	2"x4"
V	2"x6"
W	2"x8"

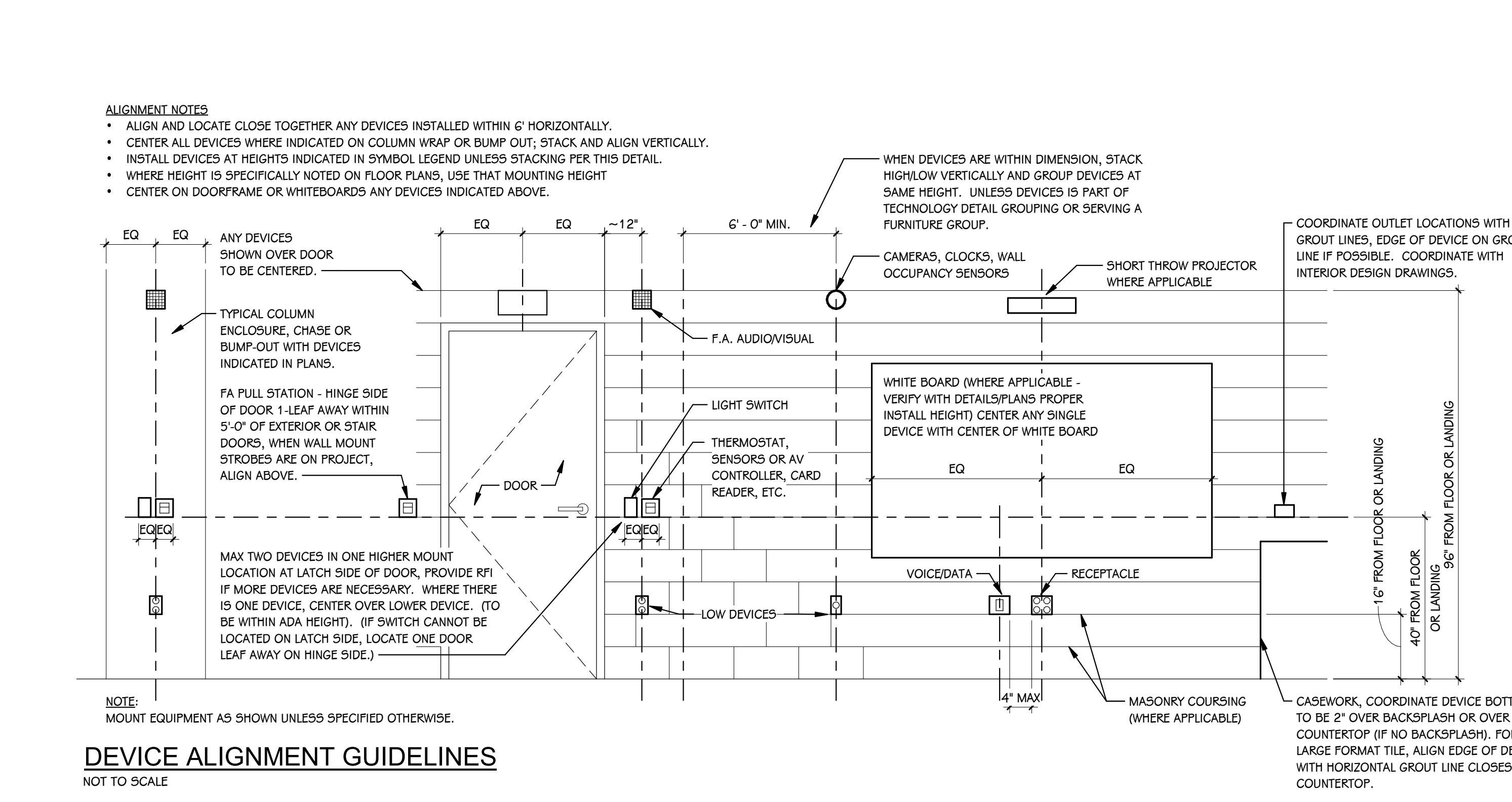
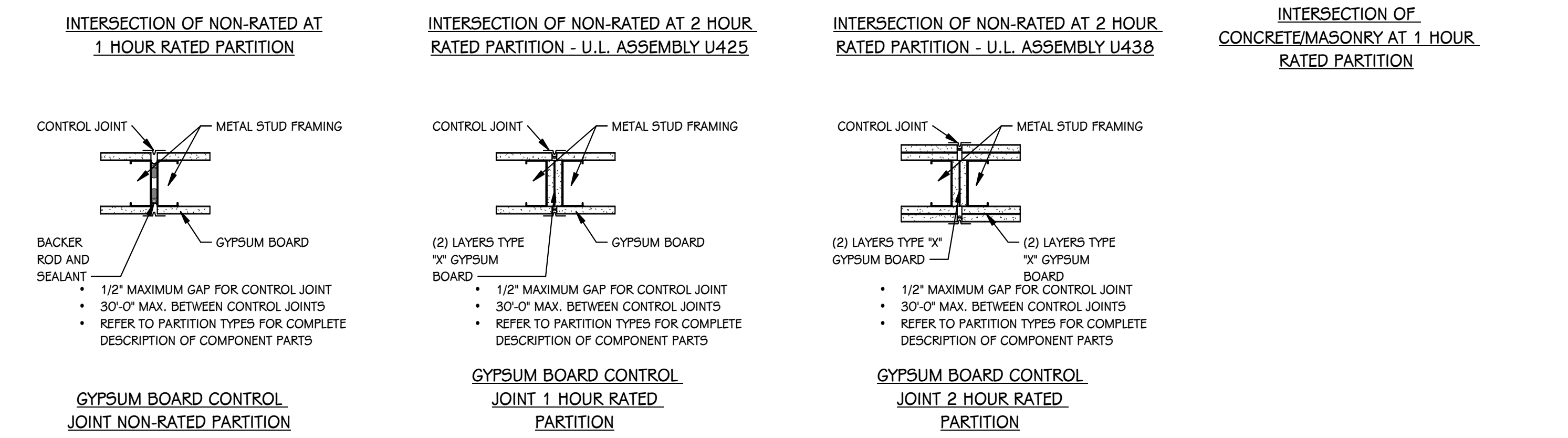
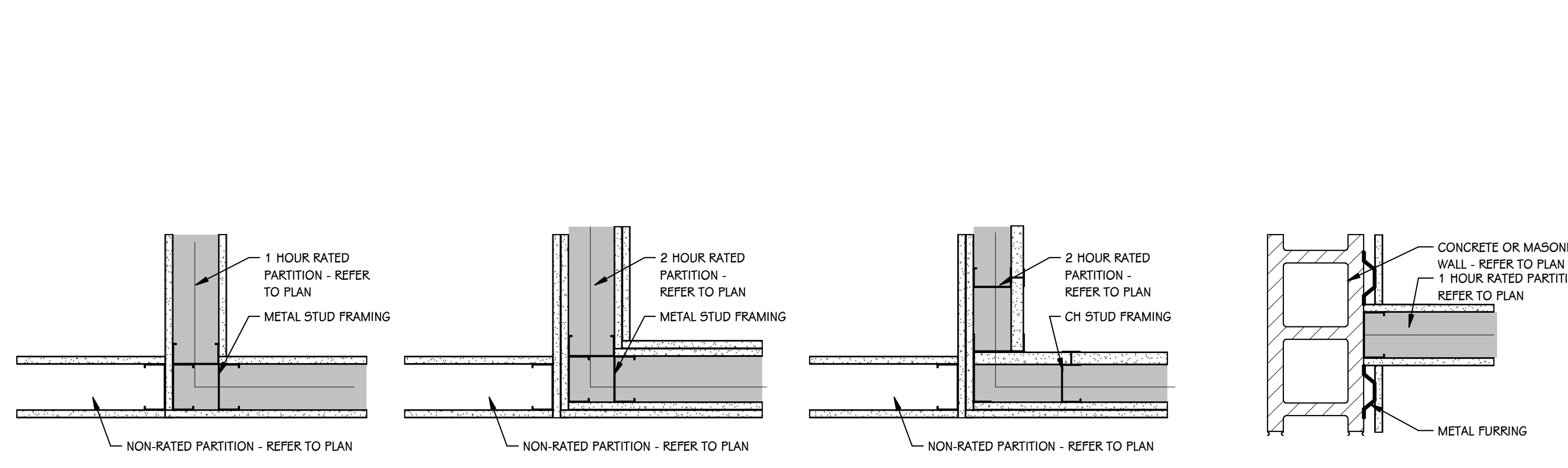
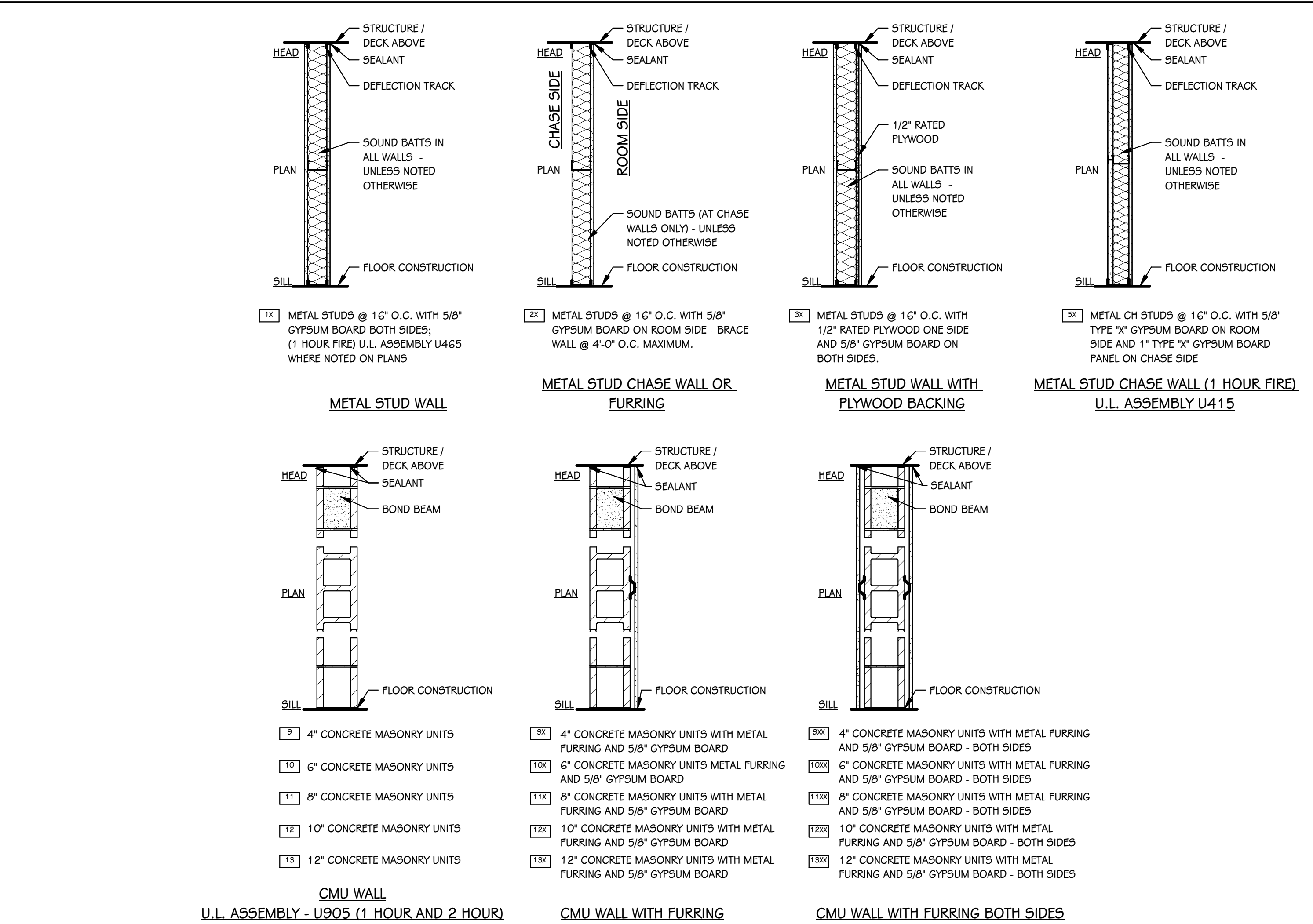
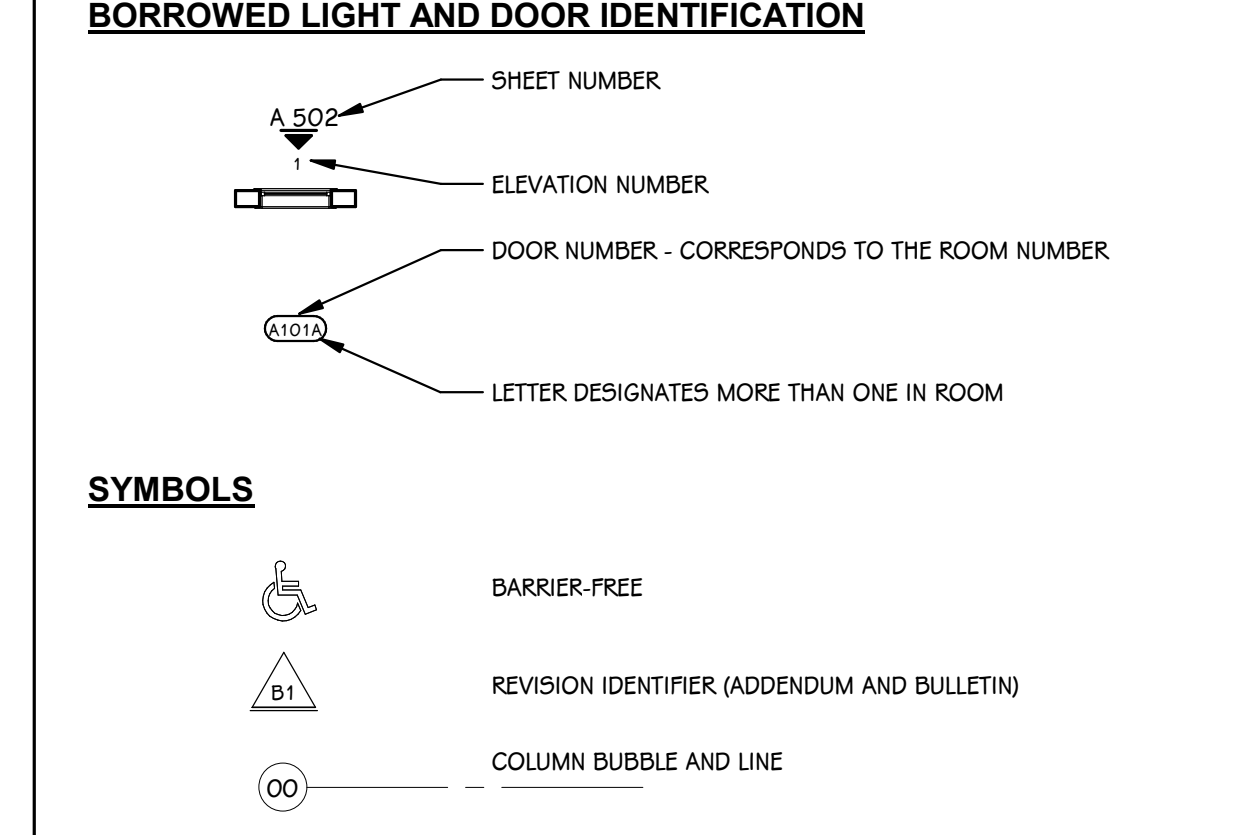
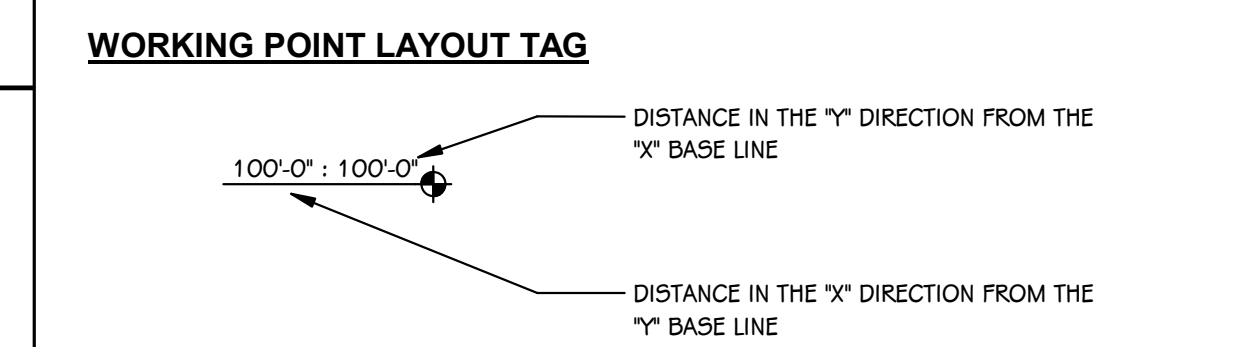
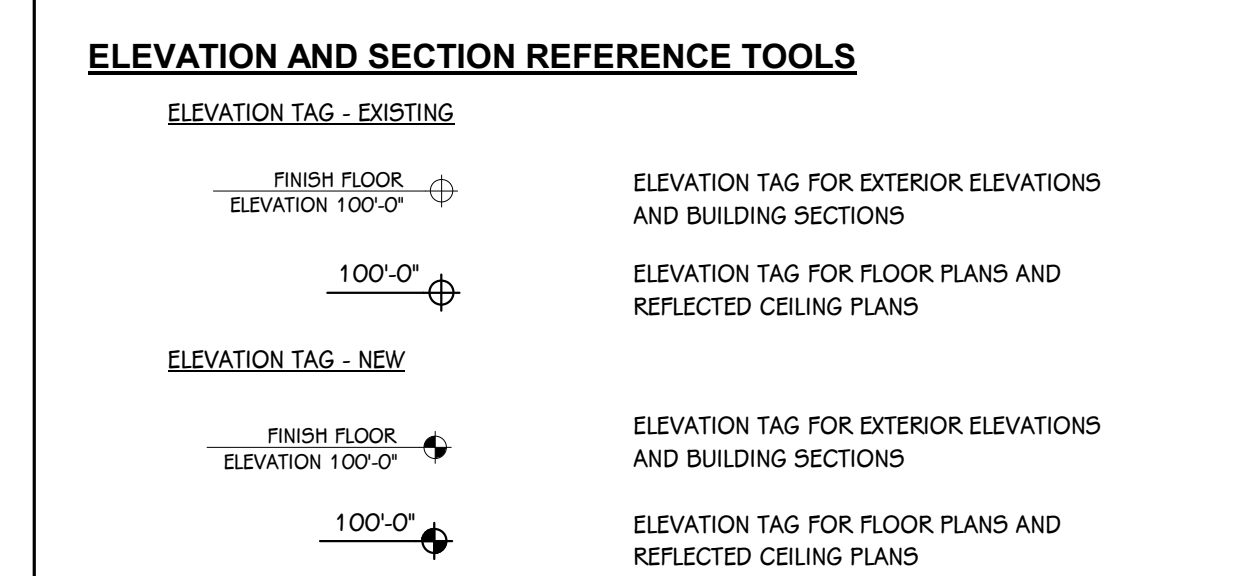
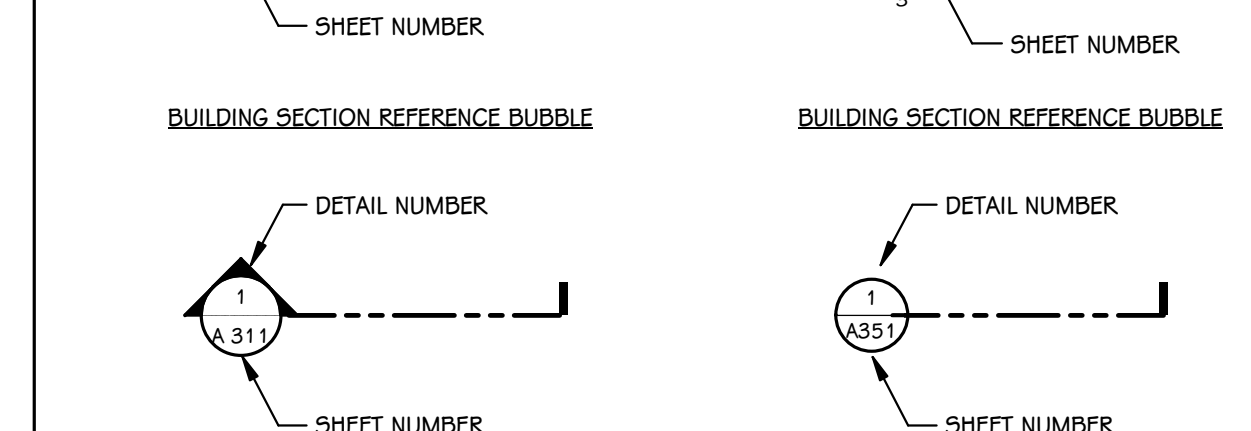
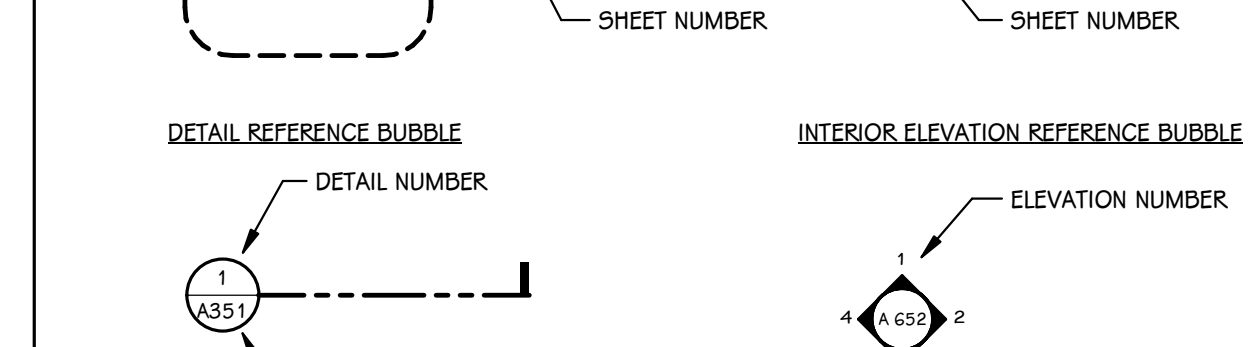
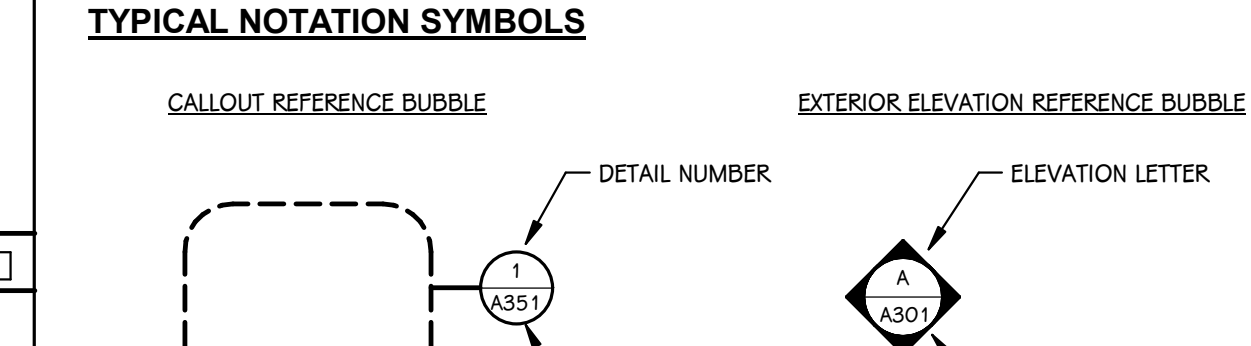
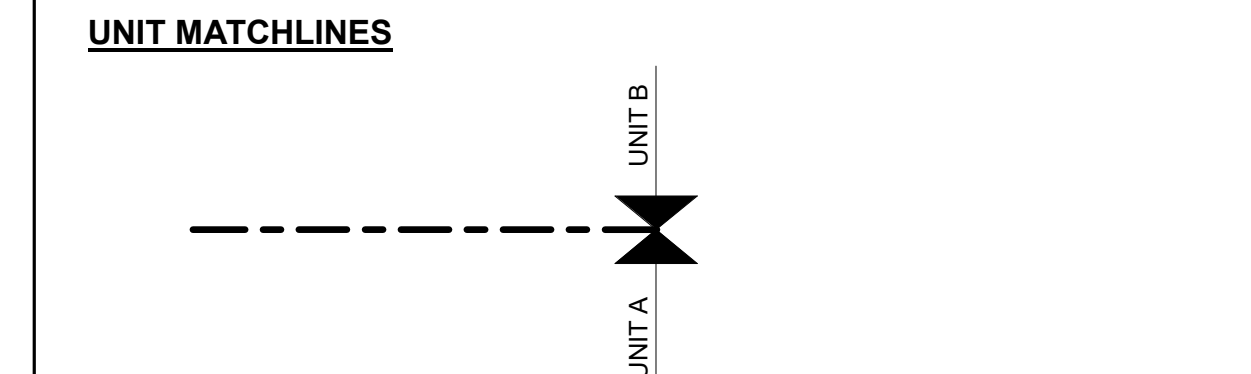
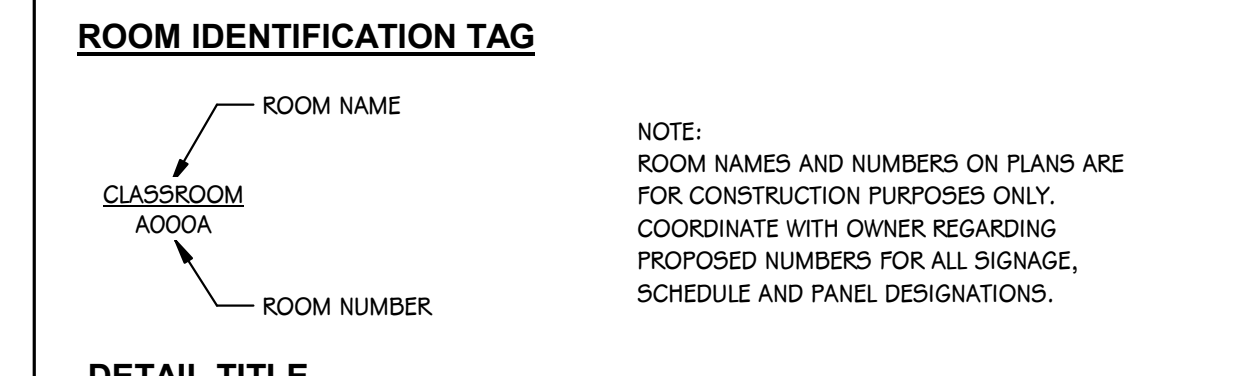
PARTITION TYPE TAG (REFER TO FLOOR PLANS)

PARTITION TYPE NUMBER: METAL STUD, FURRING OR CH STUD FRAMING LETTER: FIRE-RATING, IF REQUIRED

GENERAL DEMOLITION NOTES

1. CONTRACTORS ARE REQUIRED TO INSPECT/REVIEW THE EXISTING BUILDING PRIOR TO RELATED DEMOLITION WORK. UNLESS NOTED OTHERWISE, REMOVAL OF ANY WALL, FLOOR OR CEILING INCLUDES ALL GENERAL MECHANICAL AND ELECTRICAL ITEMS WHICH ARE A PART OF, OR ATTACHED TO IT.
2. CONTRACTOR SHALL VERIFY ALL EXISTING JOB SITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. ADVISE CONSTRUCTION MANAGER OF ANY AND ALL DISCREPANCIES.
3. PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.
4. ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
5. PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
6. REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
7. REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
8. SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW CONSTRUCTION, IF REQUIRED.
9. AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TAGBOARDS, TACK STRIPS, ETC.

TYPICAL SYMBOLS & REFERENCES



ISSUED FOR DATE

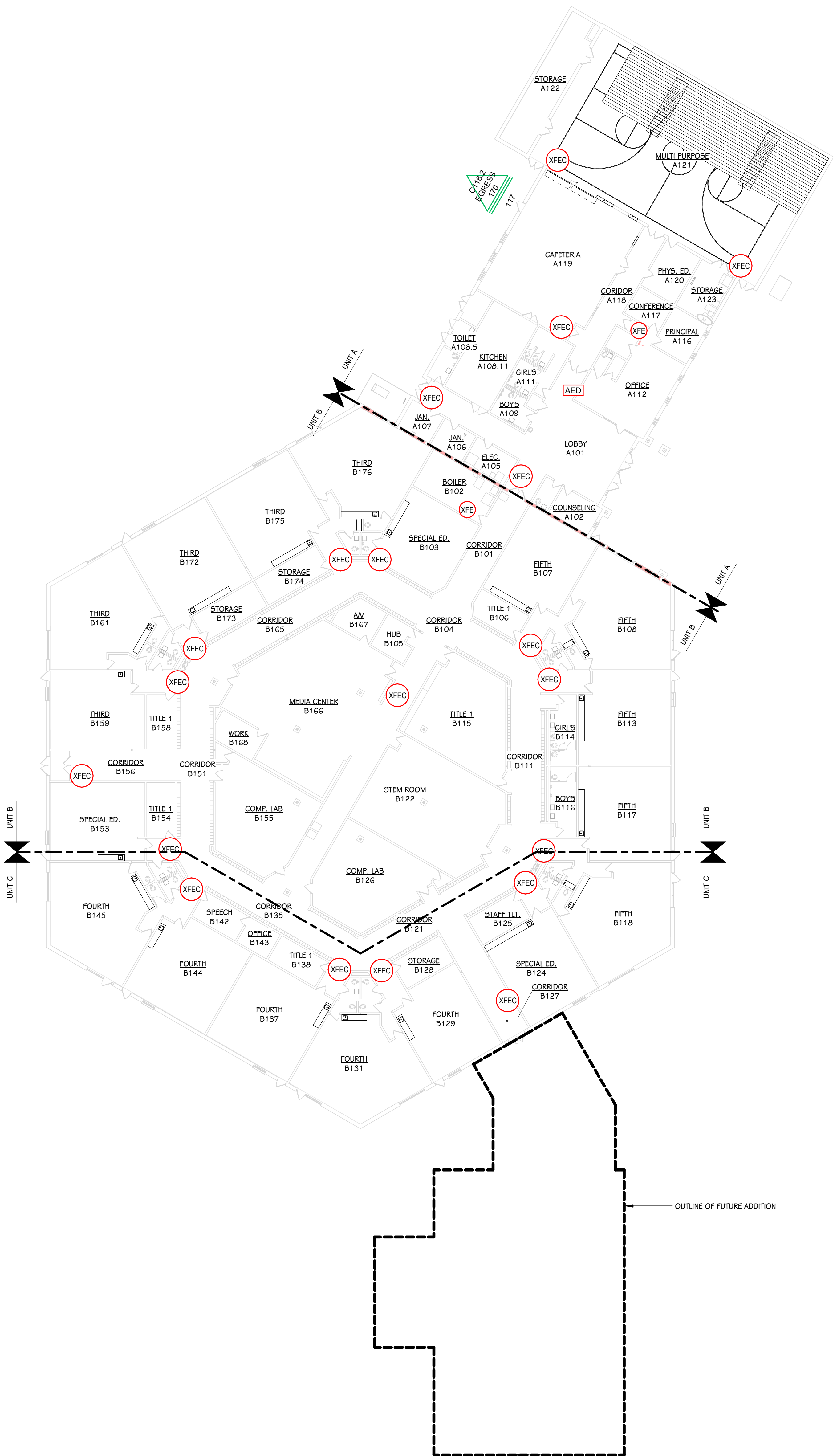
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
FIRST FLOOR CODE COMPLIANCE PLAN

Hemlock, Michigan

DATE
DECEMBER 21, 2022
SHEET NUMBER
G 101.1
21113.20



FIRST FLOOR CODE COMPLIANCE PLAN
1" = 20'-0"

2012 NFPA LIFE SAFETY CODE

1. BUILDING AREA AND USE GROUPS
EXISTING = 50,608 GSF
DEMOLITION = 0 GSF

OCCUPANCY USE GROUP: E - EDUCATION (CLASSROOMS AND BUSINESSES)
A. ASSEMBLY (CAFETERIA, AUDITORIUM AND CLASSROOMS 30 OR OVER)
OCCUPANT LOADS (CHAPTER 10) NOTE: PER 10.1.5, THE CONSTRUCTION TYPE LIMITATION ALLOWS FOR NO RATING REQUIRED BETWEEN ASSEMBLY (DVA)

2. CONSTRUCTION TYPE: HB FOR ALL FOUR BUILDING AREAS (5000 NFPA I 6000)

3. BUILDING AREA:
BUILDING No. 1 = 50,608 SF (151 FL. EXISTING)

TOTAL BUILDING = 50,608 SF
MBC 506 ALLOWABLE FLOOR AREA AND HEIGHT - SEE NBC NOTES 2.3 AND 4

4. MEANS OF EGRESS

OCCUPANT LOAD FACTORS: 3.3.1.2: MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

STORAGE IN OTHER THAN STORAGE AND MISC. OCCUPANCY	100 GROSS
ASSEMBLY WITHOUT FIXED SEATS	7 NET
LESS CONCENTRATED USE, WITHOUT FIXED SEATING	15 NET
STAGES	15 NET
BUSINESS AREAS	100 GROSS
EDUCATIONAL CLASSROOMS	20 NET
EDUCATIONAL SPONS AND OTHER VOCATIONAL	50 NET
EDUCATIONAL LOCKER ROOMS	15 GROSS
EXERCISE ROOMS WITH EQUIPMENT	50 GROSS
RECREATION	100 GROSS
LIBRARY READING ROOMS	50 NET
LIBRARY STACK AREAS	100 GROSS

SEE CALCULATED OCCUPANCIES OUTLINED AT EACH BUILDING AREA

EGRESS WIDTH PER OCCUPANT SERVED (TABLE 1005.3): MINIMUM WIDTH = 0.5 AT STAIRS & 0.2 AT DOORS PER OCCUPANT

MAXIMUM EXIT ACCESS TRAVEL WITHOUT FIRE SPRINKLER SYSTEM: 200 FEET FOR ASSEMBLY (12.2.6.2) & FOR EDUCATIONAL (14.2.6.2.3) (AMENDMENT)

MAXIMUM EXIT ACCESS TRAVEL WITH FIRE SPRINKLER SYSTEM: 250 FEET FOR ASSEMBLY (12.2.6.2.1) & FOR EDUCATIONAL (14.2.6.2.3) (AMENDMENT)

EVERY STUDENT OCCUPIED ROOM OVER 200 SF MUST HAVE A DOOR OR WINDOW TO THE EXTERIOR (14.2.1.1) UNLESS BUILDING HAS A FIRE SPRINKLER SYSTEM THROUGHOUT (14.2.1.1.1.2.1).

MAXIMUM CORRIDOR DEAD END TRAVEL: 20 FEET WITHIN EDUCATIONAL AREA WITH BUILDING FIRE SPRINKLER SYSTEM THROUGHOUT (14.2.3.2).
NOTE: AN EXCEPTION FOR 50 FEET DEAD END IS ALLOWED IF THERE ARE NO ASSEMBLY SPACES IN THE BUILDING. THIS IS NOT APPLICABLE IN THIS INSTANCE AND 20 FEET IS BEING DESIGNER TO.

5. OCCUPANCY SEPARATIONS SHALL BE MAILED USE: ALL NONSEPARATED BY EACH OTHER (1.4.1.1 & 1.4.1.3)

6. 7.2.1.2 WHERE PERMANENTLY MOUNTED FOLDING OR MOVABLE PARTITIONS DIVIDE A ROOM INTO SMALLER SPACES, A SWINGING DOOR LEAF OR OPEN DOORWAY SHALL BE PROVIDED AS AN EXIT ACCESS FROM EACH SPACE, NONRESTRICTIVE RULES

7. BUILDING TO BECOME PARTIALLY SPRINKLED

8. CONDITIONS ARE REQUIRED TO HAVE A ONE-HOUR FIRE RESISTANCE RATING AT NON-SPRINKLED BUILDINGS (14.3.6) AND NON-RATED SMOKE RESISTANCE AT FIRE SPRINKLED BUILDINGS (14.3.6.2). PROVIDE DOORS WITH CLOSERS

9. LAYERS ARE NOT REQUIRED TO BE SEPARATED FROM CORRIDORS PROVIDED THEY ARE SEPARATED FROM ALL OTHER SPACES WITH ONE-HOUR WALLS (14.3.6.4)

10. SUBDIVISION OF THE BUILDING INTO SMOKE COMPARTMENTS IS REQUIRED. (14.3.7.1) 30,000 S.F. MAX.

PLUMBING COUNTS (2015 MICHIGAN PLUMBING CODE)

PLUMBING FIXTURE COUNTS BASED ON NON-SIMULTANEOUS USE FOR EDUCATIONAL OCCUPANCY. HOWEVER, THE NEW SPANISH BATHROOM IS DESIGNED WITH PLUMBING FIXTURES REQUIRED FOR AN ASSEMBLY OCCUPANCY SUCH THAT THE OCCUPANTS HAVE ACCESS FOR AN AFTER-HOURS EVENT LIMITED TO THE NEW ADDITION AREA. FOR SECURITY REASONS THERE IS NO NEED TO ENTER THE EDUCATIONAL AREA FOR TOILET ACCESS DURING AN EVENT IN THE SHAL

TYPICAL OCCUPANCY PLUMBING FIXTURE CLASSIFICATIONS
CLOSING CLASSROOM CLOSET AND STAFF ROOMS INCREASED. THIS IS NOT FIXTURE COUNT UPDATE.

2015 MICHIGAN BUILDING CODE

1. BUILDING AREA AND USE GROUPS
USE GROUP: E - EDUCATION (305.1)
A - ASSEMBLY (ASSEMBLY FROM GROUP E, 303.1.3)

CONSTRUCTION TYPE: HB, NON-COMBUSTIBLE, 0 HR STRUCTURE (TABLE 601)
(TABLE 601 VALUES) EXTERIOR LOAD BEARING - 0 HR SHAR (ENCLOSED) - 1 HR EXTERIOR NONLOAD BEARING - 0 HR SHARPS - 1 HR

2. BUILDING AREAS, HEIGHT, PROTRUSION AND INCREASE (506.3)

GROUP	STORIES	B.A.	AREA (ACTUAL)	PERIMETER (P)	OPEN YARD (OY)	% OPEN YARD	% INC
E	1	1	60,767	1,415	1,415	100	75

IF P.F. > 200 FEET PER SIDE 3.3
NOTE: W IS THE WIDTH OF OPEN YARD

3. MBC 506 ALLOWABLE FLOOR AREA

B.A.	(NO. BASE COMPLIANT)	ALLOWABLE (TABLE 504.2)	ALLOWABLE (TABLE 504.4)	MAX. ALLOWABLE BUILDING AREA / FLOOR (TABLE 504.3)	ACTUAL < MAX
1	58,000	3	75	58,000 + (14,500 * 0.75) = 68,875	YES

4. OCCUPANT LOAD

1004.1.1 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

ITEM	FIRE PARTITIONS	FIRE SHARPS	SMOKE DAMPERS	DATING	MBC
1 HR FIRE PARTITIONS	X	NA	NA	-	717.5.4
2 HR FIRE PARTITIONS	X	NA	NA	-	717.5.1
ASSEMBLY STANDING SPACE	7 NET	NA	NA	-	1023.5
ASSEMBLY UNCONCENTRATED TABLES AND CHAIRS	15 NET	NA	NA	-	717.5.3
BUSINESS AREAS	100 GROSS	NA	NA	-	717.6.1
EDUCATIONAL CLASSROOMS	20 NET	NA	NA	-	717.6.3
EDUCATIONAL SPONS AND OTHER VOCATIONAL	50 NET	NA	NA	-	717.6.1
EDUCATIONAL LOCKER ROOMS	15 GROSS	NA	NA	-	717.6.3
EXERCISE ROOMS	50 GROSS	NA	NA	-	717.6.3
KITCHEN COMMERCIAL	300 GROSS	NA	NA	-	717.6.3

SEE CALCULATED OCCUPANCIES OUTLINED AT EACH BUILDING AREA

5. PROTECTION FROM HAZARDS

THE WALLS SECTION (14.1) EACH PORTION OF A BUILDING SERVED BY ONE OR MORE FIRE WALLS THAT COMPLY WITH THE PROVISIONS OF THIS SECTION SHALL BE CONSIDERED A SEPARATE BUILDING.

6. FIRE (SMOKE DAMPERS AND DUCT PENETRATIONS (NA MEANS NOT APPLICABLE))

ITEM	FIRE PARTITIONS	SMOKE DAMPERS	DATING	MBC
1 HR FIRE PARTITIONS	X	NA	-	717.5.4
2 HR FIRE PARTITIONS	X	NA	-	717.5.1
SHAR SHARPS	NOTE 1	NA	-	1023.5
1 HR MECHANICAL SHARPS	X	NA	-	717.5.3
1 HR FLOOR ASSEMBLIES	X	NA	-	717.6.1
1 HR NON-RATED FL.	NA	NA	-	717.6.3
SMOKE RESISTIVE ROOMS	NA	NA	-	717.6.3

NOTE 1: DUCT PENETRATIONS AND DAMPERS NOT PERMITTED
** DUCT THROUGH FLOOR ASSEMBLIES SHALL SEAL GAPS IN NON-COMB. FIRE SAFING
** SEAL PENETRATIONS WITH SMOKE RESISTIVE SEALANT AND TRANSFER GASKETS

7. FIRE STOPPING AND SMOKE STOPPING

FILL ALL HOLES AND JOISTS IN FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES AROUND ALL MECHANICAL, ELECTRICAL, PIPING, ELECTRICAL PENETRATIONS WITH FIRE RATED FIRE STOP MATERIALS PER SPECIFICATION IN DIVISION 7 AND PER ASTM E814. ALL GAPS BETWEEN TOP OF FIRE RATED WALLS AND FLOOR ROOF DECKS ABOVE WITH PRECASTING, SUBMIT FIRE STOP TEST REPORTS AND PRODUCT LITERATURE AS REQUESTED BY AUTHORIZED HAVING JURISDICTION. THE PENETRATIONS THROUGH SMOKE RESISTIVE / PARTITIONS SHALL BE SEALED SMOKE TIGHT WITH SMOKE RESISTIVE SEALANT. GAPS AROUND PENETRATIONS THROUGH NONRATED FLOOR ASSEMBLIES SHALL BE SEALED WITH NON-COMBUSTIBLE FIRE SAFING SECURED IN PLACE (MBC 714.4.1.2)

8. FIRE ALARM SYSTEM

PROVIDE FIRE ALARM SYSTEM THROUGHOUT BUILDING (907.2.3) WITH VOICE ALARMS EXCEPT AT MANUAL FILL STATIONS. THE SPRINKLER AND FIRE ALARM CONTROLLER SHALL BE MICHIGAN CERTIFIED UNDER MICHIGAN ACT 144 AND SHALL SUBMIT SHOP DRAWINGS TO LARA - BUREAU OF FIRE SERVICES FOR APPROVAL.

9. FIRE SPRINKLER SYSTEM

BUILDING TO REMAIN NON-SPRINKLED

10. MEANS OF EGRESS

MINIMUM REQUIRED EGRESS WIDTH (SECTION 1005) THE MEANS OF EGRESS WIDTH SHALL NOT BE LESS THAN REQUIRED BY THIS SECTION. THE EXIT CAPACITY FOR THE TOTAL WIDTH OF MEANS OF EGRESS IN INCHES SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS REQUIRED BY 1005.3.1 & 1005.3.2

EGRESS WIDTH PER OCCUPANT SERVED (SECTION 1005.3) REFER TO LSC NOTES (MORE RESTRICTIVE)

PANIC AND FIRE EXIT HARDWARE (SECTION 1010.1.10) DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN FRAC HARDWARE OR EXIT HARDWARE

MEANS OF EGRESS LIGHTING: PROVIDE EMERGENCY EGRESS LIGHTING IN ALL MEANS OF EGRESS SPACES HAVING 2 OR MORE MEANS OF EGRESS, IN COMMON TOILET ROOMS AND AT EXTERIOR SIDE OF EXITS. PROVIDE PHOTO-METRIC PLAN CALCULATIONS OF LIGHTING LEVELS IN ACCORDANCE WITH 1008.5.3 TO AND REQUESTED BY AUTHORIZED HAVING JURISDICTION

MAXIMUM COMMON PATH OF TRAVEL IS 75 FEET WITHIN ASSEMBLY AND GROUP E (TABLE 1006.2.1) EXCEPT 100 FEET PERMITTED WITHIN SHAR BUSINESS AREAS (TABLE 1006.2.1) COMMON PATH FOR GROUP E IS MORE RESTRICTIVE THAN LSC

MAXIMUM CORRIDOR DEAD END TRAVEL: 20 FEET (MBC 1005.4), EXCEPT 50 FEET FOR GROUP E WITH FIRE SPRINKLER SYSTEM

EGRESS THROUGH INTERVENING SPACES (1016.2) NOT ALLOWED EXCEPT WHERE ADDING ROOMS ARE ACCESSORY TO ONE OR THE OTHER AND PROVIDE A CONCEALABLE PATH OF EGRESS TRAVEL TO AN EXIT

WHERE TWO EXITS, EXIT ACCESS DOORWAYS, OR EXIT ACCESS STARWAYS ARE REQUIRED FROM ANY PORTION OF THE EXIST ACCESS (1007.1.1) - THE TWO ELEMENTS SHALL BE PLACED A DISTANCE APART NO LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED WHEN FULLY SPRINKLED

ROLLER, INCUBATOR AND FINANCE ROOMS (1006.2.2) TWO EXIT ACCESS DOORWAYS ARE REQUIRED IN BOLLER, INCUBATOR AND FINANCE ROOMS WHERE THE AREA IS OVER 500 SQUARE FEET. ADD ANY FUEL-BURNING EQUIPMENT EXCEEDS 400,000 BTU/H INPUT CAPACITY. WHERE TWO EXIT ACCESS DOORWAYS ARE REQUIRED, ONE IS PERMITTED TO BE A FIXED LADDER OR AN ALTERNATE TRAP DEVICE. EXIT ACCESS DOORWAYS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE EQUAL TO ONE-HALF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE ROOM

TRAVEL DISTANCE LIMITATIONS - EXITS SHALL BE LOCATED ON EACH STORY SUCH THAT THE MAXIMUM LENGTH OF EXIT ACCESS TRAVEL DOES NOT EXCEED THE DISTANCES SHOWN IN TABLE 1017.2

COMMON PATH OF TRAVEL (TABLE 1006.2.1) WITHIN ASSEMBLIES SHALL NOT EXCEED 75'. COMMON PATH OF EGRESS TRAVEL - THAT PORTION OF EXIT ACCESS WHICH THE OCCUPANTS ARE REQUIRED TO TRAVEL BEFORE TWO SEPARATE AND DISTINCT PATHS OF EGRESS TRAVEL TO TWO EXITS ARE AVAILABLE. PATHS THAT WOULD BE COMMON PATHS OF TRAVEL. COMMON PATHS OF EGRESS TRAVEL SHALL BE INCLUDED WITHIN THE PERMITTED TRAVEL DISTANCE. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2) - OCCUPANT E TRAVEL DISTANCE IS 200' WITHOUT A SPRINKLER SYSTEM OR 250' WITH SPRINKLER SYSTEM

CORRIDOR CONSTRUCTION (TABLE 1009.1) - E OCCUPANCY NON-SPRINKLED REQUIRES A ONE-HOUR FIRE RESISTANCE RATING. CORRIDORS SHALL BE SMOKE RESISTANT PER LSC NOTE 8

CORRIDOR WIDTH IN GROUP E OCCUPANCIES HAVING AN OCCUPANT LOAD OF 100 OR MORE SHALL HAVE A MINIMUM WIDTH OF 72 INCHES (TABLE 1009.2)

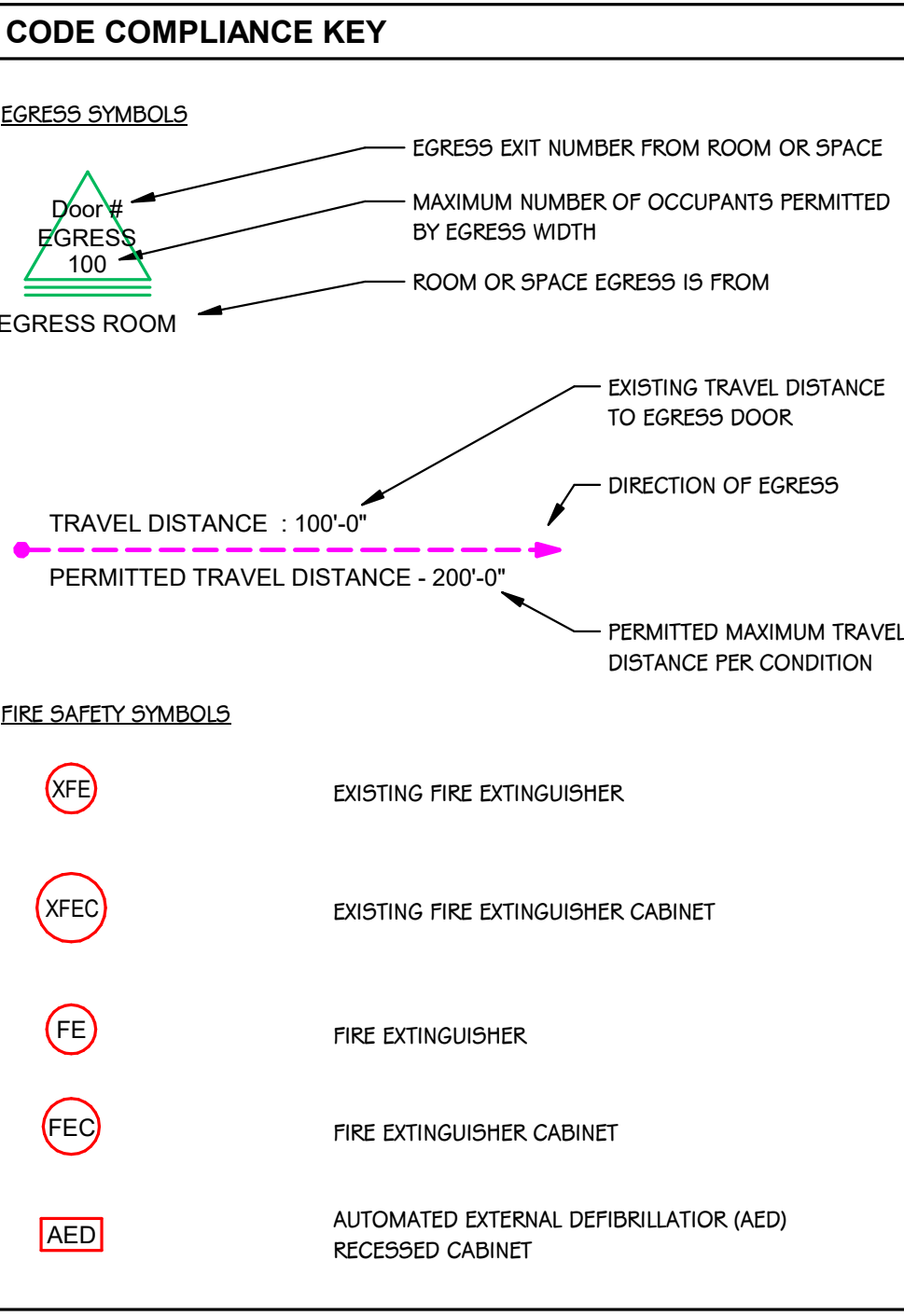
MINIMUM NUMBER OF EXITS (TABLE 1006.3.1)

1 TO 500 OCCUPANTS	= 2 EXITS REQUIRED
501 TO 1,000 OCCUPANTS	= 3 EXITS REQUIRED
1,000 AND OVER OCCUPANTS	= 4 EXITS REQUIRED

(1008.1) EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING. THE EXIT DISCHARGE SHALL BE AT GRADE OR SHALL PROVIDE A DIRECT PATH OF EGRESS TRAVEL TO GRADE. EXCEPTIONS PERMITTED PER 1008.1

11. INTERIOR FINISHES (TABLE 803.1.1)

WITHIN ENCLOSED STAIR EXITS (CLASS A NON-SPRINKLED) AND CLASS B (SPRINKLED)
CORRIDORS: B (NON-SPRINKLED) AND CLASS C (SPRINKLED)
ROOMS: CLASS C (CLASS B FOR GROUP A-2 OVER 300 OCCUPANTS)



FIRE SAFETY SYMBOLS

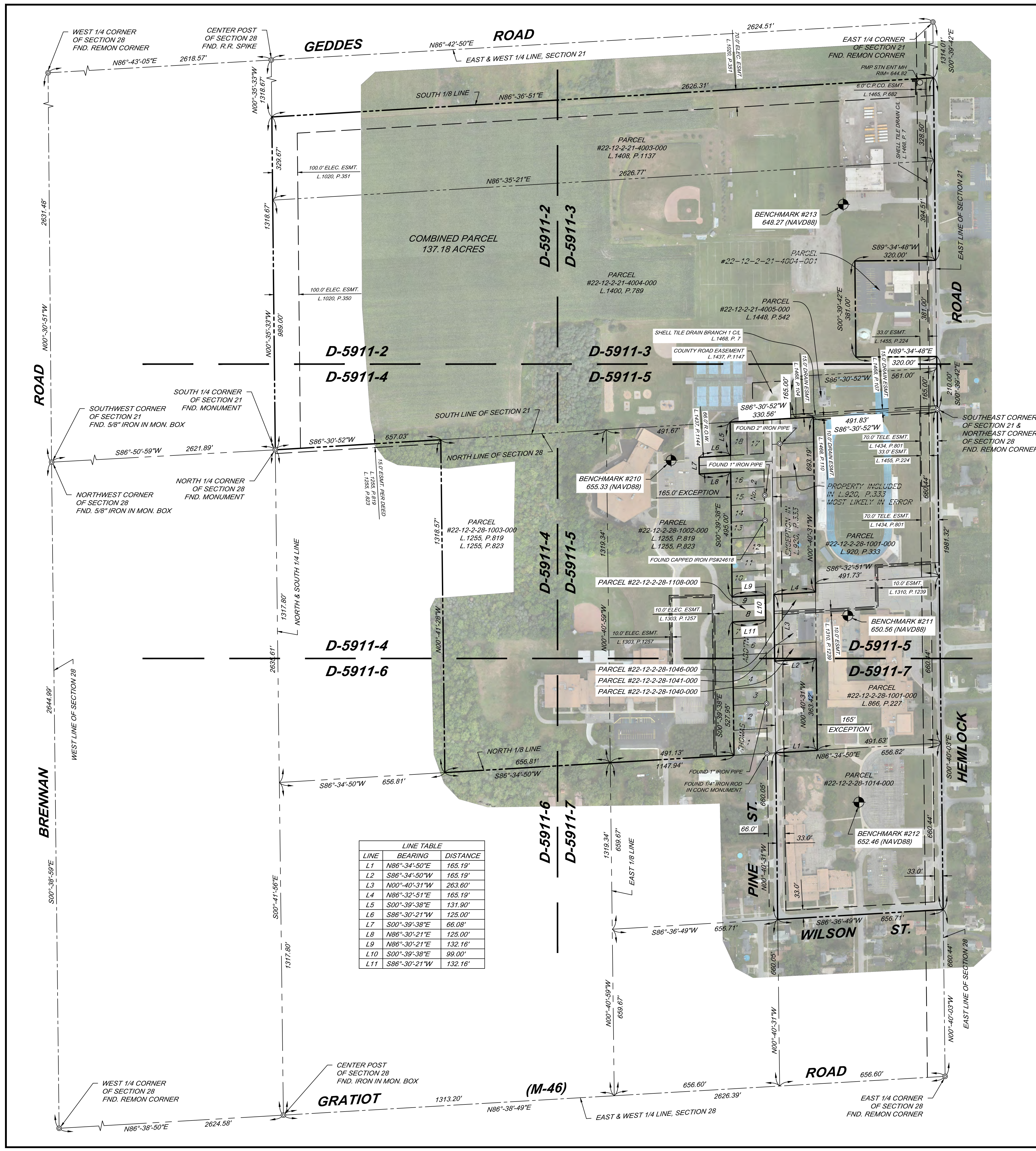
XFEC	EXISTING FIRE EXTINGUISHER
XFEC	EXISTING FIRE EXTINGUISHER CABINET
FE	FIRE EXTINGUISHER
FE	FIRE EXTINGUISHER CABINET
AED	AUTOMATED EXTERNAL DEFIBRILLATOR (AED)
AED	RECESSED CABINET

FIRE-RATING KEY

DESIGNATION	PARTITION RATING	PRIORITY
III	3 HOUR	1
II	2 HOUR FIRE/SMOKE	2
I	2 HOUR	3
IV	1 HOUR FIRE/SMOKE	4
V	1 HOUR	5
VI	SMOKE RESISTANT	6

- ALL PENETRATIONS THROUGH A FIRE OR SMOKE RATED PARTITION SHOULD BE SEALED WITH AN APPROVED U.L. RATED PRODUCT.
- THE TOPS OF ALL FIRE RATED PARTITIONS SHALL BE SEALED TO THE CONTIGUOUS STRUCTURE ABOVE WITH A U.L. RATED SYSTEM OR ASSEMBLY.
- WOOD BLOCKING IN FIRE-RATED PARTITIONS SHALL BE NON-COMBUSTIBLE TREATED WOOD.
- REFER TO SPECIFICATION U.L. RATING INFORMATION.
 - FOR MASONRY WALLS THE MASON SHALL FILL VOIDS AND FIRE SPRAY WITH UL LISTED MATERIAL
 - FOR STUD WALLS USE FIRE SAFING AND FIRE CALK.

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING



LINE	BEARING	DISTANCE
L1	N86°-34'-50"E	165.19'
L2	S86°-34'-50"W	165.19'
L3	N00°-40'-31"W	263.60'
L4	N86°-32'-51"E	165.19'
L5	S00°-39'-38"E	131.90'
L6	S86°-30'-21"W	125.00'
L7	S00°-39'-38"E	66.08'
L8	N86°-30'-21"E	125.00'
L9	N86°-30'-21"E	132.16'
L10	S00°-39'-38"E	99.00'
L11	S86°-30'-21"W	132.16'

UTILITY NOTE

The utility locations as hereon shown are based on field observations and a careful review of municipal and utility company records. However, it is not possible to determine the precise location and depth of underground utilities without excavation. Therefore, we cannot guarantee the accuracy or completeness of the buried utility information hereon shown. The contractor shall call "MISS DIG" (1-800-482-7171 or 811) within three working days prior to any excavation. The contractor is responsible for verifying these utility locations prior to construction and shall make every effort to protect and/or relocate them as required. The contractor shall notify the Engineer/Surveyor as soon as possible in the event a discrepancy is found. NOTE: At the time this survey was printed, no plans from Richland Township DPW have been received.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, RICHLAND TOWNSHIP IS CLASSIFIED AS A NON-FLOOD PRONE COMMUNITY. NO FLOOD PANELS PRINTED FOR THE SURVEYED PROPERTY.

FOR UTILITIES CONTACT

- TELEPHONE SERVICE**
Frontier/Venizon
TEL 800-778-9140
- GAS AND ELECTRIC SERVICE**
Consumers Energy
2400 Weiss Street
Saginaw, MI 48602
TEL 989-791-5869
- WATER AND SEWER SERVICES**
Richland Township DPW
1180 N. Hemlock Rd.
Hemlock, MI 48626
TEL 989-642-2097
- CABLE SERVICES**
Charter Communications
TEL 800-242-8511
- FIBER OPTIC SERVICES**
Windstream Communications
TEL 800-289-1901
- Lakelnet, LLC
TEL 989-245-2289
- Charter Communications
TEL 800-778-9140

SURVEYOR'S NOTE

NO PROPERTY CORNERS WERE SET AT THE TIME OF THIS SURVEY

PARCEL DESCRIPTIONS

- Parcel #22-12-2-21-4004-000 per L.1400, P.789: The South 3/4 of the South 1/2 of the Southeast 1/4 of Section 21, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan, except the East 561.00 feet, measured parallel to the East Section line, of the East 561.00 feet, measured parallel to the South Section line, thereof.
- Parcel #22-12-2-21-4003-000 per L.1408, P.1137: The North 1/2 of the North 1/2 of the South 1/2 of the Southeast 1/4 of Section 21, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-21-4005-000 per L.1448, P.542: All that part of the Southeast 1/4 of the Southeast 1/4 of Section 21, T.12 N. - R.2 E., described as follows: Commencing at the Southeast Corner of said Section 21; thence West on the South Section line of said Section, 561 feet; thence North parallel with the East line of said Section, 165 feet; thence East parallel with the South line of said Section, 561 feet to the East line of said Section; thence South on the East line of said Section, 165 feet to the place of beginning. Also described as the South 165 feet of the East 561 feet of the Southeast 1/4, Section 21, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1001-000 per L.866, P.227: The South 1/2 of the East 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1001-000 per L.920, P.333: The North 1/2 of the East 1/2 of the Northeast 1/4 of the Northeast 1/4, except the South 429 feet of the West 165 feet of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1002-000 per L.1255, P.819 & L.1255, P.823: The West 1/2 of the Northeast 1/4 of the Northeast 1/4 except the East 165 feet; also the East 1/2 of the Northwest 1/4 of the Northeast 1/4 of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan, also an easement across the North 15 feet of the West 1/2 of the West 1/2 of the Northeast 1/4 except the East 165 feet of the West 198 feet of the South 297 feet.
- Parcel #22-12-2-28-1108-000 per Tax Description: Lot 8 and the South 1/2 of Lot 9, Thomas Addition No. 2, part of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1046-000 per Tax Description: The South 66 feet of the North 99 feet of the West 165 feet of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1041-000 per Tax Description: The North 132 feet of the South 561 feet of the West 165 feet of the East 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1040-000 per Tax Description: The North 66 feet of the South 429 feet of the West 165 of the East 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.
- Parcel #22-12-2-28-1014-000 per Tax Description: The Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 except the West 165 feet; also the Northeast 1/4 of the Southeast 1/4 of the Northeast 1/4 of Section 28, T.12 N. - R.2 E., Richland Township, Saginaw County, Michigan.

BENCHMARKS

- BM 210 - Found chiseled 'X' on top of bolt to hydrant on North end of parking lot to K.C. Ling building.
Elev. 655.33 (NAVD88)
- BM 211 - Found chiseled 'X' on top of bolt to hydrant on North side of high school near inner plaza entrance.
Elev. 650.56 (NAVD88)
- BM 212 - Set Pk nail in base of light pole on West side of the South high school parking lot.
Elev. 652.46 (NAVD88)
- BM 213 - Found chiseled 'X' on top of Southeast bolt of hydrant in the Southwest corner of bus garage.
Elev. 648.27 (NAVD88)

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
Roger P. Mahoney
Professional Surveyor No. 4001041105

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:

HEMLOCK PUBLIC SCHOOLS
200 WILSON ST.
HEMLOCK, MICHIGAN 48826

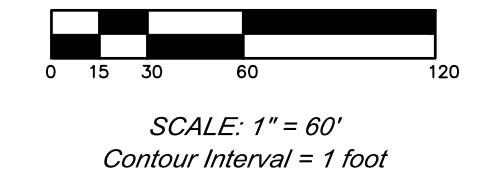
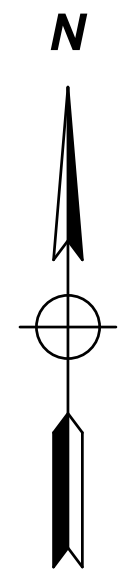
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:

PART OF THE S.E. 1/4 OF SECTION 21 & PART OF THE N.E. 1/4 OF SECTION 28
T.12 N. - R.2 E.,
RICHLAND TOWNSHIP
SAGINAW COUNTY, MICHIGAN



PREPARED BY:
ROGER P. MAHONEY
PROFESSIONAL SURVEYOR NO. 4001041105
230 S. WASHINGTON AVENUE
SAGINAW, MICHIGAN 48607
TEL. 989-754-4717
DRAWN BY: J. THERING
DATE: 9/23/22
JOB NUMBER: 132714SG2022
www.SpicerGroup.com

SECTIONS 21 & 28
T.12 N. - R.2 E.
RICHLAND TOWNSHIP
SAGINAW COUNTY,
MICHIGAN



LEGEND

- STUMP
- PINE
- BUSH
- TREE
- FOUND SURVEY CORNER
- SET 1/2" IRON ROD
- SET WOOD LATH
- SET P.K. NAIL
- RIGHT OF WAY MARKER
- BENCHMARK
- CONTROL POINT
- SATELLITE DISH
- AIR CONDITIONING UNIT
- SOIL BORING
- MAIL BOX
- BURIED CABLE LINES
- BURIED ELECTRIC LINES
- GASMAINS
- SANITARY SEWER LINES
- STORM SEWER LINES
- TELEPHONE LINES
- WATERMAINS
- FIBER OPTIC LINES
- NOT FIELD LOCATED
- MEASURED DIMENSION
- RECORDED DIMENSION
- MANHOLE
- CATCHBASIN
- CURB CATCHBASIN
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- TELEPHONE POLE
- POWER POLE
- POWER AND TELEPHONE POLE
- GUY ANCHOR AND POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRICAL PEDESTAL
- CABLE TV PEDESTAL
- SIGN
- RAILROAD SIGNAL
- TRANSFORMER
- BARRIER FREE PARKING
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- CONCRETE CURB
- FENCE LINE
- OVERHEAD POWER LINES
- TREE LINE

MATCHLINE - D-5911-3

MATCHLINE - D-5911-4

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
 Roger P. Mahoney
 Professional Surveyor No. 4001041105



PREPARED BY:
 ROGER P. MAHONEY
 PROFESSIONAL SURVEYOR NO. 4001041105
 230 S. WASHINGTON AVENUE
 SAGINAW, MICHIGAN 48607
 TEL. 989-754-4717
 DRAWN BY: J. THERING
 DATE: 9/23/22
 JOB NUMBER: 132714SG2022
 www.SpicerGroup.com

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
 200 WILSON ST.
 HEMLOCK, MICHIGAN 48826

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
 PART OF THE S.E. 1/4 OF SECTION 21 &
 PART OF THE N.E. 1/4 OF SECTION 28
 T.12 N. - R.2 E.,
 RICHLAND TOWNSHIP
 SAGINAW COUNTY, MICHIGAN

132714SG2022
D-5911-2

MATCHLINE - D-5911-2



MATCHLINE - D-5911-5

SECTIONS 21 & 28
T.12 N. - R.2 E.
RICHLAND TOWNSHIP
SAGINAW COUNTY,
MICHIGAN

SCALE: 1" = 60'
 Contour Interval = 1 foot

- LEGEND**
- STUMP
 - PINE
 - BUSH
 - TREE
 - FOUND SURVEY CORNER
 - SET 1/2" IRON ROD
 - SET WOOD LATH
 - SET P.K. NAIL
 - RIGHT OF WAY MARKER
 - BENCHMARK
 - CONTROL POINT
 - SATELLITE DISH
 - AIR CONDITIONING UNIT
 - SOIL BORING
 - MAIL BOX
 - BURIED CABLE LINES
 - BURIED ELECTRIC LINES
 - GAS MAINS
 - SANITARY SEWER LINES
 - STORM SEWER LINES
 - TELEPHONE LINES
 - WATER MAINS
 - FIBER OPTIC LINES
 - NOT FIELD LOCATED
 - MEASURED DIMENSION
 - RECORDED DIMENSION
 - MANHOLE
 - CATCHBASIN
 - CURB CATCHBASIN
 - FIRE HYDRANT
 - WATER VALVE
 - GAS VALVE
 - TELEPHONE POLE
 - POWER POLE
 - POWER AND TELEPHONE POLE
 - GUY ANCHOR AND POLE
 - LIGHT POLE
 - TELEPHONE PEDESTAL
 - ELECTRICAL PEDESTAL
 - CABLE TV PEDESTAL
 - SIGN
 - RAILROAD SIGNAL
 - TRANSFORMER
 - BARRIER FREE PARKING
 - BITUMINOUS SURFACE
 - CONCRETE SURFACE
 - CONCRETE CURB
 - FENCE LINE
 - OVERHEAD POWER LINES
 - TREE LINE

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
 Roger P. Mahoney
 Professional Surveyor No. 4001041105



PREPARED BY:
 ROGER P. MAHONEY
 PROFESSIONAL SURVEYOR NO. 4001041105
 230 S. WASHINGTON AVENUE
 SAGINAW, MICHIGAN 48607
 TEL. 989-754-4717
 DRAWN BY: J. THERING
 DATE: 9/23/22
 JOB NUMBER: 132714SG2022
 www.SpicerGroup.com

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
 200 WILSON ST.
 HEMLOCK, MICHIGAN 48826

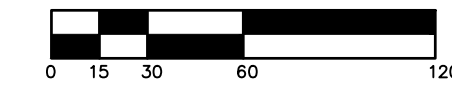
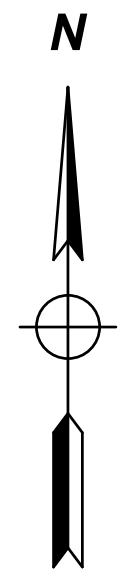
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
 PART OF THE S.E. 1/4 OF SECTION 21 &
 PART OF THE N.E. 1/4 OF SECTION 28
 T.12 N. - R.2 E.,
 RICHLAND TOWNSHIP
 SAGINAW COUNTY, MICHIGAN

132714SG2022
D-5911-3

MATCHLINE - D-5911-2



SECTIONS 21 & 28
 T.12 N. - R.2 E.
 RICHLAND TOWNSHIP
 SAGINAW COUNTY,
 MICHIGAN



SCALE: 1" = 60'
 Contour Interval = 1 foot

LEGEND

- STUMP
- PINE
- BUSH
- TREE
- FOUND SURVEY CORNER
- SET 1/2" IRON ROD
- SET WOOD LATH
- SET P.K. NAIL
- RIGHT OF WAY MARKER
- BENCHMARK
- CONTROL POINT
- SATELLITE DISH
- AIR CONDITIONING UNIT
- SOIL BORING
- MAIL BOX
- BURIED CABLE LINES
- BURIED ELECTRIC LINES
- GASMAINS
- SANITARY SEWER LINES
- STORM SEWER LINES
- TELEPHONE LINES
- WATERMAINS
- FIBER OPTIC LINES
- NOT FIELD LOCATED
- MEASURED DIMENSION
- RECORDED DIMENSION
- MANHOLE
- CATCHBASIN
- CURB CATCHBASIN
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- TELEPHONE POLE
- POWER POLE
- POWER AND TELEPHONE POLE
- GUY ANCHOR AND POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRICAL PEDESTAL
- CABLE TV PEDESTAL
- SIGN
- RAILROAD SIGNAL
- TRANSFORMER
- BARRIER FREE PARKING
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- CONCRETE CURB
- FENCE LINE
- OVERHEAD POWER LINES
- TREE LINE

MATCHLINE - D-5911-5

MATCHLINE - D-5911-6

PARCEL
 #22-12-2-28-1003-000
 L. 1255, P. 819
 L. 1255, P. 823

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
 Roger P. Mahoney
 Professional Surveyor No. 4001041105



PREPARED BY:
 ROGER P. MAHONEY
 PROFESSIONAL SURVEYOR NO. 4001041105
 230 S. WASHINGTON AVENUE
 SAGINAW, MICHIGAN 48607
 TEL. 989-754-4717
 DRAWN BY: J. THERING
 DATE: 9/23/22
 JOB NUMBER: 132714SG2022
 www.SpicerGroup.com

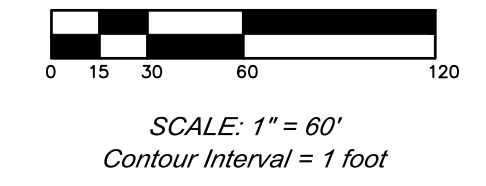
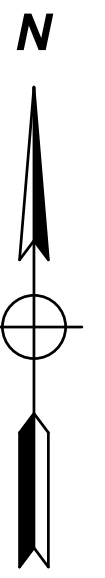
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
 200 WILSON ST.
 HEMLOCK, MICHIGAN 48826

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
 PART OF THE S.E. 1/4 OF SECTION 21 &
 PART OF THE N.E. 1/4 OF SECTION 28
 T.12 N. - R.2 E.,
 RICHLAND TOWNSHIP
 SAGINAW COUNTY, MICHIGAN

132714SG2022
D-5911-4

MATCHLINE - D-5911-3

SECTIONS 21 & 28
T.12 N. - R.2 E.
RICHLAND TOWNSHIP
SAGINAW COUNTY,
MICHIGAN



LEGEND

- STUMP
- PINE
- BUSH
- TREE
- FOUND SURVEY CORNER
-
- SET WOOD LATH
- SET P.K. NAIL
- RIGHT OF WAY MARKER
- BENCHMARK
- CONTROL POINT
- SATELLITE DISH
- AIR CONDITIONING UNIT
- SOIL BORING
- MAIL BOX
- BURIED CABLE LINES
- BURIED ELECTRIC LINES
- GAS MAINS
- SANITARY SEWER LINES
- STORM SEWER LINES
- TELEPHONE LINES
- WATER MAINS
- FIBER OPTIC LINES
- NOT FIELD LOCATED
- MEASURED DIMENSION
- RECORDED DIMENSION
- MANHOLE
- CATCHBASIN
- CURB CATCHBASIN
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- TELEPHONE POLE
- POWER POLE
- POWER AND TELEPHONE POLE
- GUY ANCHOR AND POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRICAL PEDESTAL
- CABLE TV PEDESTAL
- SIGN
- RAILROAD SIGNAL
- TRANSFORMER
- BARRIER FREE PARKING
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- CONCRETE CURB
- FENCE LINE
- OVERHEAD POWER LINES
- TREE LINE

MATCHLINE - D-5911-4



MATCHLINE - D-5911-7

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
Roger P. Mahoney
Professional Surveyor No. 4001041105



PREPARED BY:
ROGER P. MAHONEY
PROFESSIONAL SURVEYOR NO. 4001041105
230 S. WASHINGTON AVENUE
SAGINAW, MICHIGAN 48607
DRAWN BY: J. THERING
DATE: 9-23-22
JOB NUMBER: 132714SG2022
www.SpicerGroup.com

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
200 WILSON ST.
HEMLOCK, MICHIGAN 48826

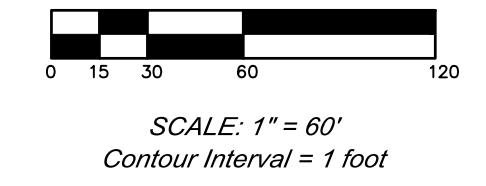
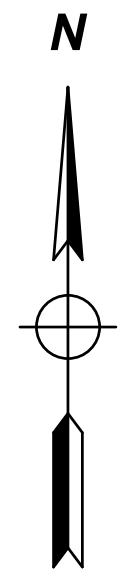
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
PART OF THE S.E. 1/4 OF SECTION 21 &
PART OF THE N.E. 1/4 OF SECTION 28
T.12 N. - R.2 E.,
RICHLAND TOWNSHIP
SAGINAW COUNTY, MICHIGAN

132714SG2022
D-5911-5

MATCHLINE - D-5911-4



SECTIONS 21 & 28
 T.12 N. - R.2 E.
 RICHLAND TOWNSHIP
 SAGINAW COUNTY,
 MICHIGAN



- LEGEND**
- STUMP
 - PINE
 - BUSH
 - TREE
 - FOUND SURVEY CORNER
 - SET 1/2" IRON ROD
 - SET WOOD LATH
 - SET P.K. NAIL
 - RIGHT OF WAY MARKER
 - BENCHMARK
 - CONTROL POINT
 - SATELLITE DISH
 - AIR CONDITIONING UNIT
 - SOIL BORING
 - MAIL BOX
 - BURIED CABLE LINES
 - BURIED ELECTRIC LINES
 - GASMAINS
 - SANITARY SEWER LINES
 - STORM SEWER LINES
 - TELEPHONE LINES
 - WATERMAINS
 - FIBER OPTIC LINES
 - NOT FIELD LOCATED
 - MEASURED DIMENSION
 - RECORDED DIMENSION
 - MANHOLE
 - CATCHBASIN
 - CURB CATCHBASIN
 - FIRE HYDRANT
 - WATER VALVE
 - GAS VALVE
 - TELEPHONE POLE
 - POWER POLE
 - POWER AND TELEPHONE POLE
 - GUY ANCHOR AND POLE
 - LIGHT POLE
 - TELEPHONE PEDESTAL
 - ELECTRICAL PEDESTAL
 - CABLE TV PEDESTAL
 - SIGN
 - RAILROAD SIGNAL
 - TRANSFORMER
 - BARRIER FREE PARKING
 - BITUMINOUS SURFACE
 - CONCRETE SURFACE
 - CONCRETE CURB
 - FENCE LINE
 - OVERHEAD POWER LINES
 - TREE LINE

MATCHLINE - D-5911-7

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
 Roger P. Mahoney
 Professional Surveyor No. 4001041105

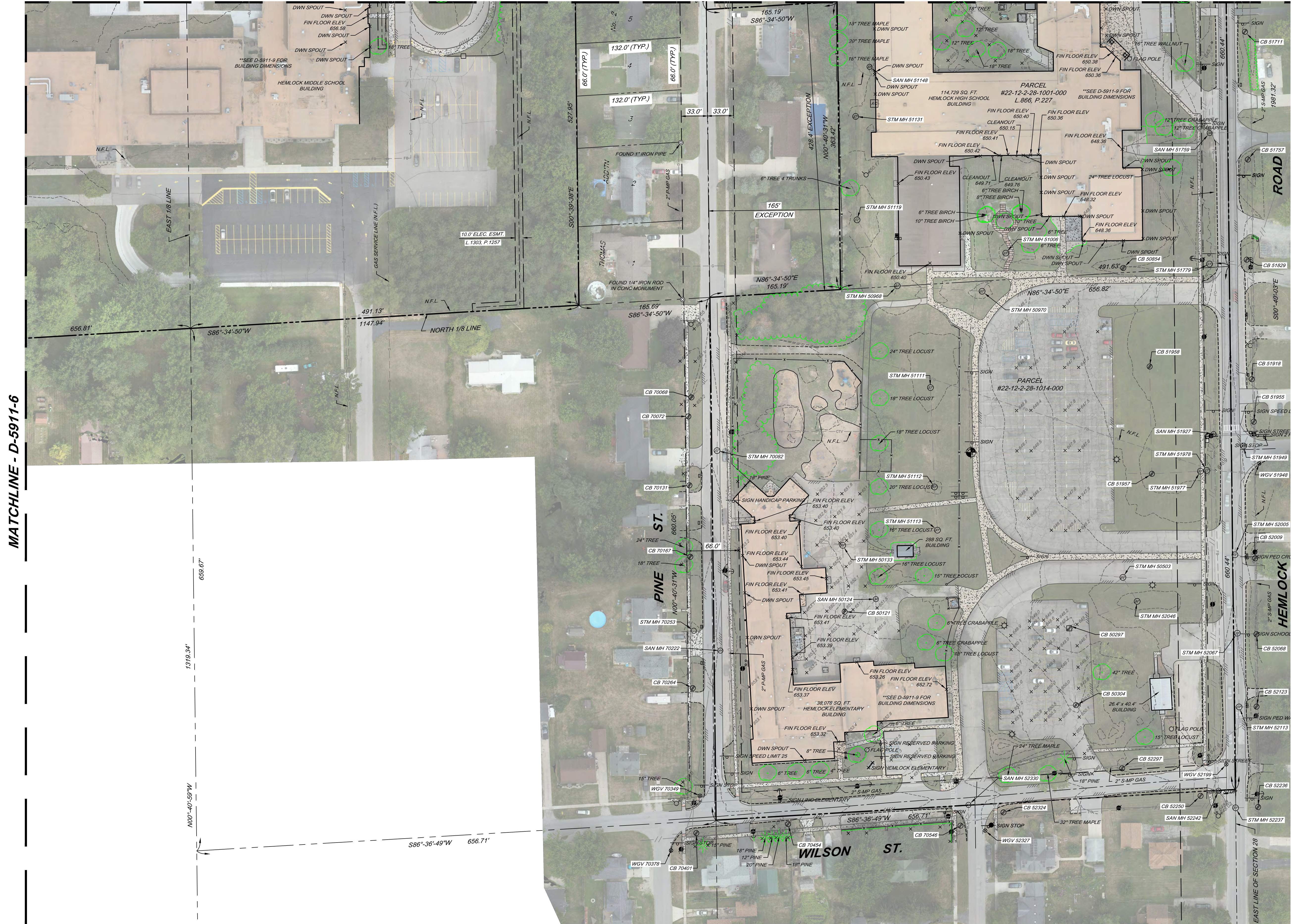


PREPARED BY:
 ROGER P. MAHONEY
 PROFESSIONAL SURVEYOR NO. 4001041105
 230 S. WASHINGTON AVENUE
 SAGINAW, MICHIGAN 48607
 TEL. 989-754-4717
 DRAWN BY: J. THERING
 DATE: 9/23/22
 JOB NUMBER: 132714SG2022
 www.SpicerGroup.com

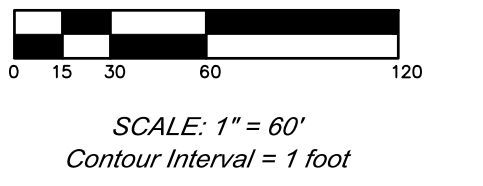
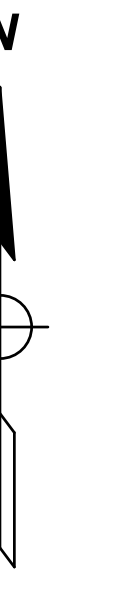
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
 200 WILSON ST.
 HEMLOCK, MICHIGAN 48826

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
 PART OF THE S.E. 1/4 OF SECTION 21 &
 PART OF THE N.E. 1/4 OF SECTION 28
 T.12 N. - R.2 E.,
 RICHLAND TOWNSHIP
 SAGINAW COUNTY, MICHIGAN

MATCHLINE - D-5911-5



SECTIONS 21 & 28
T.12 N. - R.2 E.
RICHLAND TOWNSHIP
SAGINAW COUNTY,
MICHIGAN



LEGEND

- STUMP
- PINE
- BUSH
- TREE
- FOUND SURVEY CORNER
- SET 1/2" IRON ROD
- SET WOOD LATH
- SET P.K. NAIL
- RIGHT OF WAY MARKER
- BENCHMARK
- CONTROL POINT
- SATELLITE DISH
- AIR CONDITIONING UNIT
- SOIL BORING
- MAIL BOX
- BURIED CABLE LINES
- BURIED ELECTRIC LINES
- GASMAINS
- SANITARY SEWER LINES
- STORM SEWER LINES
- TELEPHONE LINES
- WATERMAINS
- FIBER OPTIC LINES
- NOT FIELD LOCATED
- MEASURED DIMENSION
- RECORDED DIMENSION
- MANHOLE
- CATCHBASIN
- CURB CATCHBASIN
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- TELEPHONE POLE
- POWER POLE
- POWER AND TELEPHONE POLE
- GUY ANCHOR AND POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRICAL PEDESTAL
- CABLE TV PEDESTAL
- SIGN
- RAILROAD SIGNAL
- TRANSFORMER
- BARRIER FREE PARKING
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- CONCRETE CURB
- FENCE LINE
- OVERHEAD POWER LINES
- TREE LINE

MATCHLINE - D-5911-6

I hereby certify that I have surveyed the parcel of land hereon shown and described.

Roger P. Mahoney Date: 9-23-2022
 Roger P. Mahoney
 Professional Surveyor No. 4001041105



PREPARED BY:
 ROGER P. MAHONEY
 PROFESSIONAL SURVEYOR NO. 4001041105
 230 S. WASHINGTON AVENUE
 SAGINAW, MICHIGAN 48607
 TEL. 989-754-4717
 DRAWN BY: J. THERING
 DATE: 9-23-22
 JOB NUMBER: 132714SG2022
 www.SpicerGroup.com

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
 200 WILSON ST.
 HEMLOCK, MICHIGAN 48826

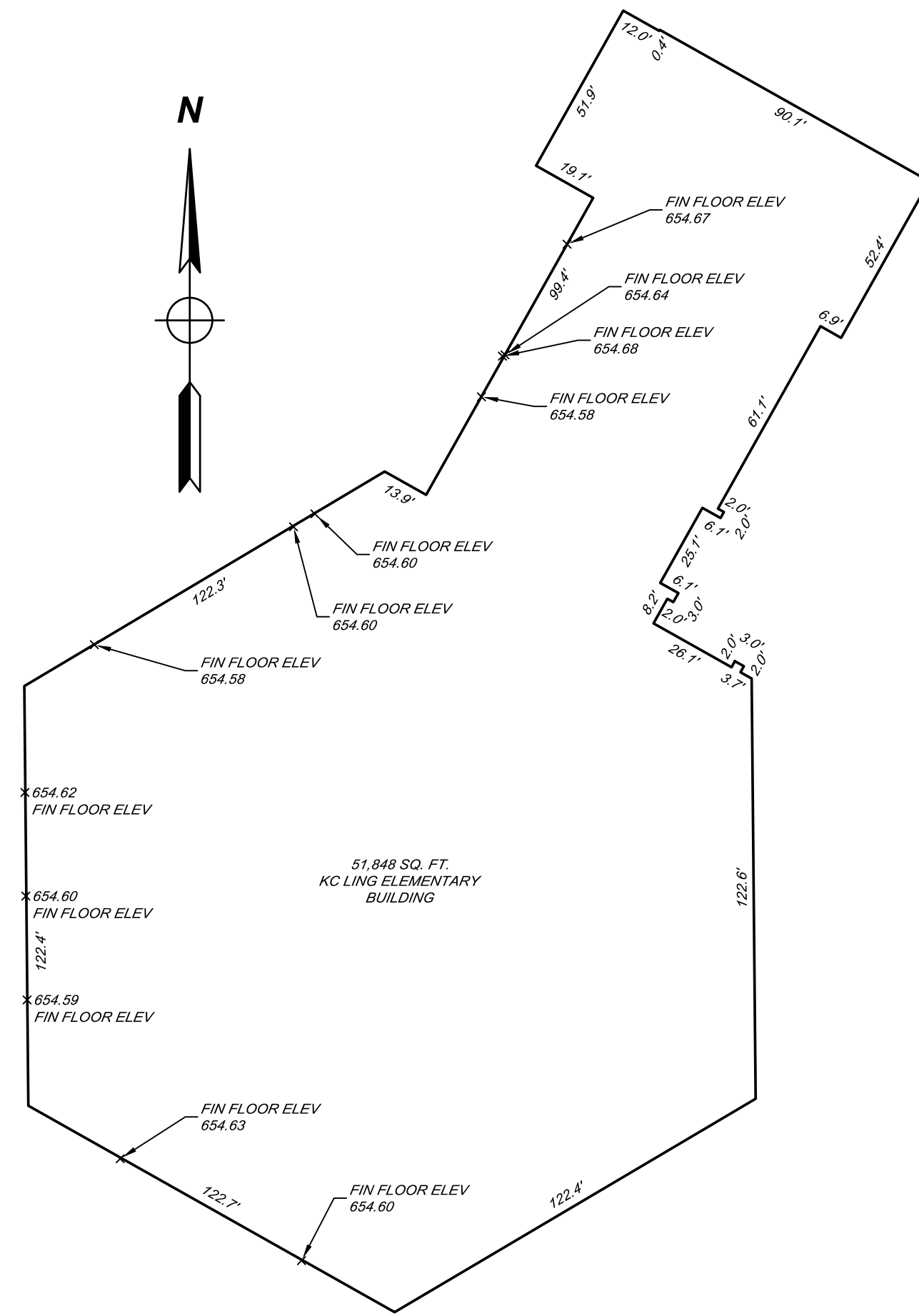
BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
 PART OF THE S.E. 1/4 OF SECTION 21 &
 PART OF THE N.E. 1/4 OF SECTION 28
 T.12 N. - R.2 E.,
 RICHLAND TOWNSHIP
 SAGINAW COUNTY, MICHIGAN

132714SG2022
D-5911-7

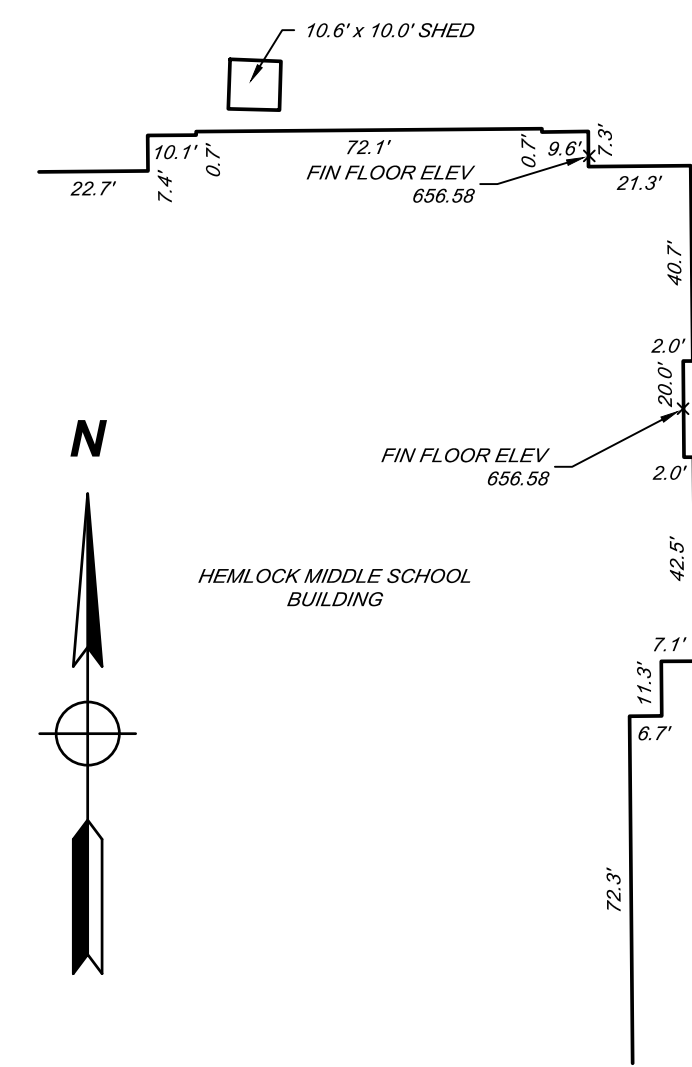
Structure ID	Type	Rim Elev.	Pipe Size (")	Pipe Material	Direction (AZ)	Down	Invert	Connects To	Notes
10029	STMH	644.44	36	RCP	272	8.38	636.06		
10029	STMH	644.44	36	RCP	97	8.38	636.06		
10029	STMH	644.44		SUMP		8.38	636.06		
10030	STMH	644.65	10	RCP	179	4.74	639.91		Cannot tell flow, pipes buried
10030	STMH	644.65	10	RCP	266	3.68	640.97		Cannot tell flow, pipes buried
10030	STMH	644.65	10	RCP	93	4.64	640.01		Cannot tell flow, pipes buried
10030	STMH	644.65		SUMP					
10078	STMH	642.93	12	RCP	1	3.37	639.56		
10078	STMH	642.93		SUMP		4.12	638.81		
10129	CBR	642.78	10	RCP	359	2.55	640.23		
10129	CBR	642.78		SUMP		3.21	639.57		
10136	OTHER	644.61	15	VIT	160	6.85	637.76		
10136	OTHER	644.61	15	VIT	358	6.80	637.81		
10136	OTHER	644.61	12	RCP	314	6.30	638.31		
10136	OTHER	644.61		SUMP		6.93	637.70		
10143	STMH	644.28		SUMP		4.93	639.35		
10144	STMH	644.00	8	RCP	319	3.45	640.55		Must blind, not in any other structure Full of debris
10144	STMH	644.00	8	RCP	86	3.45	640.55		Full of debris
10144	STMH	644.00		SUMP		3.45	640.55		
10145	SMH	644.21	15	VIT	338	6.55	637.66		
10145	SMH	644.21	15	VIT	179	6.72	637.49		
10145	SMH	644.21		SUMP		6.60	637.61		
10202	STMH	645.01	15	RCP	359	7.78	637.23		
10202	STMH	645.01	12	RCP	270	7.75	637.26		
10202	STMH	645.01	15	RCP	179	7.80	637.21		
10202	STMH	645.01		SUMP		7.78	637.23		
20209	STMH	647.11		SUMP		2.10	645.01		
20210	SMH	647.00	6	PVC	49	5.10	641.90	Concession building	
20210	SMH	647.00	12	PVC	91	9.05	637.95		
20210	SMH	647.00	12	PVC	177	8.90	638.10		
20210	SMH	647.00	4	PVC	271	3.45	643.55		
20210	SMH	647.00		SUMP		8.90	638.10		
20281	STMH	647.47	6	PVC	358	5.45	642.02	20284	
20281	STMH	647.47	6	PVC	105	5.45	642.02		
20281	STMH	647.47	4	CPP	90	1.76	645.71		
20281	STMH	647.47		SUMP		5.45	642.02		
20284	STMH	647.49	4	CPP	95	1.65	645.84	Tiles	Can't see bottom
20284	STMH	647.49	4	CPP	124	1.65	645.84	Tile	Can't see bottom
20284	STMH	647.49	6	PVC	180	7			Can't see bottom
20284	STMH	647.49		SUMP		6.10	641.39		
20295	STMH	645.31	12	RCP	357	4.10	641.21		
20295	STMH	645.31	8	RCP	270	3.95	641.36		
20295	STMH	645.31	4	PVC	179	2.40	642.91		
20295	STMH	645.31		SUMP		4.25	641.06		
20307	STMH	646.47	36	RCP	88	8.10	638.37		
20307	STMH	646.47	12	CPP	180	7.70	638.77	20408	
20307	STMH	646.47	30	RCP	270	8.05	638.42		
20307	STMH	646.47		SUMP		8.10	638.37		
20408	STMH	646.07	12	CPP	358	6.80	639.27		
20408	STMH	646.07	6	CPP	271	6.80	639.27		
20408	STMH	646.07	6	CPP	94	6.80	639.27		
20408	STMH	646.07		SUMP		7.40	638.67		
20410	STMH	646.30	4	CPP	174	2.00	644.30		
20410	STMH	646.30	6	PVC	179	7			Full of water
20410	STMH	646.30	4	CPP	10	1.95	644.35		
20410	STMH	646.30	6	PVC	354	7			Full of water
20410	STMH	646.30		SUMP		7.00	639.30		
20413	STMH	646.20	4	CPP	181	1.85	644.35		Tile Can't see bottom possible 6" PVC
20413	STMH	646.20	4	CPP	1	1.70	644.30		Tile Can't see bottom possible 6" PVC
20413	STMH	646.20		SUMP		6.40	639.80		
20417	STMH	646.64	6	PVC	92	4.25	642.39		
20417	STMH	646.64	4	CPP	105	1.25	645.39	Tile	
20417	STMH	646.64	4	CPP	284	1.65	644.99	Tile	
20417	STMH	646.64		SUMP		5.10	641.54		
20419	STMH	646.59	6	PVC	1	5.75	640.84		
20419	STMH	646.59	4	CPP	2	1.64	644.95		
20419	STMH	646.59	6	PVC	182	5.75	640.84		
20419	STMH	646.59	4	CPP	182	1.53	645.06		
20419	STMH	646.59		SUMP		6.65	639.94		
50121	CBR	651.65	10	CPP	0	7.11	644.54		
50121	CBR	651.65	6	CPP	354	6.90	644.75		
50121	CBR	651.65	6	CPP	221	5.00	646.65		
50121	CBR	651.65	6	CPP	223	5.00	646.65		
50121	CBR	651.65		SUMP		8.40	648.25		
50124	SMH	651.37	8	VIT	358	3.52	647.85		
50124	SMH	651.37	8	VIT	181	3.55	647.82		
50124	SMH	651.37	8	VIT	225	3.50	647.87		
50124	SMH	651.37		SUMP		3.53	647.84		
50133	STMH	651.43	4	CPP	341	5.60	645.83		
50133	STMH	651.43	10	CPP	76	7.30	644.13		
50133	STMH	651.43	6	PVC	285	5.05	646.38		
50133	STMH	651.43	6	CPP	277	4.95	646.48		
50133	STMH	651.43	10	CPP	175	7.30	644.13		
50133	STMH	651.43	6	CPP	187	6.98	644.45		
50133	STMH	651.43		SUMP		7.80	643.63		
50297	CBR	647.81	8	CPP	179	3.60	644.21		
50297	CBR	647.81		SUMP		4.20	643.61		
50304	CBR	649.84	8	CPP	130	5.26	644.58		
50304	CBR	649.84	6	CPP	268	4.83	645.01		
50304	CBR	649.84	6	CPP	316	4.97	644.87		
50304	CBR	649.84	8	CPP	358	5.19	644.65		
50304	CBR	649.84		SUMP		6.30	643.54		
50503	STMH	647.61	12	RCP	92	4.90	642.71		
50503	STMH	647.61	6	CPP	142	4.80	642.81		Tiles
50503	STMH	647.61	6	CPP	233	4.80	642.81		Tiles
50503	STMH	647.61	4	CPP	275	3.85	643.76		Tiles
50503	STMH	647.61		SUMP		4.90	642.71		
50506	SMH	648.77	10	VIT	0	5.15	643.62		
50506	SMH	648.77	6	VIT	90	4.82	643.95		
50506	SMH	648.77	4	VIT	270	4.50	644.27		
50506	SMH	648.77	6	VIT	179	5.13	643.64		
50506	SMH	648.77		SUMP					
50507	WGV	649.60		TOP NUT		6.20	643.40		
50508	WGV	649.43		TOP NUT		5.86	643.97		
50509	WGV	649.22		TOP NUT		5.00	644.22		
50510	STMH	648.99	6	PVC	13	3.67	645.32	Trap	
50510	STMH	648.99		SUMP		5.99	643.00		
50511	OTHER	648.67	12	RCP	90	10.00	638.67		
50511	OTHER	648.67	12	RCP	337	9.94	638.73		
50511	OTHER	648.67	10	VIT	264	6.80	641.87		
50511	OTHER	648.67	10	VIT	201	5.59	643.08		
50511	OTHER	648.67		SUMP		648.67			

Structure ID	Type	Rim Elev.	Pipe Size (")	Pipe Material	Direction (AZ)	Down	Invert	Connects To	Notes
50512	CBR	646.87	6	PVC	254	3.55	645.32		
50512	CBR	646.87	8	RCP	73	4.35	642.52		
50512	CBR	646.87	8	RCP	176	3.90	642.97		
50512	CBR	646.87		SUMP		4.57	642.30		
50583	STMH	644.83	8	CPP	54	4.00	640.83		
50583	STMH	644.83		SUMP		5.00	639.83		
50615	OTHER	647.67	12	RCP	0	9.30	638.37	Combined manhole	
50615	OTHER	647.67	12	RCP	271	9.21	638.46	Combined manhole	
50615	OTHER	647.67		SUMP			647.67		
50854		645.65		SUMP		645.65			
50968	STMH	649.01	6	CPP	92	6.85	642.16	50970	
50968	STMH	649.01	6	CPP	198	6.70	642.31	Towards Playground	
50968	STMH	649.01	6	CPP	329	6.50	642.51	51119	
50968	STMH	649.01		SUMP		6.85	642.16		
50970	STMH	648.13	6	CPP	34	6.80	641.33	51006	
50970	STMH	648.13	6	CPP	269	6.85	641.28		
50970	STMH	648.13		SUMP		7.00	641.13		
51006	STMH	647.12	6	CPP	212	5.85	641.27	50970	
51006	STMH	647.12	10	PVC	36	4.95	642.17		
51006	STMH	647.12	6	CPP	97	5.85	641.27	OSP on building	
51006	STMH	647.12		SUMP		6.65	640.47		
51111	STMH	649.53	10	CPP	182	3.85	645.88	51112	
51111	STMH	649.53		SUMP		5.50	644.03		
51112	STMH	649.55	8	CPP	359	4.90	644.65		
51112	STMH	649.55	10	CPP	90	6.20	643.35		
51112	STMH	649.55	6	VIT	176	4.70	644.85		
51112	STMH	649.55	8	CPP	268	6.05	643.50		
51112	STMH	649.55		SUMP		7.00	642.55		
51113	STMH	650.18		SUMP		4.00	646.18		
51119	STMH	649.00	6	CPP	347	2.40	646.60		
51119	STMH	649.00	6	CPP	125	2.50	646.50	50968	
51119	STMH	649.00		SUMP		3.00	646.00		
51131	STMH	648.77	4	CPP	357	2.70	646.07	51119	
51131	STMH	648.77	4	CPP	179	2.80	645.97		
51131	STMH	648.77		SUMP		2.85	645.92		
51148	SMH	649.92	6	PVC	0	4.80	645.12		
51148	SMH	649.92	6	VIT	179	4.75	645.17		
51148	SMH	649.92		SUMP		4.80	645.12		
51317	CBR	650.00	12	RCP	271	2.91	647.09		
51317	CBR	650.00		SUMP		4.00	646.0		

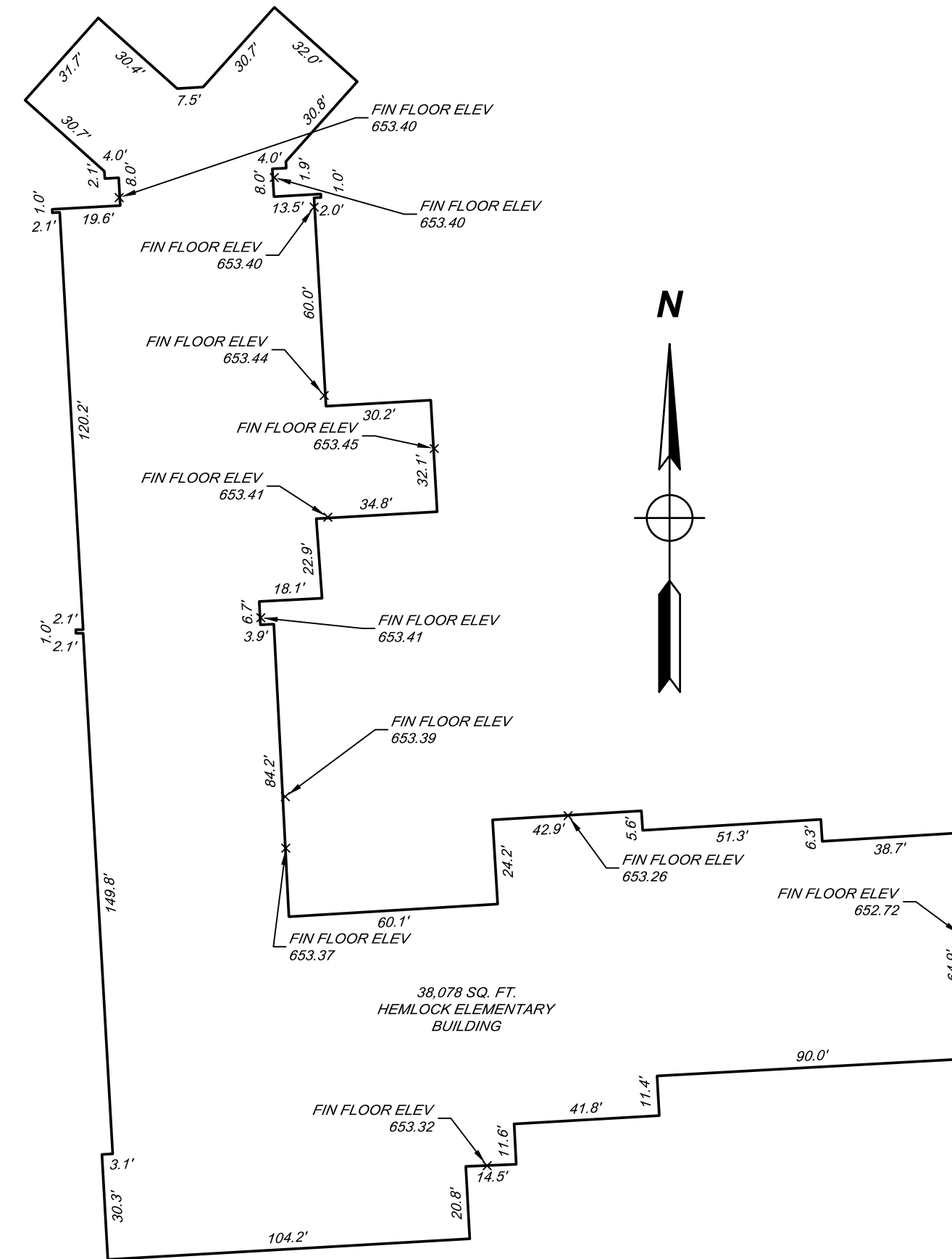
BUILDING SKETCHES



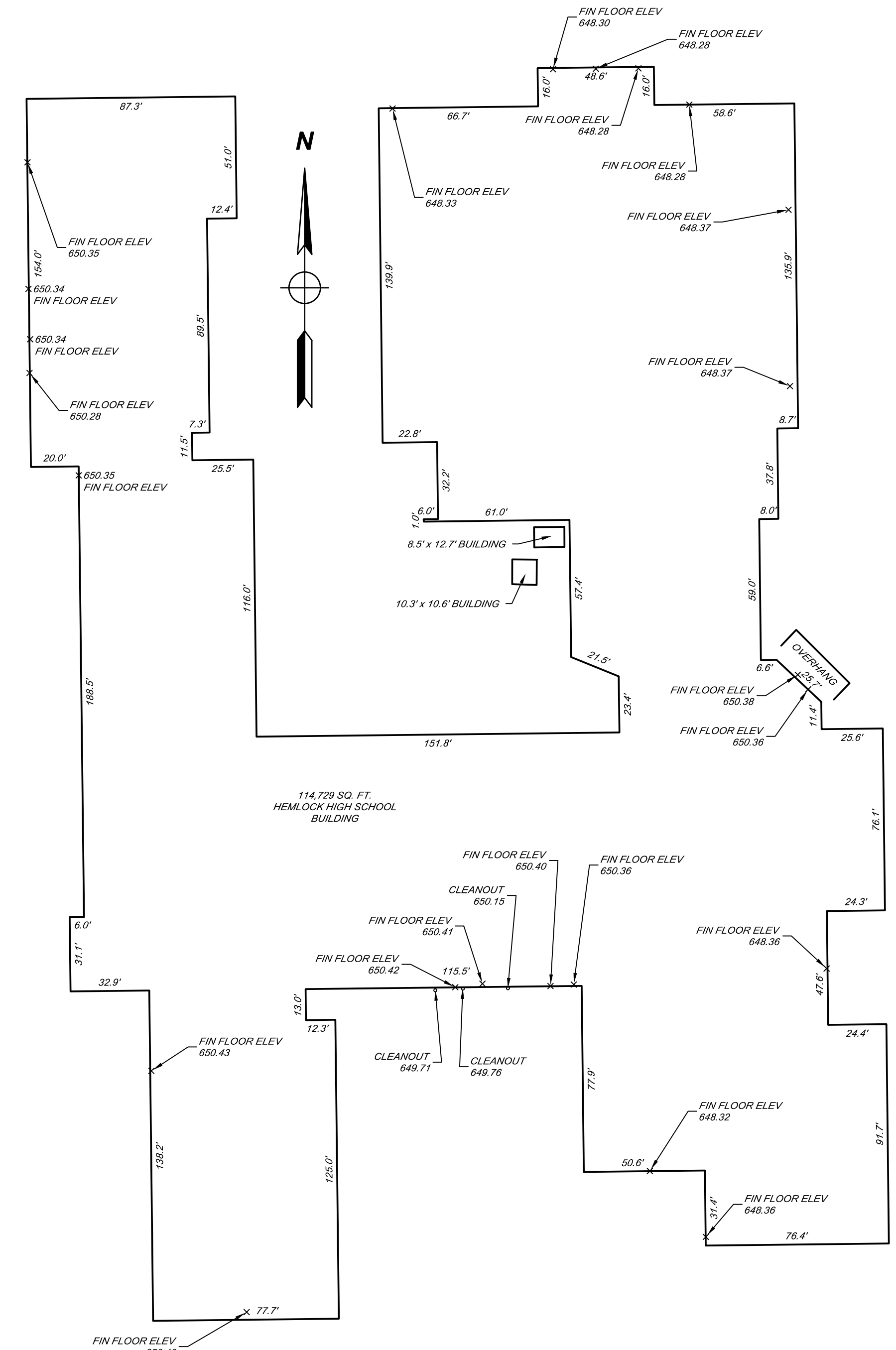
NOTE: NOT TO SCALE



NOTE: NOT TO SCALE



NOTE: NOT TO SCALE



NOTE: NOT TO SCALE

I hereby certify that I have surveyed the parcel of land hereon shown and described.

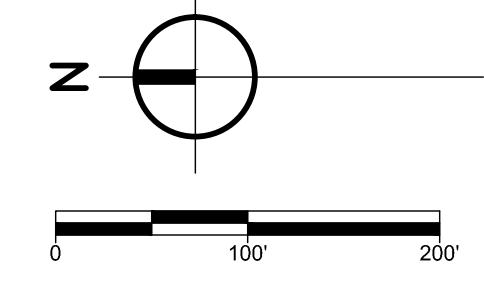
Roger P. Mahoney Date: 9-23-2022
 Roger P. Mahoney
 Professional Surveyor No. 4001041105



PREPARED BY:
 ROGER P. MAHONEY
 PROFESSIONAL SURVEYOR NO. 4001041105
 230 S. WASHINGTON AVENUE
 SAGINAW, MICHIGAN 48607
 TEL. 989-754-4717
 DRAWN BY: J. THERING
 DATE: 9/23/22
 JOB NUMBER: 132714SG2022
 www.SpicerGroup.com

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY FOR:
HEMLOCK PUBLIC SCHOOLS
 200 WILSON ST.
 HEMLOCK, MICHIGAN 48826

BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY OF:
 PART OF THE S.E. 1/4 OF SECTION 21 &
 PART OF THE N.E. 1/4 OF SECTION 28
 T.12 N. - R.2 E.,
 RICHLAND TOWNSHIP
 SAGINAW COUNTY, MICHIGAN

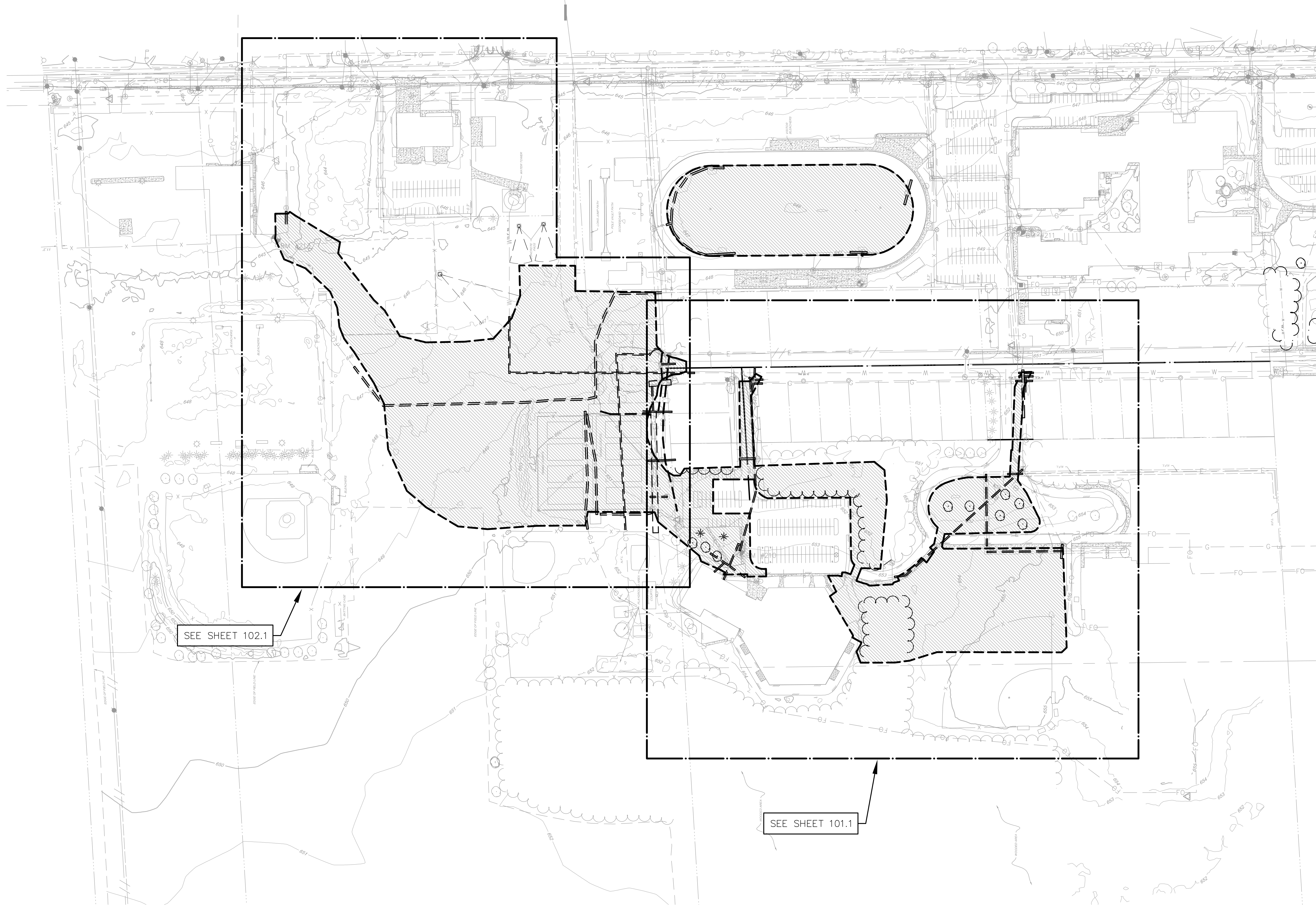


REMOVAL LEGEND

LIMITS OF REMOVALS	
REMOVAL AREA HATCH	
TREE PROTECTION FENCING	
PROTECT UTILITY	
TREE TO BE PROTECTED	
TREE TO BE REMOVED	

SITE REMOVAL NOTES

- REFER TO ARCHITECTURAL DRAWINGS & SPECIFICATIONS FOR PARTIAL REMOVAL, RECONSTRUCTION & RECONNECTION TO ALL EXISTING BUILDINGS, PRIVATELY OWNED, & INFORMATIONAL, ETC.), UNLESS NOTED OTHERWISE ON THE DRAWINGS OR AS DIRECTED BY THE OWNER TO BE REMOVED & DISPOSED OF ENTIRELY.
 - PROTECT ALL EXISTING SITE SIGNS WITHIN THE CONSTRUCTION LIMITS (TRAFFIC, PARKING & INFORMATIONAL, ETC.), UNLESS NOTED OTHERWISE ON THE DRAWINGS OR AS DIRECTED BY THE OWNER TO BE REMOVED & DISPOSED OF ENTIRELY.
 - PROTECT & SALVAGE EXISTING BUILDING IDENTIFICATION SIGN(S), FLAGPOLE, MONUMENT MARKERS & DUMPSTERS WITHIN THE CONSTRUCTION LIMITS FOR RELOCATION OR RETURN TO OWNER, UNLESS NOTED OTHERWISE ON THE DRAWINGS OR REMOVE AND DISPOSED IN ENTIRETY AS DIRECTED BY THE OWNER.
 - COORDINATE SITE ELECTRICAL REMOVALS WITH ALL ELECTRICAL PLANS FOR ANY REMOVAL OR RELOCATION OF SITE ELECTRICAL ITEMS, COORDINATE WITH ALL PROPOSED SITE ELECTRICAL UTILITIES.
 - REFER TO INDIVIDUAL UTILITY PLANS FOR ANY MODIFICATIONS TO EXISTING UTILITIES THAT ARE TO REMAIN.
 - REMOVE ALL UTILITY STRUCTURE MANHOLES & CATCH BASINS SHOWN TO BE REMOVED IN THEIR ENTIRETY, RAISE OR LOWER STRUCTURES TO REMAIN (WHETHER NOTED OR NOT) TO MATCH PROPOSED FINISH GRADES. THIS INCLUDES, BUT IS NOT LIMITED TO, SANITARY, STORM, WATER, ELECTRICAL, COMMUNICATIONS, GATE VALVE BOXES & HAND HOLES.
 - PROTECT OR SALVAGE FOR RE-USE ALL EXISTING FIRE HYDRANTS & GATE VALVES TO BE REMOVED OR SALVAGED AND RELOCATED, AND CLASSIFIED IN GOOD WORKING CONDITION ACCORDING TO THE UTILITY OWNER. FOR RE-USE, FINAL APPROVAL OF THE RE-USE OF ANY SALVAGED FIRE HYDRANT OR GATE VALVE MUST BE GIVEN BY THE UTILITY OWNER.
 - ANY CITY/MUNICIPAL/UTILITY OWNED UNDERGROUND SERVICES (GAS, WATER, SANITARY, ETC.) SHOWN TO BE REMOVED MUST BE DONE SO IN THEIR ENTIRETY & AS INDICATED ON THE DRAWINGS. CAP/BULKHEAD ALL REMAINING PORTIONS AT THE PROPERTY LINE PER CITY/MUNICIPAL/UTILITY COMPANY STANDARDS. THE CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS & PROVIDE ADVANCED NOTICE TO CITY/MUNICIPAL/UTILITY COMPANY PRIOR TO DISTURBANCE OF SAID UTILITY SERVICES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE & ISOLATE ANY UNDERGROUND LAWN/PLANTING BED IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE TO THE EXISTING IRRIGATION SYSTEMS THAT ARE TO REMAIN IN GROUND & OPERABLE. ANY LAWN OR PLANTING BED IRRIGATION SYSTEMS THAT ARE DAMAGED BY CONSTRUCTION MUST BE REPLACED WITH LIKE TO THE OWNER'S SATISFACTION & AT NO ADDITIONAL COST.
 - FIELD VERIFY THE PURPOSE & LOCATION OF UNDERGROUND ELECTRICAL, TELECOM & FIBER OPTIC UTILITIES & RELOCATE AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION SUCH THAT THE OWNER DOES NOT EXPERIENCE ANY 'OUTAGES' OR 'FAILURES' WITH THEIR INTERNAL ELECTRICAL, TELEPHONE, SECURITY OR COMPUTER SYSTEMS. REPAIR ANY CONTRACTOR-CAUSED DAMAGES AT NO COST TO THE OWNER. REFER TO THE ELECTRICAL SITE PLAN FOR COORDINATION.
 - FILL ALL PIPES CALLED TO BE ABANDONED ON THE DRAWINGS WITH FLOWABLE FILL. MEASURE VOLUME OF FILL DURING TIME OF CONSTRUCTION & SUBMIT TO ENGINEERS FOR REVIEW.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES & FOR LOCATING THE DEPTH & PLACEMENT OF ANY AND ALL UTILITIES WITHIN THE CONSTRUCTION WORK LIMITS. PROCEED WITH CAUTION WHEN WORKING WITH & AROUND THESE UTILITIES. THE COST TO REPAIR DAMAGE TO ANY UTILITIES (SEWERS, WATER, GAS, ELECTRICAL, UNDERDRAIN SYSTEMS, & SPRINKLER SYSTEMS, ETC.), KNOWN OR OTHERWISE, WILL BE BORNE SOLELY BY THE CONTRACTOR. IT IS THE OWNER'S RESPONSIBILITY TO ACCEPT & APPROVE SAID REPAIRS OF THE DAMAGED UTILITY.
 - REMOVAL OF ANY EXISTING CHAINLINK FENCE INCLUDES THE REMOVAL OF CONCRETE FOOTINGS WITH THE EMBEDDED POSTS. COORDINATE THE LIMITS OF EXISTING CHAINLINK FENCE REMOVALS WITH THE LIMITS OF PROPOSED CHAINLINK FENCE. REFER TO LANDSCAPE DRAWINGS FOR COORDINATION.
 - RETAINING WALLS THAT ARE SHOWN TO BE SAWCUT & REMOVED MUST BE DONE SO ENTIRELY & INCLUDES ANY FOOTINGS & FOOTING DRAINS, UNLESS NOTED OTHERWISE SPECIFIED ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ACCURATELY ESTIMATING THE EXTENT OF REMOVALS BELOW GRADE & IS RESPONSIBLE FOR PROTECTING ANY REMAINING PORTIONS OF THE RETAINING WALLS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
 - FULL DEPTH SAWCUT CONCRETE WALKS, PAVING AND CURB & GUTTER SHOWN TO BE REMOVED AT THE NEAREST EXISTING JOINT & REMOVE.
 - CONTRACTOR TO COORDINATE WITH OWNER REGARDING THEIR NEED FOR EXCESS SOIL SPOOLS ON SITE. IF THE OWNER DOES NOT WANT THE SOIL, THE CONTRACTOR IS TO REMOVE THE SOIL AND HAUL/DISPOSE OF IT OFFSITE.
 - REMOVE TREE AND STUMPS IN THEIR ENTIRETY AS IDENTIFIED ON THE DRAWINGS & WHEN FOUND IN THE FIELD & LOCATED WITHIN THE CONSTRUCTION AREA, OR AS DIRECTED BY THE OWNER.
 - REMOVAL OF LANDSCAPE AREAS AROUND BUILDINGS & THE SITE THAT ARE CALLED OUT TO BE REMOVED INCLUDES THE REMOVAL OF EDGING OR FENCING AND ANY ASSOCIATED PLANTINGS. REFER TO LANDSCAPE PLANS & SPECIFICATIONS FOR CARE OF AND RELOCATION OF ANY PLANT MATERIAL.
 - REMOVE ANY EXISTING AGGREGATE BASE OR DELETERIOUS MATERIALS BENEATH ALL PROPOSED LAWNS AND LANDSCAPE PLANTING AREAS.
- (NOT ALL ITEMS NOTED MAY PERTAIN TO ALL PROJECT SITES)



SEE SHEET 102.1

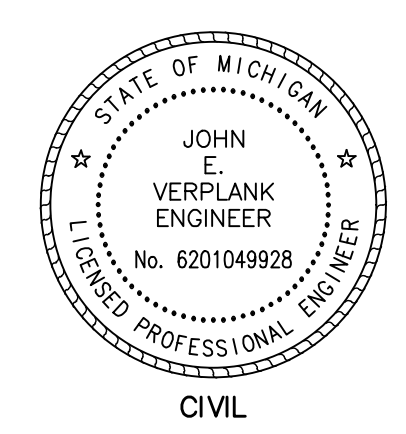
SEE SHEET 101.1

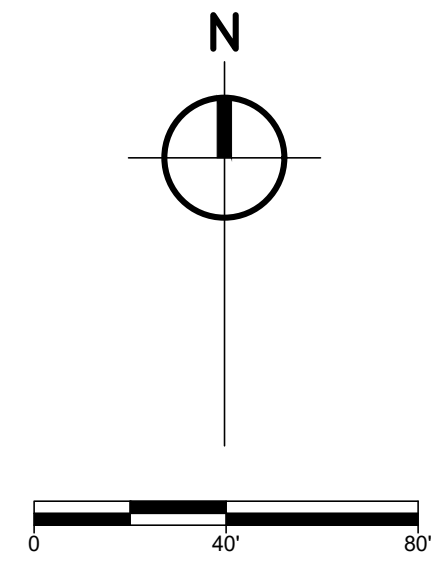
BENCHMARKS

BM #210	ELEVATION 655.333
E: 13158667.4910	N: 700206.8810
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH END OF PARKING LOT TO K.C. LING BUILDING	
BM #211	ELEVATION 650.558
E: 13159367.7660	N: 699592.2480
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH SIDE OF HIGH SCHOOL NEAR INNER PLAZA ENTRANCE	
BM #212	ELEVATION 652.463
E: 13159411.5250	N: 698852.6720
PK. NAIL IN BASE OF LIGHT POLE ON WEST SIDE OF THE SOUTH HIGH SCHOOL PARKING LOT	
BM #213	ELEVATION 648.272
E: 13159349.3930	N: 701220.9590
CHISELED 'X' ON TOP OF SOUTHEAST BOLT OF HYDRANT IN THE SOUTHWEST CORNER OF BUS GARAGE	

811
 Know what's below.
 Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.





ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

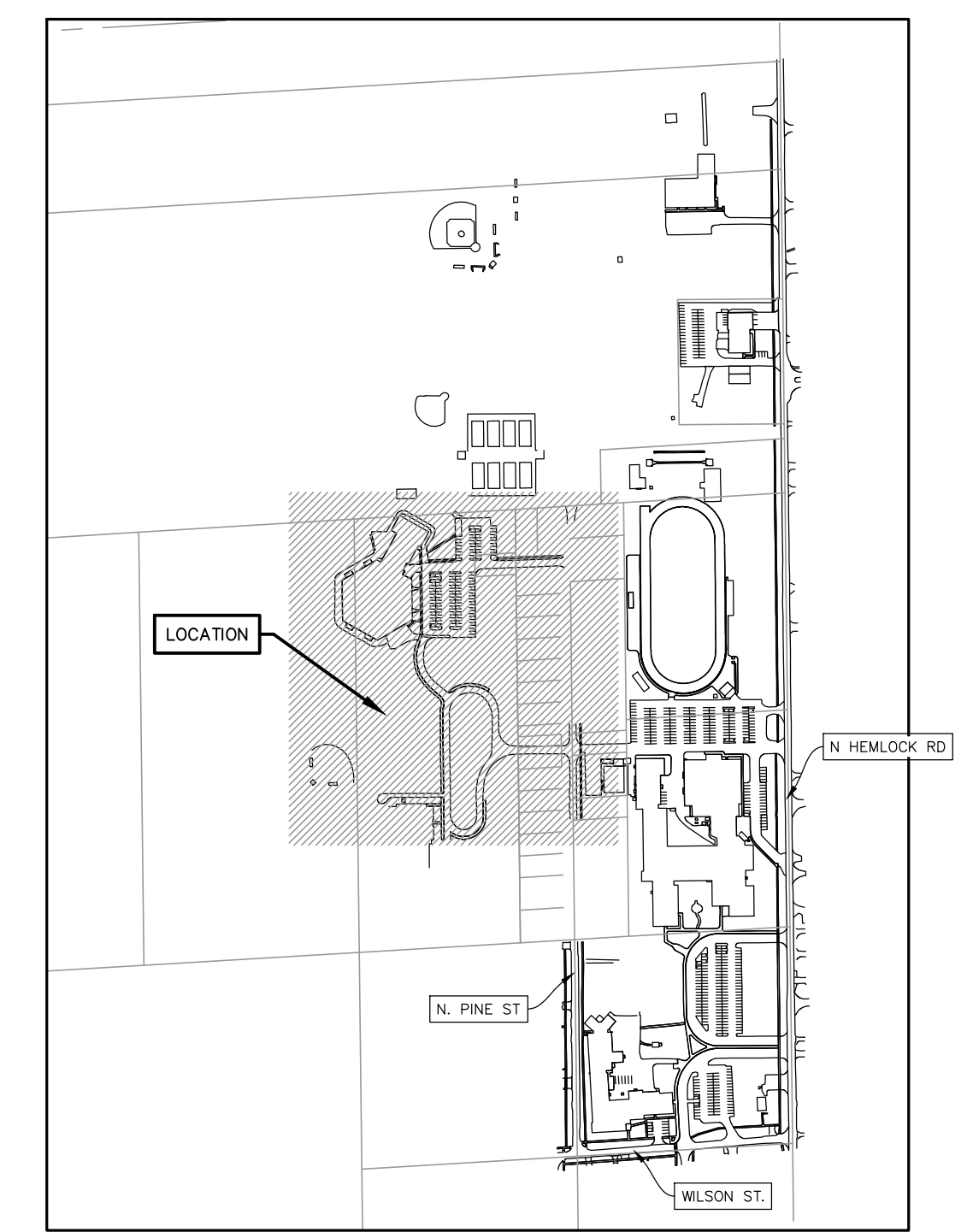
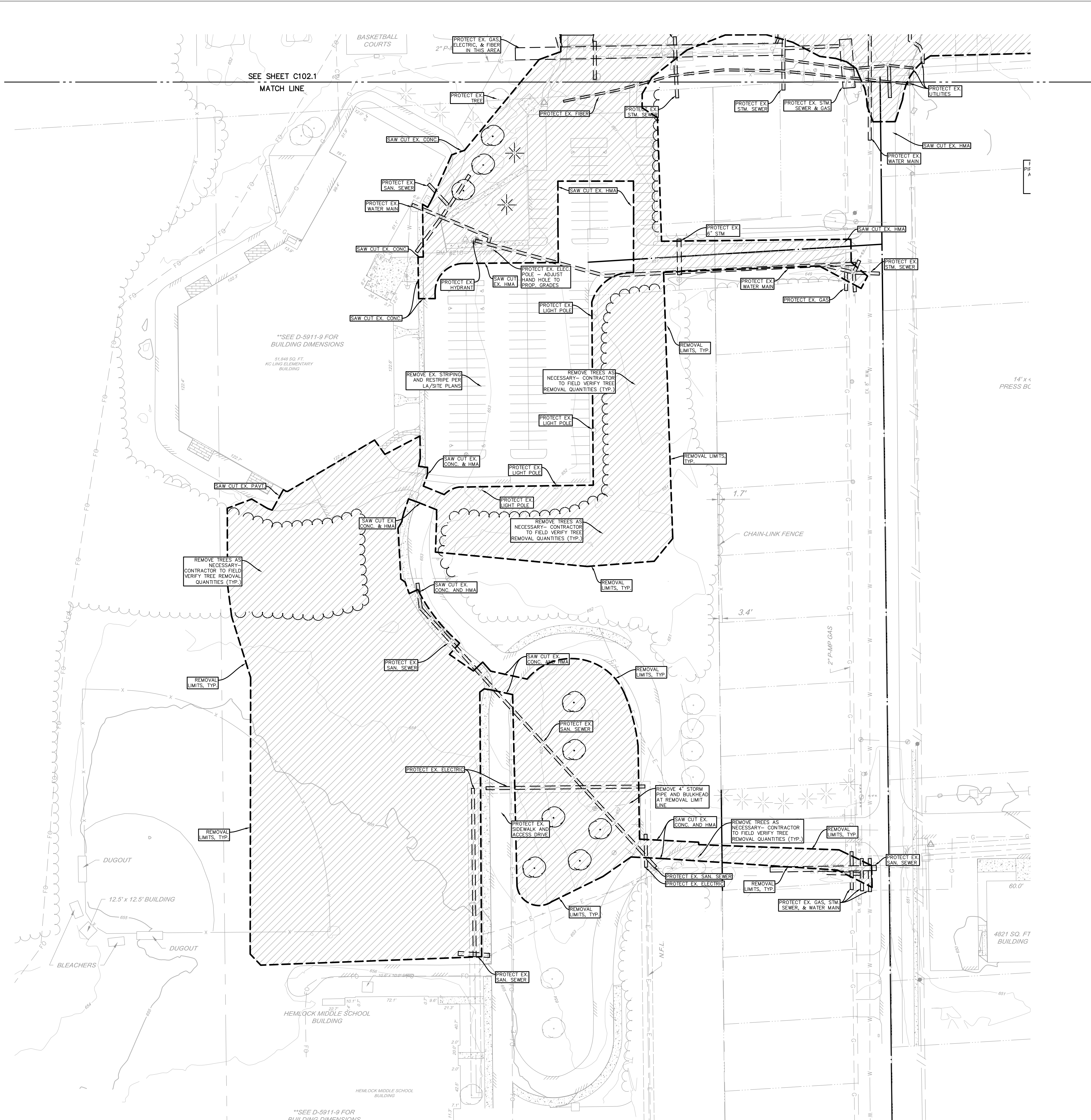
OWNER
 HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
 EXISTING CONDITIONS & REMOVALS
 SOUTH

SHEET NUMBER
C 101.1
 21113.20

DATE
 DECEMBER 21, 2022



811
 Keep what's below.
 Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

**SEE D-5911-9 FOR BUILDING DIMENSIONS

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

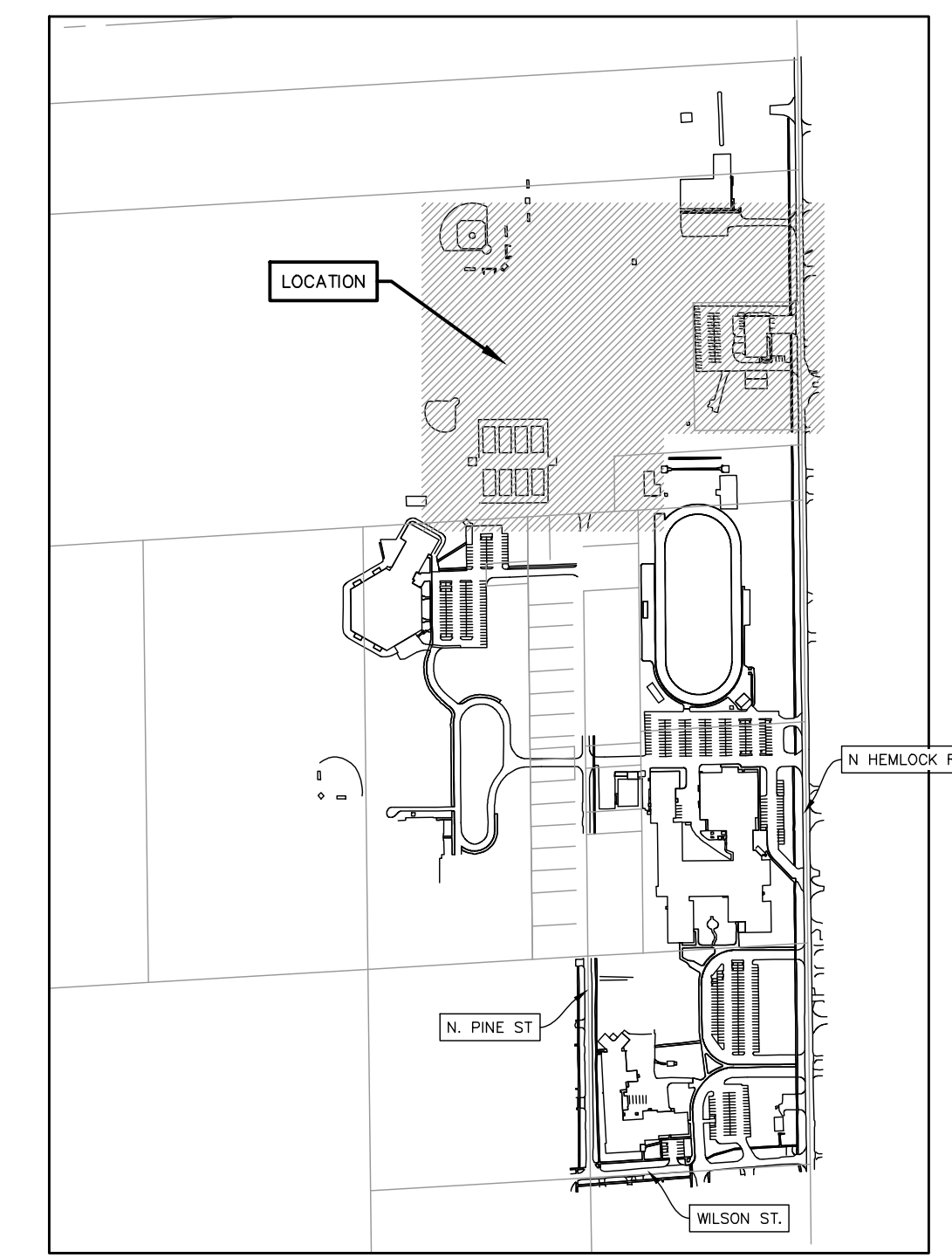
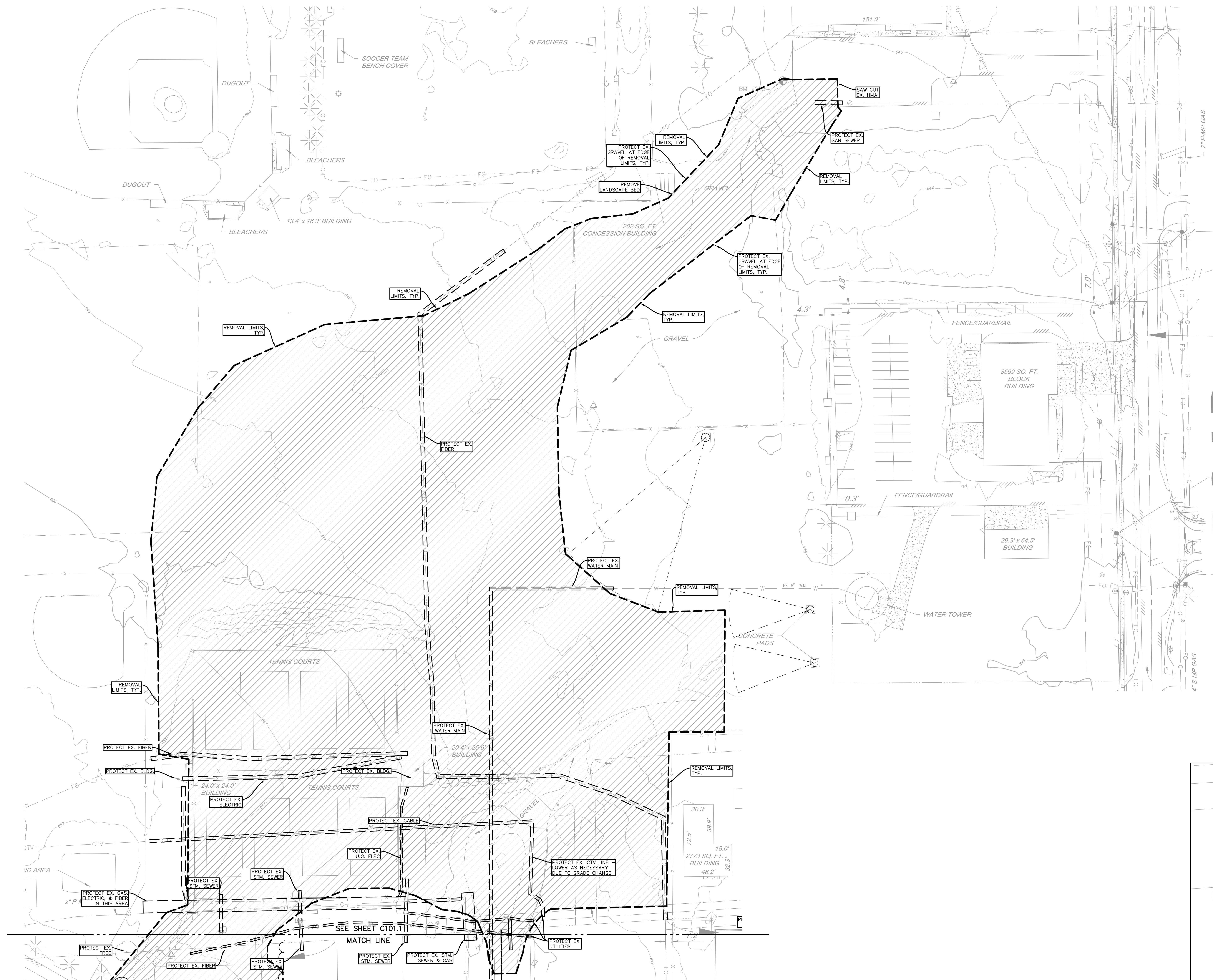
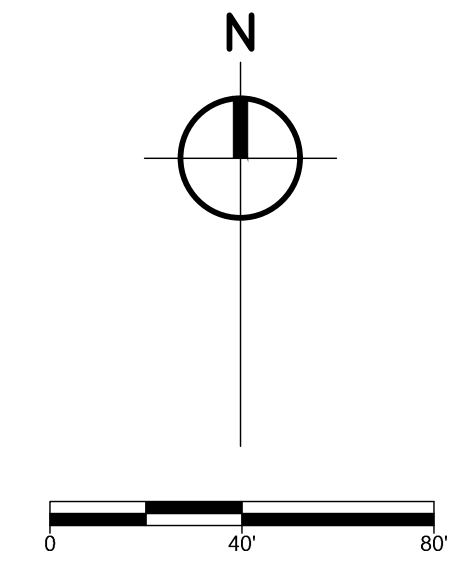
HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING

HEMLOCK MIDDLE SCHOOL BUILDING



LOCATION KEY
 SCALE: 1" = 500'

811
 Know what's below.
 Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

TowerPinkster
 Architecture • Engineering • Interiors
TOWERPINKSTER.COM
 © 2022. ALL RIGHTS RESERVED.

ISSUED FOR _____ **DATE** _____

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

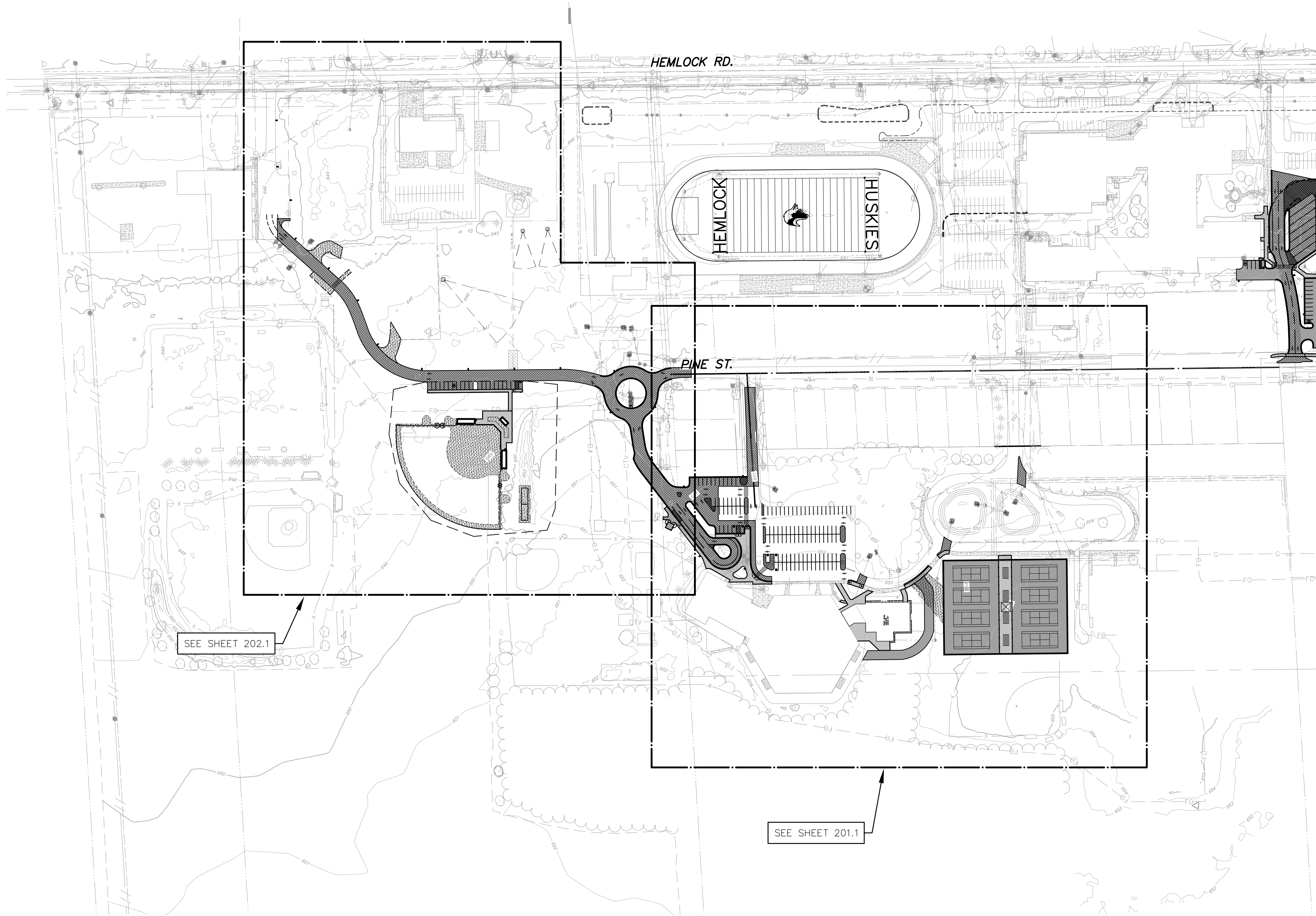
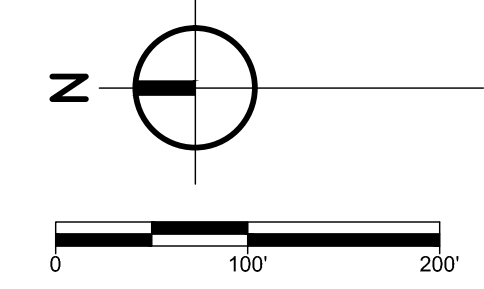
LOCATION
 Hemlock, Michigan

SHEET TITLE
 EXISTING CONDITIONS & REMOVALS
 NORTH

SHEET NUMBER
C 102.1

DATE
 DECEMBER 21, 2022

SCALE
 21113.20



SITE LAYOUT NOTES

1. SEE ELECTRICAL PLANS FOR LOCATION AND DETAILS ON SITE LIGHTING AND TRANSFORMER.
2. REFER TO SPECIFICATIONS FOR BITUMINOUS PAVEMENT MIX REQUIREMENTS.
3. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOP CONNECTION DETAILS AND DUMPSTER ENCLOSURE DETAILS.
4. REFER TO SPECIFICATIONS FOR PAVEMENT EXPANSION AND CONTROL JOINTS.
5. REFER TO MECHANICAL DRAWINGS FOR LOCATION AND DETAILS OF EQUIPMENT PADS.
6. COORDINATE WITH IRRIGATION AND ELECTRICAL CONTRACTOR FOR SIZE AND PLACEMENT OF ALL SLEEVES PRIOR TO PAVING, CONCRETE AND RESTORATION WORK.
7. STANDARD PAVEMENT MARKINGS SHALL BE YELLOW. BARRIER FREE PAVEMENT MARKINGS SHALL BE BLUE.

SITE LEGEND LAYOUT

CONCRETE CURB & GUTTER	
SIGN	
PARKING AREA STRIPING ISLAND	
STANDARD DUTY CONCRETE PAVEMENT	
STANDARD DUTY BITUMINOUS PAVEMENT	
HEAVY DUTY BITUMINOUS PAVEMENT	
GRAVEL PAVEMENT	
H.D. CONCRETE PAVEMENT	
TRAFFIC FLOW	
PARKING STALL COUNT	
LIGHT POLE (REFER TO AE PLANS)	

SITE DATA

PARCEL 1 NUMBER	= 22-12-2-28-1002-000
PARCEL 1 AREA	= 14.81 ACRES
PARCEL 2 NUMBER	= 22-12-2-21-4004-000
PARCEL 2 AREA	= 80 ACRES
ZONING	= R-1
PROJECT AREA	= 11 ACRES
1-STORY BUILDING (S.F.)	= 49,216

SITE LAYOUT KEY

A5	STANDARD DUTY BITUMINOUS PAVEMENT	SEE DETAIL A5
A7	HEAVY DUTY BITUMINOUS PAVEMENT	SEE DETAIL A7
A8	HMA PAVEMENT FOR TENNIS COURTS	SEE DETAIL A8
A11	GRAVEL SECTION	SEE DETAIL A11
A22	GRAVEL MAINTENANCE STRIP	SEE DETAIL A22
A28	BUTT JOINT CONNECTION TO EX. PAVEMENT	SEE DETAIL A28
C0	EXPANSION & CONTROL JOINT	SEE DETAIL C0
C2	ROLLED CONCRETE CURB & GUTTER	SEE DETAIL C2
C2A	ROLLED CONCRETE CURB & GUTTER TIP OUT	SEE DETAIL C2A
C3	TYPE 1 CONCRETE CURB & GUTTER	SEE DETAIL C3
C4	TYPE 2 CONCRETE CURB & GUTTER	SEE DETAIL C4
C5	CONCRETE EDGE BAND	SEE DETAIL C5
C9	STANDARD DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C9
C10	HEAVY DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C10
C28	CONCRETE FLUSH TURNED DOWN WALK	SEE DETAIL C28
C29	CONCRETE TURNED DOWN WALK	SEE DETAIL C29
C30	VERSION 2 CONCRETE TURNED DOWN WALK	SEE DETAIL C30
C35	CONCRETE WALKWAY CONNECTION	SEE DETAIL C35
C36	BARRIER FREE CONCRETE WALK RAMP	SEE DETAIL C36
M16	SEE LANDSCAPE PLANS FOR CROSSWALK STRIPING	
M21	SEE LANDSCAPE PLANS FOR B.F. SYMBOL	SEE DETAIL M21
M22	BARRIER-FREE PARKING SPACE LAYOUT	SEE DETAIL M22
M23	BARRIER-FREE PARKING SPACE LAYOUT - VAN	SEE DETAIL M23
T1	BARRIER FREE PARKING SIGN	SEE DETAIL T1

BENCHMARKS

BM #210	ELEVATION 655.333
E: 13158667.4910	N: 700206.8810
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH END OF PARKING LOT TO K.C. LIND BUILDING.	
BM #211	ELEVATION 650.558
E: 13159367.7660	N: 699592.2480
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH SIDE OF HIGH SCHOOL NEAR INNER PLAZA ENTRANCE.	
BM #212	ELEVATION 652.463
E: 13158411.5250	N: 698852.6720
PK. NAIL IN BASE OF LIGHT POLE ON WEST SIDE OF THE SOUTH HIGH SCHOOL PARKING LOT.	
BM #213	ELEVATION 648.272
E: 13159349.3930	N: 701220.9590
CHISELED 'X' ON TOP OF SOUTHEAST BOLT OF HYDRANT IN THE SOUTHWEST CORNER OF BUS GARAGE.	

811
 Know what's below.
 Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

ISSUED FOR DATE

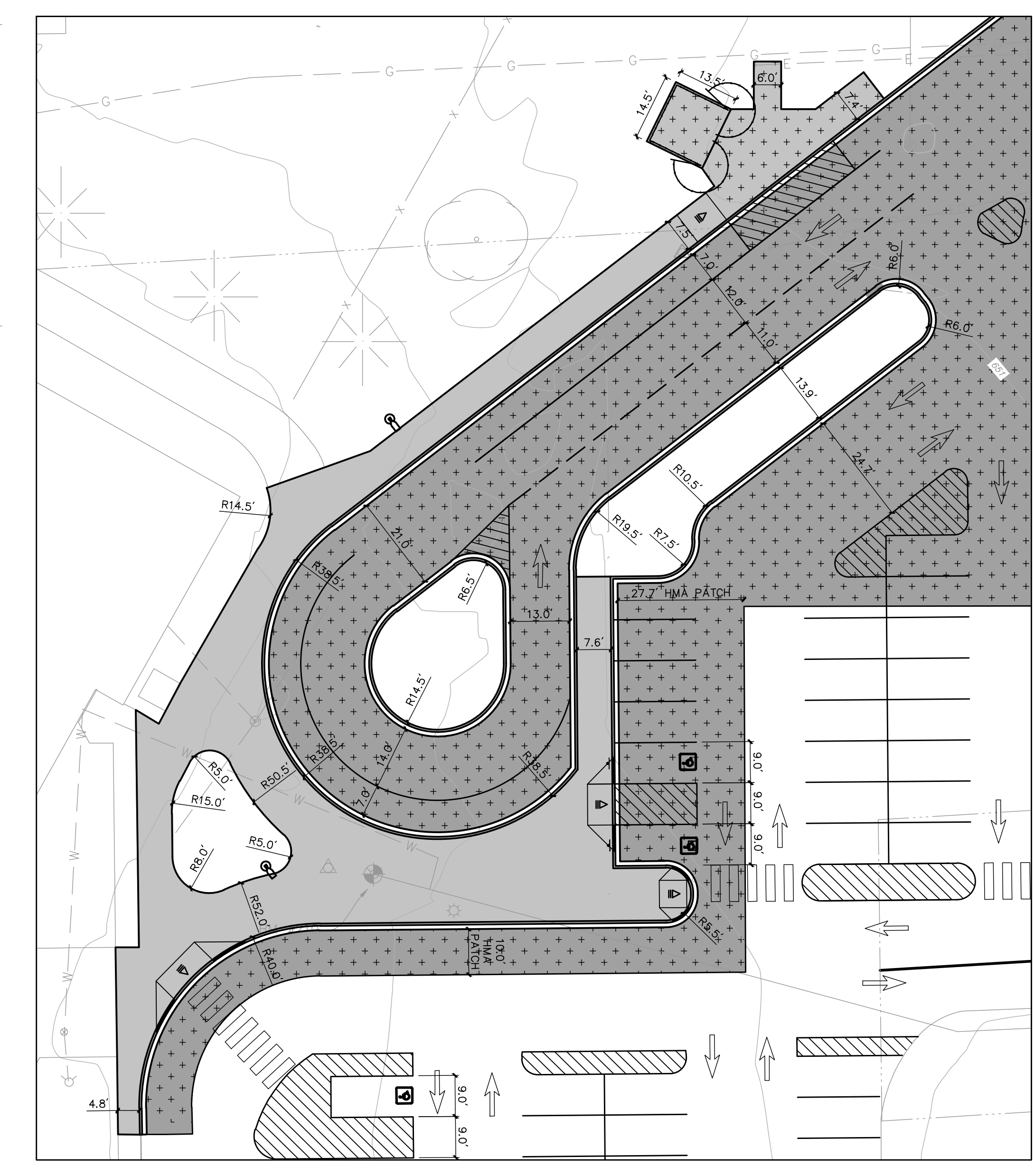
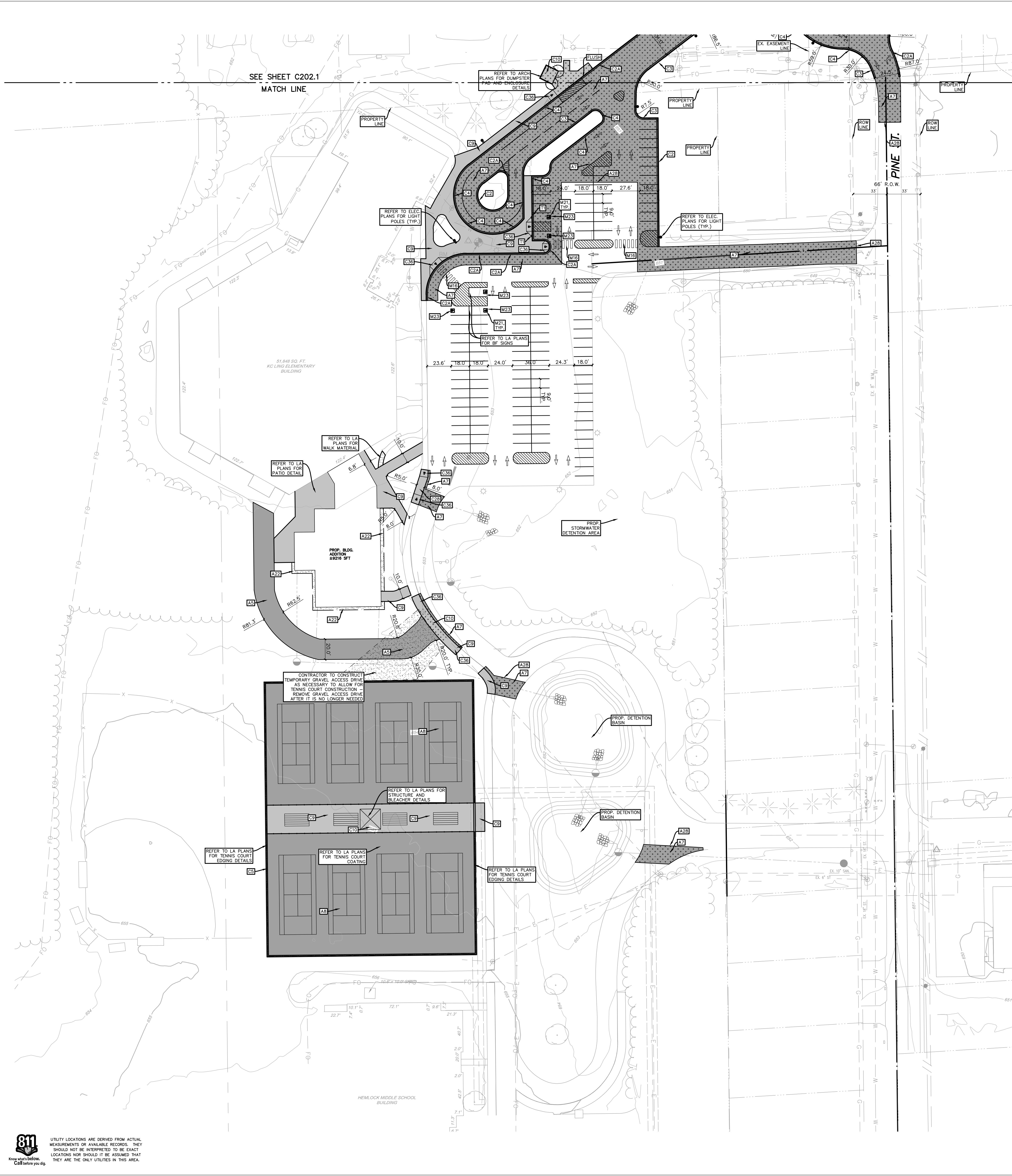
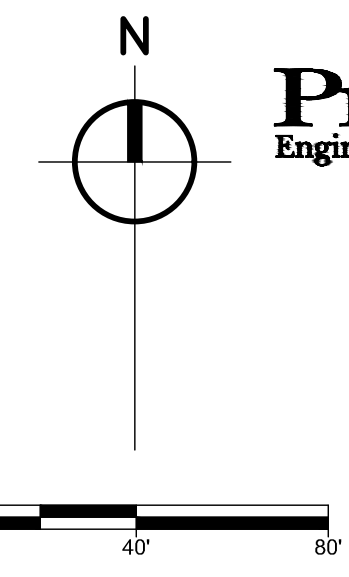
PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
 OVERALL SITE PLAN

SHEET NUMBER
C 200.1
 DATE
 DECEMBER 21, 2022
 21113.20



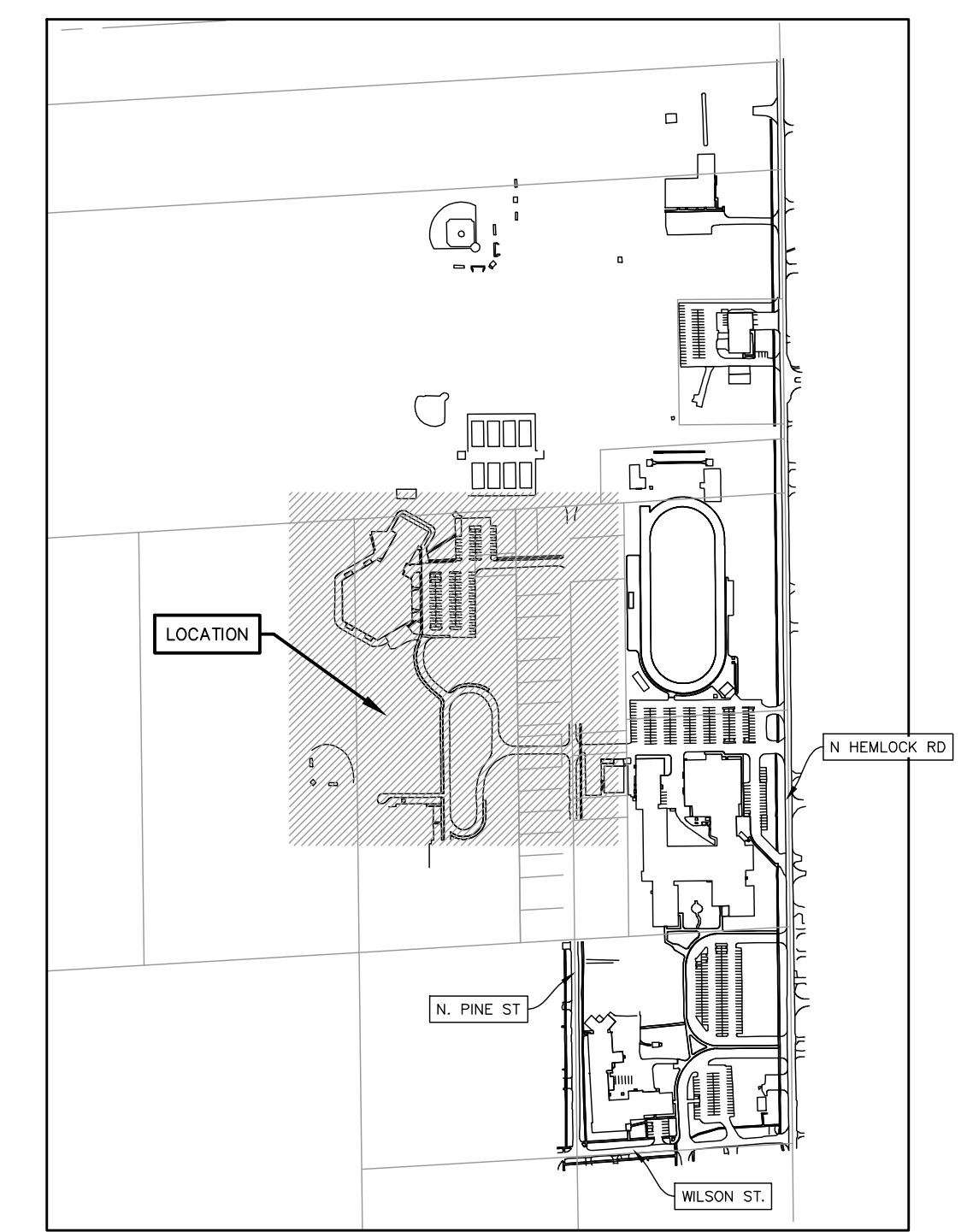
DIMENSIONING ENLARGEMENT North
 SCALE: 1" = 20'

SITE LAYOUT KEY

A5 STANDARD DUTY BITUMINOUS PAVEMENT	SEE DETAIL A5
A7 HEAVY DUTY BITUMINOUS PAVEMENT	SEE DETAIL A7
A8 HMA PAVEMENT FOR TENNIS COURTS	SEE DETAIL A8
A11 GRAVEL SECTION	SEE DETAIL A11
A22 GRAVEL MAINTENANCE STRIP	SEE DETAIL A22
A28 BUTT JOINT CONNECTION TO EX. PAVEMENT	SEE DETAIL A28
C0 EXPANSION & CONTROL JOINT	SEE DETAIL C0
C2 ROLLED CONCRETE CURB & GUTTER	SEE DETAIL C2
C2A ROLLED CONCRETE CURB & GUTTER TIP OUT	SEE DETAIL C2A
C3 TYPE 1 CONCRETE CURB & GUTTER	SEE DETAIL C3
C4 TYPE 2 CONCRETE CURB & GUTTER	SEE DETAIL C4
C5 CONCRETE EDGE BAND	SEE DETAIL C5
C9 STANDARD DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C9
C10 HEAVY DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C10
C28 CONCRETE FLUSH TURNED DOWN WALK	SEE DETAIL C28
C29 CONCRETE TURNED DOWN WALK	SEE DETAIL C29
C30 VERSION 2 CONCRETE TURNED DOWN WALK	SEE DETAIL C30
C35 CONCRETE WALKWAY CONNECTION	SEE DETAIL C35
C36 BARRIER FREE CONCRETE WALK RAMP	SEE DETAIL C36
M16 SEE LANDSCAPE PLANS FOR CROSSWALK STRIPING	SEE DETAIL M16
M21 SEE LANDSCAPE PLANS FOR B.F. SYMBOL	SEE DETAIL M21
M22 BARRIER-FREE PARKING SPACE LAYOUT	SEE DETAIL M22
M23 BARRIER-FREE PARKING SPACE LAYOUT - VAN	SEE DETAIL M23
T1 BARRIER FREE PARKING SIGN	SEE DETAIL T1

SITE LEGEND LAYOUT

CONCRETE CURB & GUTTER	
SIGN	
PARKING AREA STRIPING ISLAND	
STANDARD DUTY CONCRETE PAVEMENT	
STANDARD DUTY BITUMINOUS PAVEMENT	
HEAVY DUTY BITUMINOUS PAVEMENT	
GRAVEL PAVEMENT	
H.D. CONCRETE PAVEMENT	
TRAFFIC FLOW	
PARKING STALL COUNT	
LIGHT POLE (REFER TO AE PLANS)	



LOCATION KEY North
 SCALE: 1" = 500'

ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

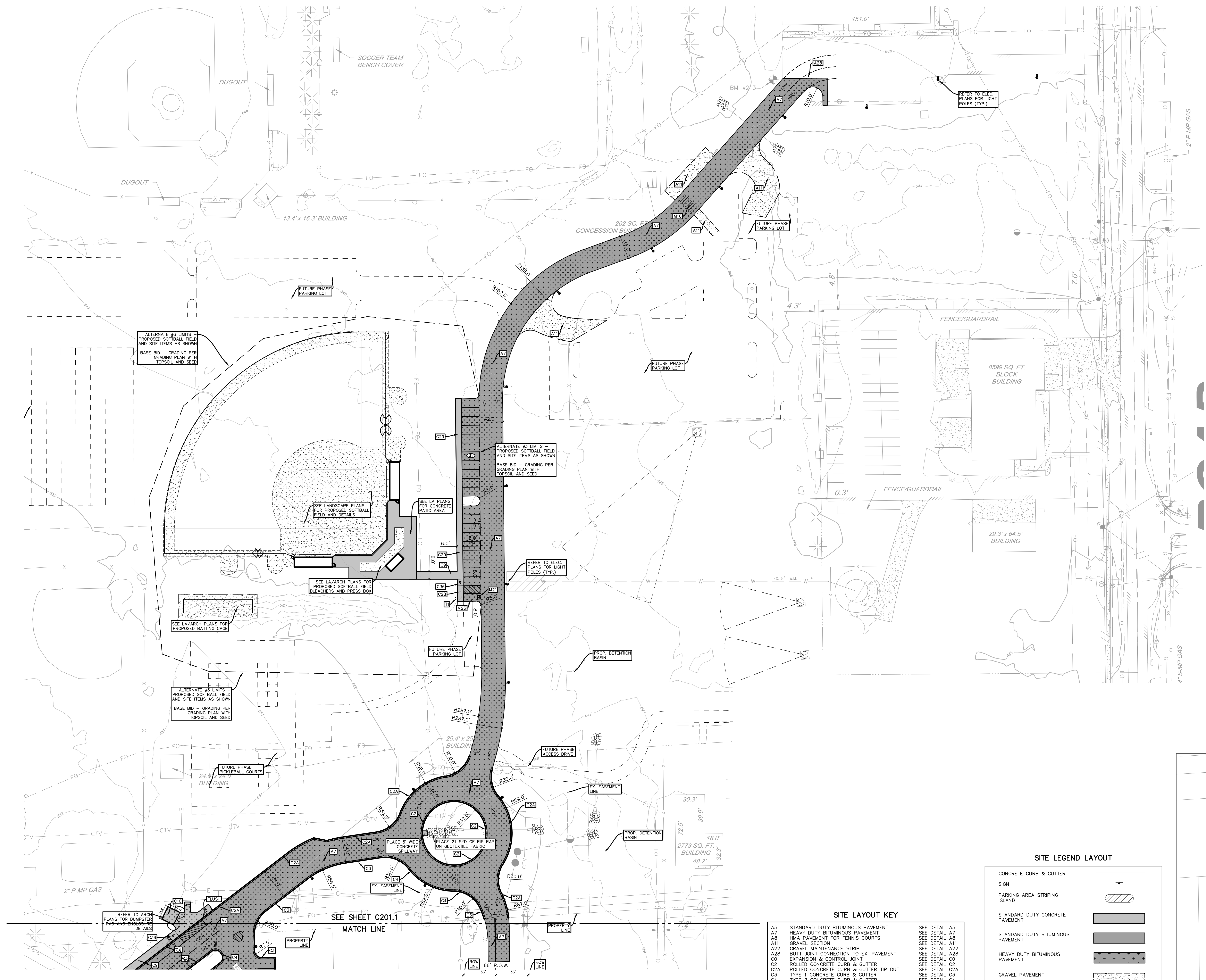
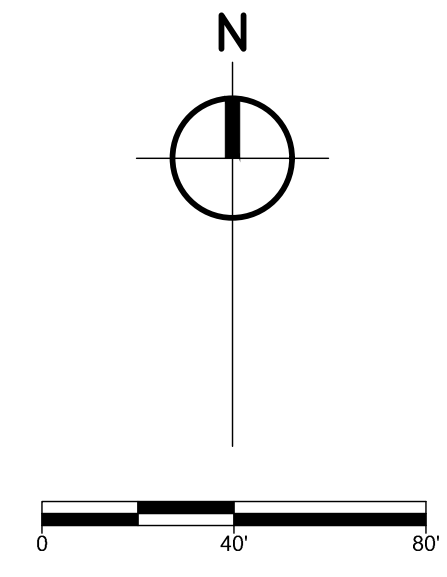
SHEET TITLE
 SITE PLAN SOUTH

Hemlock, Michigan

DATE
 DECEMBER 21, 2022

SHEET NUMBER
C 201.1
 21113.20

811
 Know what's below.
 Call before you dig.
 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.



ALTERNATE #3 LIMITS - PROPOSED SOFTBALL FIELD AND SITE ITEMS AS SHOWN. BASE BID - GRADING PER GRADING PLAN WITH TOPSOIL AND SEED.

ALTERNATE #3 LIMITS - PROPOSED SOFTBALL FIELD AND SITE ITEMS AS SHOWN. BASE BID - GRADING PER GRADING PLAN WITH TOPSOIL AND SEED.

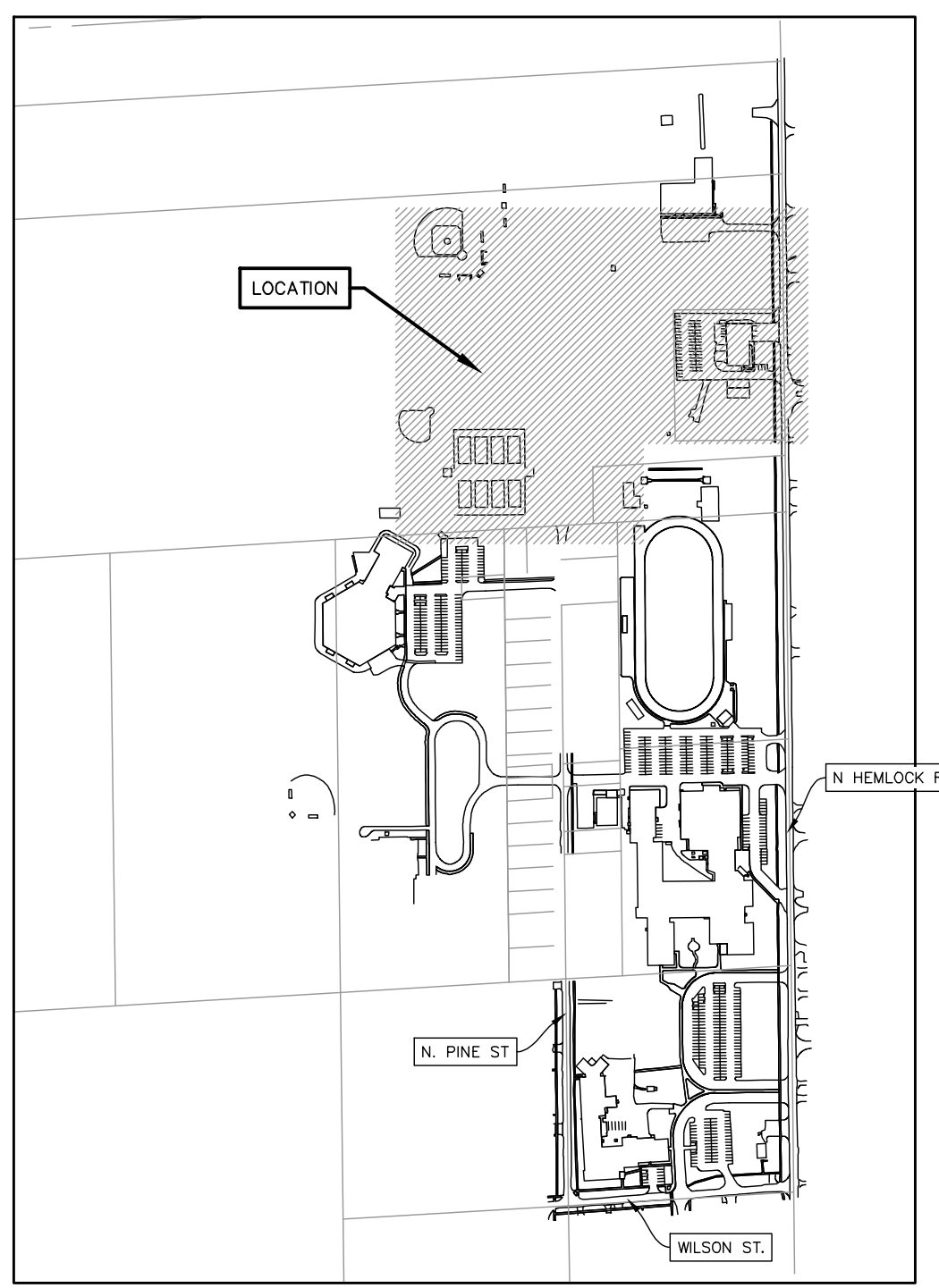
ALTERNATE #3 LIMITS - PROPOSED SOFTBALL FIELD AND SITE ITEMS AS SHOWN. BASE BID - GRADING PER GRADING PLAN WITH TOPSOIL AND SEED.

SITE LAYOUT KEY

A5	STANDARD DUTY BITUMINOUS PAVEMENT	SEE DETAIL A5
A7	HEAVY DUTY BITUMINOUS PAVEMENT	SEE DETAIL A7
A8	HMA PAVEMENT FOR TENNIS COURTS	SEE DETAIL A8
A11	GRAVEL SECTION	SEE DETAIL A11
A22	GRAVEL MAINTENANCE STRIP	SEE DETAIL A22
A28	BUTT JOINT CONNECTION TO EX. PAVEMENT	SEE DETAIL A28
C3	EXPANSION & CONTROL JOINT	SEE DETAIL C3
C2	ROLLED CONCRETE CURB & GUTTER	SEE DETAIL C2
C2A	ROLLED CONCRETE CURB & GUTTER TIP OUT	SEE DETAIL C2A
C3	TYPE 1 CONCRETE CURB & GUTTER	SEE DETAIL C3
C4	TYPE 2 CONCRETE CURB & GUTTER	SEE DETAIL C4
C5	CONCRETE EDGE BAND	SEE DETAIL C5
C9	STANDARD DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C9
C10	HEAVY DUTY CONCRETE WALKWAY/PAVEMENT	SEE DETAIL C10
C26	CONCRETE FLUSH TURNED DOWN WALK	SEE DETAIL C26
C29	CONCRETE TURNED DOWN WALK	SEE DETAIL C29
C30	VERSION 2 CONCRETE TURNED DOWN WALK	SEE DETAIL C30
C35	CONCRETE WALKWAY CONNECTION	SEE DETAIL C35
C36	BARRIER FREE CONCRETE WALK RAMP	SEE DETAIL C36
M16	SEE LANDSCAPE PLANS FOR CROSSWALK STRIPING	
M21	SEE LANDSCAPE PLANS FOR B.F. SYMBOL	SEE DETAIL M21
M22	BARRIER-FREE PARKING SPACE LAYOUT	SEE DETAIL M22
M23	BARRIER-FREE PARKING SPACE LAYOUT - VAN	SEE DETAIL M23
T1	BARRIER FREE PARKING SIGN	SEE DETAIL T1

SITE LEGEND LAYOUT

CONCRETE CURB & GUTTER	
SIGN	
PARKING AREA STRIPING ISLAND	
STANDARD DUTY CONCRETE PAVEMENT	
STANDARD DUTY BITUMINOUS PAVEMENT	
HEAVY DUTY BITUMINOUS PAVEMENT	
GRAVEL PAVEMENT	
H.D. CONCRETE PAVEMENT	
TRAFFIC FLOW	
PARKING STALL COUNT	
LIGHT POLE (REFER TO AE PLANS)	



811
 Know what's below. Call before you dig.
 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

ISSUED FOR _____ DATE _____

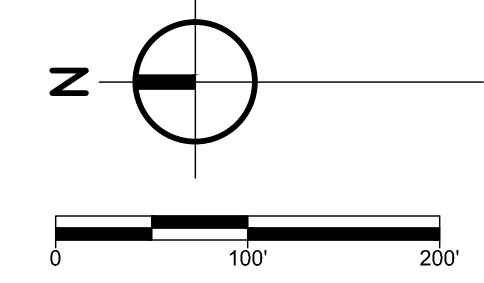
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
SITE PLAN NORTH

Location
Hemlock, Michigan

SHEET NUMBER
C 202.1
 DATE
DECEMBER 21, 2022
 21113.20



GRADING NOTES

ASPH	= BITUMINOUS PAVT.
CONC	= TOP OF CONC.
FL	= FLOW LINE
FC	= FLUSH CURB
G	= GROUND SPOT
INV	= PIPE/END SECTION INVERT
RM	= UTILITY STRUCTURE
WALK	= SIDEWALK
BC	= BACK OF CURB
TW	= TOP OF WALL

- REFER TO SPECIFICATIONS FOR ADDITIONAL ABBREVIATIONS FOR CIVIL/SITE AMENITIES.
- SIDEWALK CROSS-SLOPES HAVE BEEN DESIGNED AT 1.5% AND MUST NOT EXCEED 1.8%.

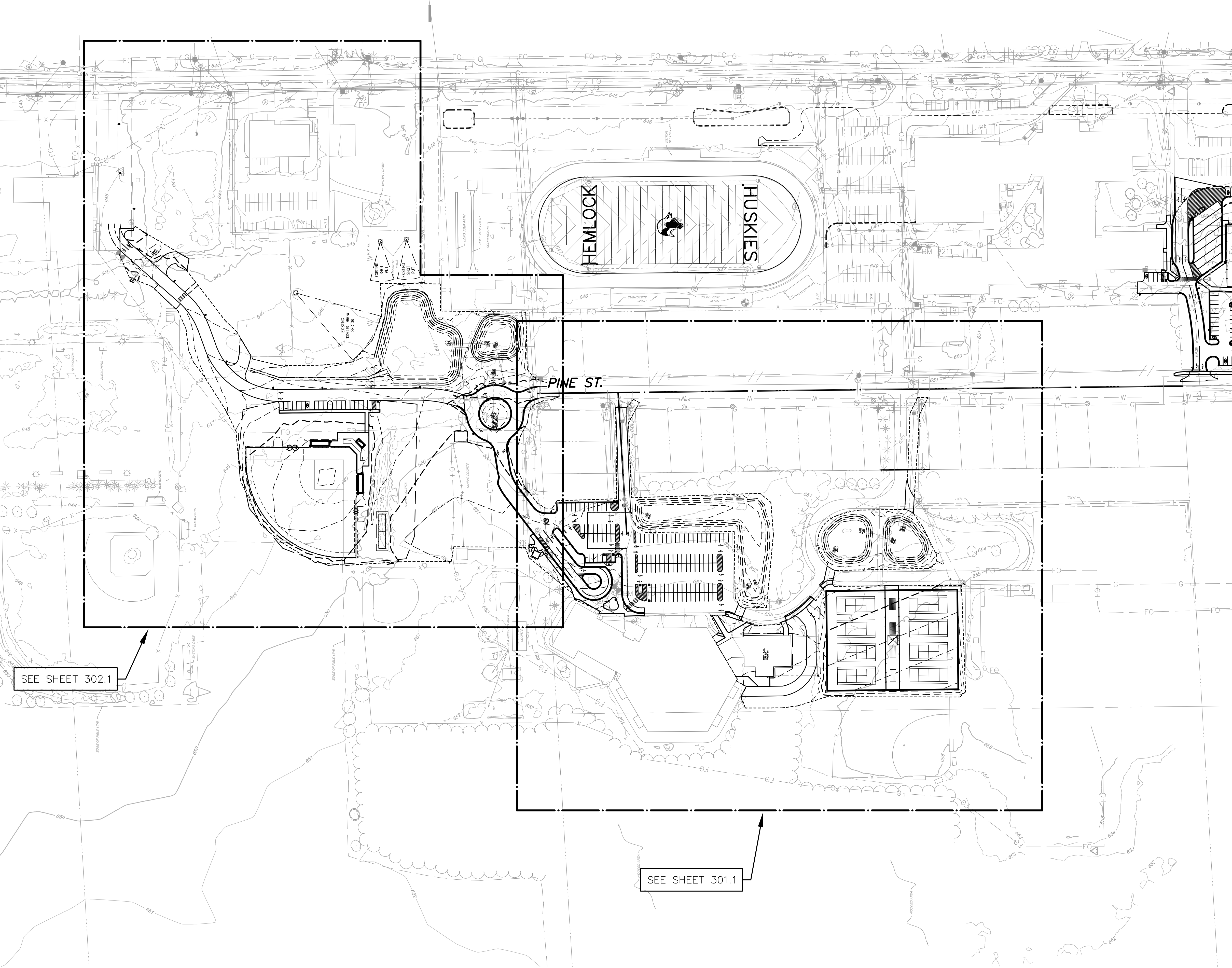
GRADING LEGEND

SPOT ELEVATION	X	-780.20
FLOW DIRECTION WITH GRADE	→	2.0%
SLOPE LABEL	5:1	
CATCH BASIN (EX. PROP.)	⊠	
CULVERT END SECTION W/ RIPRAP	⊠	
HYDRANT & VALVE (EX. PROP.)	⊙	
MANHOLE (EX. PROP.)	⊙	
CLEANOUT	⊙	
SWALE/DITCH	—	
GRADE BREAK	---	
PROP. CONTOUR LINE	---	-780-
EX. CONTOUR LINE	---	780
GRADING LIMIT	---	
SILT FENCE	---	

- EROSION CONTROL NOTES**
- THE CONTRACTOR SHALL COMPLY WITH MUNICIPALITY RULES & REGULATIONS FOR SOIL EROSION CONTROL & SUBMIT A SCHEDULE OF SOIL EROSION ACTIVITIES TO THE LOCAL ENFORCING AGENCY PRIOR TO ANY EARTH CHANGE.
 - THE CONTRACTOR SHALL INSPECT ALL TEMPORARY & PERMANENT EROSION CONTROL MEASURES WEEKLY & IMMEDIATELY (WITHIN 24 HOURS) AFTER A SIGNIFICANT RAINFALL EVENT. ALL MEASURES REQUIRING MAINTENANCE, REPAIR, OR REPLACEMENT SHALL BE CORRECTED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER.
 - PERMANENT SOIL EROSION CONTROL MEASURES, PLANTINGS & MULCHING FOR ALL SLOPES, CHANNELS, DITCHES, OR DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FIVE (5) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGE HAS BEEN COMPLETED.
 - ALL SLOPES SHALL BE TRACKED PERPENDICULAR TO THE SLOPE TO AID IN EROSION CONTROL OF SLOPED AREAS.
 - WHERE SEASONAL LIMITATIONS OR CONSTRUCTION DELAYS PREVENT SCHEDULED INSTALLATION OF PERMANENT CONTROL FACILITIES, APPROVED TEMPORARY MEASURES SHALL BE INSTALLED WITHIN FIVE (5) CALENDAR DAYS & MAINTAINED UNTIL REPLACED BY PERMANENT FACILITY.
 - THE LOCATION OF ANY TOPSOIL STOCKPILE SHALL BE DESIGNATED BY THE OWNER PRIOR TO CONSTRUCTION. THIS AREA SHALL BE ENCLOSED BY SILT FENCE A REASONABLE DISTANCE FROM THE TOE OF SLOPE UNTIL SUCH TIME IT IS USED TO TOPSOIL THE SITE.

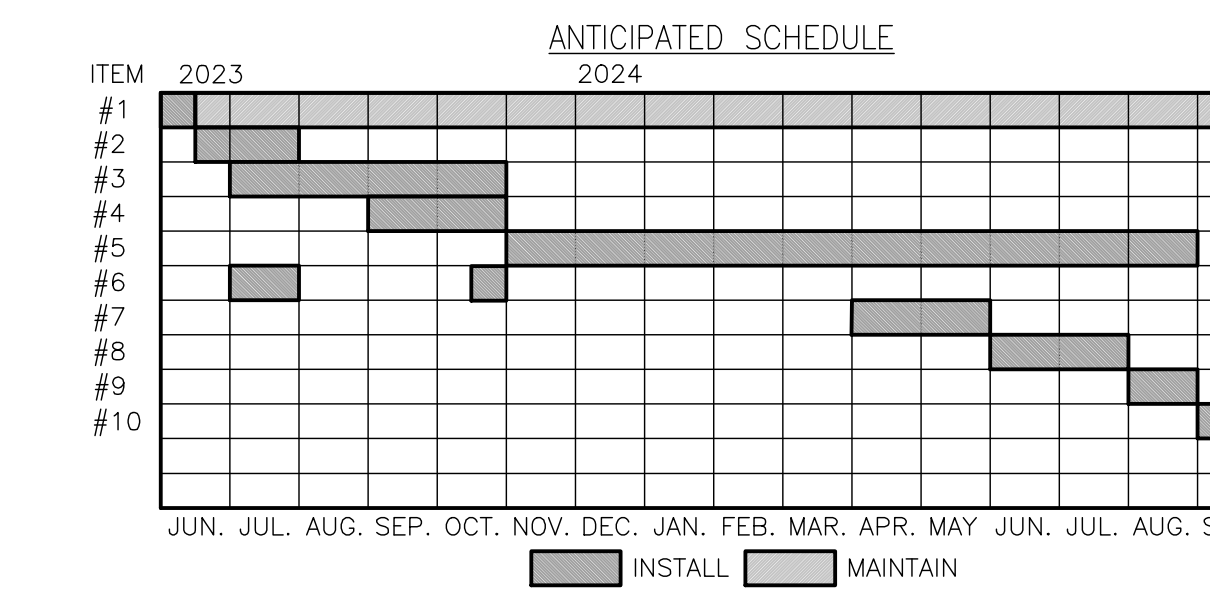
- CONSTRUCTION SEQUENCING**
- APPLY FOR & OBTAIN ALL REQUIRED PERMITS INCLUDING BUT NOT LIMITED TO SOIL SEDIMENT CONTROL PERMIT AND STATE NPDES PERMIT BY RULE FOR CONSTRUCTION ACTIVITIES.
 - INSTALL SILT FENCING & PERIMETER SOIL EROSION CONTROL MEASURES INDICATED ON THE PLANS & MAINTAIN AT ALL TIMES DURING CONSTRUCTION.
 - STRIP TOPSOIL AND REMOVE UNSUITABLE MATERIALS UNDER THE PROPOSED HARD SURFACED AREAS. STOCKPILE TOPSOIL IN AN AREA OUTSIDE OF THE IMPROVED AREAS AS DESIGNATED BY THE OWNER.
 - CONSTRUCT PROPOSED IMPROVEMENTS.
 - RESTORE ALL DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS.
 - AFTER ALL DISTURBED AREAS HAVE BEEN RESTORED & VEGETATION IS ESTABLISHED, REMOVE SOIL EROSION CONTROL MEASURES.

- SOIL EROSION CONTROL LEGEND**
- | | | | |
|-----|-----------------------------------|----|---|
| 3 | PERMANENT/TEMPORARY SEEDING (T/P) | 26 | GEOTEXTILE SILT FENCE (T) |
| 7 | RIPRAP (P) | 29 | INLET PROTECTION SILT SACK (T) |
| (T) | TEMPORARY CONTROL MEASURE | 33 | MULCH BLANKETS & HIGH VELOCITY MULCH BLANKETS (P) |
| (P) | PERMANENT CONTROL MEASURE | | |
- 29 PLACE CATCH BASIN SILT SACK OR EQUIVALENT AT ALL EXISTING AND PROPOSED CATCH BASINS. ADDITIONALLY, PLACE FILTER SOCKS AROUND ALL INLETS IN UNPAVED AREAS.
- INSTALL SILT FENCE AROUND THE ENTIRE SITE PERIMETER
- ALL MEASURES PLACED IN ACCORDANCE OF MDOT STANDARD DETAIL R-96-D SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
- TEMPORARY SEEDING SHALL BE CAST ON ALL AREAS WITHIN 1 WEEK OF DISTURBANCE
- WESTERN EXCELSIOR "EXCEL SS-2" DOUBLE NET SOIL EROSION CONTROL BLANKET (OR APPROVED EQUAL) SHALL BE PLACED ON ALL DISTURBED SLOPES 1 AND 4 OR STEEPER AND ON ALL DISTURBED DITCH BOTTOMS
- WESTERN EXCELSIOR "EXCEL SR-1" SINGLE NET SOIL EROSION CONTROL BLANKET (OR APPROVED EQUAL) SHALL BE PLACED ON ALL DISTURBED AREAS 1 AND 4 OR FLATTER
- 4" OF TOPSOIL AND SEED SHALL BE INSTALLED AT ALL DISTURBED AREAS

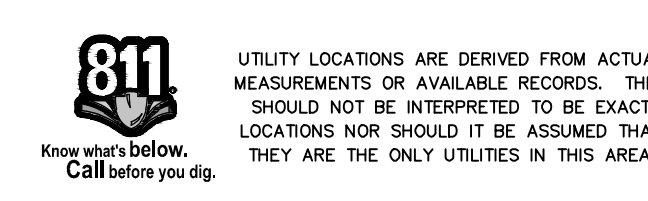


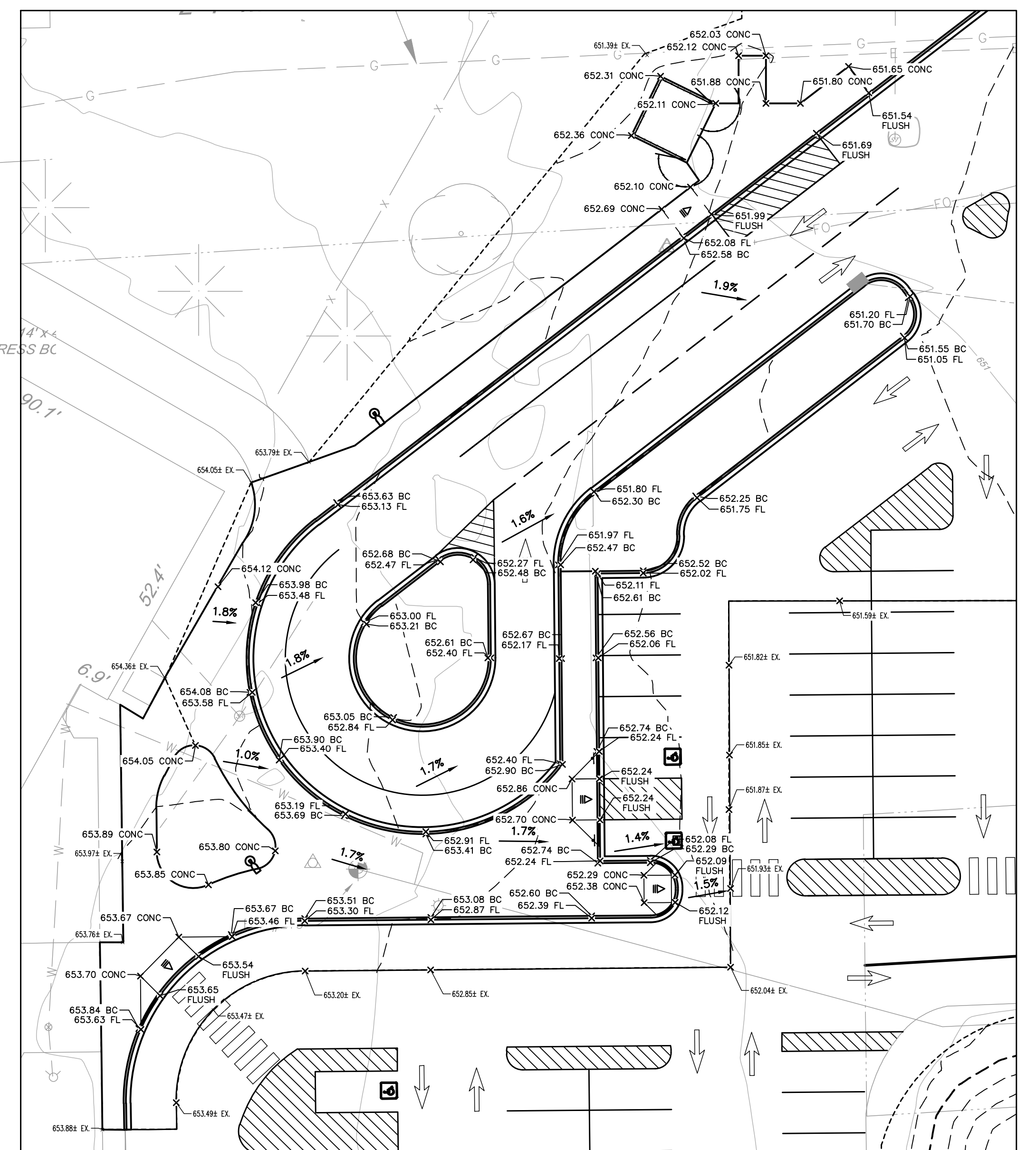
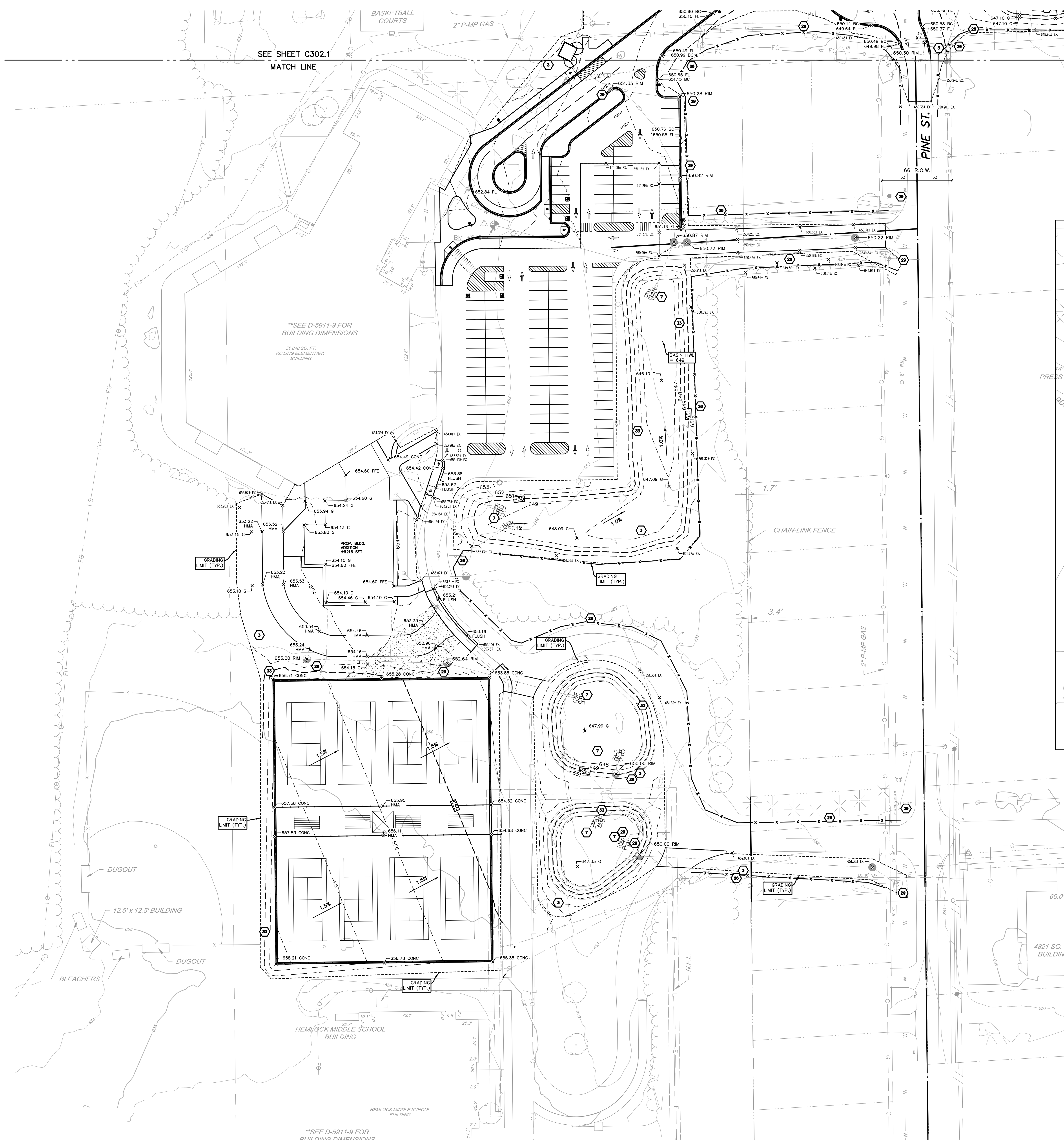
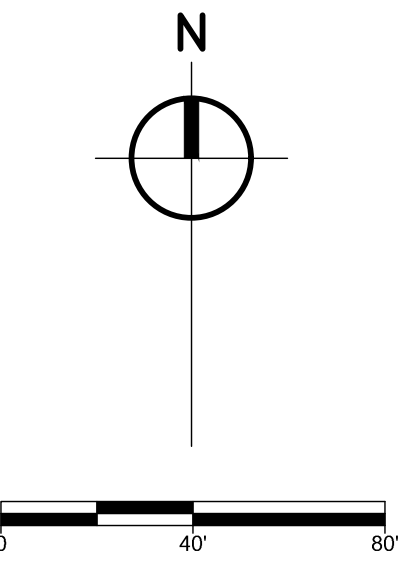
BENCHMARKS

BM #210	ELEVATION 655.333
E: 13158667.4910	N: 700206.8810
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH END OF PARKING LOT TO K.C. LING BUILDING	
BM #211	ELEVATION 650.558
E: 13159367.7660	N: 699592.2480
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH SIDE OF HIGH SCHOOL NEAR INNER PLAZA ENTRANCE	
BM #212	ELEVATION 652.463
E: 13159411.5250	N: 698852.6720
PK. NAIL IN BASE OF LIGHT POLE ON WEST SIDE OF THE SOUTH HIGH SCHOOL PARKING LOT	
BM #213	ELEVATION 648.272
E: 13159349.3930	N: 702220.9590
CHISELED 'X' ON TOP OF SOUTHEAST BOLT OF HYDRANT IN THE SOUTHWEST CORNER OF BUS GARAGE	

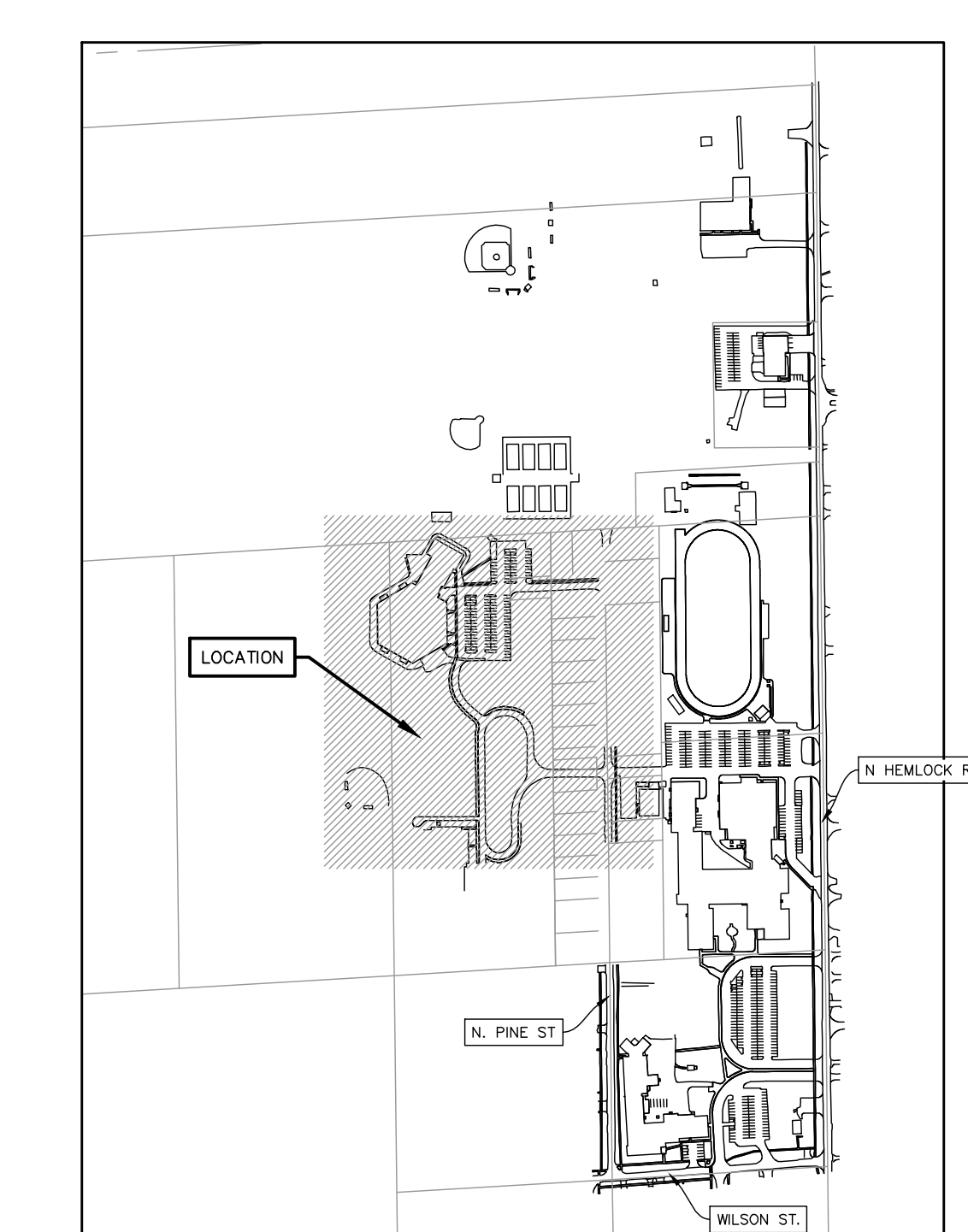


- INSTALL EROSION CONTROL DEVICES
- DEMOLITION PAVEMENT AND UTILITY REMOVALS)
- INSTALL UNDERGROUND SITE UTILITIES
- INSTALL BUILDING FOUNDATIONS
- CONSTRUCT BUILDING
- SITE GRADING
- INSTALL CURB & GUTTERS
- INSTALL PAVING & SIDEWALKS
- INSTALL LANDSCAPING
- SITE RESTORATION





GRADING ENLARGEMENT
 SCALE: 1" = 20'



LOCATION KEY
 SCALE: 1" = 500'

SEE SHEET C302.1
 MATCH LINE

**SEE D-5911-9 FOR
 BUILDING DIMENSIONS
 51,848 SQ. FT.
 K.C. LING ELEMENTARY
 BUILDING

**SEE D-5911-9 FOR
 BUILDING DIMENSIONS

811
 Know what's below.
 Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

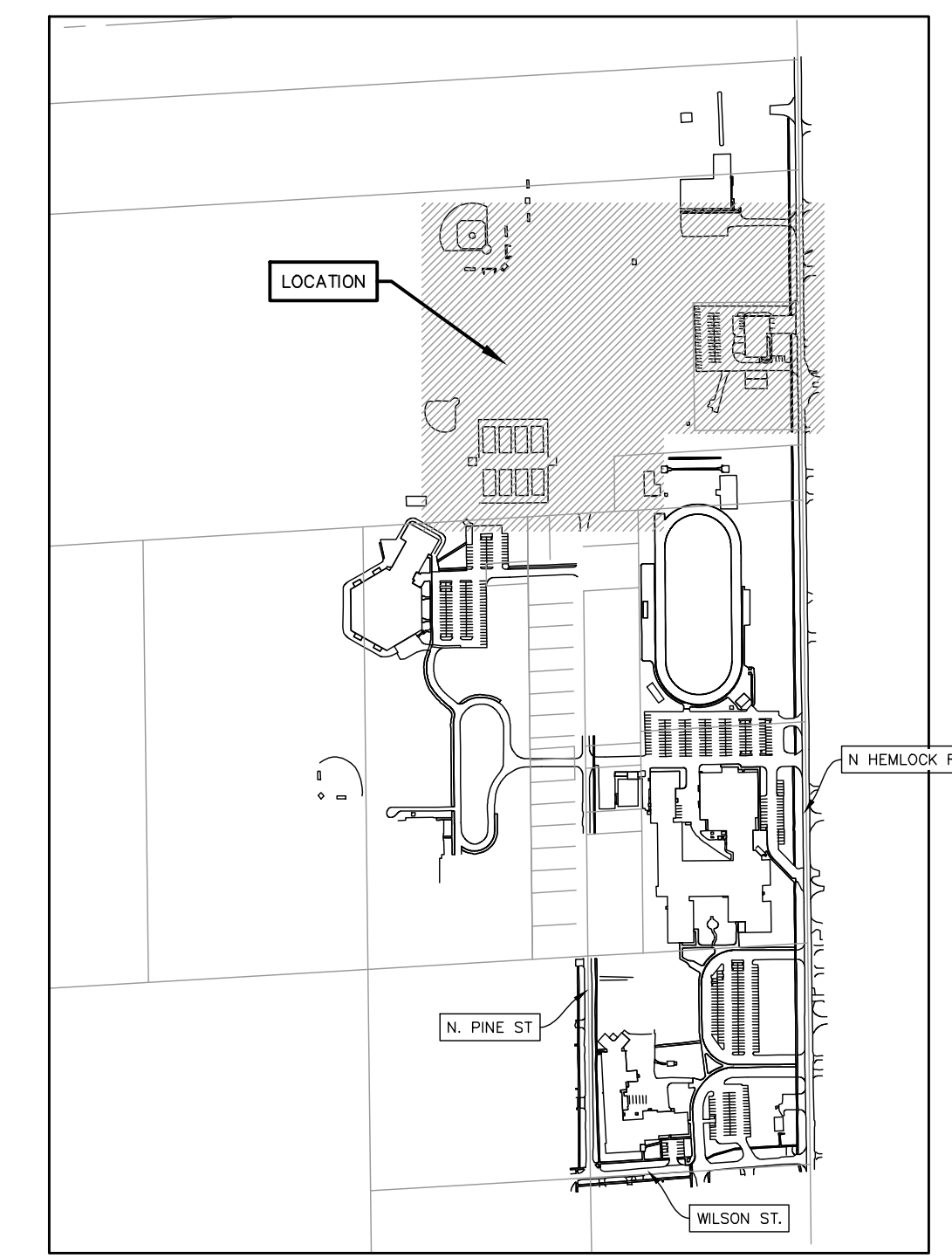
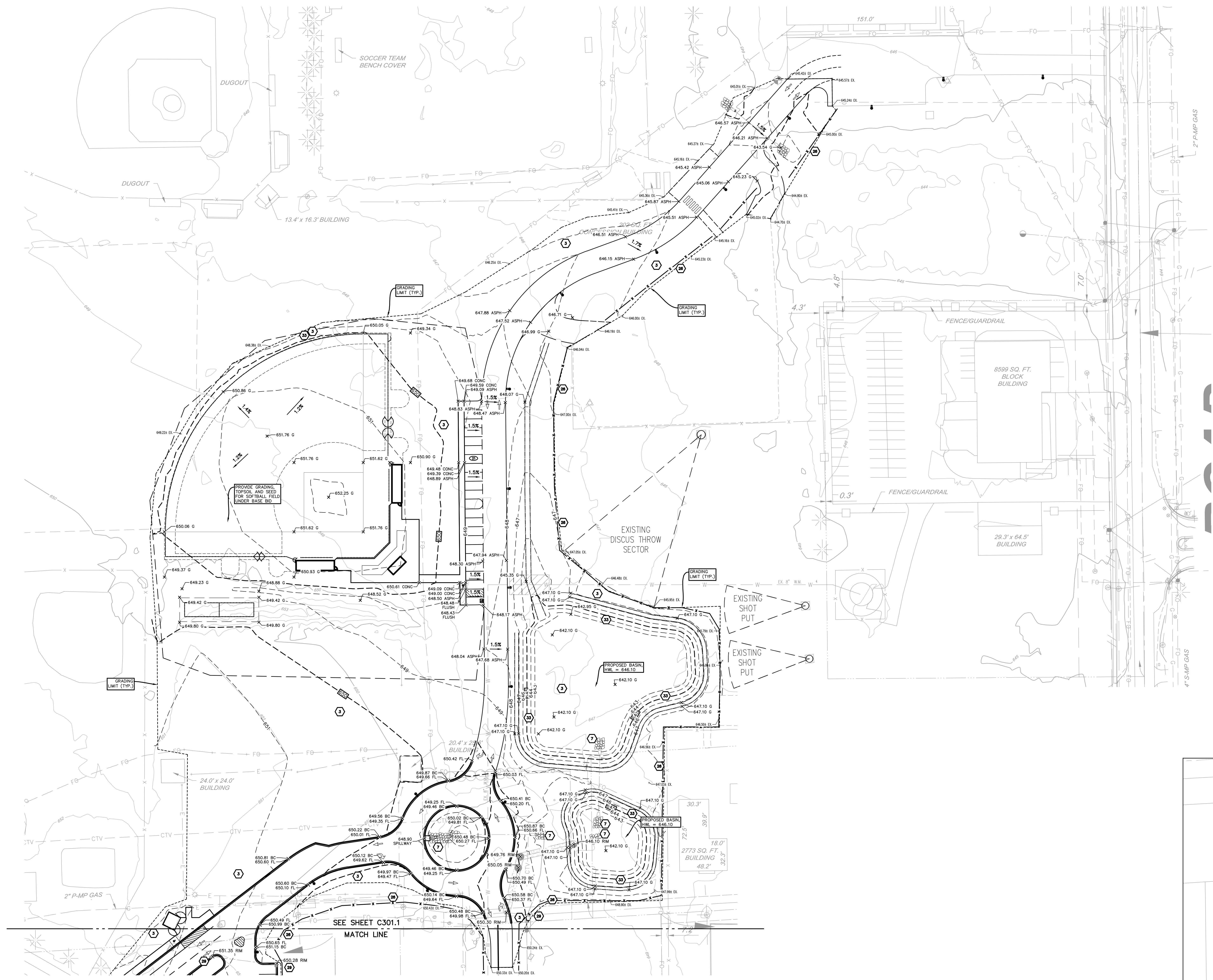
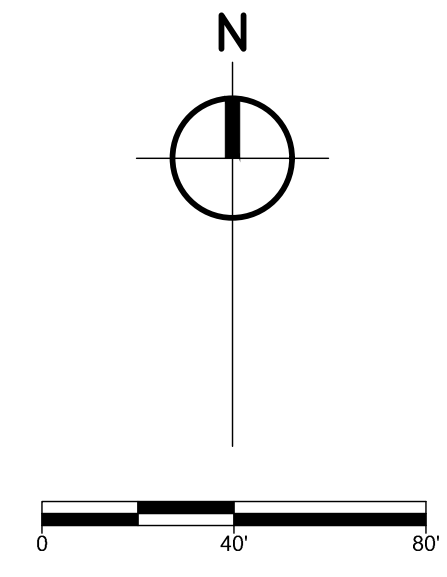
OWNER
 HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
 GRADING PLAN SOUTH

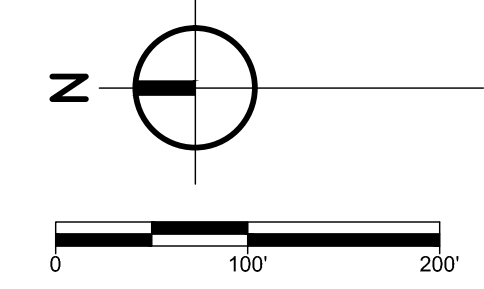
SHEET NUMBER
C 301.1
 21113-20

DATE
 DECEMBER 21, 2022



LOCATION KEY
 SCALE: 1" = 500'

811
 Know what's below.
 Call before you dig.
 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.



GENERAL UTILITY NOTES

1. ALL TEXT & FEATURES SHOWN SCREENED ARE EXISTING. ALL STRUCTURES SHALL BE LOCATED IN RELATION TO THE PROPOSED IMPROVEMENTS.
2. UTILITIES SHOWN WERE EITHER FIELD LOCATED, OR TAKEN FROM EXISTING RECORD/DESIGN DRAWINGS & ARE SHOWN ACCORDINGLY. THE CONTRACTOR SHALL EXERCISE CAUTION & FIELD VERIFY REQUIRED LOCATIONS PRIOR TO EXCAVATION & CONSTRUCTION.
3. MDOT CL II SAND BACKFILL REQUIRED UNDER ALL PROPOSED PAVEMENT AREAS.

UTILITY LEGEND

EX. MANHOLE	
EX. CATCH BASIN	
EX. CLEANOUT	
EX. VALVE (WATER)	
EX. HYDRANT	
PROP. MANHOLE	
PROP. CATCH BASIN	
PROP. CLEANOUT	
PROP. VALVE (WATER)	
PROP. HYDRANT	
PROP. LIGHT POLE (SEE ARCH. PLAN FOR MORE DETAIL)	
EX. GAS SERVICE	
EX. WATERMAIN	
EX. SANITARY SEWER	
EX. STORM SEWER	
PROP. WATER MAIN	
PROP. RESTRAINED JOINT WATER MAIN	
PROP. SANITARY SEWER	
PROP. STORM SEWER	

STORM SEWER NOTES

- O.C. = OUTLET CONTROL STRUCTURE
 FES = FLARED END SECTION
 C.O. = CLEAN OUT
 CB = CATCH BASIN
 MH = MANHOLE
 YD = YARD DRAIN (2.0' DIA.)
1. ALL TEXT & FEATURES SHOWN SCREENED ARE EXISTING. ALL STRUCTURES SHALL BE LOCATED IN RELATION TO THE PROPOSED IMPROVEMENTS.
 2. UTILITIES SHOWN WERE EITHER FIELD LOCATED, OR TAKEN FROM EXISTING RECORD/DESIGN DRAWINGS & ARE SHOWN ACCORDINGLY. THE CONTRACTOR SHALL EXERCISE CAUTION & FIELD VERIFY REQUIRED LOCATIONS PRIOR TO EXCAVATION & CONSTRUCTION.
 3. THE DRAINAGE STRUCTURES AND THE STORM WATER SYSTEM UNDER MUNICIPALITY JURISDICTION SHALL BE MUNICIPALITY TESTED MATERIAL.
 4. ALL STORM SEWER SHALL BE ADS HP PIPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 6. ALL ROOF DRAIN CONNECTIONS SHALL BE CONNECTED TO THE STORM SEWER WITH FABRICATED ADS HP REDUCING TEES.
 7. CONTRACTOR TO COORDINATE INVERT ELEVATIONS AND PIPE SIZE OF ROOF DRAINS WITH PLUMBING PLAN. ROOF DRAINS MUST BE CONNECTED TO THE STORM SEWER WITH FABRICATED ADS HP REDUCING TEES, OR TIED INTO MANHOLES, WHERE NO INVERT ELEVATIONS ARE GIVEN ON THE PLANS. CONTRACTOR MUST CONNECT TO MANHOLES AND PROVIDE AT LEAST 2 FT OF COVER OVER PIPE IN GREEN SPACE, AND AT LEAST 3 FT OF COVER UNDER PAVEMENT. CONTRACTOR MUST INSTALL PIPE(S) WITH SLOPE IN ACCORDANCE WITH SAGINAW COUNTY DRAIN COMMISSION STANDARDS.

WATER MAIN NOTES

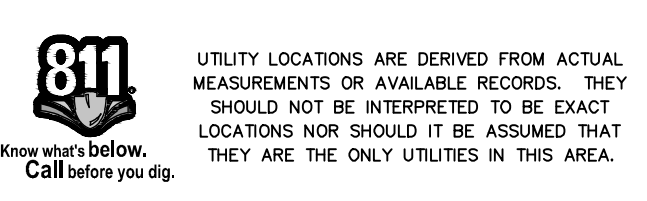
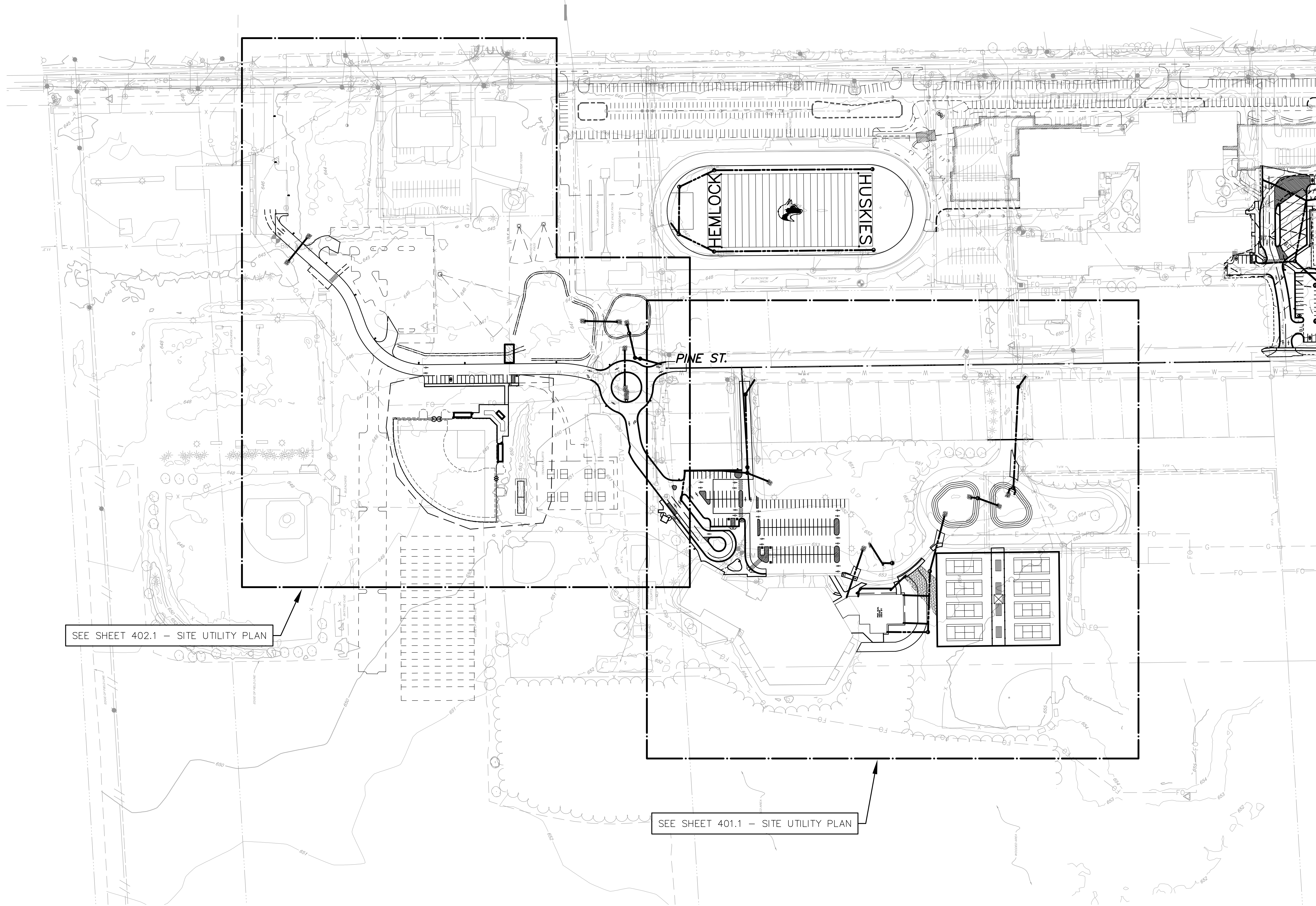
1. ALL TEXT & FEATURES SHOWN SCREENED ARE EXISTING. ALL STRUCTURES SHALL BE LOCATED IN RELATION TO THE PROPOSED IMPROVEMENTS.
2. UTILITIES SHOWN WERE EITHER FIELD LOCATED, OR TAKEN FROM EXISTING RECORD/DESIGN DRAWINGS & ARE SHOWN ACCORDINGLY. THE CONTRACTOR SHALL EXERCISE CAUTION & FIELD VERIFY REQUIRED LOCATIONS PRIOR TO EXCAVATION & CONSTRUCTION.
3. MINIMUM BURY DEPTH OF WATER LINE IS 5.0 FEET TO TOP OF PIPE.
4. THE DRAINAGE STRUCTURES AND THE STORM WATER SYSTEM UNDER MUNICIPALITY JURISDICTION SHALL BE MUNICIPALITY TESTED MATERIAL.
5. MDOT CLASS II SAND BACKFILL REQUIRED UNDER PROPOSED PAVEMENT AREAS.
6. WATER MAIN SHALL BE CLASS 53 DUCTILE IRON PIPE.

SANITARY SEWER NOTES

1. ALL TEXT & FEATURES SHOWN SCREENED ARE EXISTING. ALL STRUCTURES SHALL BE LOCATED IN RELATION TO THE PROPOSED IMPROVEMENTS.
2. UTILITIES SHOWN WERE EITHER FIELD LOCATED, OR TAKEN FROM EXISTING RECORD/DESIGN DRAWINGS & ARE SHOWN ACCORDINGLY. THE CONTRACTOR SHALL EXERCISE CAUTION & FIELD VERIFY REQUIRED LOCATIONS PRIOR TO EXCAVATION & CONSTRUCTION.
3. CONTRACTOR TO COORDINATE INVERT ELEVATIONS AND PIPE SIZE OF LATERALS WITH PLUMBING PLAN.
4. MDOT CL II SAND BACKFILL REQUIRED UNDER ALL PROPOSED PAVEMENT AREAS.

BENCHMARKS

BM #210	ELEVATION 655.333
E: 13158667.4910	N: 700206.8810
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH END OF PARKING LOT TO K.C. LING BUILDING	
BM #211	ELEVATION 650.558
E: 13192367.7660	N: 699592.2480
CHISELED 'X' ON TOP OF BOLT TO HYDRANT ON NORTH SIDE OF HIGH SCHOOL NEAR WATER PLAZA ENTRANCE	
BM #212	ELEVATION 652.463
E: 13158411.5250	N: 698852.6720
PK. NAIL IN BASE OF LIGHT POLE ON WEST SIDE OF THE SOUTH HIGH SCHOOL PARKING LOT	
BM #213	ELEVATION 648.272
E: 13159349.3930	N: 701220.9590
CHISELED 'X' ON TOP OF SOUTHEAST BOLT OF HYDRANT IN THE SOUTHWEST CORNER OF BUS GARAGE	



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

TowerPinkster
 Architecture • Engineering • Interiors
 © 2022 ALL RIGHTS RESERVED

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

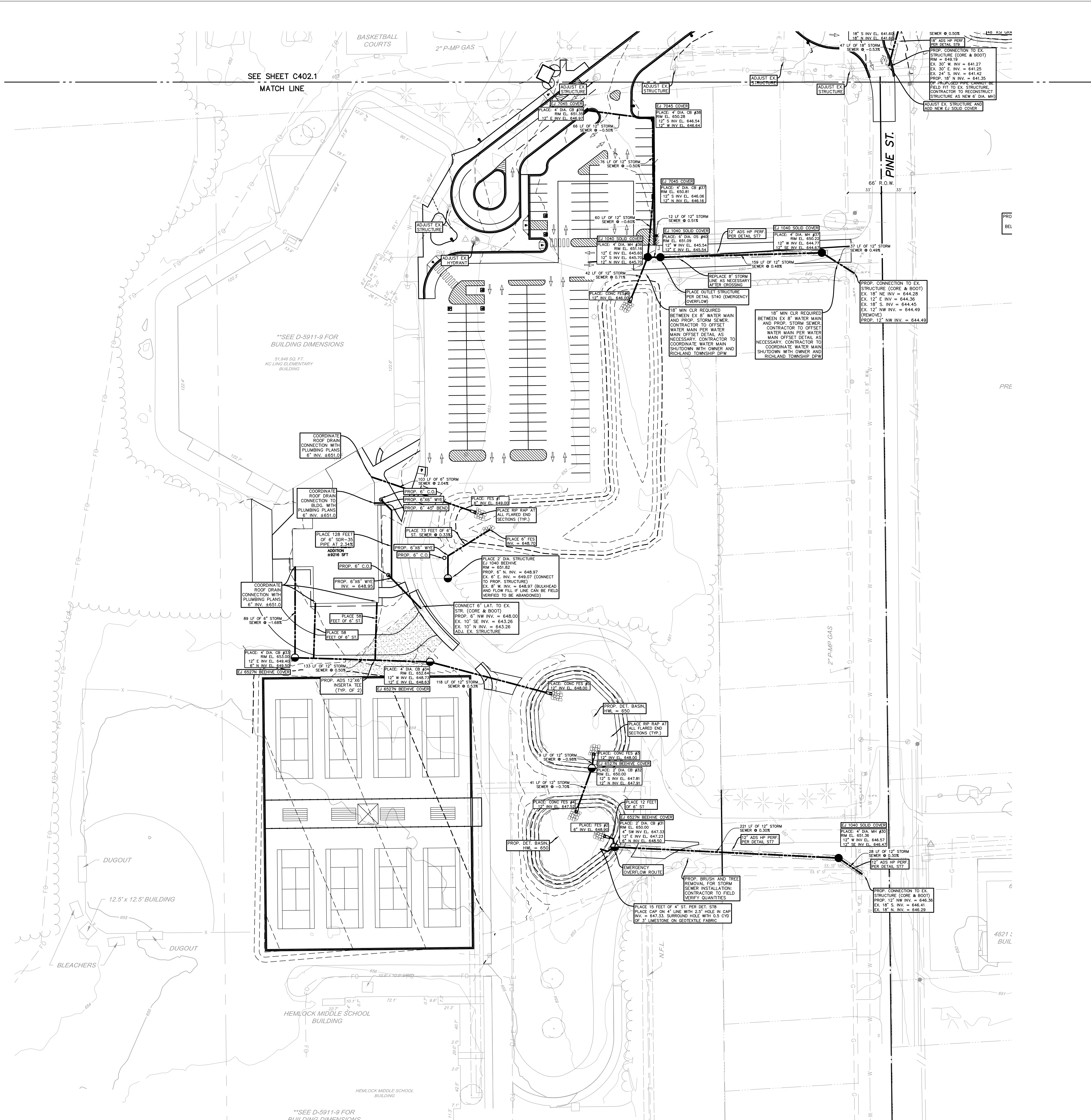
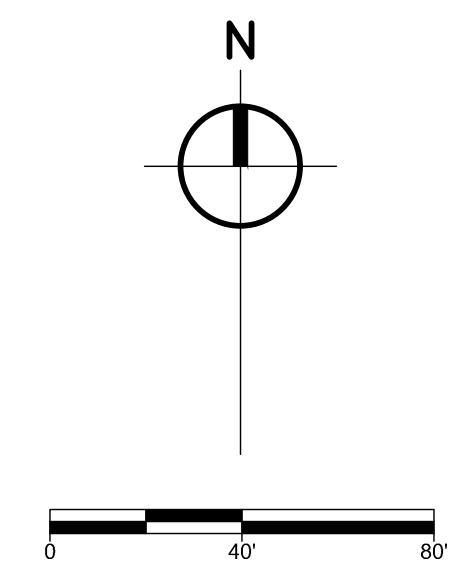
LOCATION
Hemlock, Michigan

SHEET TITLE
OVERALL UTILITY PLAN

SHEET NUMBER
C 400.1
 2113-20

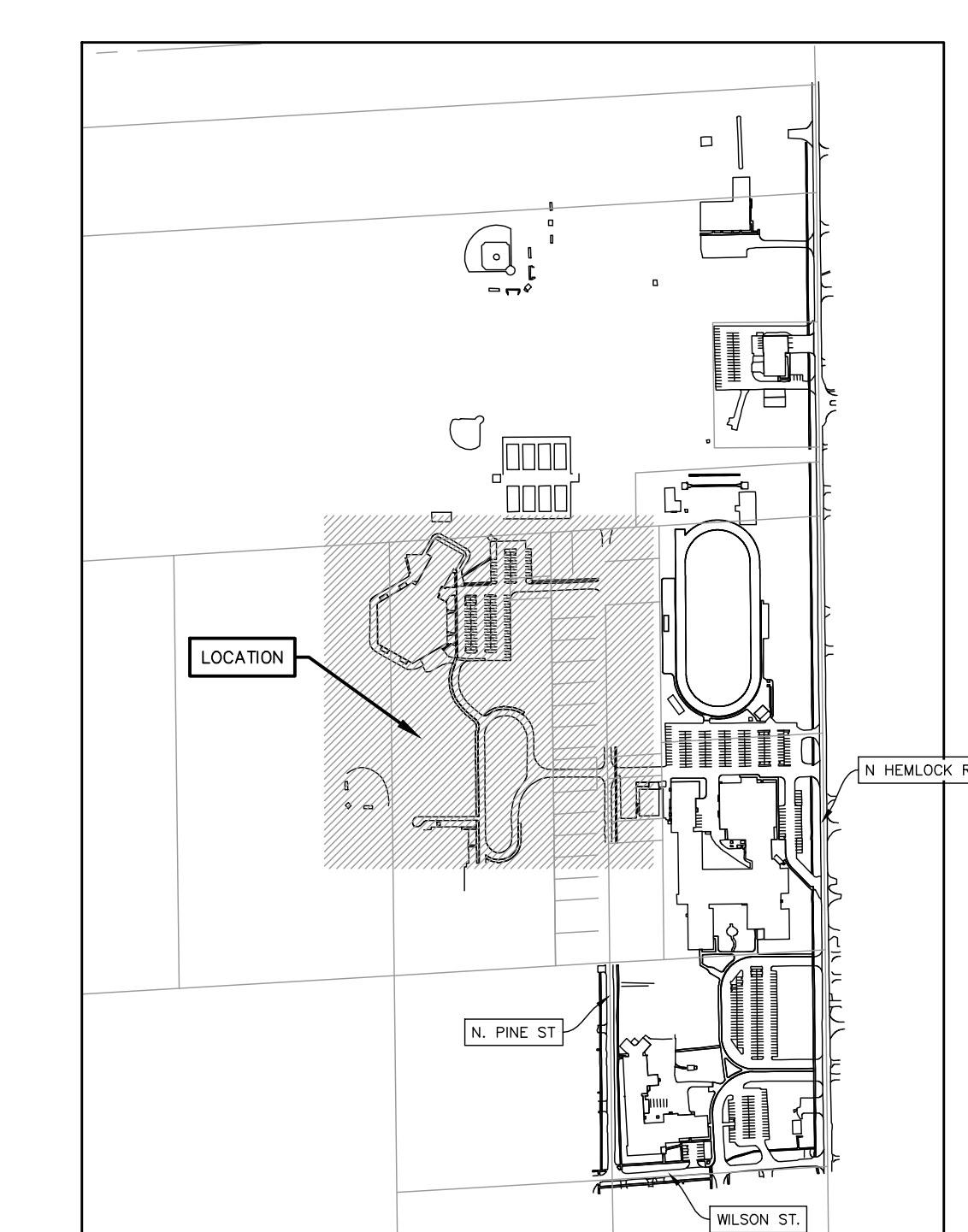
DATE
DECEMBER 21, 2022

ISSUED FOR
DATE



**SEE D-5911-9 FOR BUILDING DIMENSIONS
51,848 SQ. FT.
K.C. LING ELEMENTARY BUILDING

**SEE D-5911-9 FOR BUILDING DIMENSIONS



LOCATION KEY
SCALE: 1" = 500'

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

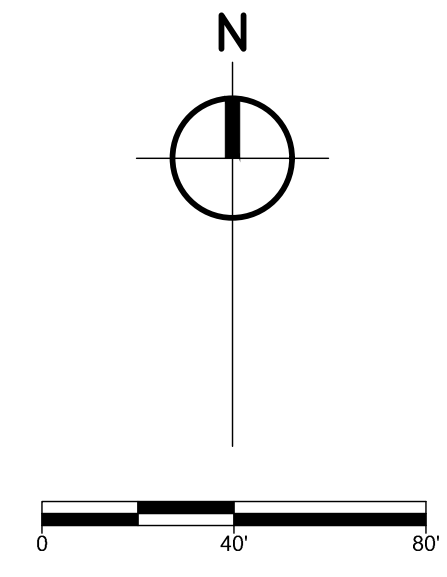
SHEET TITLE
UTILITY PLAN SOUTH

Hemlock, Michigan

SHEET NUMBER
C 401.1
DATE
DECEMBER 21, 2022
21113.20

811
Know what's below.
Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

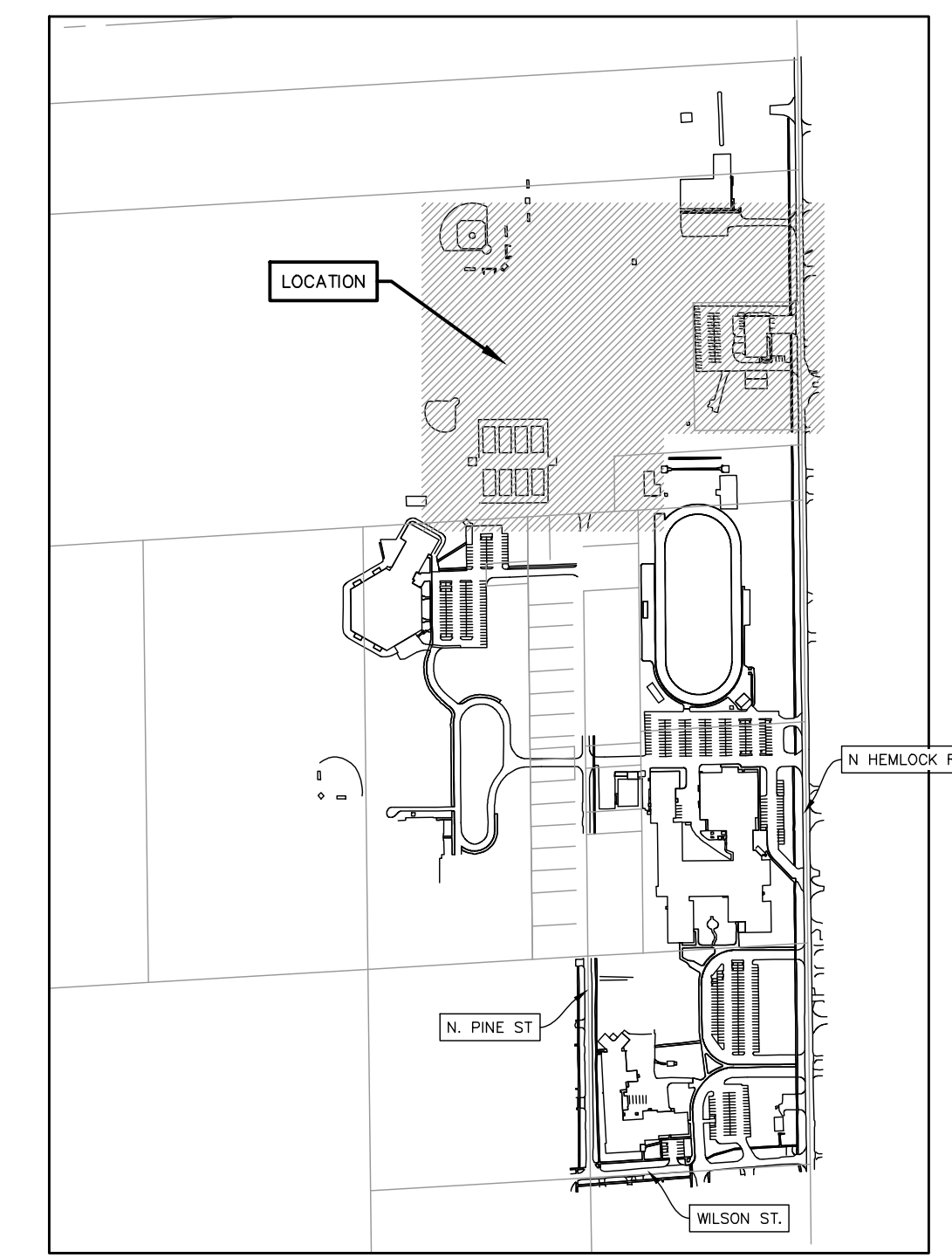
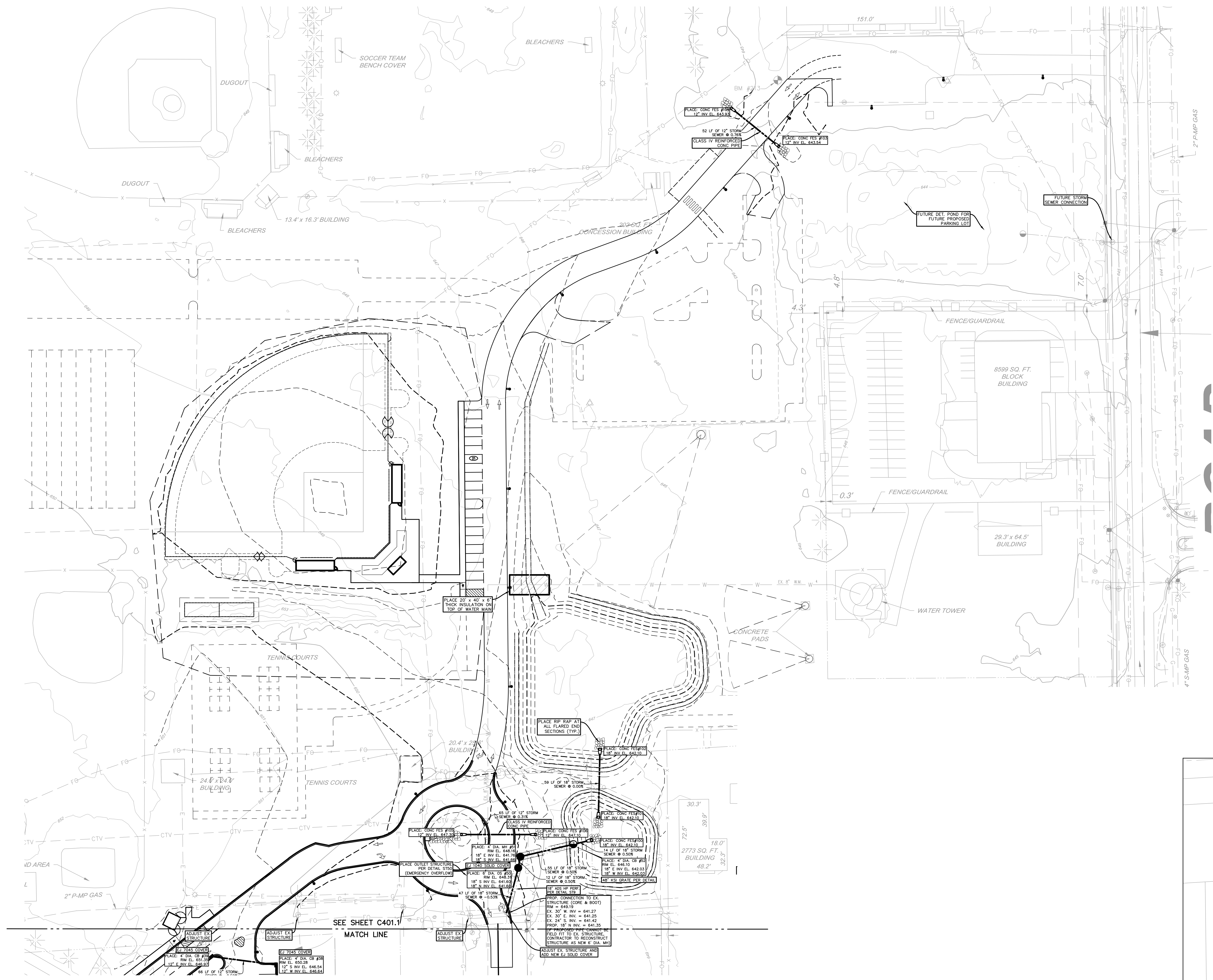


KSI HEAVY DUTY GRATING

SIZE	APPROX. 1/2\"/>	
12"	8.5"	APPROX. WEIGHT
15"	11.5"	8 LBS.
18"	14.5"	11 LBS.
24"	23.5"	23 LBS.
30"	29.5"	31 LBS.
36"	35.5"	40 LBS.
42"	41.5"	48 LBS.
48"	47.5"	57 LBS.
60"	59.5"	CALL

GRATING SPECIFICATION
 KSI GRATING IS MADE OF FOLD ROLLED STEEL WHICH CONFORMS TO ASTM A36. THE ANGLE IRON IS AVAILABLE IN 1/4" X 1/4" TO 2 1/2" X 1/4" WELDED OPEN STEEL GRATING CONFORMS TO SPECIFICATIONS 80-100 AND 100-100. STANDARD FINISHES ARE S, 16, 14, 4 OR 16-14. HIGH STRENGTH HEAVY DUTY STEEL GRATING IS AVAILABLE IN 1/4" - 3/8" BEARING THICKNESS. WEB DEPTHS VARY FROM 3/4" TO 2 1/4". STEEL CONFORMS TO ASTM A36.
 KSI GRATING SHALL BE MANUFACTURED WITH A BLACK POLYURETHANE COATING MEETING THE REQUIREMENTS OF ASTM D4438, ASTM D4439, AND ASTM D56.
 KSI GRATING IS AVAILABLE IN A STANDARD BLACK POLYURETHANE COATING. THE POLYURETHANE COATING PROVIDES A WATERPROOF, FLEXIBLE AND EXTREMELY TOUGH MONOLITHIC MEMBRANE WITH EXCELLENT ABRASION AND CHEMICAL RESISTANCE.

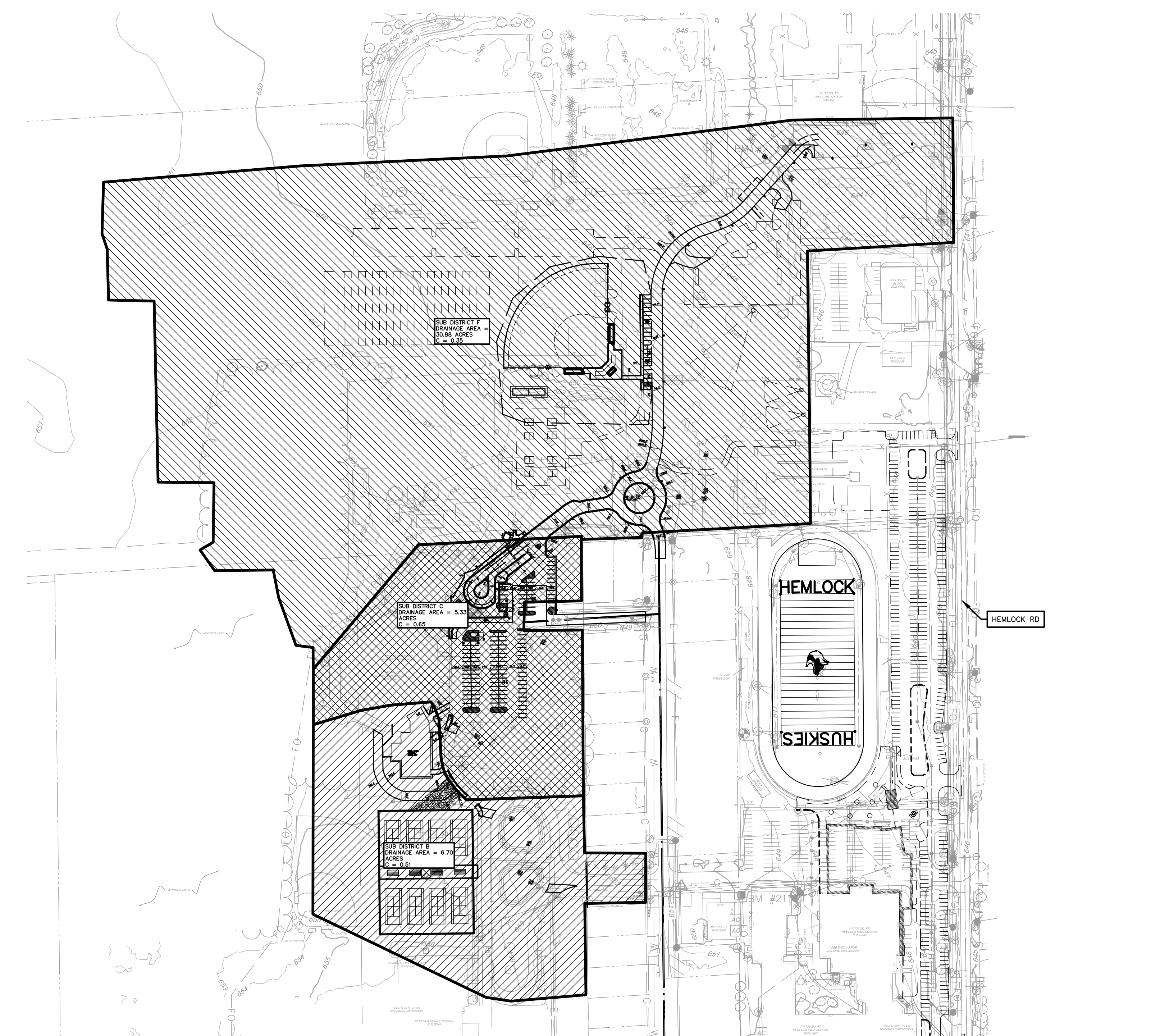
DESIGNED BY: AG / RK DATE: 12-20-22 1 OF 1
 DRAWN: J. NISSEN / NIS SCALE: NTS SHEET NO. 1
 CHECKED BY: HEAVY-33



LOCATION KEY
 SCALE: 1" = 500'

811
 Know what's below.
 Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.



DRAINAGE AREAS
SCALE: 1" = 150'

811
Know what's below.
Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

Region County Public Works Commissioner
Design Requirements

PROJECT NAME: Hemlock Public Schools Improvements
PROJECT #: 220802
DATE: 12/20/22
ENGINEER: Fred A. Newhof

LOCATION: 225 Hemlock Road
Hemlock, MI 49829

DRAINAGE DISTRICT: Hemlock Twp Drain

PERMITS: Proposed building addition and site improvements - K.C. Ling (Emergency Services Middle School)

GIVEN:
1) Township: Hemlock Township
2) County: Region County
3) Parcel #: 22152-00-100-000
4) Zoning: B-1
5) Design Storm: 30 Year

REFERENCES: Region County Public Works Commissioner Stormwater Management Design Requirements (2011)

SITE STATISTICS:

Existing Condition	Proposed Condition
Total Site: 23420.00	Total Site: 23420.00
Impervious: 14210.00	Impervious: 14210.00
Water: 2520.00	Water: 2520.00
Woodland: 10000.00	Woodland: 10000.00
Grass: 2190.00	Grass: 2190.00

PERMITS: Proposed building addition and site improvements - K.C. Ling (Emergency Services Middle School)

SITE DRAINAGE SUMMARY:
Provide a description of site conditions or drainage strategies for review. Indicate how the proposed conditions are expected to impact 10-year storage volume and release the water to the proposed CSD location.

GENERAL STORMWATER CALCULATION

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR EMERGENCY OVERFLOW CAPACITY:

Design Requirements	Sub-Station A	Sub-Station B
Emergency Overflow Capacity (Q ₁₀)	1,100	1,100
Emergency Overflow Capacity (Q ₂₄)	1,100	1,100

REQUIREMENTS FOR WATER QUALITY TREATMENT:

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR NO RELEASE RATE:

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR WQ (Total Suspended Solids):

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

SUB B CALCULATIONS

Region County Public Works Commissioner
Design Requirements

PROJECT NAME: Hemlock Public Schools Improvements
PROJECT #: 220802
DATE: 12/20/22
ENGINEER: Fred A. Newhof

LOCATION: 225 Hemlock Road
Hemlock, MI 49829

DRAINAGE DISTRICT: Hemlock Twp Drain

PERMITS: Proposed site improvements and K.C. Ling Stormwater Management Design Requirements (2011)

GIVEN:
1) Township: Hemlock Township
2) County: Region County
3) Parcel #: 22152-00-100-000
4) Zoning: B-1
5) Design Storm: 30 Year

REFERENCES: Region County Public Works Commissioner Stormwater Management Design Requirements (2011)

SITE STATISTICS:

Existing Condition	Proposed Condition
Total Site: 23170.00	Total Site: 23170.00
Impervious: 12140.00	Impervious: 12140.00
Water: 2520.00	Water: 2520.00
Woodland: 10000.00	Woodland: 10000.00
Grass: 2190.00	Grass: 2190.00

PERMITS: Proposed site improvements and K.C. Ling Stormwater Management Design Requirements (2011)

SITE DRAINAGE SUMMARY:
Provide a description of site conditions or drainage strategies for review. Indicate how the proposed conditions are expected to impact 10-year storage volume and release the water to the proposed CSD location.

GENERAL STORMWATER CALCULATION

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR EMERGENCY OVERFLOW CAPACITY:

Design Requirements	Sub-Station A	Sub-Station B
Emergency Overflow Capacity (Q ₁₀)	1,100	1,100
Emergency Overflow Capacity (Q ₂₄)	1,100	1,100

REQUIREMENTS FOR WATER QUALITY TREATMENT:

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR NO RELEASE RATE:

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR WQ (Total Suspended Solids):

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

SUB C CALCULATIONS

Region County Public Works Commissioner
Design Requirements

PROJECT NAME: Hemlock Public Schools Improvements
PROJECT #: 220802
DATE: 12/20/22
ENGINEER: Fred A. Newhof

LOCATION: 225 Hemlock Road
Hemlock, MI 49829

DRAINAGE DISTRICT: Hemlock Twp Drain

PERMITS: Proposed site improvements and K.C. Ling Stormwater Management Design Requirements (2011)

GIVEN:
1) Township: Hemlock Township
2) County: Region County
3) Parcel #: 22152-00-100-000
4) Zoning: B-1
5) Design Storm: 30 Year

REFERENCES: Region County Public Works Commissioner Stormwater Management Design Requirements (2011)

SITE STATISTICS:

Existing Condition	Proposed Condition
Total Site: 23170.00	Total Site: 23170.00
Impervious: 12140.00	Impervious: 12140.00
Water: 2520.00	Water: 2520.00
Woodland: 10000.00	Woodland: 10000.00
Grass: 2190.00	Grass: 2190.00

PERMITS: Proposed site improvements and K.C. Ling Stormwater Management Design Requirements (2011)

SITE DRAINAGE SUMMARY:
Provide a description of site conditions or drainage strategies for review. Indicate how the proposed conditions are expected to impact 10-year storage volume and release the water to the proposed CSD location.

GENERAL STORMWATER CALCULATION

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR EMERGENCY OVERFLOW CAPACITY:

Design Requirements	Sub-Station A	Sub-Station B
Emergency Overflow Capacity (Q ₁₀)	1,100	1,100
Emergency Overflow Capacity (Q ₂₄)	1,100	1,100

REQUIREMENTS FOR WATER QUALITY TREATMENT:

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR NO RELEASE RATE:

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

REQUIREMENTS FOR WQ (Total Suspended Solids):

Design Requirements	Sub-Station A	Sub-Station B
Volume of Storm Runoff (V ₁₀)	29,820	29,820
Volume of Storm Runoff (V ₂₄)	34,800	34,800

SUB F CALCULATIONS

Prein & Newhof
Engineers - Surveyors - Environmental - Laboratory
PHONE: (616) 364-8491
info@preinnewhof.com
PN# 2220882

TOWERPINKSTER.COM
© 2022. ALL RIGHTS RESERVED.

TowerPinkster
Architecture · Engineering · Interiors

ISSUED FOR: DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

HEMLOCK, Michigan

SHEET NUMBER
DRAINAGE CALCULATIONS
C 403.1
DATE
DECEMBER 21, 2022
21113.20

ISSUED FOR DATE

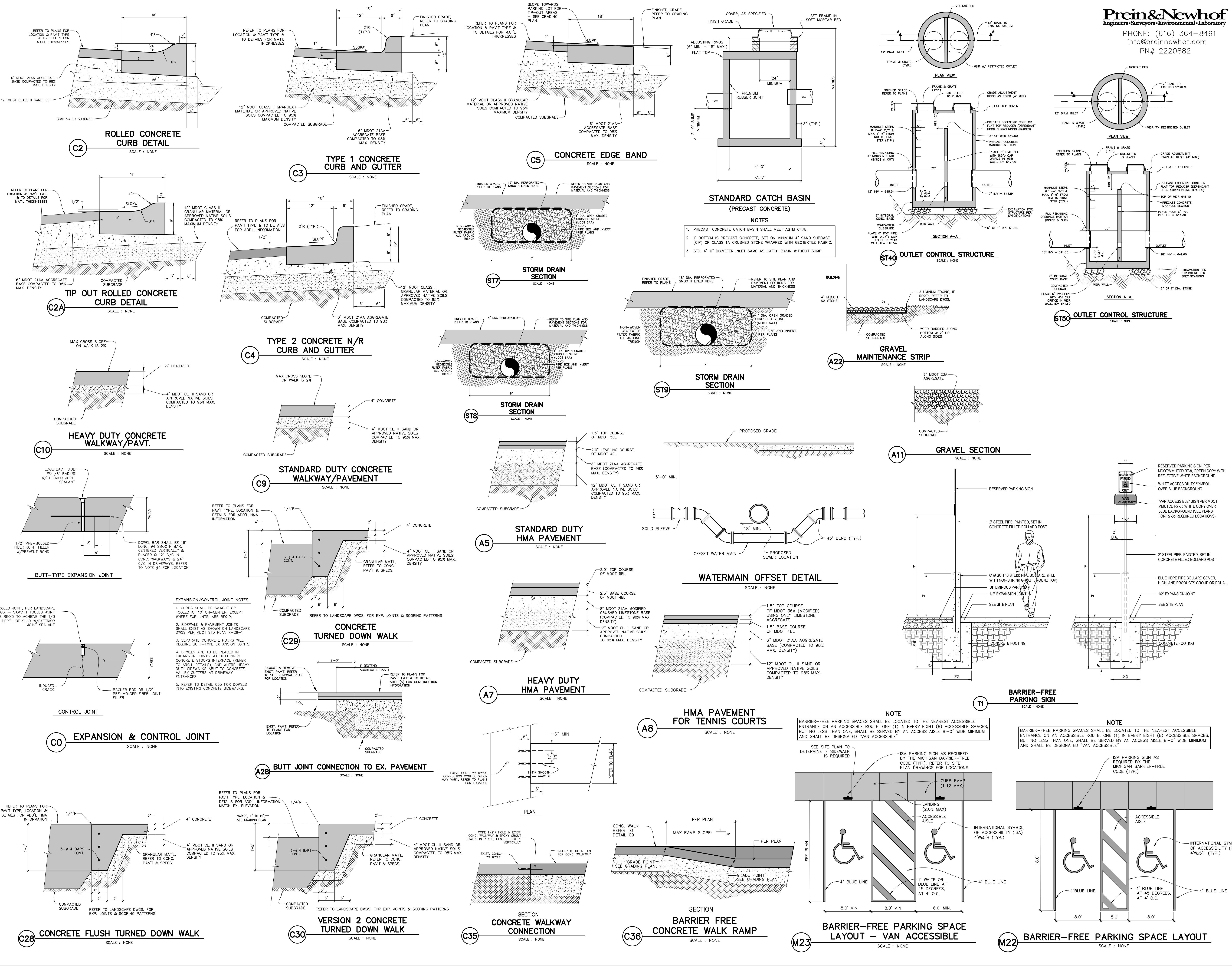
PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET NUMBER
C 500.1
 DATE
 DECEMBER 21, 2022
 21113-20

SHEET TITLE
 SITE DETAILS

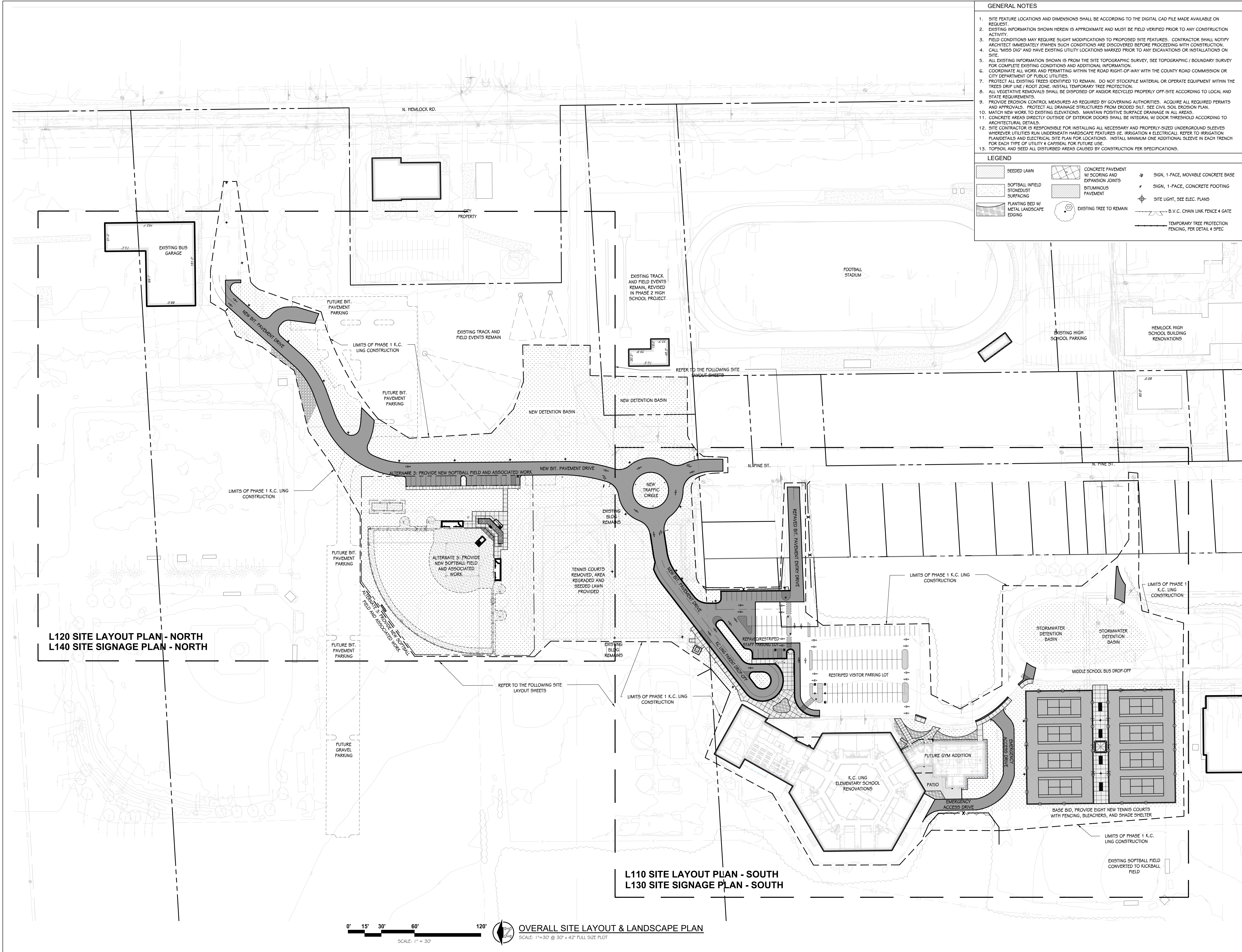


GENERAL NOTES

1. SITE FEATURE LOCATIONS AND DIMENSIONS SHALL BE ACCORDING TO THE DIGITAL CAD FILE MADE AVAILABLE ON REQUEST.
2. EXISTING INFORMATION SHOWN HEREIN IS APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. FIELD CONDITIONS MAY REQUIRE SLIGHT MODIFICATIONS TO PROPOSED SITE FEATURES. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF/WHEN SUCH CONDITIONS ARE DISCOVERED BEFORE PROCEEDING WITH CONSTRUCTION.
4. CALL "MISS DIG" AND HAVE EXISTING UTILITY LOCATIONS MARKED PRIOR TO ANY EXCAVATIONS OR INSTALLATIONS ON SITE.
5. ALL EXISTING INFORMATION SHOWN IS FROM THE SITE TOPOGRAPHIC SURVEY, SEE TOPOGRAPHIC / BOUNDARY SURVEY FOR COMPLETE EXISTING CONDITIONS AND ADDITIONAL INFORMATION.
6. COORDINATE ALL WORK AND PERMITTING WITHIN THE ROAD RIGHT-OF-WAY WITH THE COUNTY ROAD COMMISSION OR CITY DEPARTMENT OF PUBLIC UTILITIES.
7. PROTECT ALL EXISTING TREES IDENTIFIED TO REMAIN. DO NOT STOCKPILE MATERIAL OR OPERATE EQUIPMENT WITHIN THE TREES DRIP LINE / ROOT ZONE. INSTALL TEMPORARY TREE PROTECTION.
8. ALL VEGETATIVE REMOVALS SHALL BE DISPOSED OF AND/OR RECYCLED PROPERLY OFF-SITE ACCORDING TO LOCAL AND STATE REQUIREMENTS.
9. PROVIDE EROSION CONTROL MEASURES AS REQUIRED BY GOVERNING AUTHORITIES. ACQUIRE ALL REQUIRED PERMITS AND APPROVALS. PROTECT ALL DRAINAGE STRUCTURES FROM ERODED SILT. SEE CIVIL SOIL EROSION PLAN.
10. MATCH NEW WORK TO EXISTING ELEVATIONS. MAINTAIN POSITIVE SURFACE DRAINAGE IN ALL AREAS.
11. CONCRETE AREAS DIRECTLY OUTSIDE OF EXTERIOR DOORS SHALL BE INTEGRAL W/ DOOR THRESHOLD ACCORDING TO ARCHITECTURAL DETAILS.
12. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL NECESSARY AND PROPERLY-SIZED UNDERGROUND SLEEVES WHEREVER UTILITIES RUN UNDERNEATH HARDSCAPE FEATURES (IE. IRRIGATION & ELECTRICAL). REFER TO IRRIGATION PLANDetails AND ELECTRICAL SITE PLAN FOR LOCATIONS. INSTALL MINIMUM ONE ADDITIONAL SLEEVE IN EACH TRENCH FOR EACH TYPE OF UTILITY & CAPSEAL FOR FUTURE USE.
13. TOPSOIL AND SEED ALL DISTURBED AREAS CAUSED BY CONSTRUCTION PER SPECIFICATIONS.

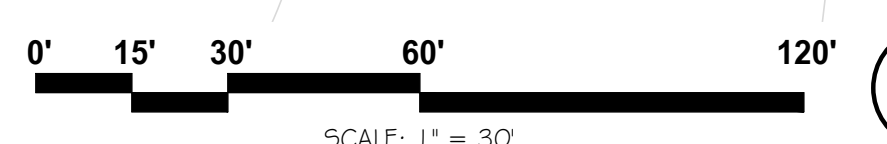
LEGEND

SEEDED LAWN	CONCRETE PAVEMENT W/ SCORING AND EXPANSION JOINTS	SIGN, 1-FACE, MOVABLE CONCRETE BASE
SOFTBALL INFIELD STONEDIST SURFACING	BITUMINOUS PAVEMENT	SIGN, 1-FACE, CONCRETE FOOTING
PLANTING BED W/ METAL LANDSCAPE EDGING	EXISTING TREE TO REMAIN	SITE LIGHT, SEE ELEC. PLANS
		B.V.C. CHAIN LINK FENCE & GATE
		TEMPORARY TREE PROTECTION FENCING, PER DETAIL & SPEC



L120 SITE LAYOUT PLAN - NORTH
L140 SITE SIGNAGE PLAN - NORTH

L110 SITE LAYOUT PLAN - SOUTH
L130 SITE SIGNAGE PLAN - SOUTH



OVERALL SITE LAYOUT & LANDSCAPE PLAN
SCALE: 1"=30' @ 30" x 42" FULL SIZE PLOT

ISSUED FOR _____ DATE _____

PROJECT TITLE
K.C. LING ELEMENTARY

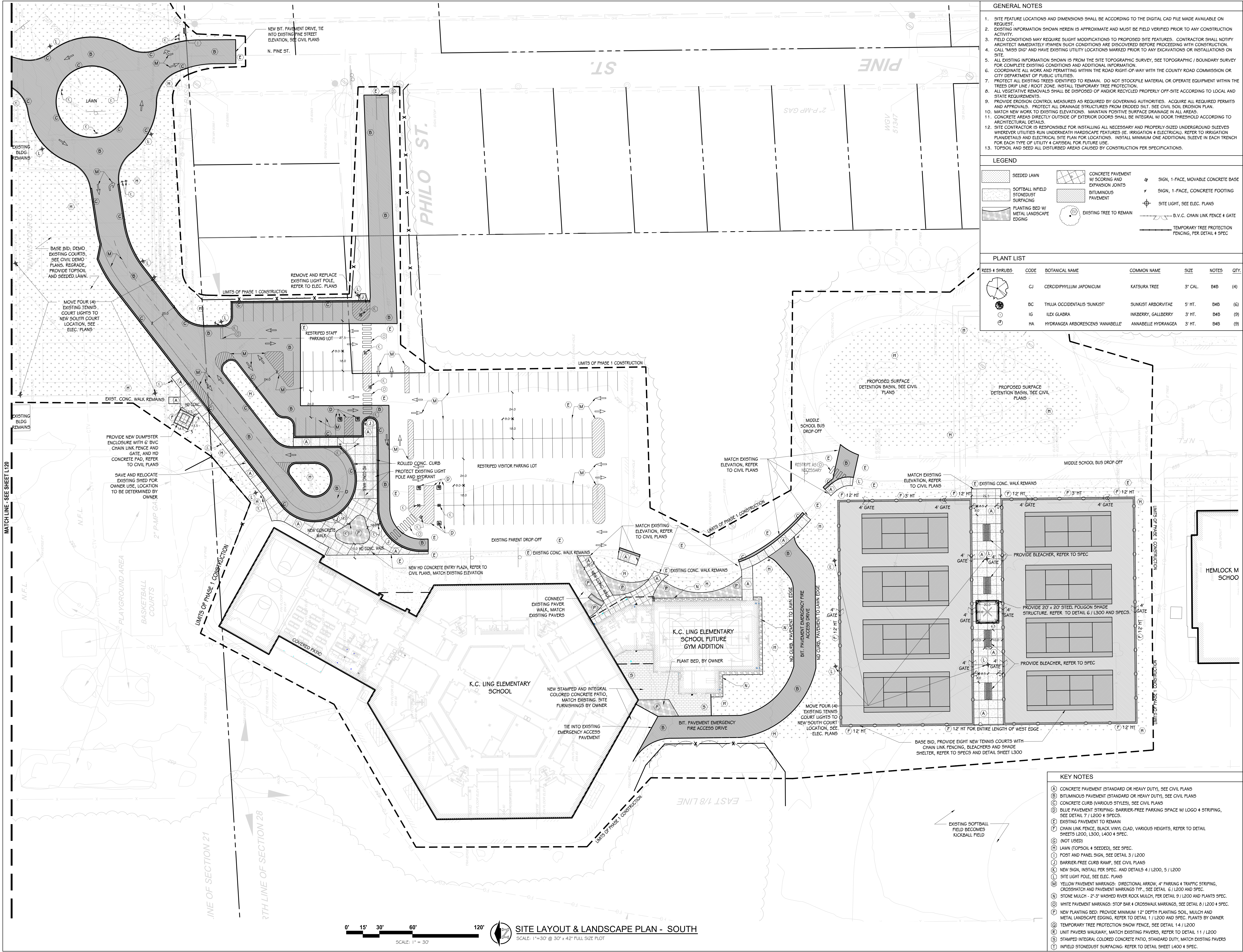
OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
OVERALL SITE LAYOUT & LANDSCAPE PLAN

Hemlock, Michigan

DATE
DECEMBER 21, 2022

SHEET NUMBER
L100.1
21113.20



- ### GENERAL NOTES
- SITE FEATURE LOCATIONS AND DIMENSIONS SHALL BE ACCORDING TO THE DIGITAL CAD FILE MADE AVAILABLE ON REQUEST.
 - EXISTING INFORMATION SHOWN HEREIN IS APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - FIELD CONDITIONS MAY REQUIRE SLIGHT MODIFICATIONS TO PROPOSED SITE FEATURES. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF/WHEN SUCH CONDITIONS ARE DISCOVERED BEFORE PROCEEDING WITH CONSTRUCTION.
 - CALL "MISS DIG" AND HAVE EXISTING UTILITY LOCATIONS MARKED PRIOR TO ANY EXCAVATIONS OR INSTALLATIONS ON SITE.
 - ALL EXISTING INFORMATION SHOWN IS FROM THE SITE TOPOGRAPHIC SURVEY. SEE TOPOGRAPHIC / BOUNDARY SURVEY FOR COMPLETE EXISTING CONDITIONS AND ADDITIONAL INFORMATION.
 - COORDINATE ALL WORK AND PERMITTING WITHIN THE ROAD RIGHT-OF-WAY WITH THE COUNTY ROAD COMMISSION OR CITY DEPARTMENT OF PUBLIC UTILITIES.
 - PROTECT ALL EXISTING TREES IDENTIFIED TO REMAIN. DO NOT STOCKPILE MATERIAL OR OPERATE EQUIPMENT WITHIN THE TREE Drip Line / Root Zone. INSTALL TEMPORARY TREE PROTECTION.
 - ALL VEGETATIVE REMOVALS SHALL BE DISPOSED OF AND/OR RECYCLED PROPERLY OFF-SITE ACCORDING TO LOCAL AND STATE REQUIREMENTS.
 - PROVIDE EROSION CONTROL MEASURES AS REQUIRED BY GOVERNING AUTHORITIES. ACQUIRE ALL REQUIRED PERMITS AND APPROVALS. PROTECT ALL DRAINAGE STRUCTURES FROM ERODED SLOPE. SEE CIVIL SOIL EROSION PLAN.
 - MATCH NEW WORK TO EXISTING ELEVATIONS. MAINTAIN POSITIVE SURFACE DRAINAGE IN ALL AREAS.
 - CONCRETE AREAS DIRECTLY OUTSIDE OF EXTERIOR DOORS SHALL BE INTEGRAL W/ DOOR THRESHOLD ACCORDING TO ARCHITECTURAL DETAILS.
 - SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL NECESSARY AND PROPERLY-SIZED UNDERGROUND SLEEVES WHEREVER UTILITIES RUN UNDERNEATH HARDSCAPE FEATURES (IE. IRRIGATION & ELECTRICAL). REFER TO IRRIGATION PLANDetails AND ELECTRICAL SITE PLAN FOR LOCATIONS. INSTALL MINIMUM ONE ADDITIONAL SLEEVE IN EACH TRENCH FOR EACH TYPE OF UTILITY & CAPSEAL FOR FUTURE USE.
 - TOPSOIL AND SEED ALL DISTURBED AREAS CAUSED BY CONSTRUCTION PER SPECIFICATIONS.

LEGEND

	SEEDED LAWN		CONCRETE PAVEMENT W/ SCORING AND EXPANSION JOINTS		SIGN, 1-FACE, MOVABLE CONCRETE BASE
	SOFTBALL INFIELD STONEDUST SURFACING		BITUMINOUS PAVEMENT		SIGN, 1-FACE, CONCRETE FOOTING
	PLANTING BED W/ METAL LANDSCAPE EDGING		EXISTING TREE TO REMAIN		SITE LIGHT, SEE ELEC. PLANS
			B.V.C. CHAIN LINK FENCE & GATE		TEMPORARY TREE PROTECTION FENCING, PER DETAIL & SPEC

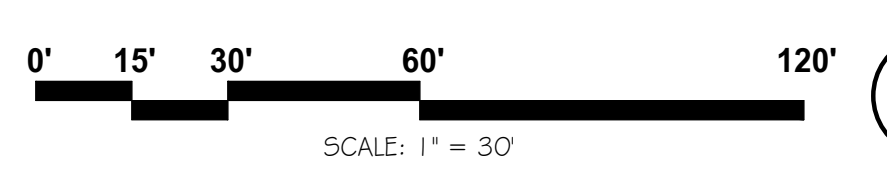
PLANT LIST

TREES & SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY.
	CJ	CERCIDIPHYLLUM JAPONICUM	KATSURU TREE	3' CAL.	B4B	(4)
	BC	THUJA OCCIDENTALIS 'SUNKIST'	SUNKIST ARBORVITAE	5' HT.	B4B	(6)
	IG	ILEX GLABRA	INKBERRY, GALLBERRY	3' HT.	B4B	(9)
	HA	HYDRANGAEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	3' HT.	B4B	(9)

MATCH LINE - SEE SHEET L'20

LINE OF SECTION 21

RTH LINE OF SECTION 28



SITE LAYOUT & LANDSCAPE PLAN - SOUTH
 SCALE: 1"=30' @ 30' x 42" FULL SIZE PLOT

- ### KEY NOTES
- CONCRETE PAVEMENT (STANDARD OR HEAVY DUTY), SEE CIVIL PLANS
 - BITUMINOUS PAVEMENT (STANDARD OR HEAVY DUTY), SEE CIVIL PLANS
 - CONCRETE CURB (VARIOUS STYLES), SEE CIVIL PLANS
 - BLUE PAVEMENT STRIPING: BARRIER-FREE PARKING SPACE W/ LOGO & STRIPING, SEE DETAIL 7 / L200 & SPECS.
 - EXISTING PAVEMENT TO REMAIN
 - CHAIN LINK FENCE, BLACK VINYL CLAD, VARIOUS HEIGHTS, REFER TO DETAIL SHEETS L200, L300, L400 & SPEC.
 - (NOT USED)
 - LAWN (TOPSOIL & SEED), SEE SPEC.
 - POST AND PANEL SIGN, SEE DETAIL 3 / L200
 - BARRIER-FREE CURB RAMP, SEE CIVIL PLANS
 - NEW SIGN, INSTALL PER SPEC. AND DETAILS 4 / L200, 5 / L200
 - SITE LIGHT POLE, SEE ELEC. PLANS
 - YELLOW PAVEMENT MARKINGS: DIRECTIONAL ARROW, 4" PARKING & TRAFFIC STRIPING, CROSSWALK AND PAVEMENT MARKINGS INT., SEE DETAIL 6 / L200 AND SPEC.
 - STONE MULCH - 2'-3" WASHED RIVER ROCK MULCH, PER DETAIL 9 / L200 AND PLANTS SPEC.
 - WHITE PAVEMENT MARKINGS: STOP BAR & CROSSWALK MARKINGS, SEE DETAIL 8 / L200 & SPEC.
 - NEW PLANTING BED: PROVIDE MINIMUM 12" DEPTH PLANTING SOIL, MULCH AND METAL LANDSCAPE EDGING, REFER TO DETAIL 1 / L200 AND SPEC. PLANTS BY OWNER
 - UNIT PAVERS WALKWAY, MATCH EXISTING PAVERS, REFER TO DETAIL 11 / L200
 - STAMPED INTEGRAL COLORED CONCRETE PATIO, STANDARD DUTY, MATCH EXISTING PAVERS
 - INFIELD STONEDUST SURFACING: REFER TO DETAIL SHEET L400 & SPEC.

TowerPinkster
 Architecture · Engineering · Interiors
towerpinkster.com | 2022 ALL RIGHTS RESERVED

PROJECT TITLE
K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

HEMLOCK, Michigan

DATE
DECEMBER 21, 2022

SHEET NUMBER
L 110.1
 21113.20

SHEET TITLE
SITE LAYOUT & LANDSCAPE PLAN - SOUTH

ISSUED FOR
 DATE

ISSUED FOR _____ DATE _____

PROJECT TITLE
K.C. LING ELEMENTARY

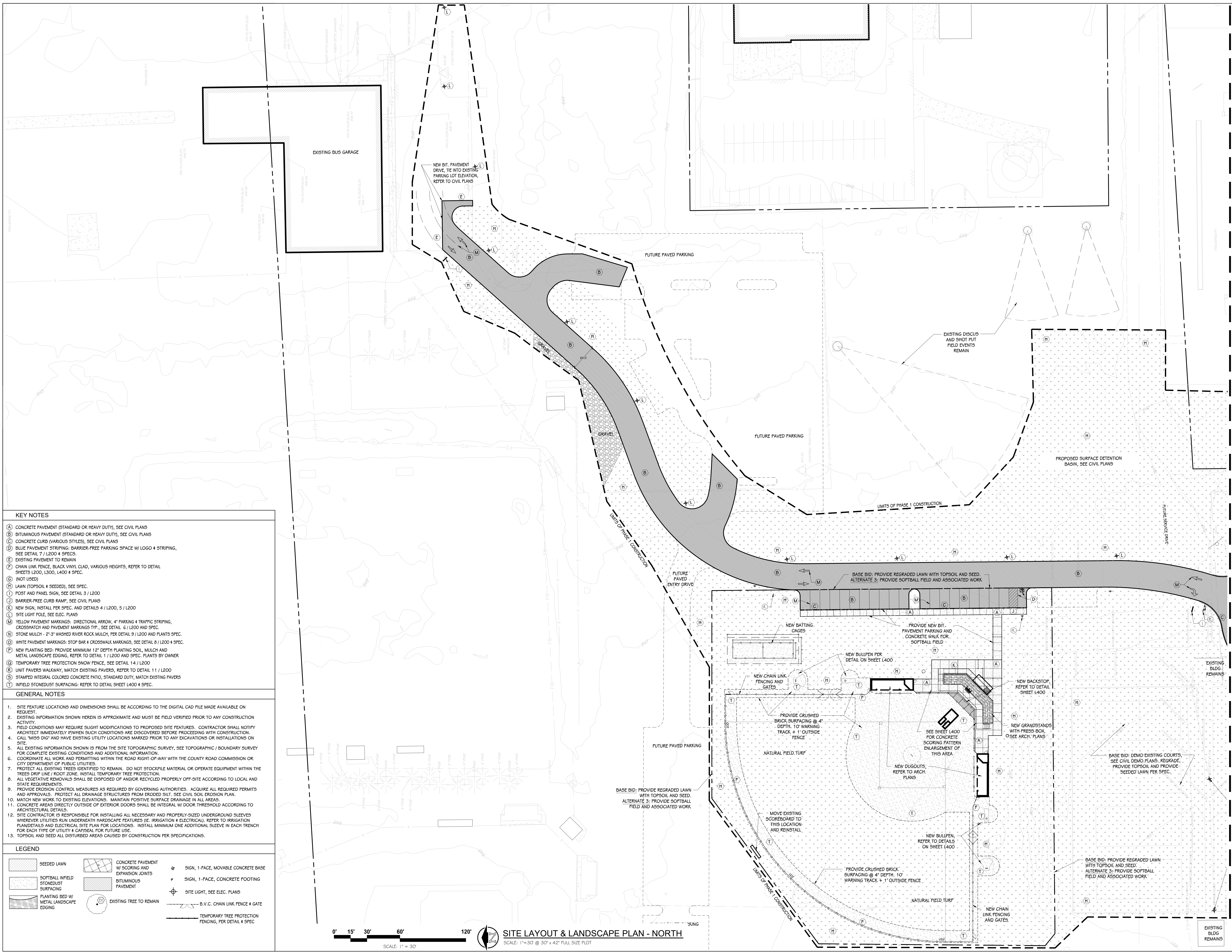
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
SITE LAYOUT & LANDSCAPE PLAN - NORTH

DATE
DECEMBER 21, 2022

SHEET NUMBER
L 120.1
21113.20



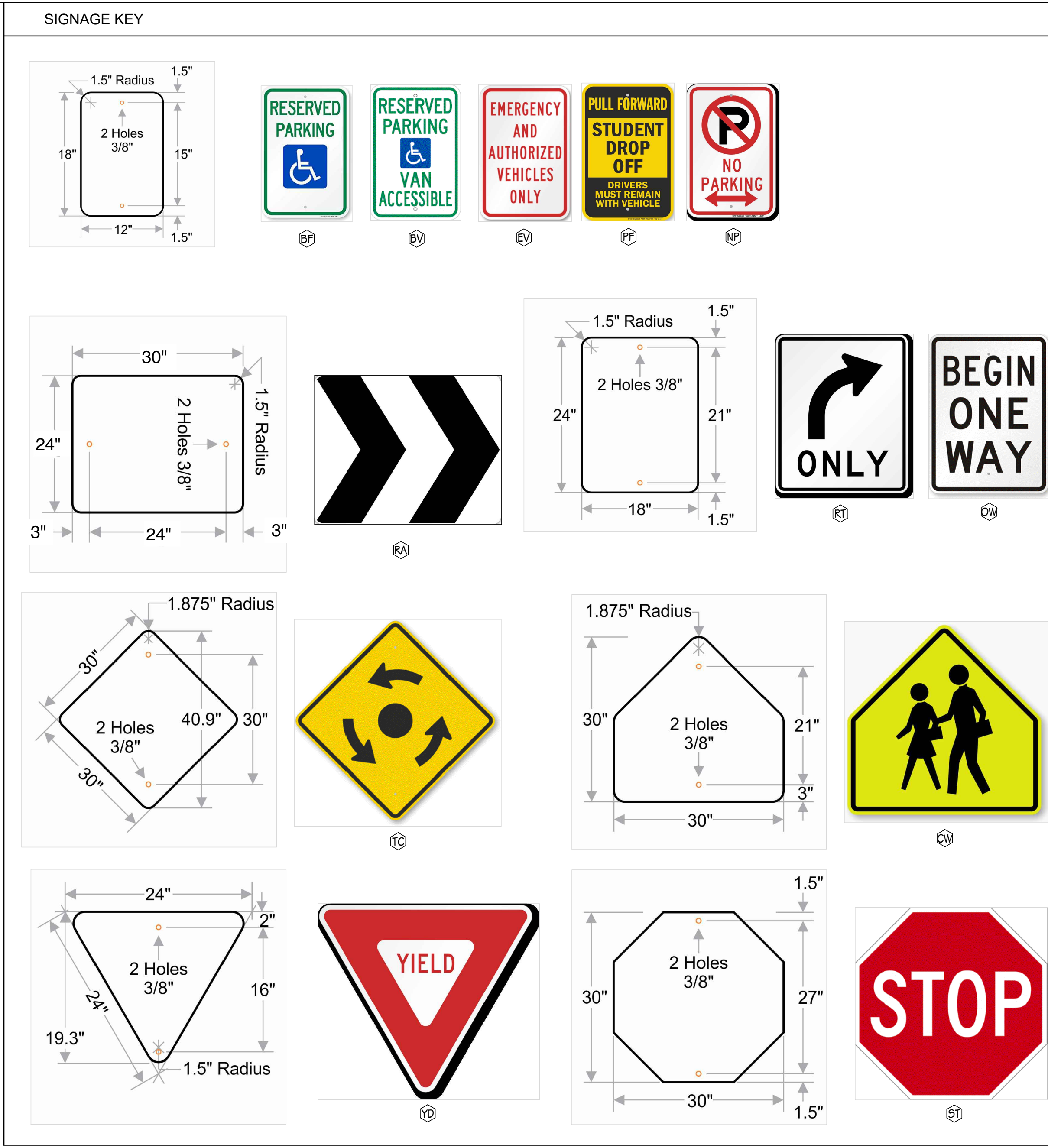
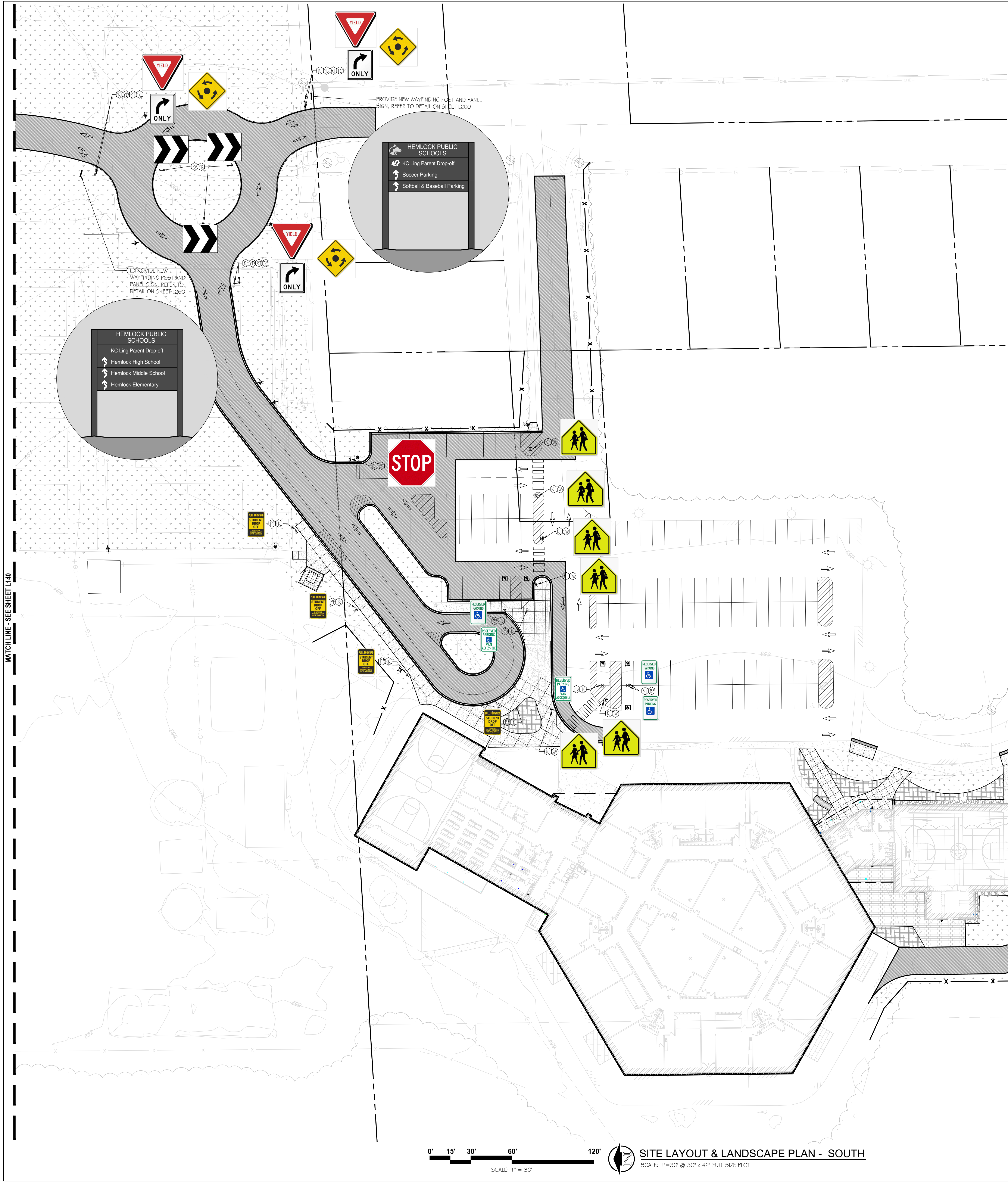
- KEY NOTES**
- (A) CONCRETE PAVEMENT (STANDARD OR HEAVY DUTY), SEE CIVIL PLANS
 - (B) BITUMINOUS PAVEMENT (STANDARD OR HEAVY DUTY), SEE CIVIL PLANS
 - (C) CONCRETE CURB (VARIOUS STYLES), SEE CIVIL PLANS
 - (D) BLUE PAVEMENT STRIPING: BARRIER-FREE PARKING SPACE W/ LOGO & STRIPING, SEE DETAIL 7 / L200 & SPEC.
 - (E) EXISTING PAVEMENT TO REMAIN
 - (F) CHAIN LINK FENCE, BLACK VINYL CLAD, VARIOUS HEIGHTS, REFER TO DETAIL SHEETS L200, L300, L400 & SPEC.
 - (G) (NOT USED)
 - (H) LAWN (TOPSOIL & SEED), SEE SPEC.
 - (I) POST AND PANEL SIGN, SEE DETAIL 3 / L200
 - (J) BARRIER-FREE CURB RAMP, SEE CIVIL PLANS
 - (K) NEW SIGN, INSTALL PER SPEC. AND DETAILS 4 / L200, 5 / L200
 - (L) SITE LIGHT POLE, SEE ELEC. PLANS
 - (M) YELLOW PAVEMENT MARKINGS: DIRECTIONAL ARROW, 4" PARKING & TRAFFIC STRIPING, CROSSHATCH AND PAVEMENT MARKINGS TIP, SEE DETAIL 6 / L200 AND SPEC.
 - (N) STONE MULCH - 2"-3" WASHED RIVER ROCK MULCH, PER DETAIL 9 / L200 AND PLANTS SPEC.
 - (O) WHITE PAVEMENT MARKINGS: STOP BAR & CROSSWALK MARKINGS, SEE DETAIL 8 / L200 & SPEC.
 - (P) NEW PLANTING BED: PROVIDE MINIMUM 12" DEPTH PLANTING SOIL, MULCH AND METAL LANDSCAPE EDGING, REFER TO DETAIL 1 / L200 AND SPEC. PLANTS BY OWNER
 - (Q) TEMPORARY TREE PROTECTION SNOW FENCE, SEE DETAIL 14 / L200
 - (R) UNIT PAVERS WALKWAY, MATCH EXISTING PAVERS, REFER TO DETAIL 11 / L200
 - (S) STAMPED INTEGRAL COLORED CONCRETE PATIO, STANDARD DUTY, MATCH EXISTING PAVERS
 - (T) INFIELD STONEDUST SURFACING: REFER TO DETAIL SHEET L400 & SPEC.
- GENERAL NOTES**
1. SITE FEATURE LOCATIONS AND DIMENSIONS SHALL BE ACCORDING TO THE DIGITAL CAD FILE MADE AVAILABLE ON REQUEST.
 2. EXISTING INFORMATION SHOWN HEREIN IS APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
 3. FIELD CONDITIONS MAY REQUIRE SLIGHT MODIFICATIONS TO PROPOSED SITE FEATURES. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF/WHEN SUCH CONDITIONS ARE DISCOVERED BEFORE PROCEEDING WITH CONSTRUCTION.
 4. CALL "MISS DIG" AND HAVE EXISTING UTILITY LOCATIONS MARKED PRIOR TO ANY EXCAVATIONS OR INSTALLATIONS ON SITE.
 5. ALL EXISTING INFORMATION SHOWN IS FROM THE SITE TOPOGRAPHIC SURVEY, SEE TOPOGRAPHIC / BOUNDARY SURVEY FOR COMPLETE EXISTING CONDITIONS AND ADDITIONAL INFORMATION.
 6. COORDINATE ALL WORK AND PERMITTING WITHIN THE ROAD RIGHT-OF-WAY WITH THE COUNTY ROAD COMMISSION OR CITY DEPARTMENT OF PUBLIC UTILITIES.
 7. PROTECT ALL EXISTING TREES IDENTIFIED TO REMAIN. DO NOT STOCKPILE MATERIAL OR OPERATE EQUIPMENT WITHIN THE TREES DRIP LINE / ROOT ZONE. INSTALL TEMPORARY TREE PROTECTION.
 8. ALL VEGETATIVE REMOVALS SHALL BE DISPOSED OF AND/OR RECYCLED PROPERLY OFF-SITE ACCORDING TO LOCAL AND STATE REQUIREMENTS.
 9. PROVIDE EROSION CONTROL MEASURES AS REQUIRED BY GOVERNING AUTHORITIES. ACQUIRE ALL REQUIRED PERMITS AND APPROVALS. PROTECT ALL DRAINAGE STRUCTURES FROM ERODED SILT. SEE CIVIL SOIL EROSION PLAN.
 10. MATCH NEW WORK TO EXISTING ELEVATIONS. MAINTAIN POSITIVE SURFACE DRAINAGE IN ALL AREAS.
 11. CONCRETE AREAS DIRECTLY OUTSIDE OF EXTERIOR DOORS SHALL BE INTEGRAL W/ DOOR THRESHOLD ACCORDING TO ARCHITECTURAL DETAILS.
 12. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL NECESSARY AND PROPERLY SIZED UNDERGROUND SLEEVES WHEREVER UTILITIES RUN UNDERNEATH LANDSCAPE FEATURES (IE. IRRIGATION & ELECTRICAL). REFER TO IRRIGATION PLANDetails AND ELECTRICAL SITE PLAN FOR LOCATIONS. INSTALL MINIMUM ONE ADDITIONAL SLEEVE IN EACH TRENCH FOR EACH TYPE OF UTILITY & CAPSULE FOR FUTURE USE.
 13. TOPSOIL AND SEED ALL DISTURBED AREAS CAUSED BY CONSTRUCTION PER SPECIFICATIONS.

LEGEND

			SIGN, 1-FACE, MOVABLE CONCRETE BASE
			SIGN, 1-FACE, CONCRETE FOOTING
			SITE LIGHT, SEE ELEC. PLANS
			B.V.C. CHAIN LINK FENCE & GATE
			TEMPORARY TREE PROTECTION FENCING, PER DETAIL 4 SPEC

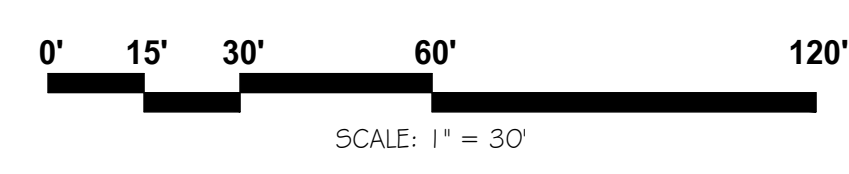
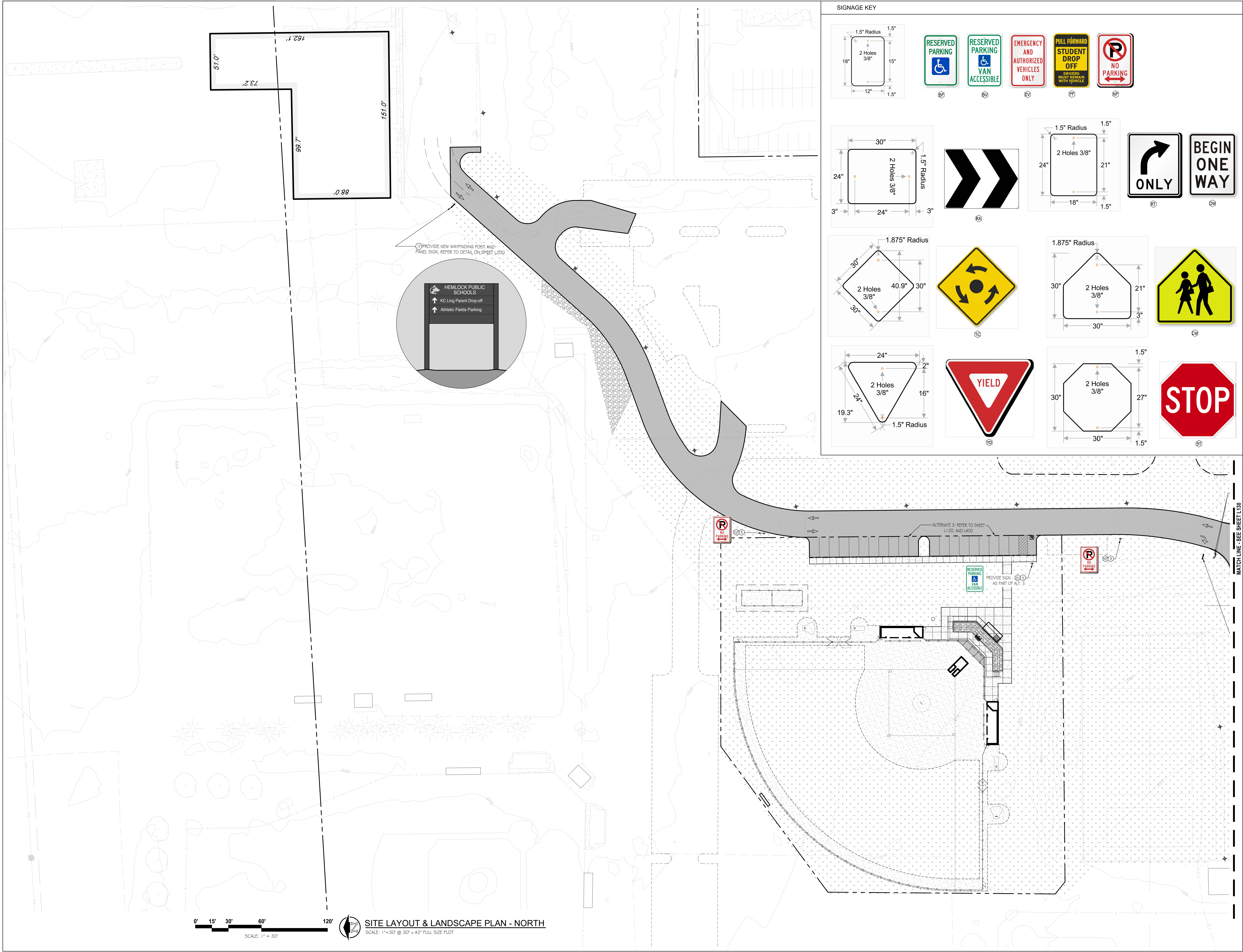
SCALE: 1" = 30'

SITE LAYOUT & LANDSCAPE PLAN - NORTH
SCALE: 1" = 30' @ 30' x 42" FULL SIZE PLOT

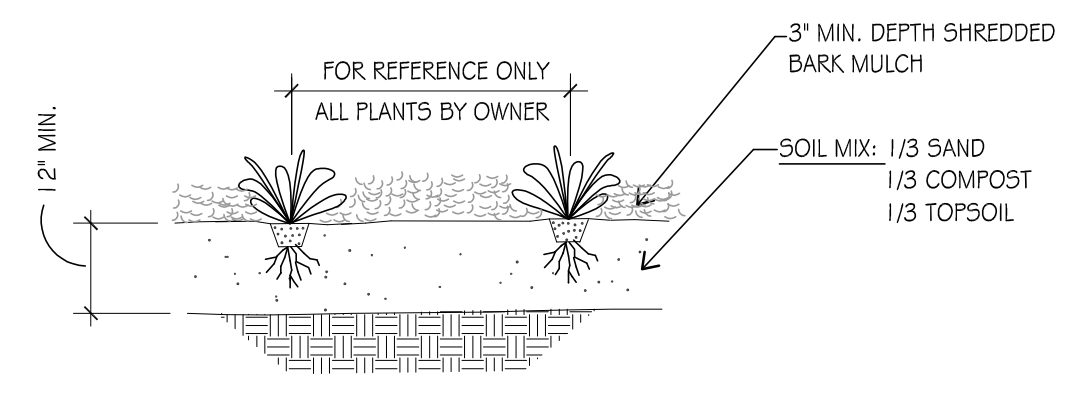


MATCH LINE - SEE SHEET L140

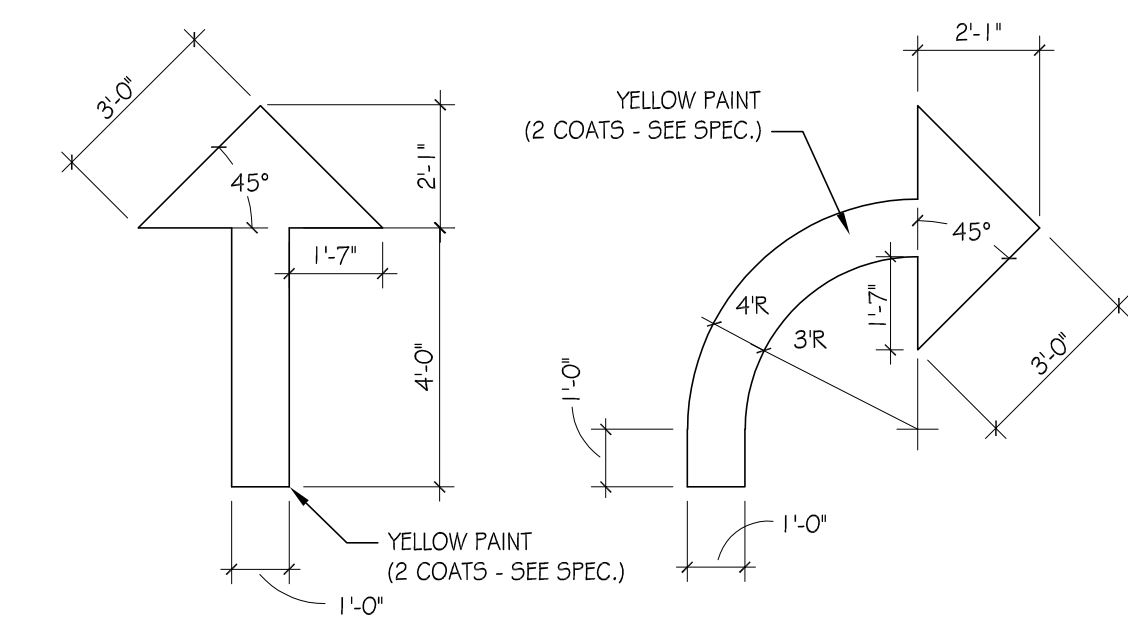
0' 15' 30' 60' 120'
 SCALE: 1" = 30'
SITE LAYOUT & LANDSCAPE PLAN - SOUTH
 SCALE: 1"=30' @ 30' x 42" FULL SIZE PLOT



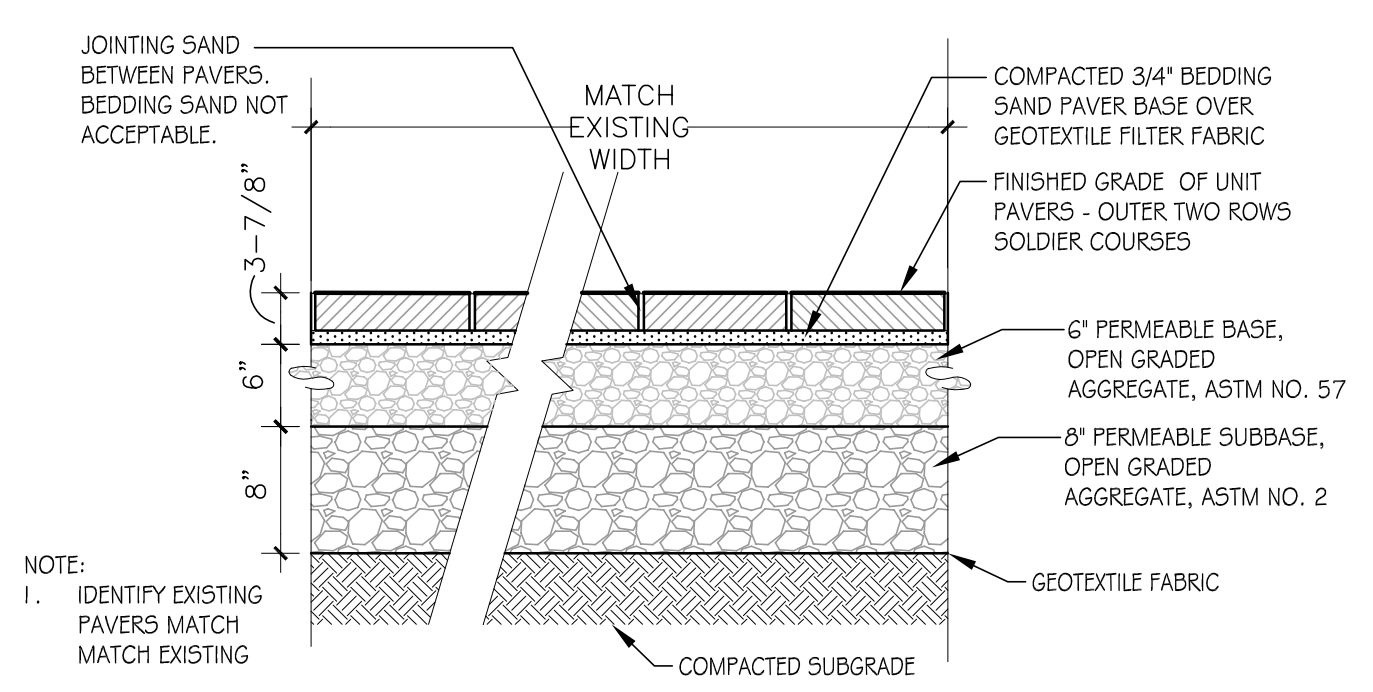
SITE LAYOUT & LANDSCAPE PLAN - NORTH
 SCALE: 1"=30' @ 30" x 42" FULL SIZE PLOT



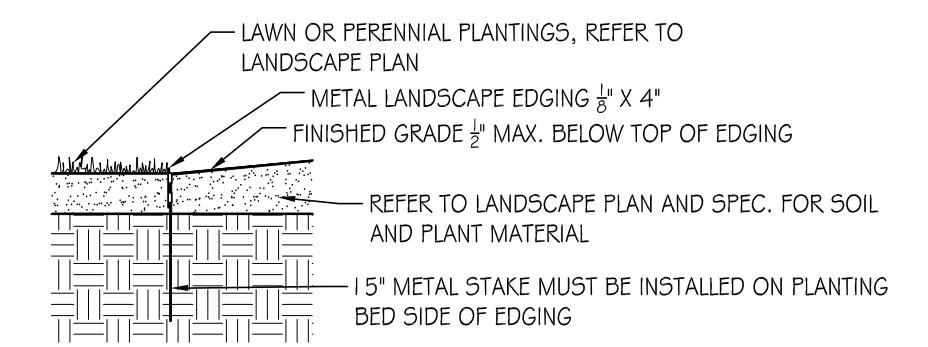
1 PLANT BED PREP DETAIL (PLANTS BY OWNER)
SCALE: NONE



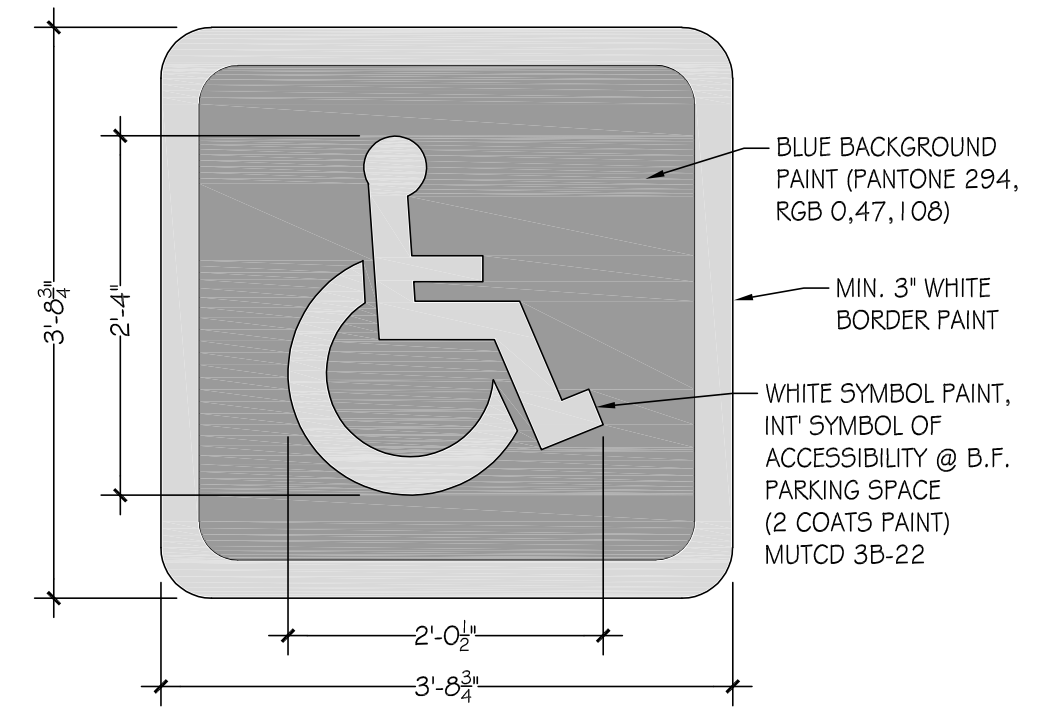
6 PAINTED DIRECTIONAL ARROWS
SCALE: NONE



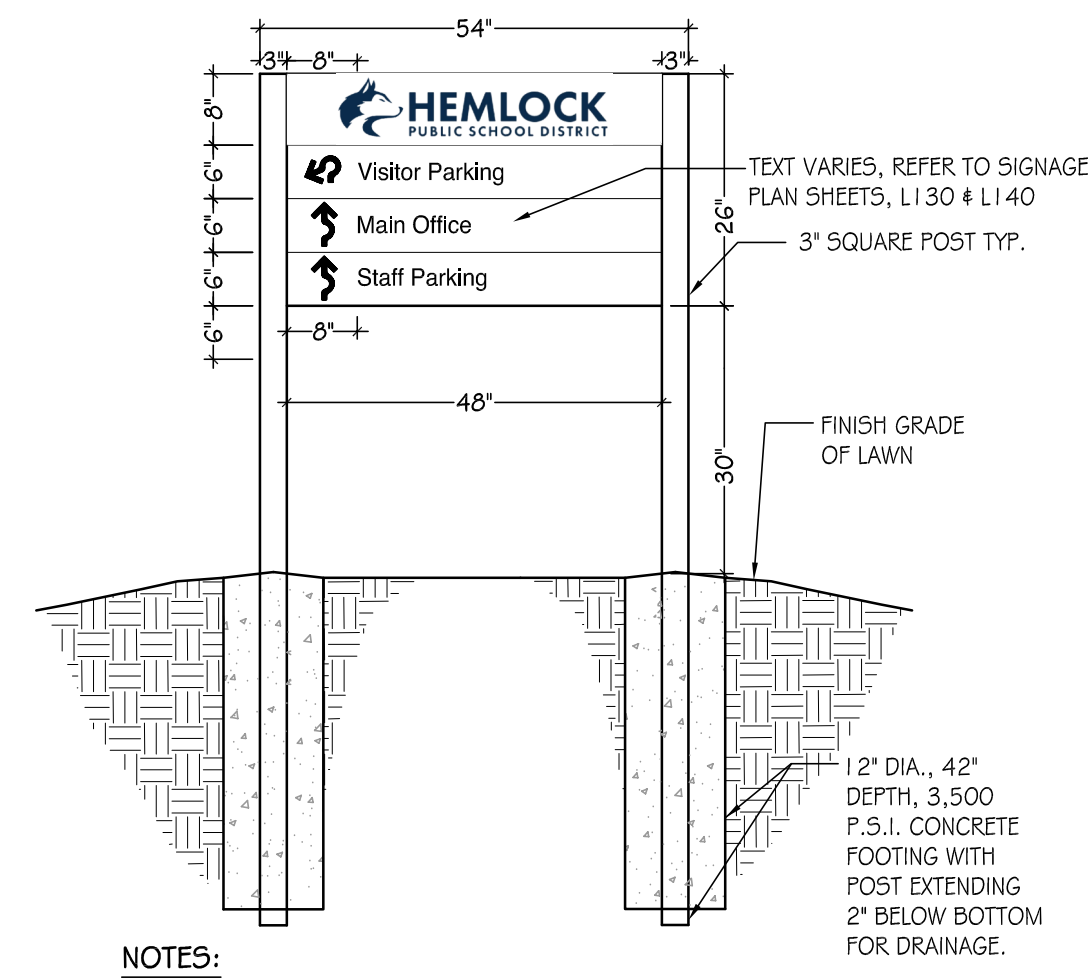
11 UNIT PAVING CROSS-SECTION
SCALE: NONE



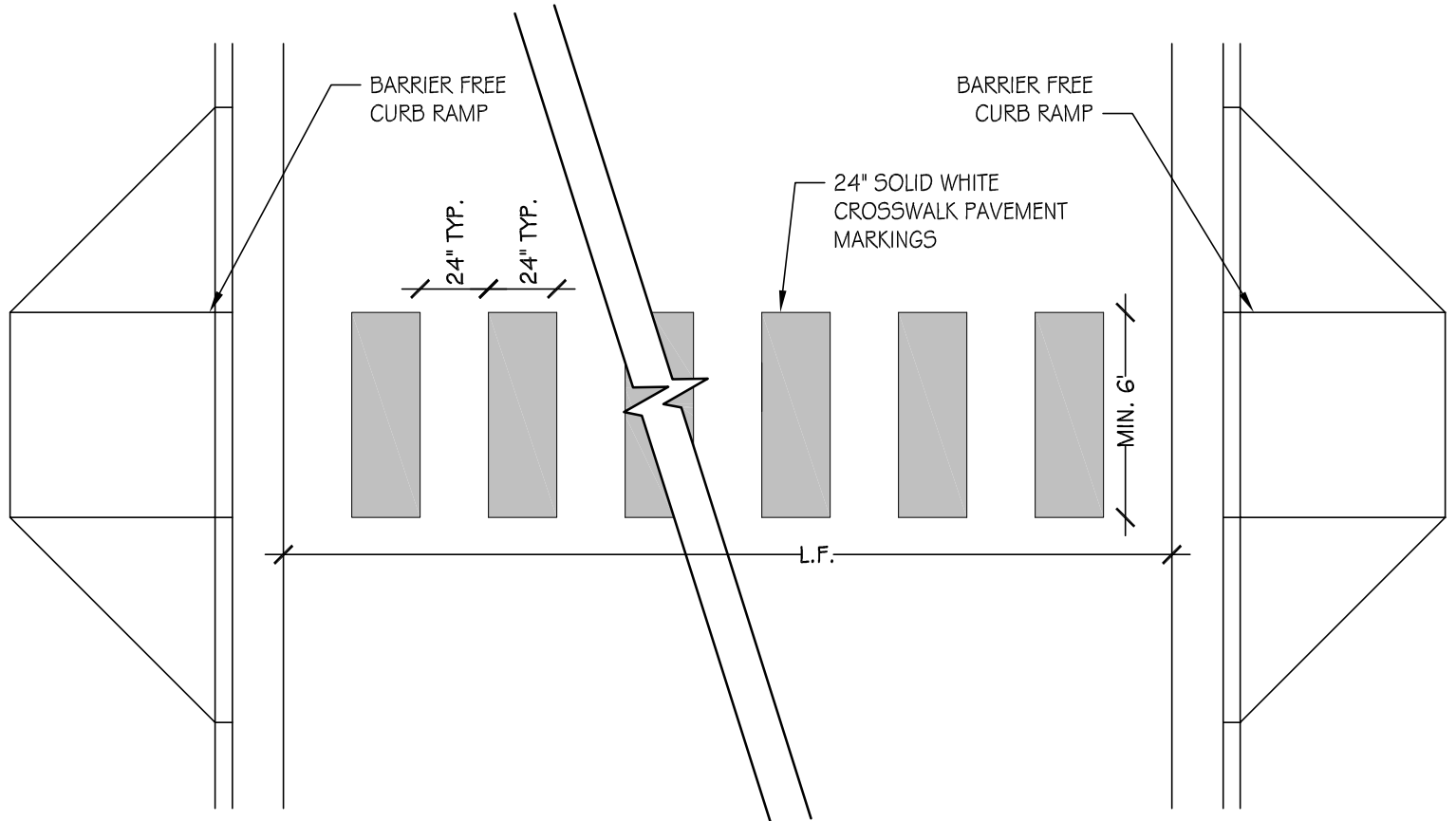
2 METAL LANDSCAPE EDGING
SCALE: NONE



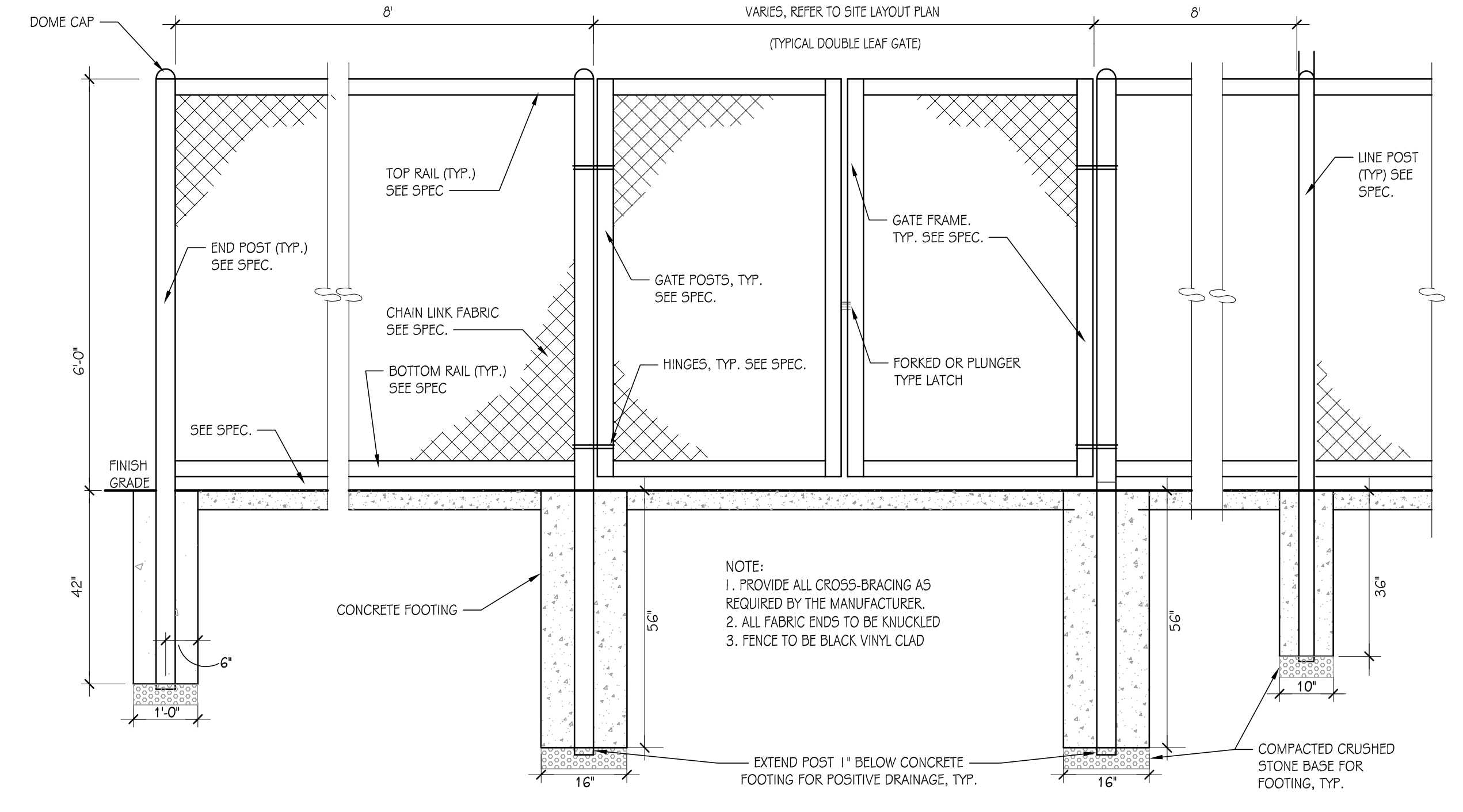
7 BARRIER FREE LOGO DETAIL
SCALE: NONE



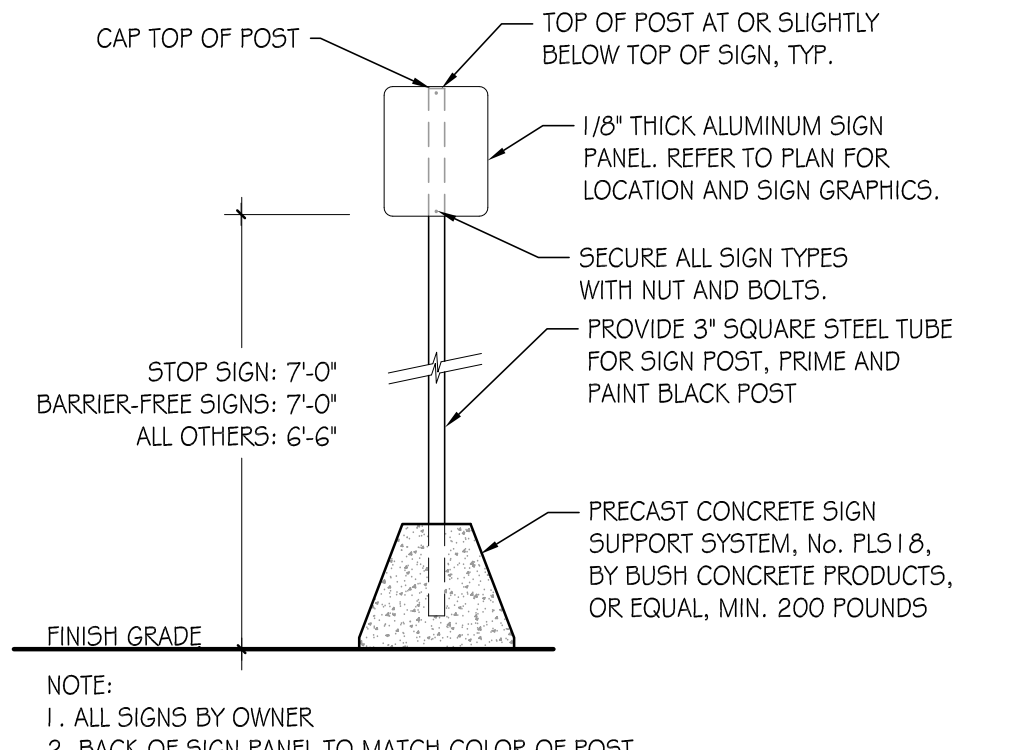
3 POST + PANEL SIGN
SCALE: NONE



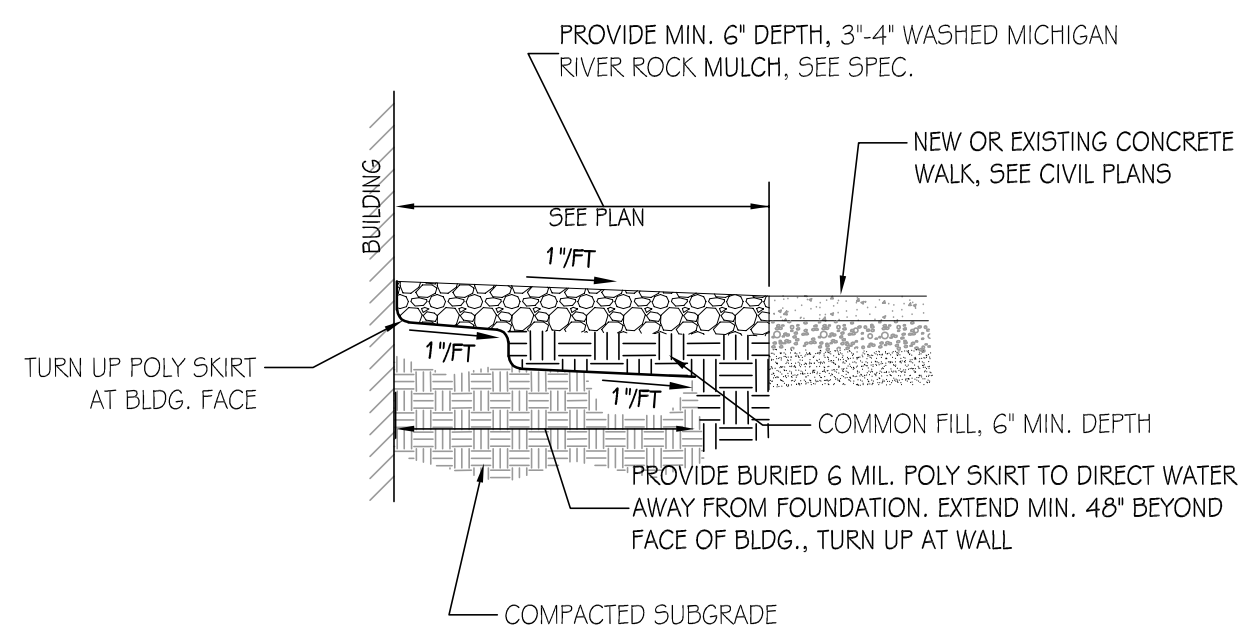
8 CROSSWALK MARKINGS
SCALE: NONE



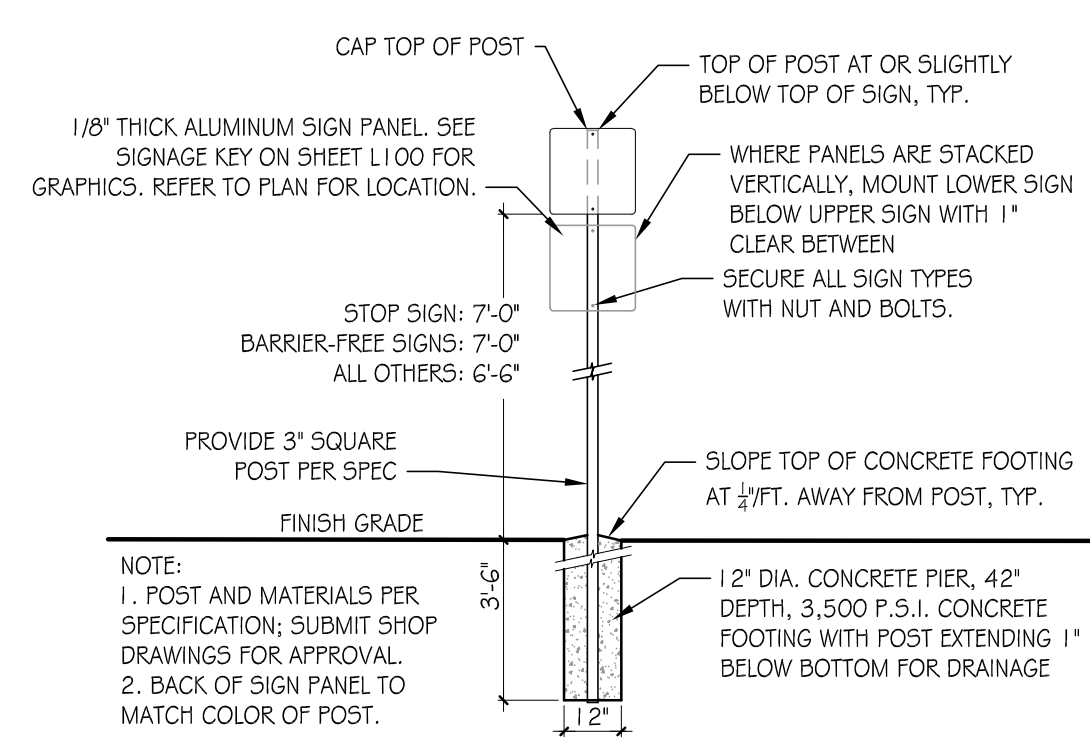
12 CHAIN LINK FENCE DETAIL
SCALE: NONE



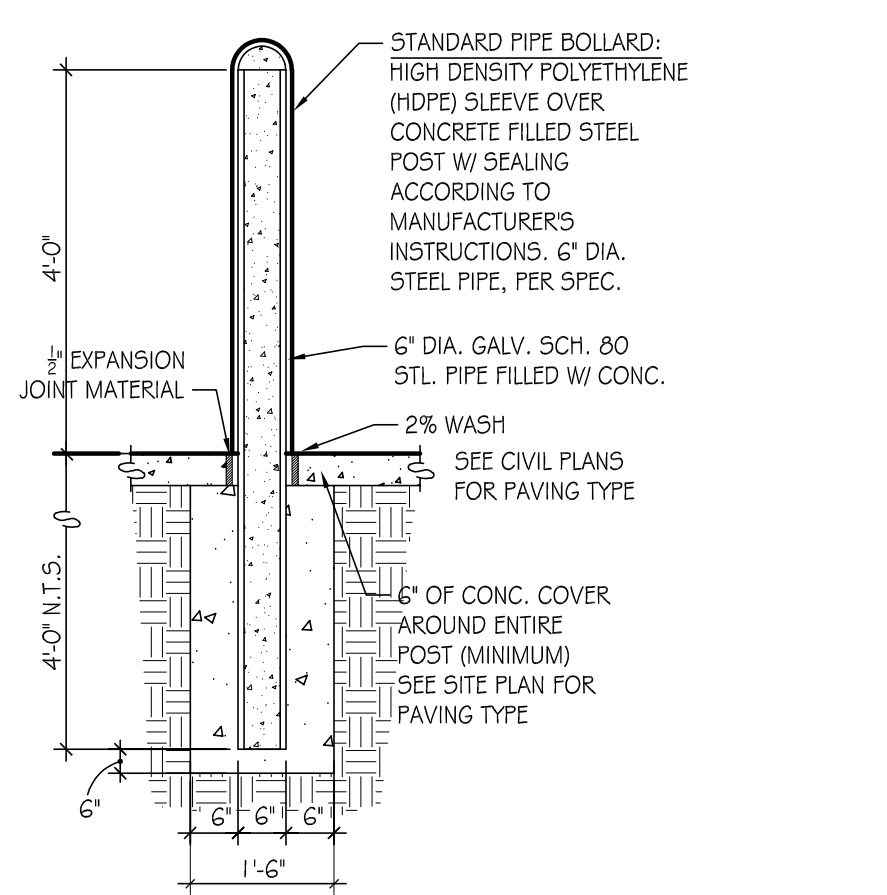
4 MOVABLE SIGN POST
SCALE: NONE



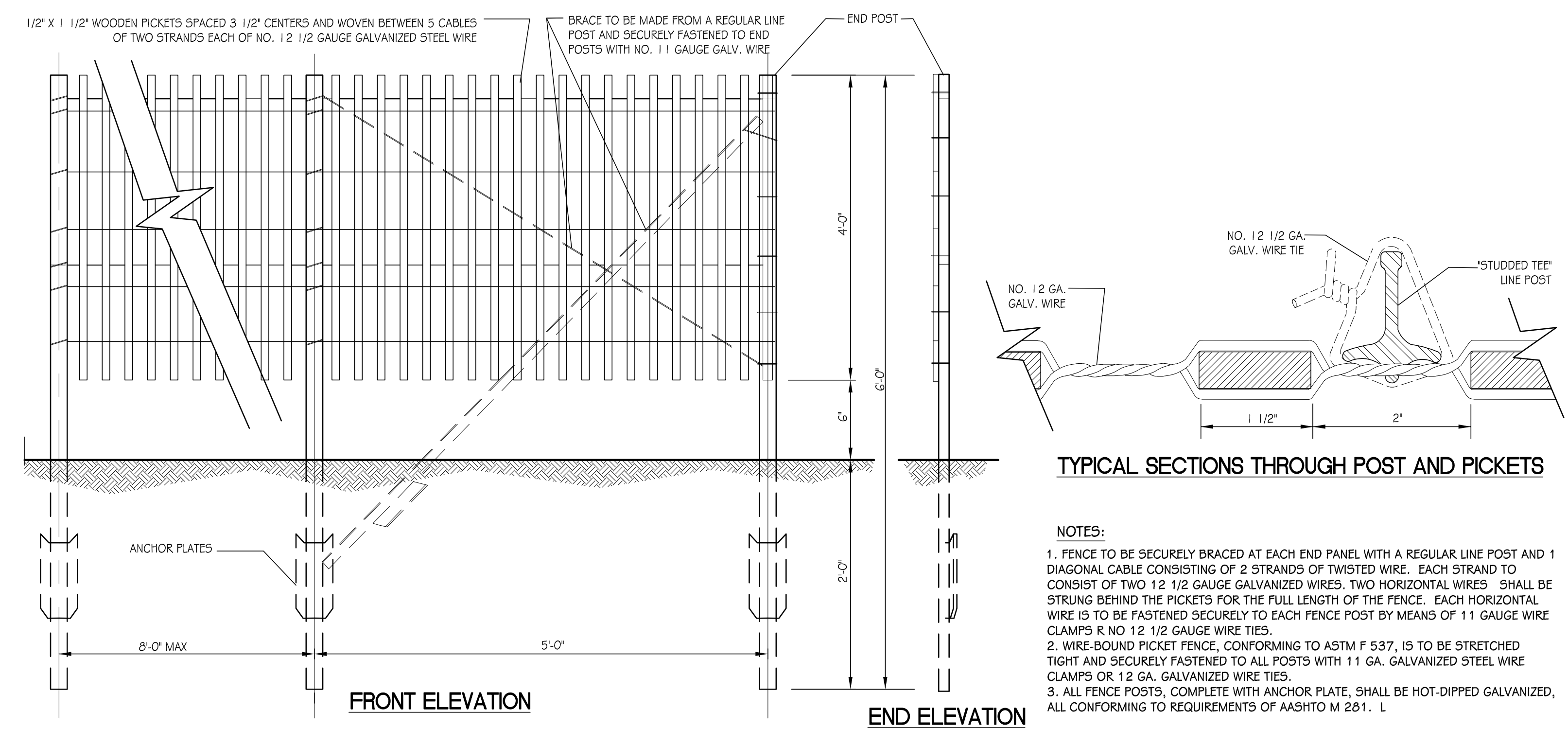
9 RIVER ROCK STONE MAINTENANCE SURFACING
SCALE: NONE



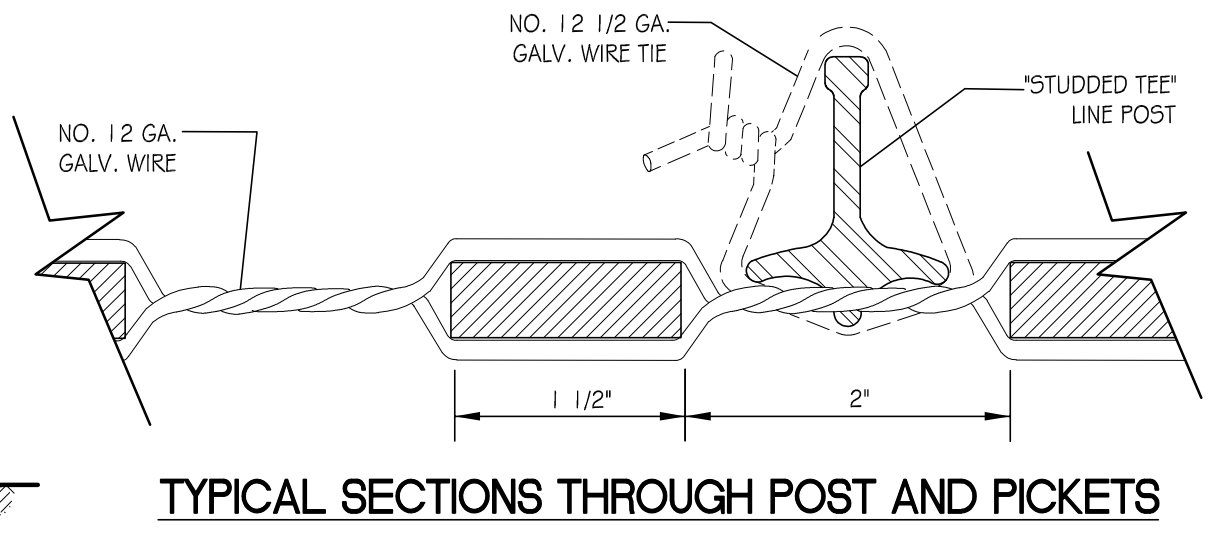
5 SIGN POST DETAIL
SCALE: NONE



10 PIPE BOLLARD
SCALE: NONE



14 PICKET TREE PROTECTION SNOW FENCE
SCALE: NONE



TYPICAL SECTIONS THROUGH POST AND PICKETS

- NOTES:**
- FENCE TO BE SECURELY BRACED AT EACH END PANEL WITH A REGULAR LINE POST AND 1 DIAGONAL CABLE CONSISTING OF 2 STRANDS OF TWISTED WIRE. EACH STRAND TO CONSIST OF TWO 1/2 GAUGE GALVANIZED WIRES. TWO HORIZONTAL WIRES SHALL BE STRUNG BEHIND THE PICKETS FOR THE FULL LENGTH OF THE FENCE. EACH HORIZONTAL WIRE IS TO BE FASTENED SECURELY TO EACH FENCE POST BY MEANS OF 11 GAUGE WIRE CLAMPS R NO 12 1/2 GAUGE WIRE TIES.
 - WIRE-BOUND PICKET FENCE, CONFORMING TO ASTM F 537, IS TO BE STRETCHED TIGHT AND SECURELY FASTENED TO ALL POSTS WITH 11 GA. GALVANIZED STEEL WIRE CLAMPS OR 12 GA. GALVANIZED WIRE TIES.
 - ALL FENCE POSTS, COMPLETE WITH ANCHOR PLATE, SHALL BE HOT-DIPPED GALVANIZED, ALL CONFORMING TO REQUIREMENTS OF AASHTO M 281. L

ISSUED FOR DATE

PROJECT TITLE
K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

DATE
DECEMBER 21, 2022

SHEET TITLE
SITE DETAILS

SHEET NUMBER
L 200.1
2/11/23.20

ISSUED FOR DATE

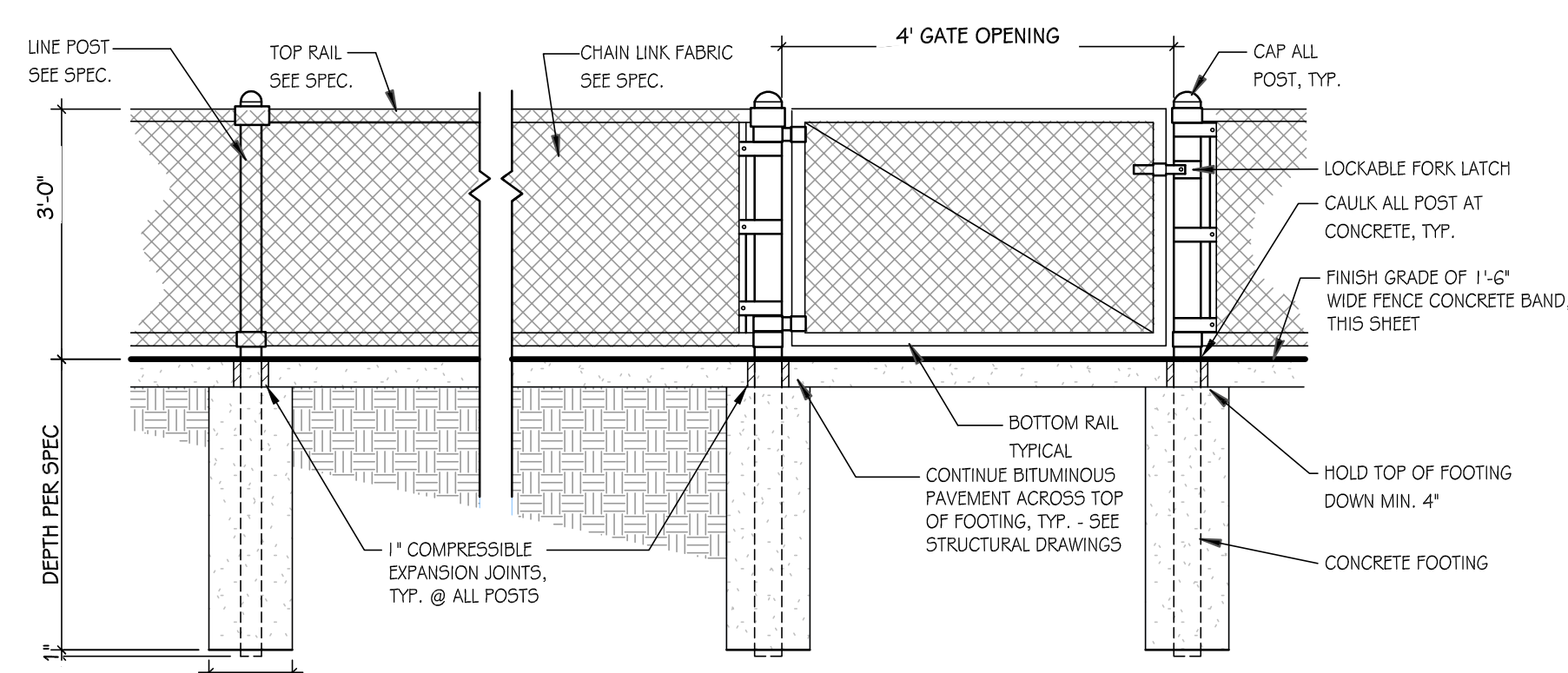
PROJECT TITLE
K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

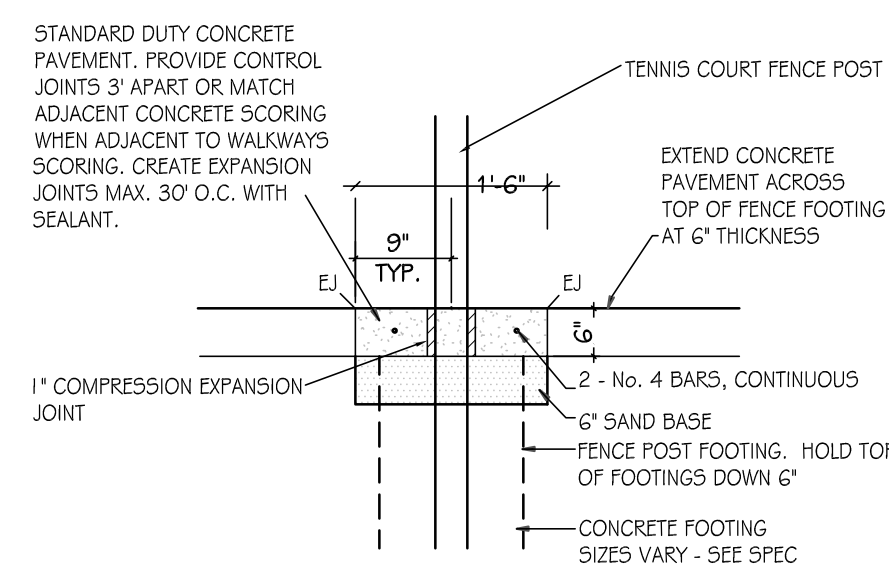
Hemlock, Michigan

SHEET TITLE
TENNIS COURT LAYOUT
PLAN AND DETAILS

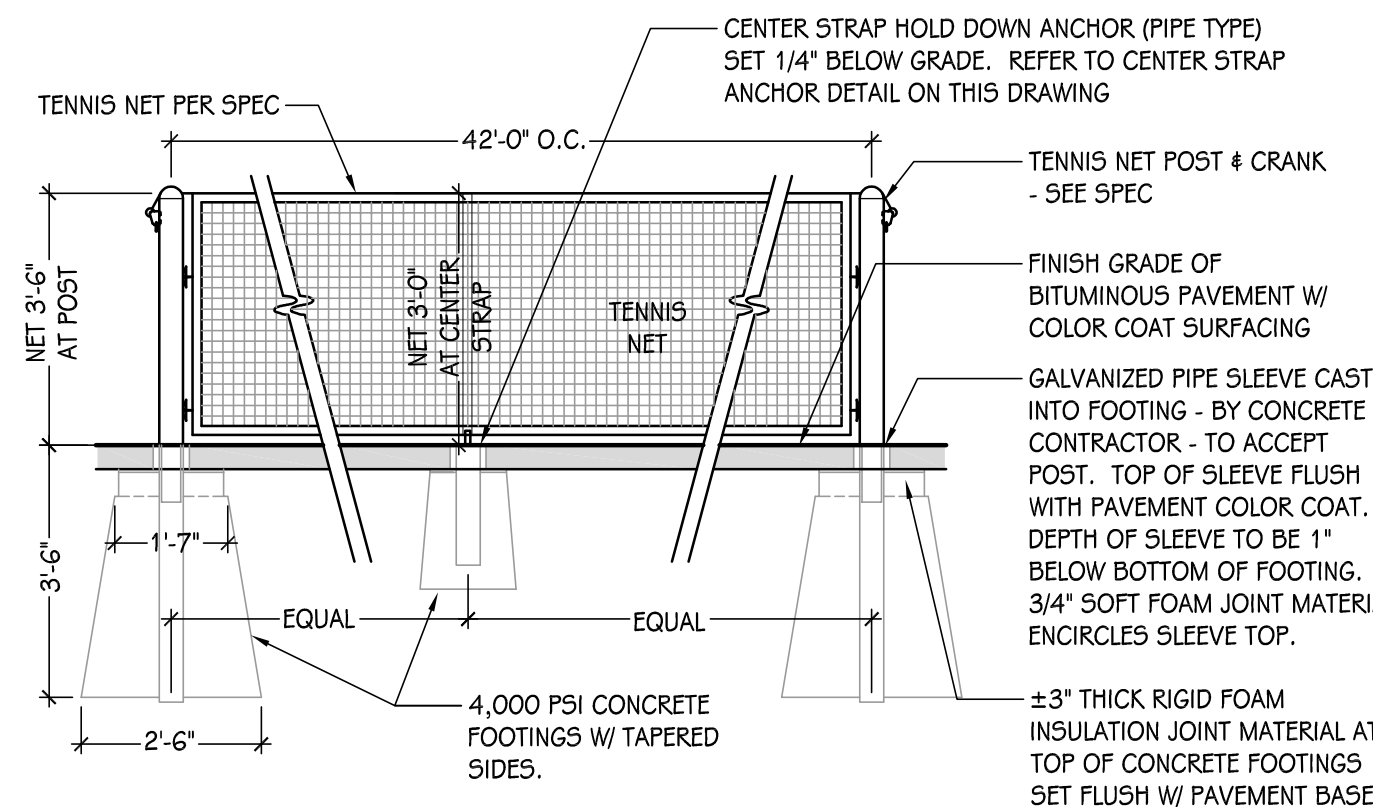
DATE
DECEMBER 21, 2022
SHEET NUMBER
L 300.1
21113.20



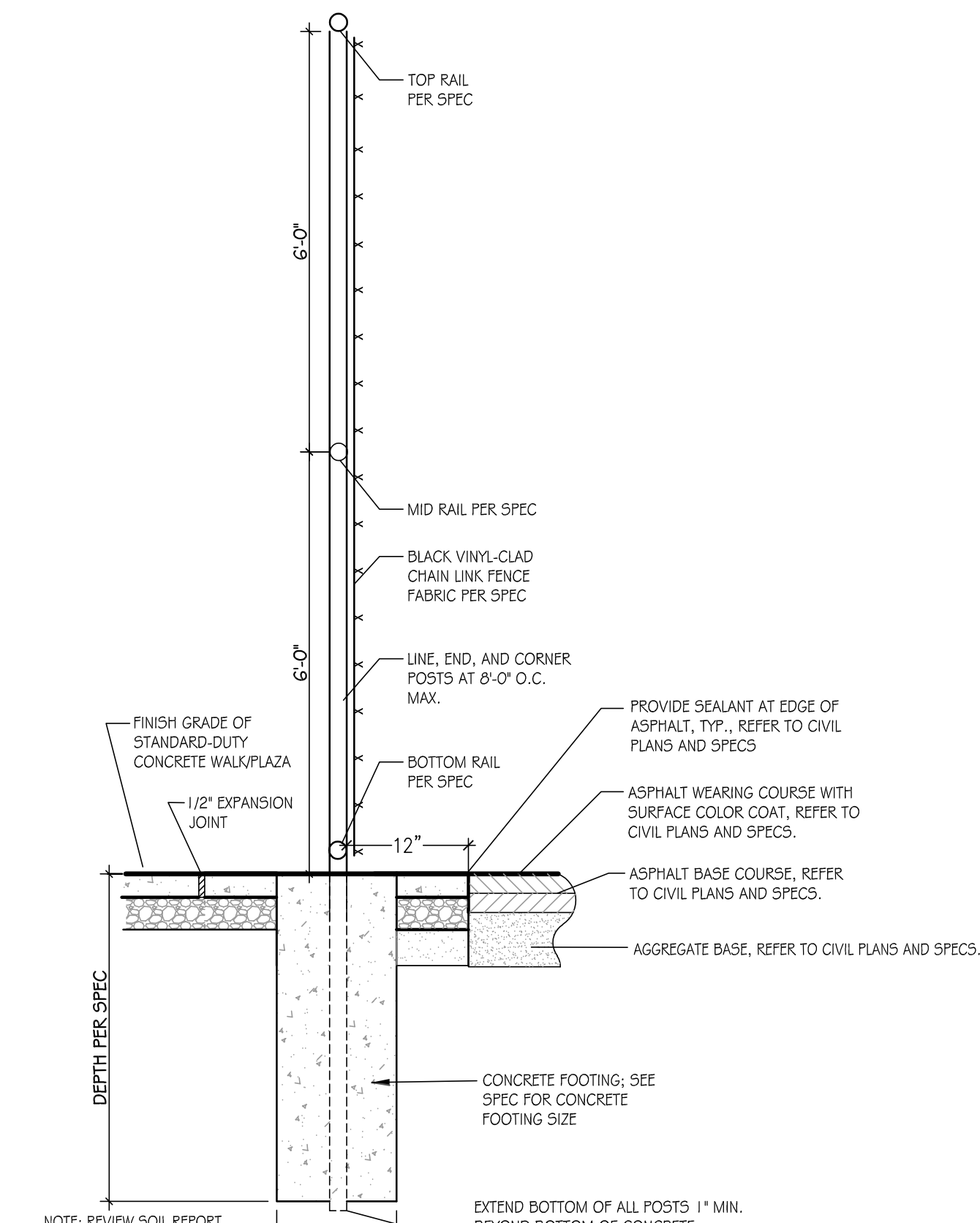
1 3FT HT CHAIN LINK FENCE
SCALE: NONE



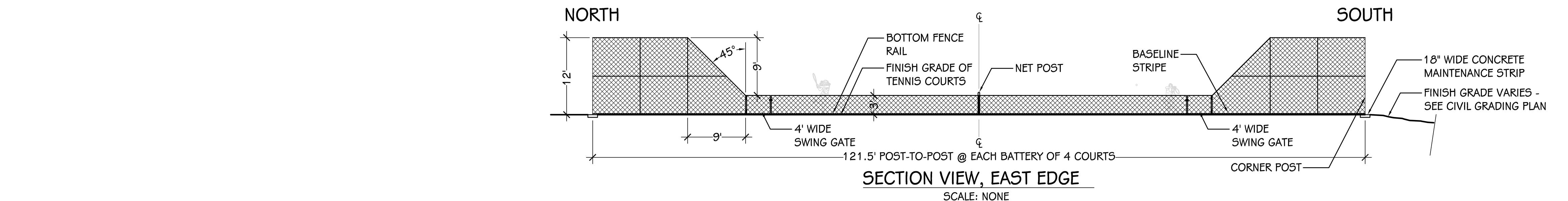
2 18" CONCRETE MAINTENANCE STRIP
SCALE: 1" = 10"



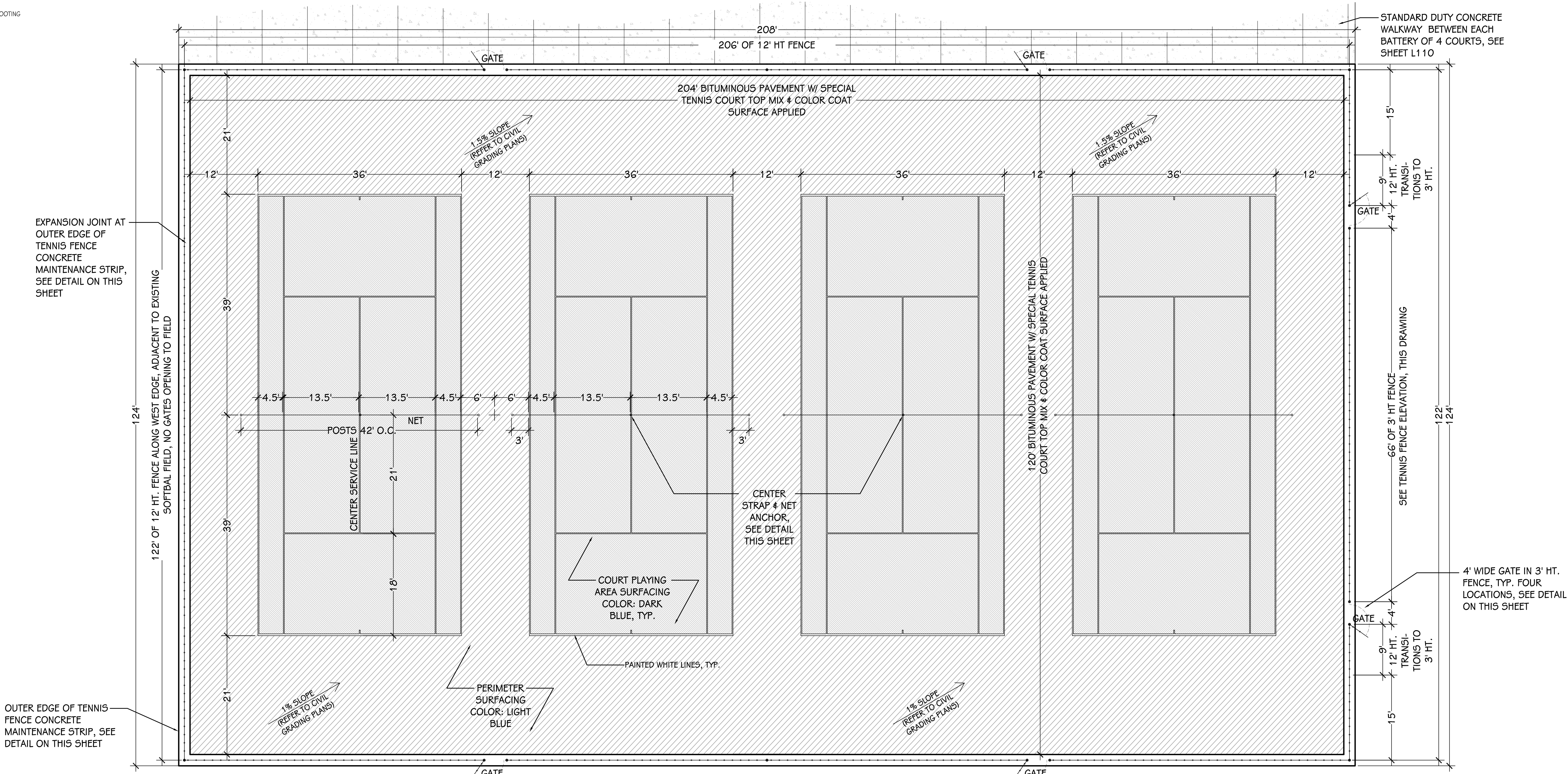
3 TENNIS NET, POST, AND STRAP DETAIL
SCALE: NONE



4 12FT HT CHAIN LINK FENCE
SCALE: NONE



SECTION VIEW, EAST EDGE
SCALE: NONE



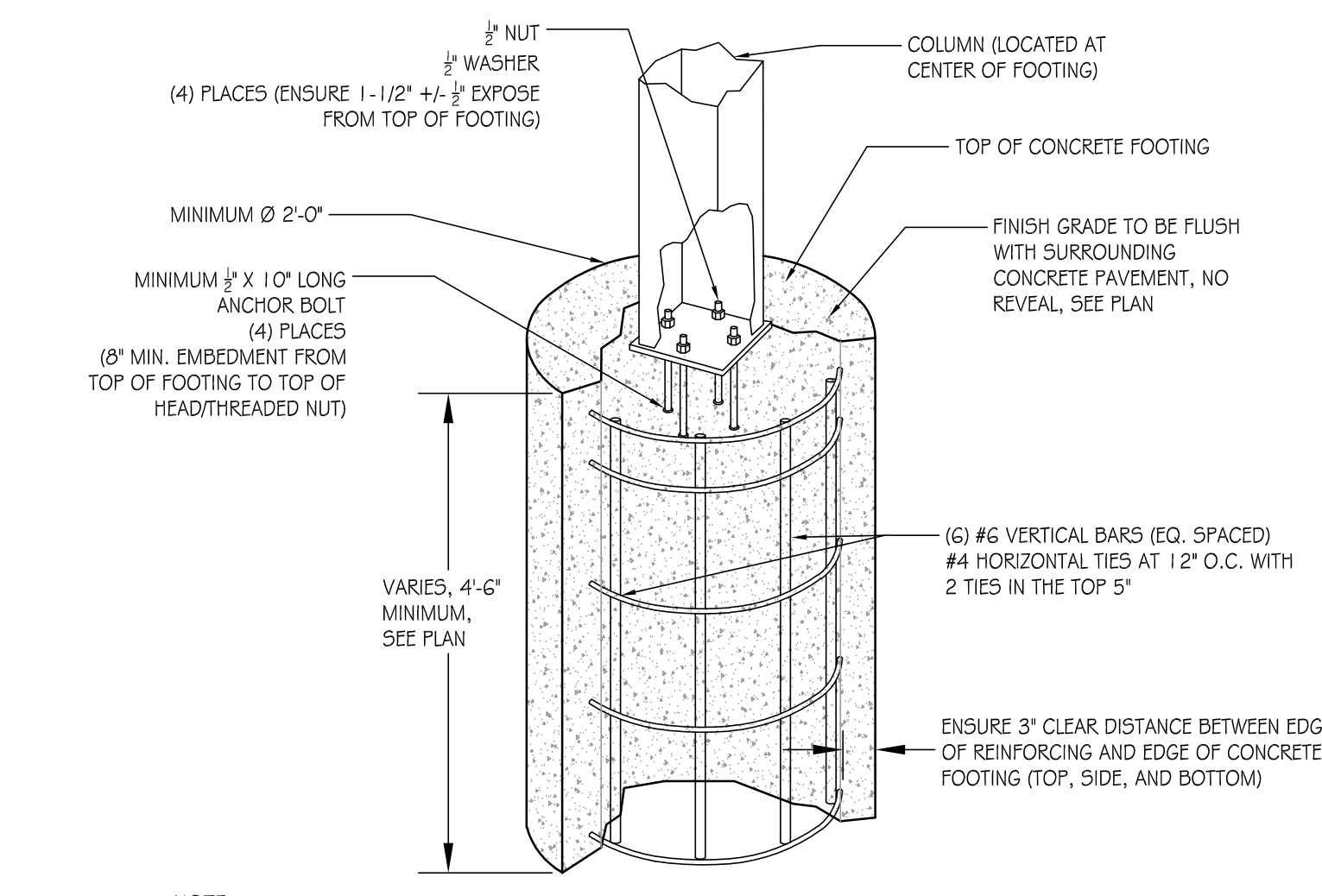
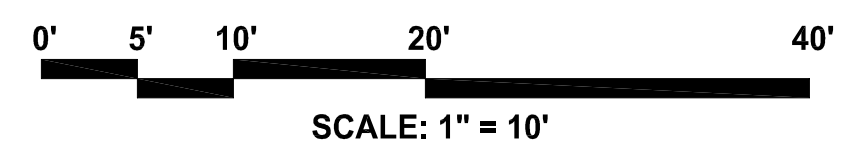
5 TENNIS 4-COURT ENLARGEMENT
SCALE: 1" = 10"

WEST

PLAN VIEW

EAST

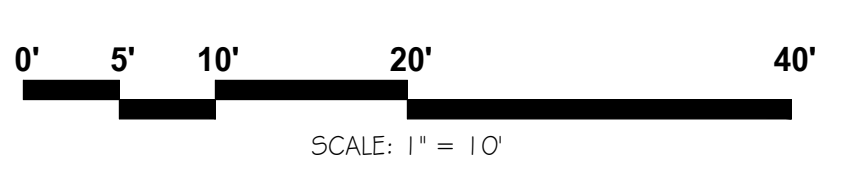
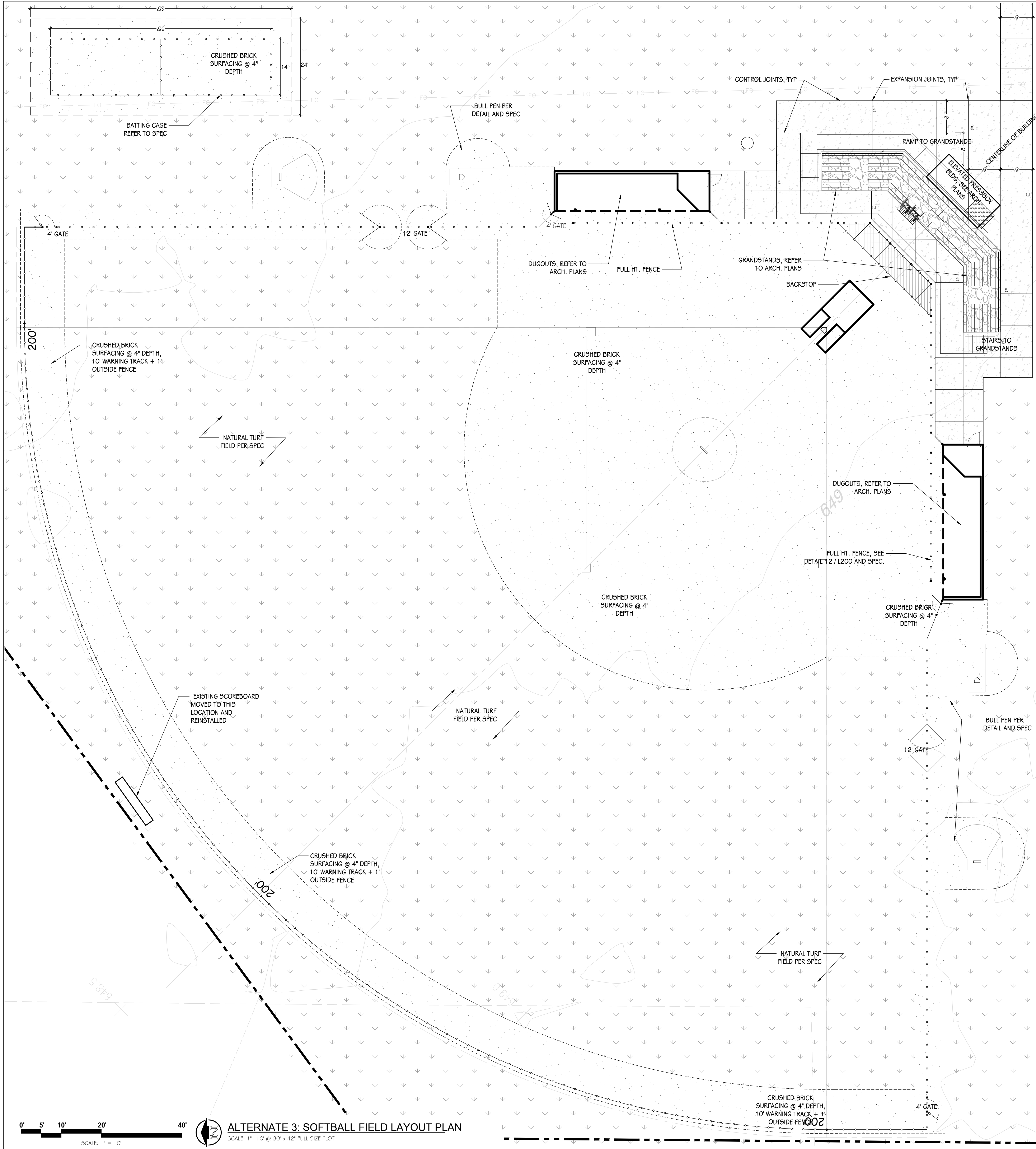
- NOTES:
1. COLOR TO BE DETERMINED BY OWNER
2. SUBMIT SHOP DRAWINGS FOR APPROVAL



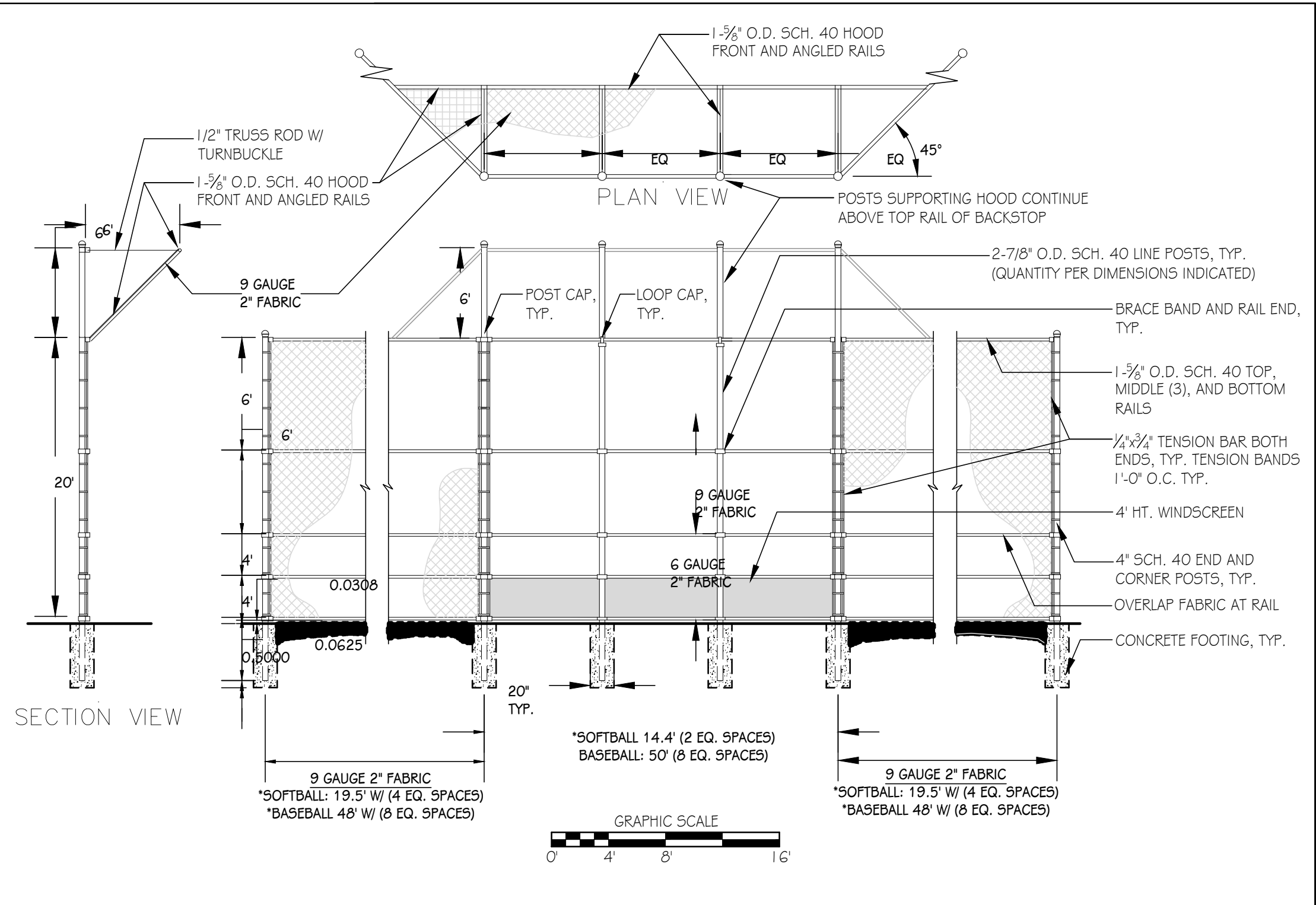
6 SHADE SHELTER PIER FOOTING (INTERNAL ANCHOR BOLTS)
SCALE: NONE

GENERAL NOTES

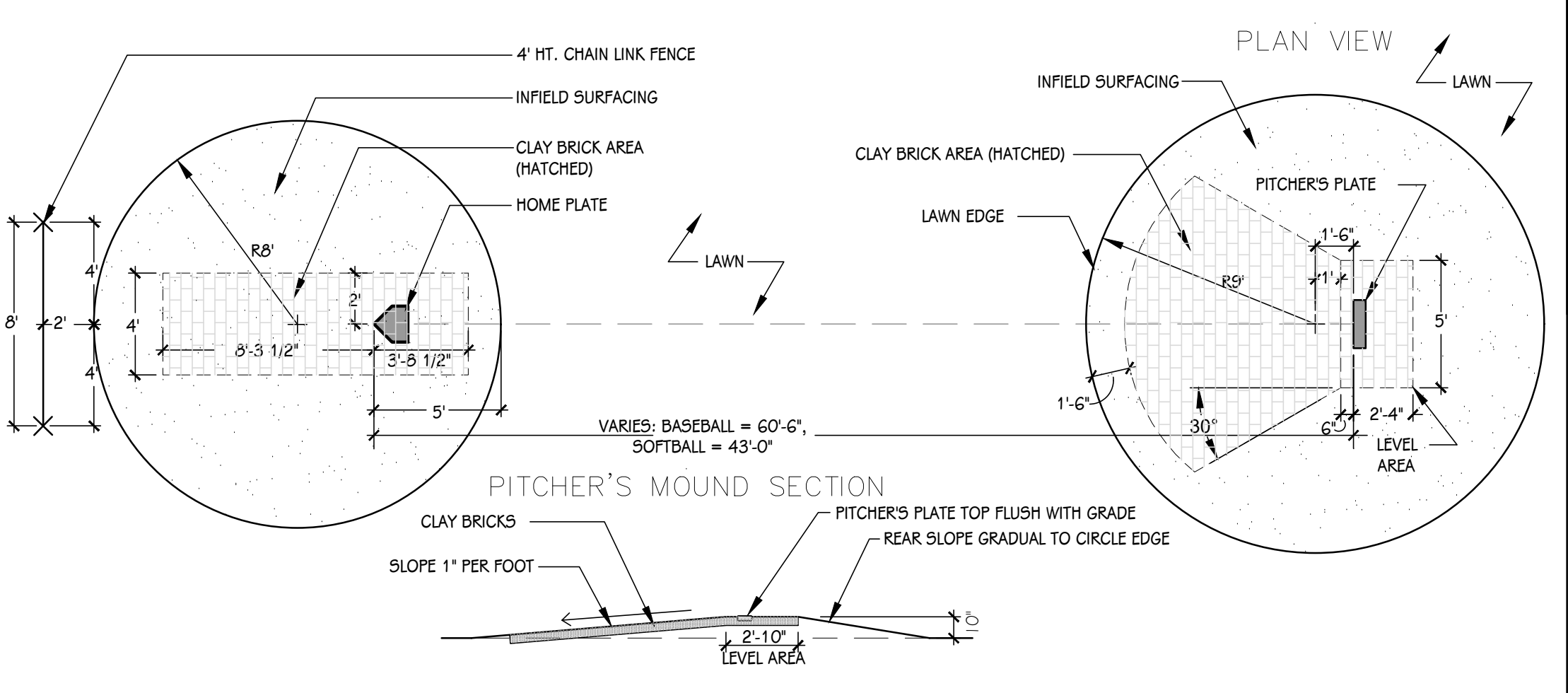
1. ALL LANDSCAPE FEATURE LOCATIONS SHALL BE ACCORDING TO THIS PLAN AND THE DIGITAL CAD FILE MADE AVAILABLE ON REQUEST.
2. FIELD CONDITIONS MAY REQUIRE SLIGHT MODIFICATIONS TO PROPOSED LANDSCAPE FEATURES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF/WHEN SUCH CONDITIONS ARE DISCOVERED BEFORE PROCEEDING WITH CONSTRUCTION.
3. ALL VEGETATIVE REMOVALS SHALL BE DISPOSED OF AND/OR RECYCLED PROPERLY OFF-SITE ACCORDING TO LOCAL AND STATE REQUIREMENTS.
4. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL NECESSARY AND PROPERLY-SIZED UNDERGROUND SLEEVES WHEREVER UTILITIES RUN UNDERNEATH LANDSCAPE FEATURES (IE, IRRIGATION & ELECTRICAL). REFER TO CIVIL PLANDetails AND ELECTRICAL SITE PLAN FOR LOCATIONS. INSTALL MINIMUM ONE ADDITIONAL SLEEVE IN EACH TRENCH FOR EACH TYPE OF UTILITY & CAP/SEAL FOR FUTURE USE.
5. CALL 'MISS DIG' AND HAVE EXISTING UTILITY LOCATIONS MARKED PRIOR TO ANY EXCAVATIONS OR INSTALLATIONS ON SITE.
6. EXISTING INFORMATION SHOWN HEREIN IS APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
7. MATCH NEW WORK TO EXISTING ELEVATIONS. MAINTAIN POSITIVE SURFACE DRAINAGE IN ALL AREAS.
8. PROTECT ALL EXISTING TREES IDENTIFIED TO REMAIN. DO NOT STOCKPILE MATERIAL, PARK OR OPERATE EQUIPMENT WITHIN THE TREES DRIP LINE / ROOT ZONE.
9. TOPSOIL AND SEED ALL STIPPLED AREAS AND DISTURBED AREAS CAUSED BY CONSTRUCTION, PER SPECIFICATIONS.



ALTERNATE 3: SOFTBALL FIELD LAYOUT PLAN
 SCALE: 1" = 10' @ 30' x 42' FULL SIZE PLOT



1 BACKSTOP DETAIL (ALTERNATE 3)
 SCALE: 1/8" = 1'-0"



2 SOFTBALL BULLPEN LAYOUT (ALTERNATE 3)
 SCALE: NONE

GENERAL CONDITIONS

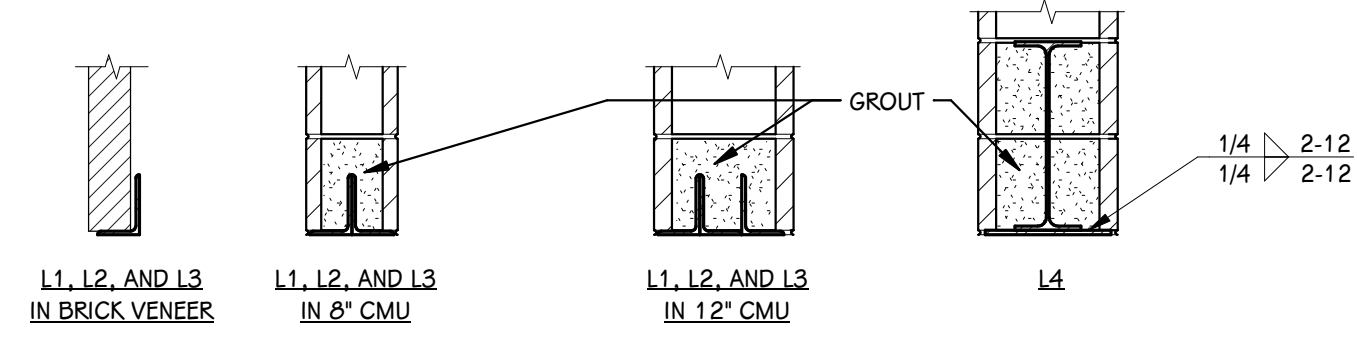
- COORDINATE WITH ALL DRAWINGS FOR PERTINENT INFORMATION RELATED TO THE STRUCTURAL WORK. ANY CHANGES TO THE STRUCTURAL SYSTEMS SHALL BE RE-DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AT NO COST TO THE OWNER OR A/E AND SUBMITTED TO THE A/E FOR REVIEW. SUBMITTAL SHALL BE ACKNOWLEDGED IN WRITING BEFORE BEGINNING CONSTRUCTION.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCES TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, SHORING, GUYS, OR TIE-DOWNS THAT MAY BE NECESSARY.
- THE STRUCTURE HAS BEEN DESIGNED FOR THE UNIFORM LOADS INDICATED IN ADDITION TO THE CONCENTRATED LOADS REQUIRED BY THE BUILDING CODE. THE STRUCTURAL DESIGN IS BASED SOLELY ON THE BUILDING IN ITS COMPLETED STATE. CONTRACTORS AND THEIR SUB-CONTRACTORS SHALL TAKE NECESSARY PRECAUTIONS TO WITHSTAND ALL HORIZONTAL AND VERTICAL LOADINGS THAT MAY BE ENCOUNTERED DURING CONSTRUCTION PRIOR TO COMPLETION OF THE BUILDING. SUCH CONSTRUCTION LOADINGS INCLUDE, BUT ARE NOT LIMITED TO, LOADS FROM CRANES, LIFTS, DOLLIES, AND HOISTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE EVALUATION OF THE IMPACT OF SUCH LOADS ON THE STRUCTURE AND PROVIDING TEMPORARY SHORING, BRACING, OR REINFORCEMENT AS REQUIRED.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS. REPORT ALL DISCREPANCIES TO THE A/E FOR RESOLUTION BEFORE PROCEEDING.
- THE CONTRACTOR SHALL SUPPORT, BRACE, AND SECURE EXISTING STRUCTURES AS REQUIRED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION PRIOR TO FINAL DETAILING AND FABRICATION OF NEW STRUCTURAL ELEMENTS.

EXISTING CONDITIONS

- ALL EXISTING STRUCTURAL ELEMENTS (SLABS, BEAMS, WALLS, COLUMNS, FOUNDATIONS, ETC.) SHALL REMAIN INTACT UNLESS SPECIFICALLY NOTED TO BE REMOVED BY THE MOST RECENT DEMOLITION DOCUMENTS OR OTHERWISE NOTED ON THE STRUCTURAL DRAWINGS.
- INFORMATION PROVIDED ON THESE DRAWINGS RELATED TO EXISTING CONDITIONS IS BASED ON AVAILABLE DESIGN DOCUMENTS AND LIMITED FIELD OBSERVATION. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO AND AWAIT DIRECTION FROM THE A/E IF ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS IS DISCOVERED.
- CORE DRILLS REQUIRED BY MECHANICAL OR ELECTRICAL TRADES, BUT NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE DOCUMENTED IN SKETCH FORM SHOWING EXACT DIMENSIONS AND LOCATIONS. THE SKETCH SHALL BE SUBMITTED TO THE A/E FOR COMMENT PRIOR TO PROCEEDING WITH THE DRILLING OPERATION.
- EXISTING SURFACE PREPARATION:
INTENTIONALLY ROUGHEN EXISTING CONCRETE SURFACES WHERE NEW CONCRETE IS BEING PLACED AGAINST THE EXISTING CONCRETE AND CONNECTED BY DRILLING AND EPOXY GROUTING. THE ENTIRE COMMON SURFACE WHERE THE EXISTING CONCRETE ABUTS THE NEW SHALL BE COATED WITH AN EPOXY BONDING AGENT. FOLLOW ALL ADDITIONAL REQUIREMENTS OF SURFACE PREPARATION AS REQUIRED BY THE BONDING AGENT MANUFACTURER.

STRUCTURAL DESIGN CRITERIA

- GOVERNING CODE: MICHIGAN BUILDING CODE (MBC), 2015 EDITION
- BUILDING RISK CATEGORY: III
- MATERIAL STRENGTHS:
 - STRUCTURAL STEEL:
 - ASTM A992 (F_y = 50 KSI) - ROLLED STEEL SHAPES UNLESS NOTED ON THE DRAWINGS.
 - ASTM A36 (F_y = 36 KSI) - ROLLED STEEL PLATES, CHANNELS, ANGLES, BARS, AND RODS AS NOTED ON THE DRAWINGS.
 - ASTM A53, GRADE B - STEEL PIPE
 - ASTM A500, GRADE C - RECTANGULAR AND ROUND HSS
 - MASONRY:
 - 2000 PSI FOR CONCRETE MASONRY
- LIVE LOADS:
 - ROOF: 20 PSF
 - LIVE LOAD REDUCTIONS SHALL BE COMPUTED IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE. ROOF LIVE LOADS ARE NON-REDUCIBLE.
- DESIGN SNOW LOAD AND SNOW DRIFTING PARAMETERS ARE AS FOLLOWS:
 - GROUND SNOW LOAD (P_g): 35 PSF
 - FLAT ROOF SNOW LOAD - HEATED AREAS (P_f): 27 PSF + DRIFT
 - SNOW EXPOSURE FACTOR (C_e): 1.0
 - SNOW THERMAL FACTOR (C_t): 1.0
 - SNOW LOAD IMPORTANCE FACTOR: 1.1



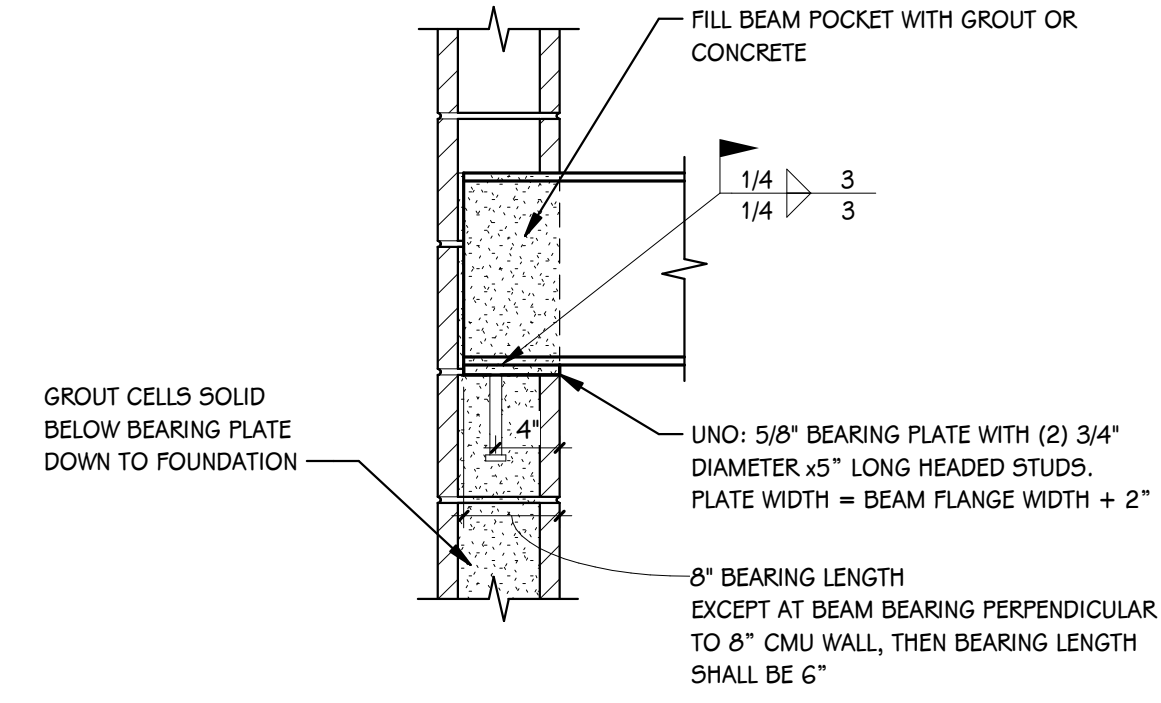
LINTEL TYPE	LINTEL SIZE	NOTES
L1	L3 1/2x3 1/2x5/16 PER 4" NOMINAL MASONRY THICKNESS	
L2	L5x3 1/2x5/16 (LLV) PER 4" NOMINAL MASONRY THICKNESS	
L3	L6x3 1/2x5/16 (LLV) PER 4" NOMINAL MASONRY THICKNESS	
L4	W16x26 WITH 5/16" BOTTOM PLATE	PROVIDE BEARING PLATE EACH END PER TYPICAL BEAM BEARING DETAIL

NOTES:

- THIS DETAIL AND SCHEDULE APPLIES TO OPENINGS WITHIN EXISTING MASONRY WALL CONSTRUCTION AND OPENINGS WITHIN BRICK VENEER, UNLESS NOTED OR DETAILED OTHERWISE.
- ALL OPENINGS WIDER THAN 8" IN MASONRY WALLS REQUIRE LINTELS. NOT ALL LINTELS ARE SHOWN ON PLANS - REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS AND SIZES OF OPENINGS.
- 8" LINTEL BEARING REQUIRED, EACH END.
- ALL LINTELS WITHIN EXTERIOR WALLS SHALL BE GALVANIZED.
- GROUT CMU SOLID BELOW LINTEL BEARING DOWN TO FOUNDATION.
- WHERE NO LINTEL DESIGNATION IS NOTED ON FRAMING PLANS, PROVIDE LINTEL AS FOLLOWS:
 - L1 FOR OPENINGS LESS THAN OR EQUAL TO 4' - 0" WIDE
 - L2 FOR OPENINGS LESS THAN OR EQUAL TO 5' - 0" WIDE
 - L3 FOR OPENINGS LESS THAN OR EQUAL TO 6' - 0" WIDE

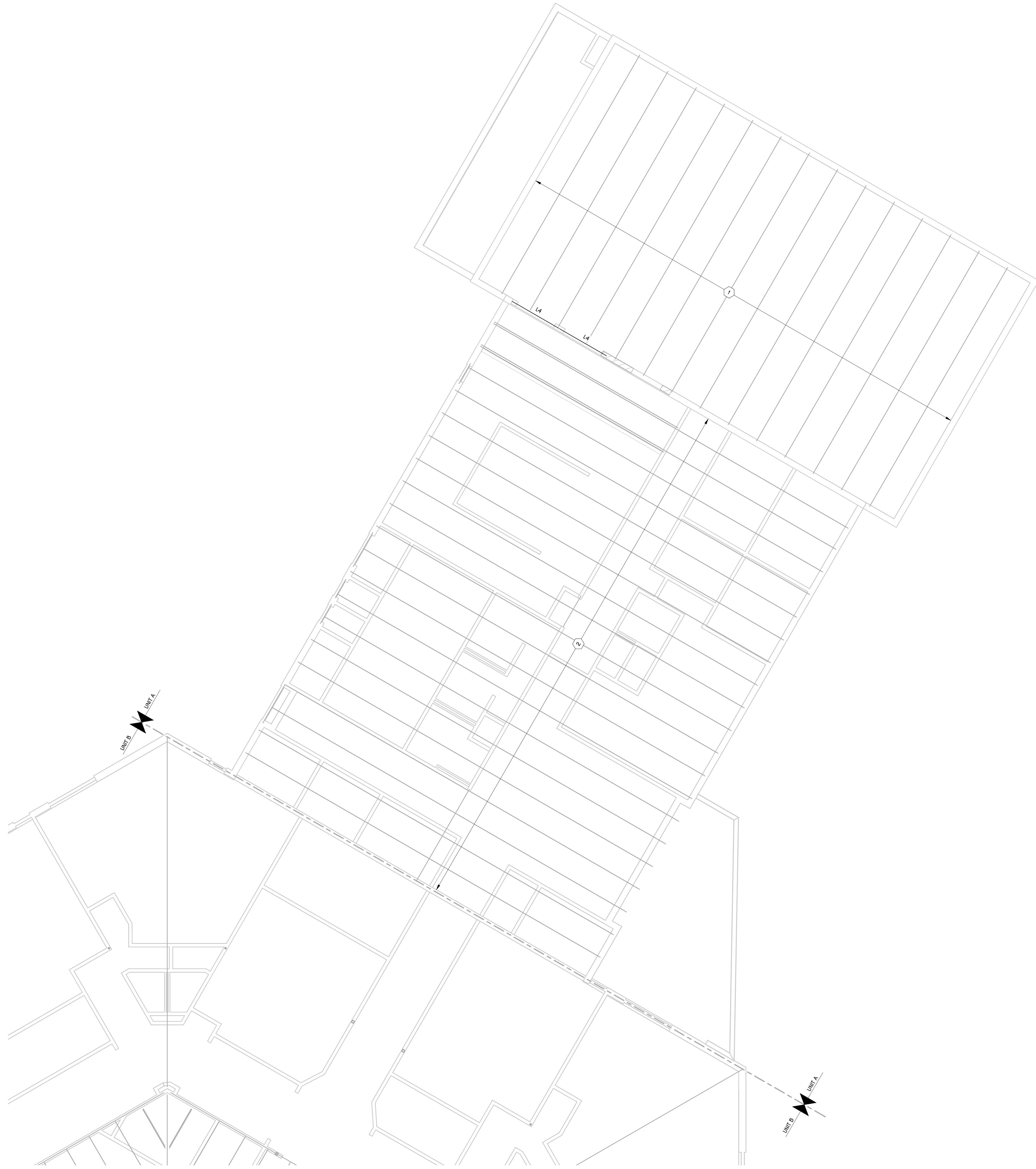
STEEL LINTEL SCHEDULE

SCALE: NONE



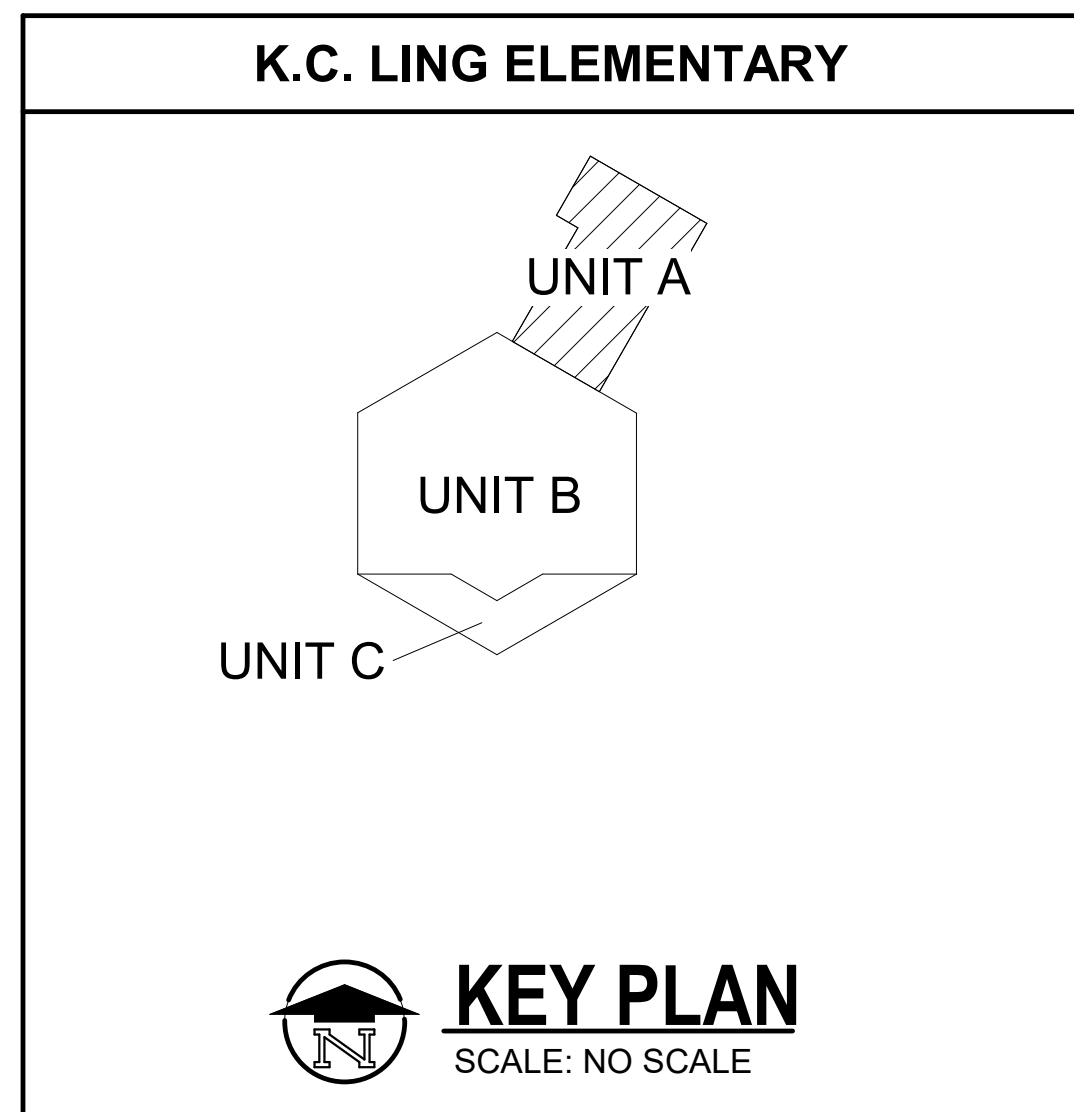
TYPICAL STEEL BEAM BEARING ON CMU

SCALE: NONE



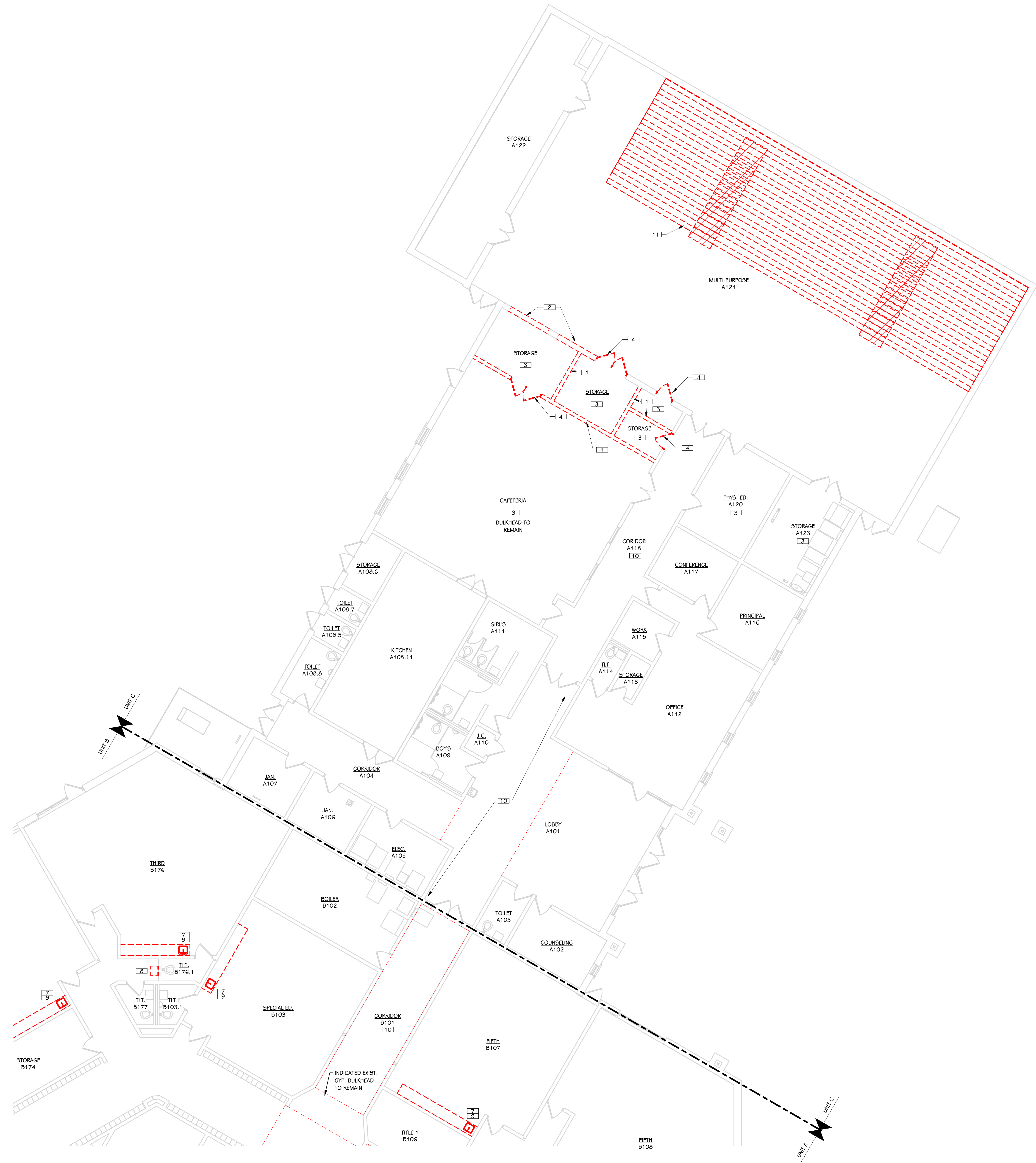
ROOF FRAMING PLAN - UNIT A
1/8" = 1'-0"

PLAN NOTES - ROOF
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ENGINEER IF DISCREPANCIES OCCUR.
2. ALL OPENINGS WIDER THAN 8" IN MASONRY WALLS REQUIRE LINTELS. NOT ALL LINTELS ARE SHOWN ON THE FRAMING PLANS - REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS AND SIZES OF OPENINGS AND REFER TO LINTEL SCHEDULES.
KEYED NOTES - ROOF
1. EXISTING 32LH JOISTS.
2. EXISTING 24H JOISTS.
LEGEND
LX INDICATES LINTEL TYPE, SEE LINTEL SCHEDULE FOR SIZE OF LINTEL. '1' PREFIX INDICATES STEEL LINTEL.

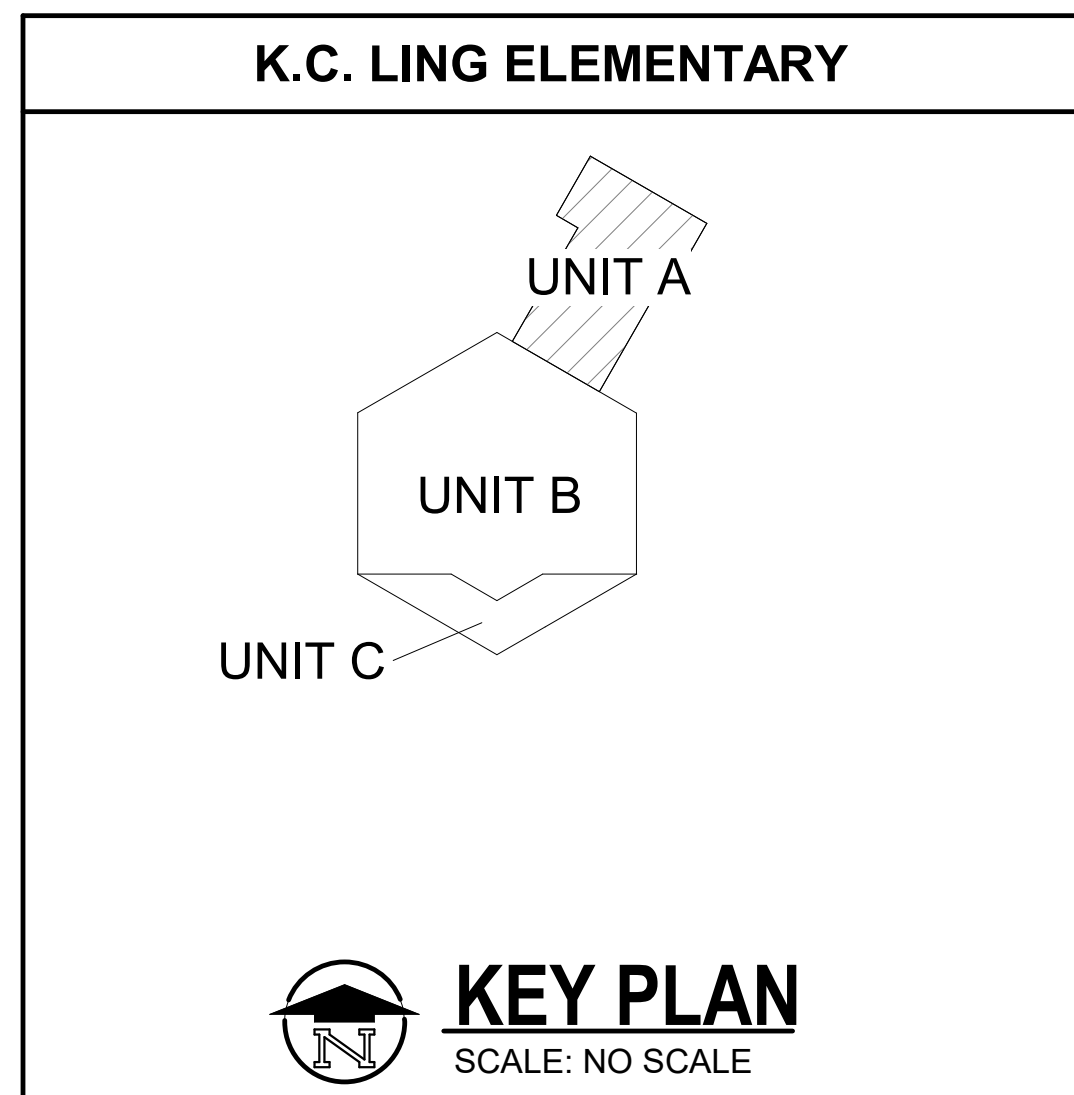


TowerPinkster Architecture · Engineering · Interiors <small>© 2022 ALL RIGHTS RESERVED</small>	ISSUED FOR	DATE
	PROJECT TITLE BID PACKAGE 1 - K.C. LING ELEMENTARY	
OWNER	HEMLOCK PUBLIC SCHOOLS	Hemlock, Michigan
SHEET TITLE	ROOF FRAMING PLAN - UNIT A	DATE DECEMBER 21, 2022
SHEET NUMBER	S 201.1A	21113.20

KEYED NOTES - DEMOLITION	
1	REMOVE EXISTING MASONRY WALL
2	REMOVE PORTION OF EXISTING WALL FOR NEW OPENING - COORDINATE WITH NEW WORK
3	REMOVE EXISTING CEILING IN ITS ENTIRETY
4	REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY
5	REMOVE EXISTING FLOORING AND ASSOCIATED ADHESIVES. PREP FLOOR FOR NEW WORK.
6	REMOVE EXISTING FLOOR SLAB AS SHOWN HATCHED. COORDINATE WITH NEW WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS.
7	REMOVE EXISTING PLUMBING FIXTURE. CAP & SEAL SERVICE AS REQUIRED. REFER TO PLUMBING DRAWINGS.
8	ALTERNATE #4: REMOVE EXISTING PLUMBING FIXTURE. CAP & SEAL SERVICE AS REQUIRED. REFER TO PLUMBING DRAWINGS.
9	REMOVE EXISTING COUNTERTOP & BACKSPLASH. COORD. WITH NEW WORK. BASE CABINET TO REMAIN.
10	REMOVE & SALVAGE EXISTING LAY-IN CEILING. REINSTALL IN NEW GRID SYSTEM. REFER TO PLUMBING DRAWINGS.
11	REMOVE & SALVAGE EXISTING BLEACHER SYSTEM FOR REINSTALLATION IN NEW WORK. REFER TO INTERIORS DRAWINGS.



FIRST FLOOR DEMOLITION PLAN - UNIT A
 1/8" = 1'-0"



ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
 DEMOLITION PLAN - UNIT A

SHEET NUMBER
AD 101.1A
 DATE
 DECEMBER 21, 2022
 21113.20

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

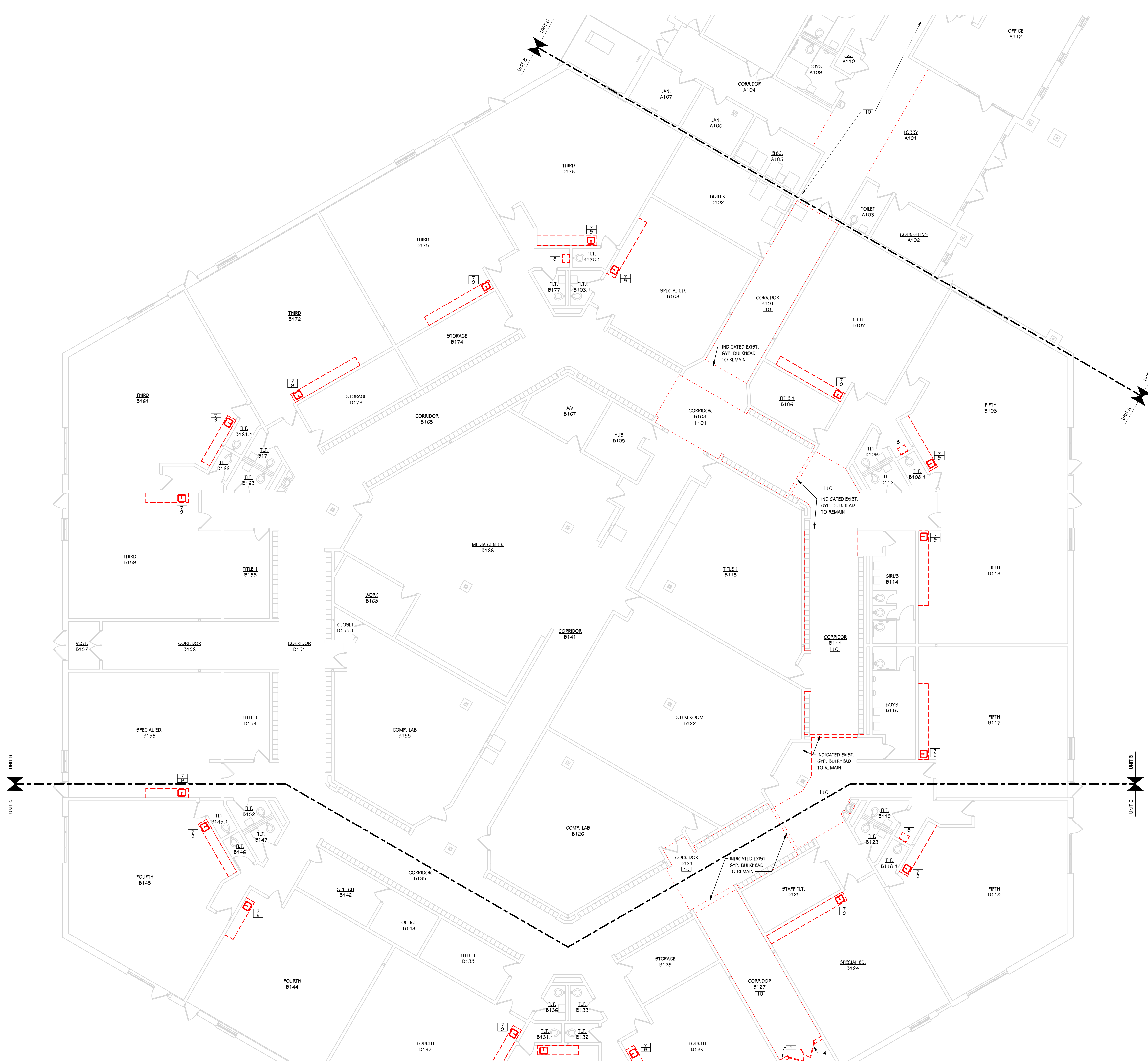
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

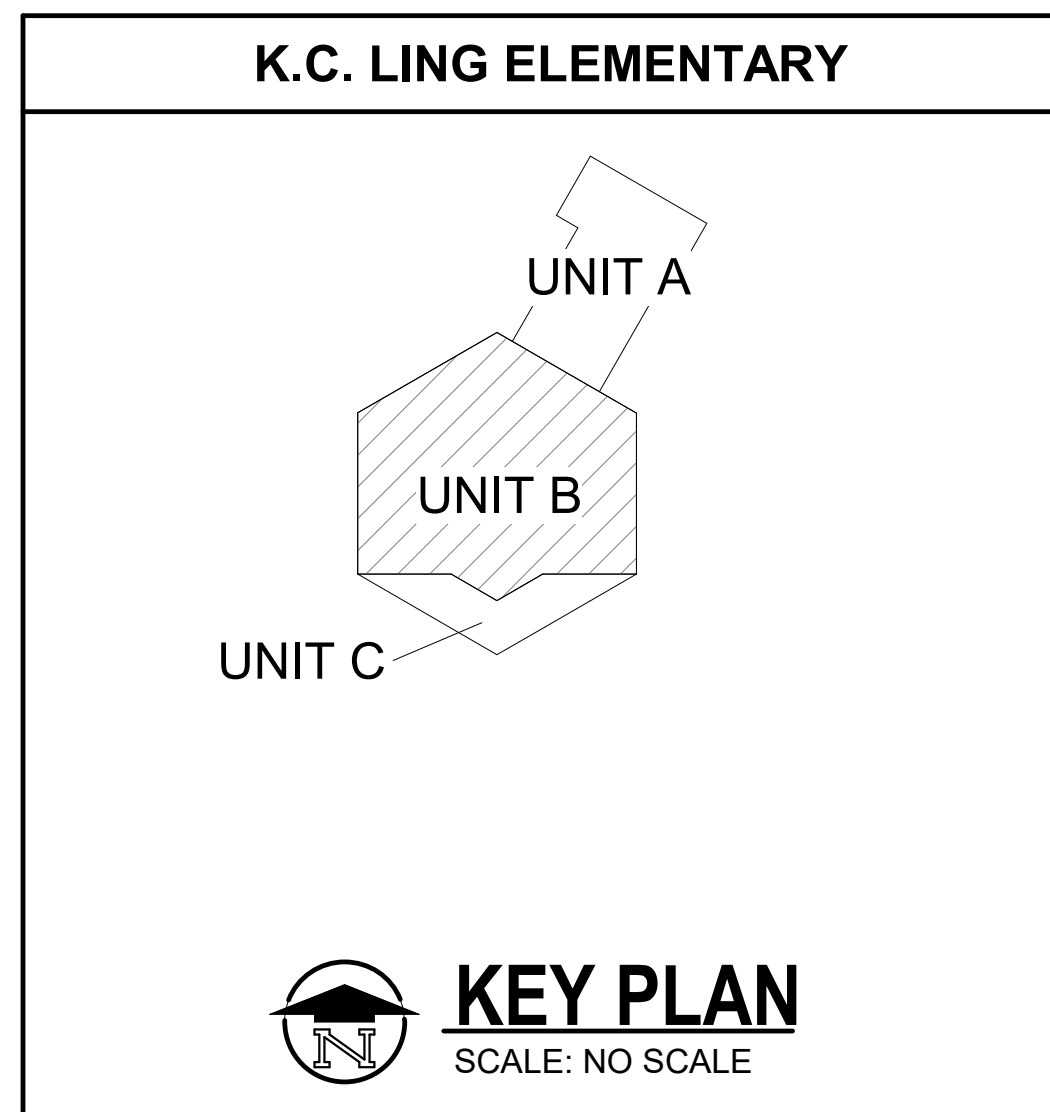
SHEET TITLE
DEMOLITION PLAN - UNIT B

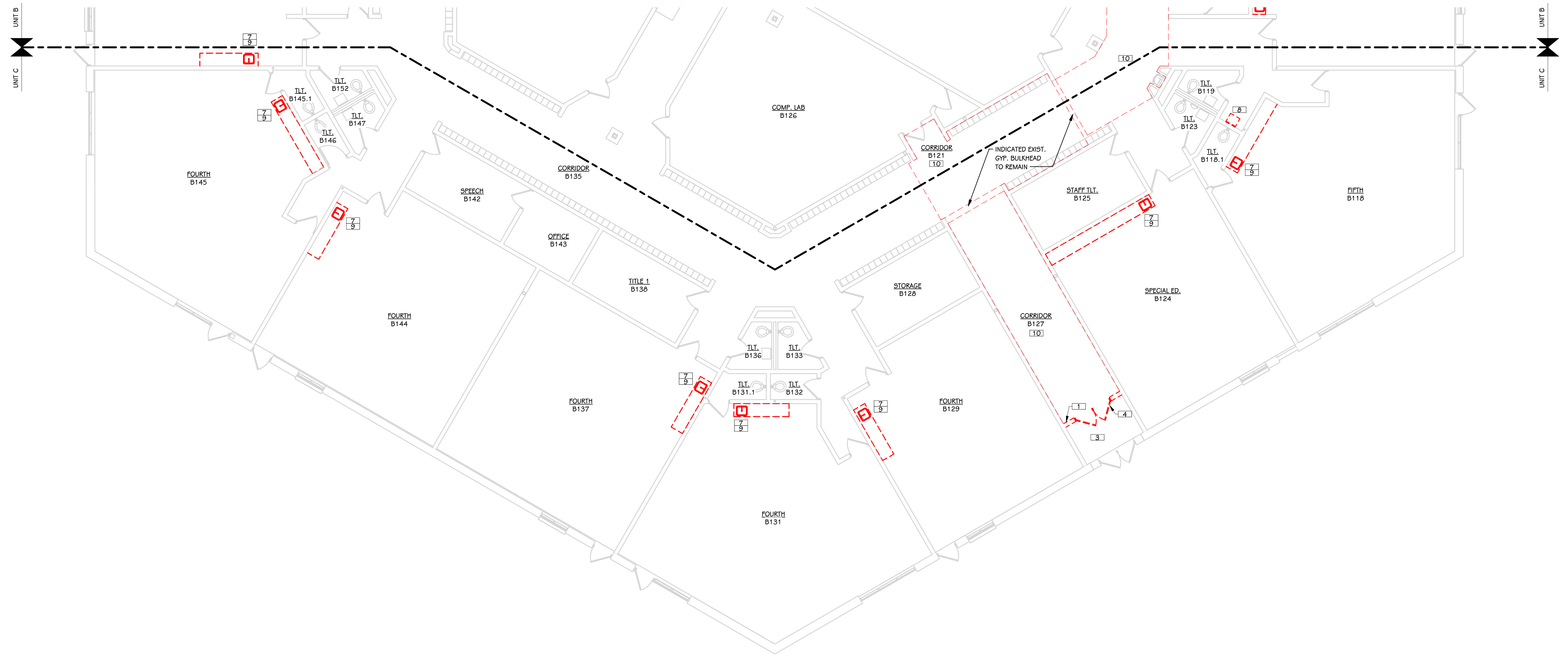
SHEET NUMBER
AD 101.1B
DATE
DECEMBER 21, 2022
21113.20

- KEYED NOTES - DEMOLITION**
- 1 REMOVE EXISTING MASONRY WALL
 - 2 REMOVE PORTION OF EXISTING WALL FOR NEW OPENING - COORDINATE WITH NEW WORK
 - 3 REMOVE EXISTING CEILING IN ITS ENTIRETY
 - 4 REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY
 - 5 REMOVE EXISTING FLOORING AND ASSOCIATED ADHESIVES. PREP FLOOR FOR NEW WORK.
 - 6 REMOVE EXISTING FLOOR SLAB AS SHOWN HATCHED. COORDINATE WITH NEW WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS.
 - 7 REMOVE EXISTING PLUMBING FIXTURE. CAP & SEAL SERVICE AS REQUIRED. REFER TO PLUMBING DRAWINGS.
 - 8 ALTERNATE #4: REMOVE EXISTING PLUMBING FIXTURE. CAP & SEAL SERVICE AS REQUIRED. REFER TO PLUMBING DRAWINGS.
 - 9 REMOVE EXISTING COUNTERTOP & BACKSPLASH. COORD. WITH NEW WORK. BASE CABINET TO REMAIN.
 - 10 REMOVE & SALVAGE EXISTING LAY-IN CEILING. REINSTALL IN NEW GRID SYSTEM. REFER TO PLUMBING DRAWINGS.
 - 11 REMOVE & SALVAGE EXISTING BLEACHER SYSTEM FOR REINSTALLATION IN NEW WORK. REFER TO INTERIORS DRAWINGS.



FIRST FLOOR DEMOLITION PLAN - UNIT B
1/8" = 1'-0"





FIRST FLOOR DEMOLITION PLAN - UNIT C
1/8" = 1'-0"

- KEYED NOTES - DEMOLITION**
- 1 REMOVE EXISTING MASONRY WALL
 - 2 REMOVE PORTION OF EXISTING WALL FOR NEW OPENING - COORDINATE WITH NEW WORK
 - 3 REMOVE EXISTING CEILING IN ITS ENTIRETY
 - 4 REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY
 - 5 REMOVE EXISTING FLOORING AND ASSOCIATED ADHESIVES. PREP FLOOR FOR NEW WORK.
 - 6 REMOVE EXISTING FLOOR SLAB AS SHOWN HATCHED. COORDINATE WITH NEW WORK. REFER TO MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS.
 - 7 REMOVE EXISTING PLUMBING FIXTURE. CAP & SEAL SERVICE AS REQUIRED. REFER TO PLUMBING DRAWINGS.
 - 8 ALTERNATE #4: REMOVE EXISTING PLUMBING FIXTURE. CAP & SEAL SERVICE AS REQUIRED. REFER TO PLUMBING DRAWINGS.
 - 9 REMOVE EXISTING COUNTERTOP & BACKSPLASH. COORD. WITH NEW WORK. BASE CABINET TO REMAIN.
 - 10 REMOVE & SALVAGE EXISTING LAY-IN CEILING. REINSTALL IN NEW GRID SYSTEM. REFER TO PLUMBING DRAWINGS.
 - 11 REMOVE & SALVAGE EXISTING BLEACHER SYSTEM FOR REINSTALLATION IN NEW WORK. REFER TO INTERIORS DRAWINGS.

ISSUED FOR _____ DATE _____

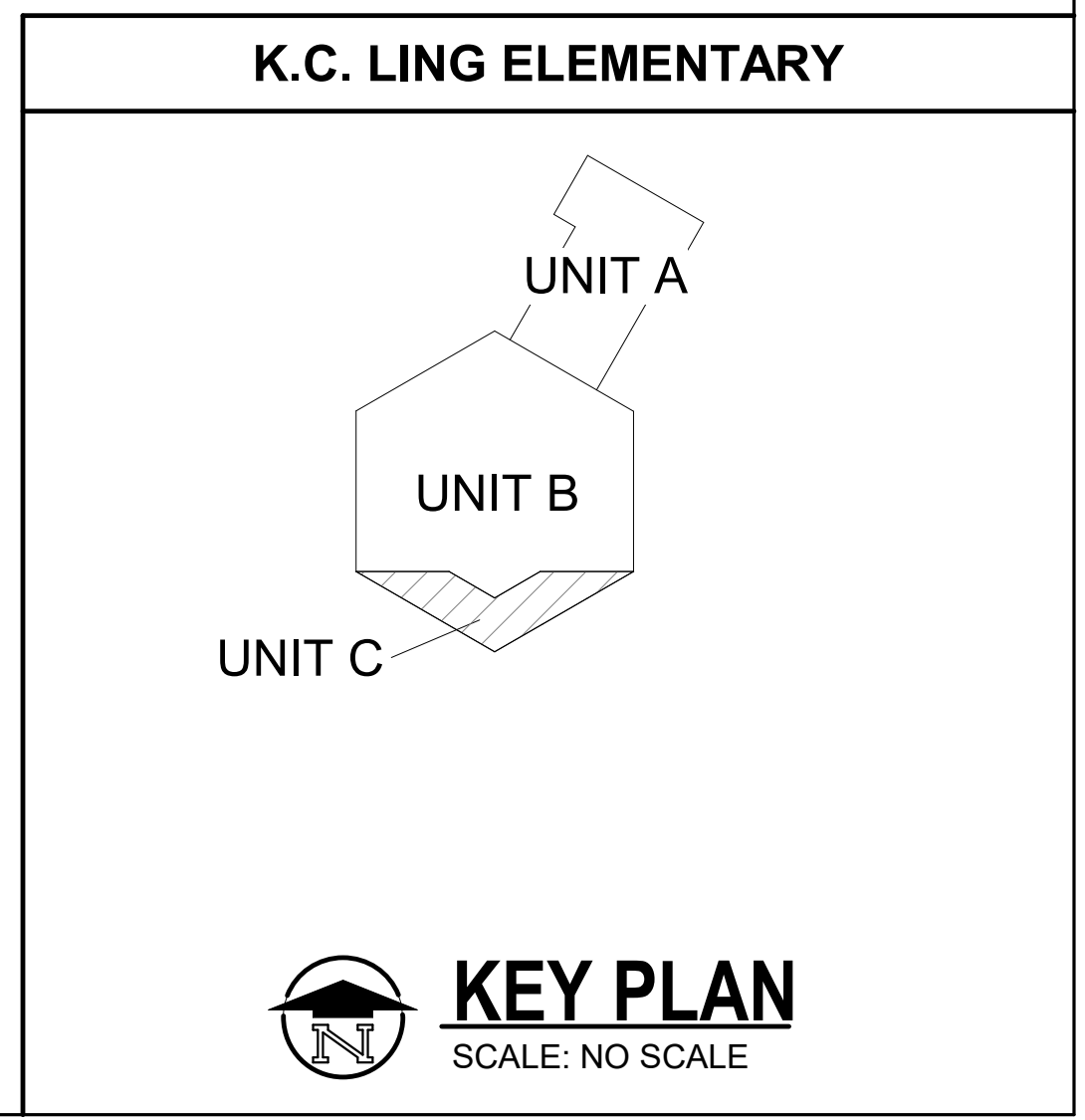
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

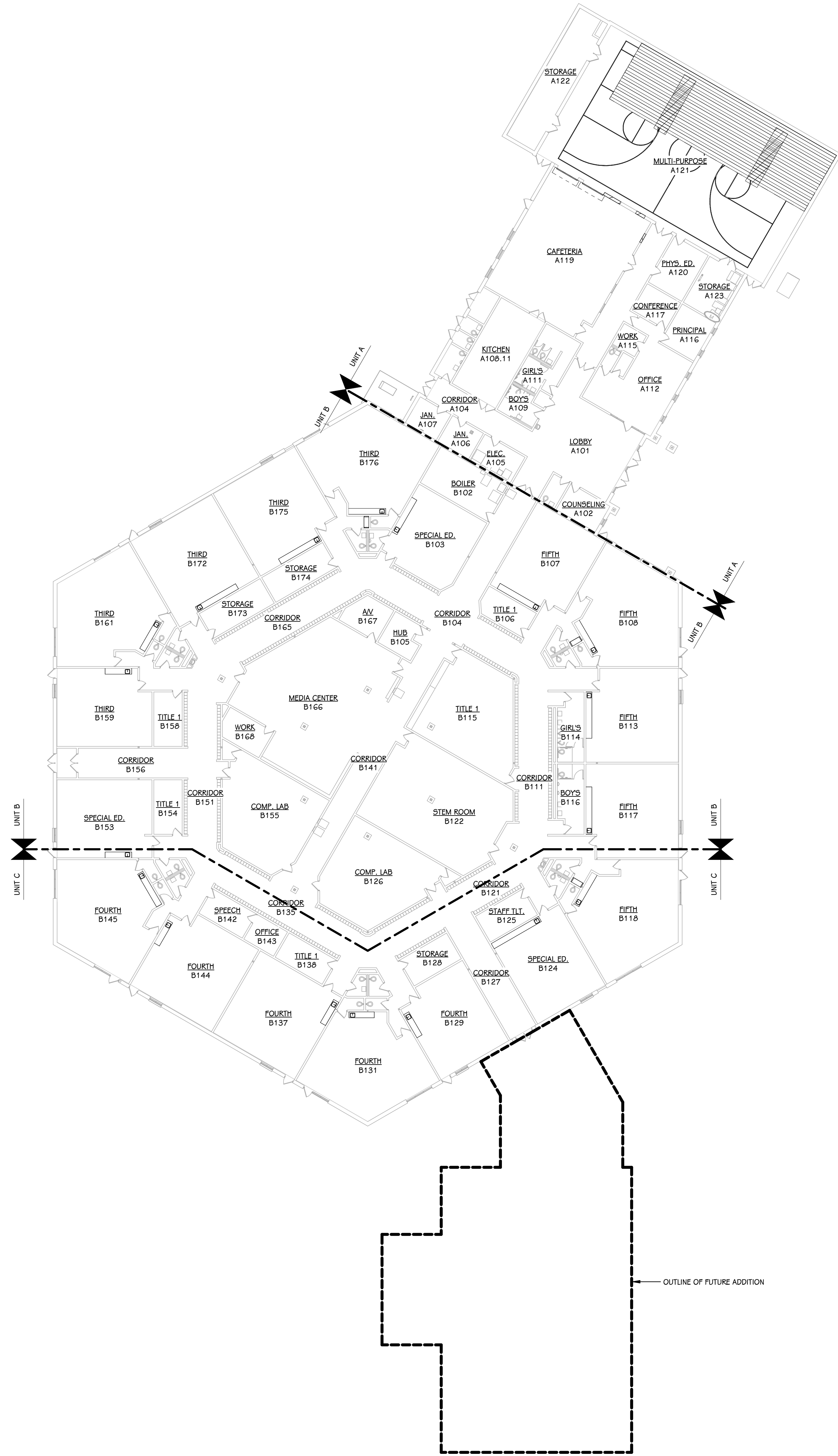
SHEET TITLE
DEMOLITION PLAN - UNIT C

SHEET NUMBER
AD 101.1C
DATE
DECEMBER 21, 2022
21113.20

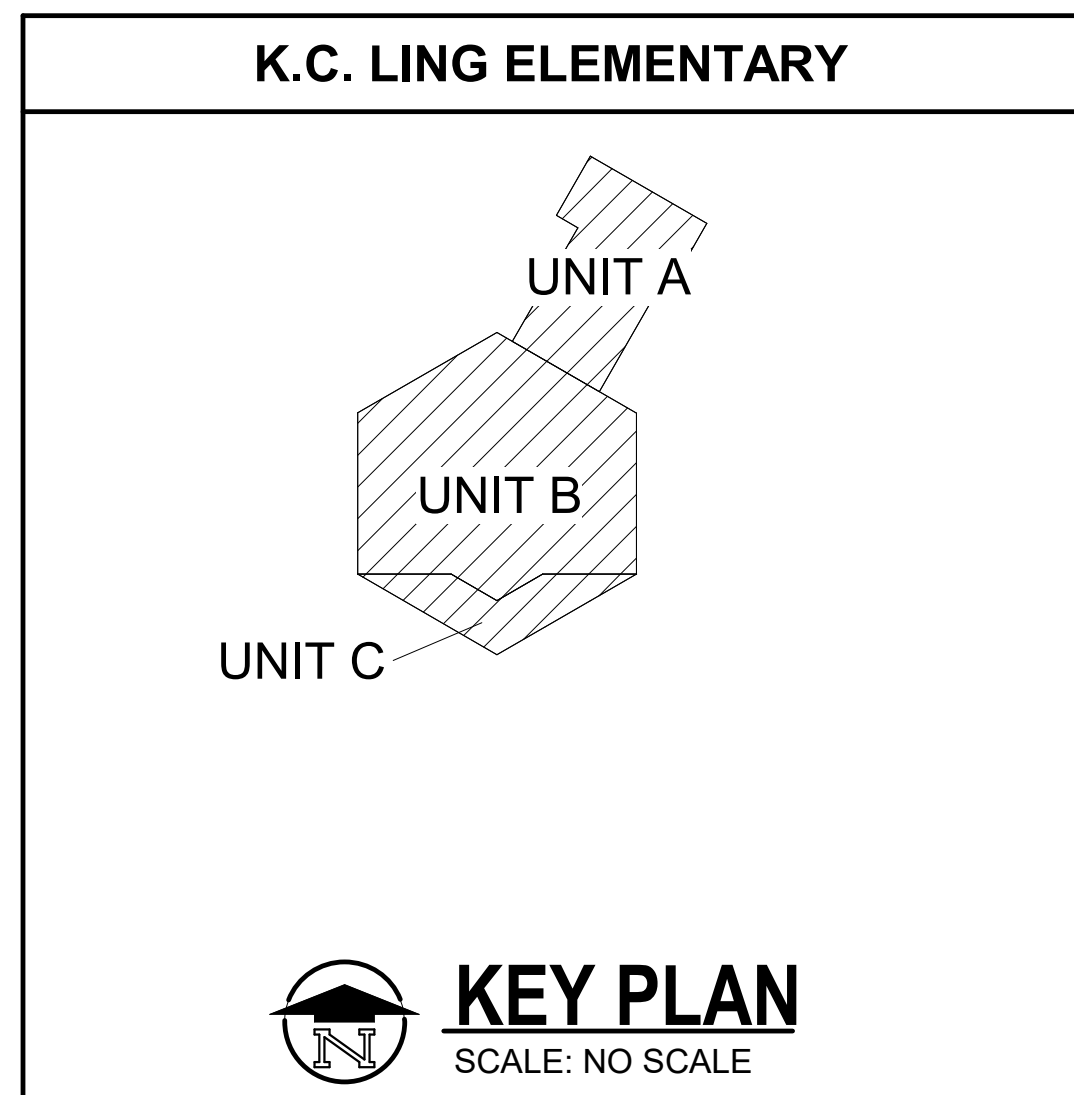


GENERAL NOTES

1. REFER TO CODE COMPLIANCE PLAN FOR WALL RATING LINES.
2. REFER TO FLOOR FINISH PLANS FOR INTERIOR ELEVATION CALLOUTS.
3. REFER TO SHEET A 501 FOR WALL AND CEILING ACCESS PANEL INFORMATION.



OVERALL FIRST FLOOR PLAN
 1" = 20'-0"



SHEET TITLE
 OVERALL FIRST FLOOR PLAN

OWNER
 HEMLOCK PUBLIC SCHOOLS

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

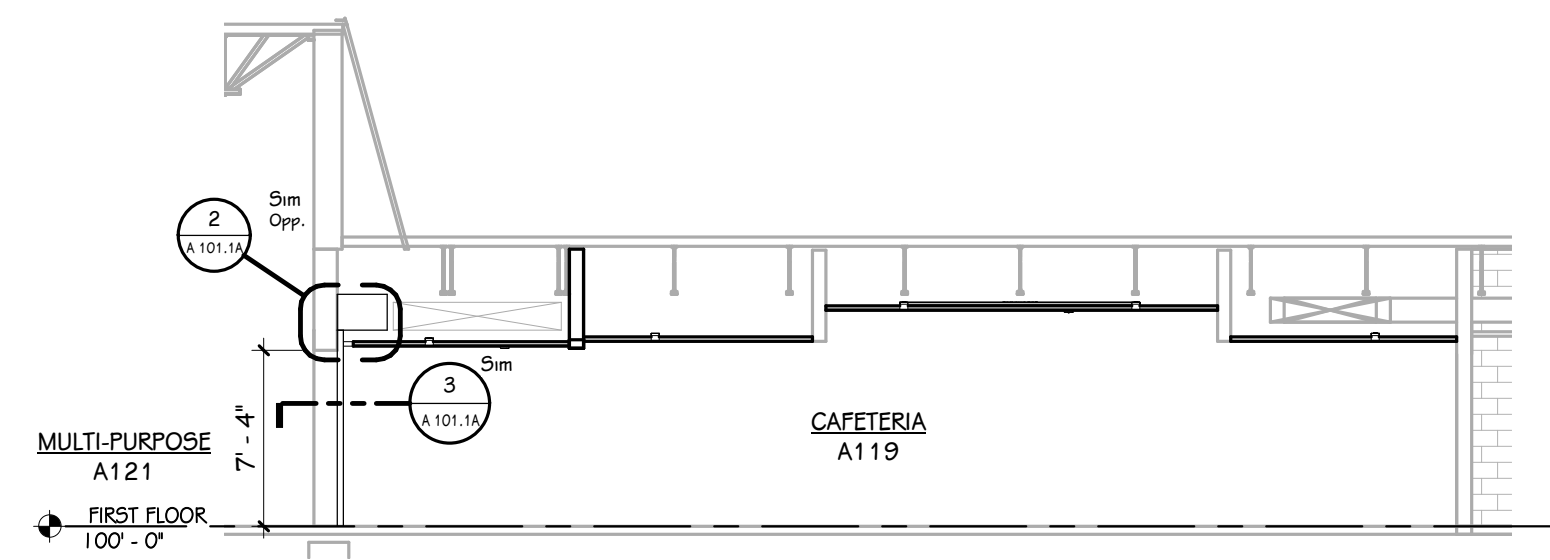
DATE
 DECEMBER 21, 2022

OWNER
 Hemlock, Michigan

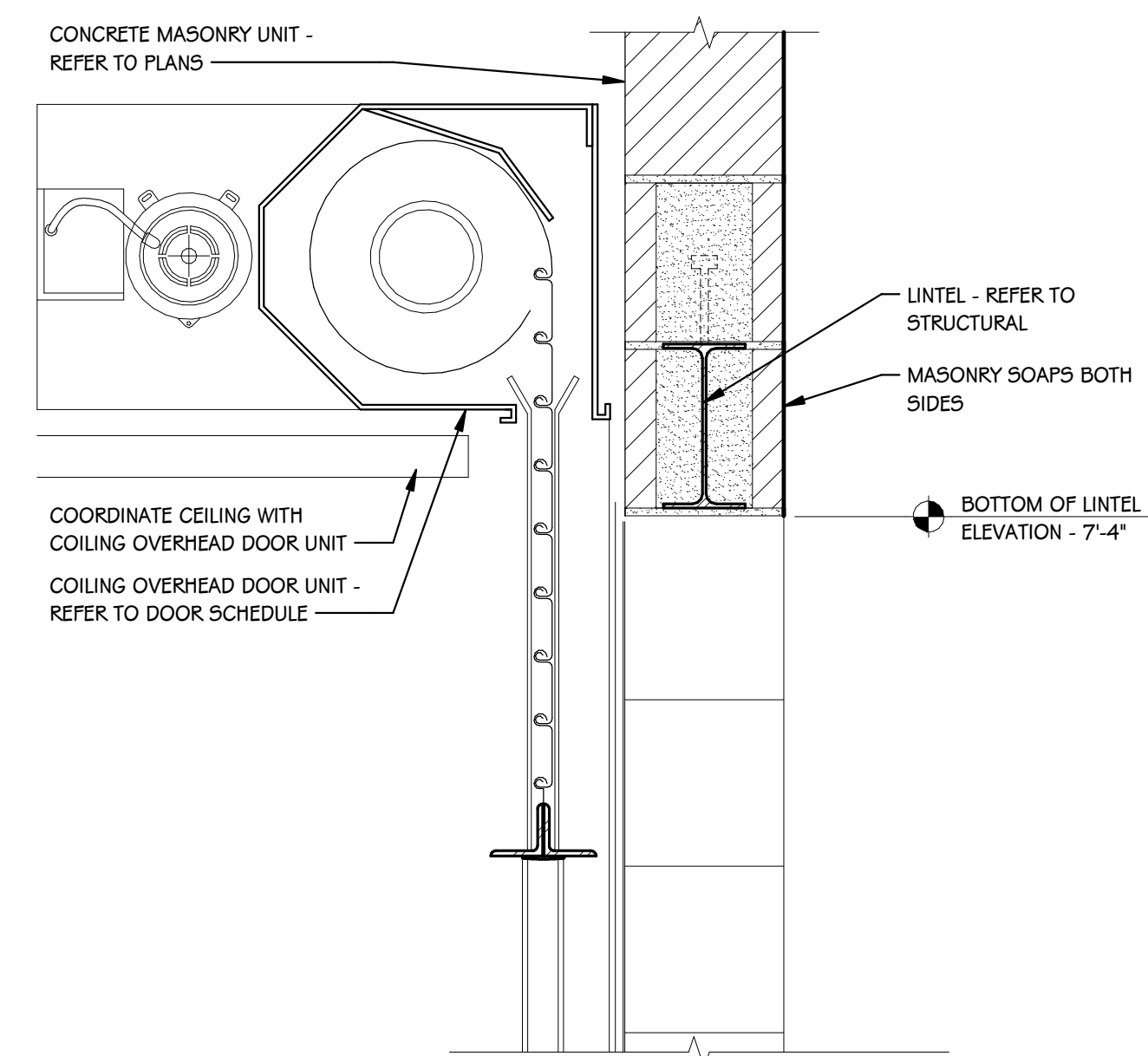
SHEET NUMBER
A 101.1
 21113.20

ISSUED FOR
 DATE

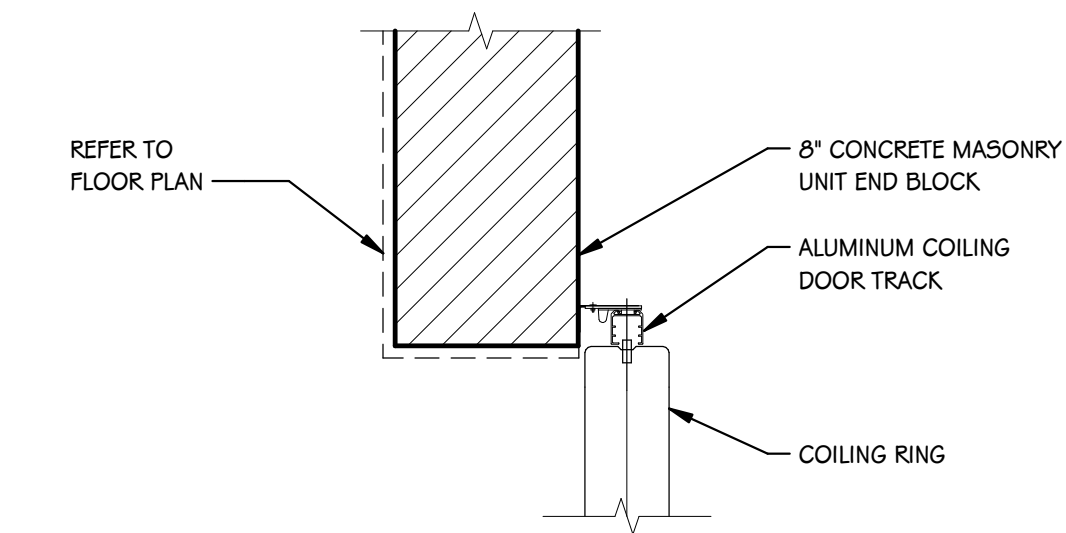
- KEYED NOTES - NEW CONSTRUCTION**
- 1 PATCH AND REPAIR WALL AT AREA OF DEMOLITION AS REQUIRED TO MATCH ADJACENT. MASONRY TO BE TOOTHED-IN U.N.O.
 - 2 PLUMBING FIXTURE. REFER TO PLUMBING DRAWINGS.
 - 3 NEW COUNTERTOP. REFER TO INTERIORS DRAWINGS.
 - 4 ALTERNATE #4: NEW CASEWORK. REFER TO INTERIORS DRAWINGS.
 - 5 REINSTALL EXISTING BLEACHER SYSTEM, COORDINATE WITH NEW WORK. REFER TO INTERIORS DRAWINGS.



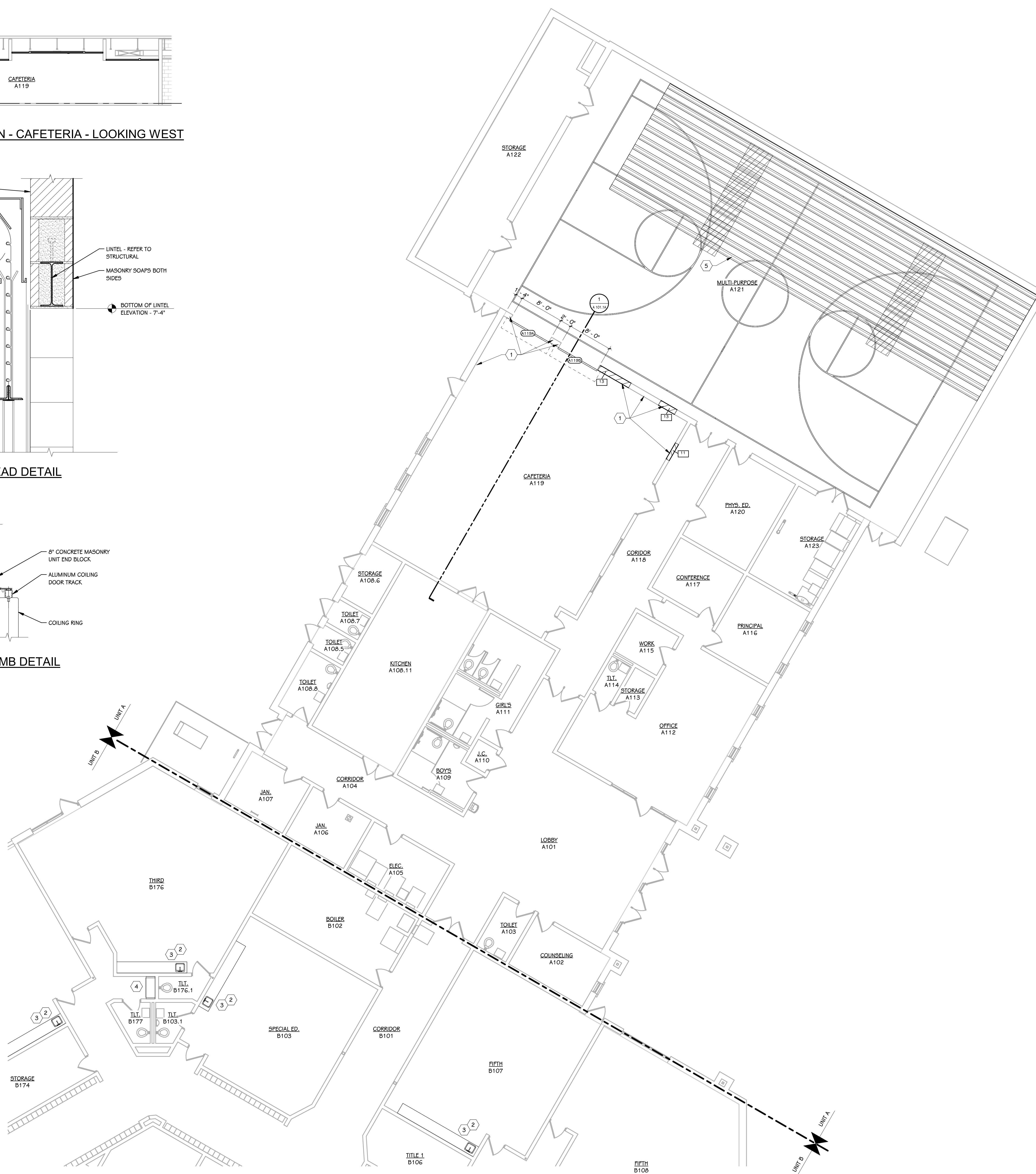
1 BUILDING SECTION - CAFETERIA - LOOKING WEST
 1/8" = 1'-0"



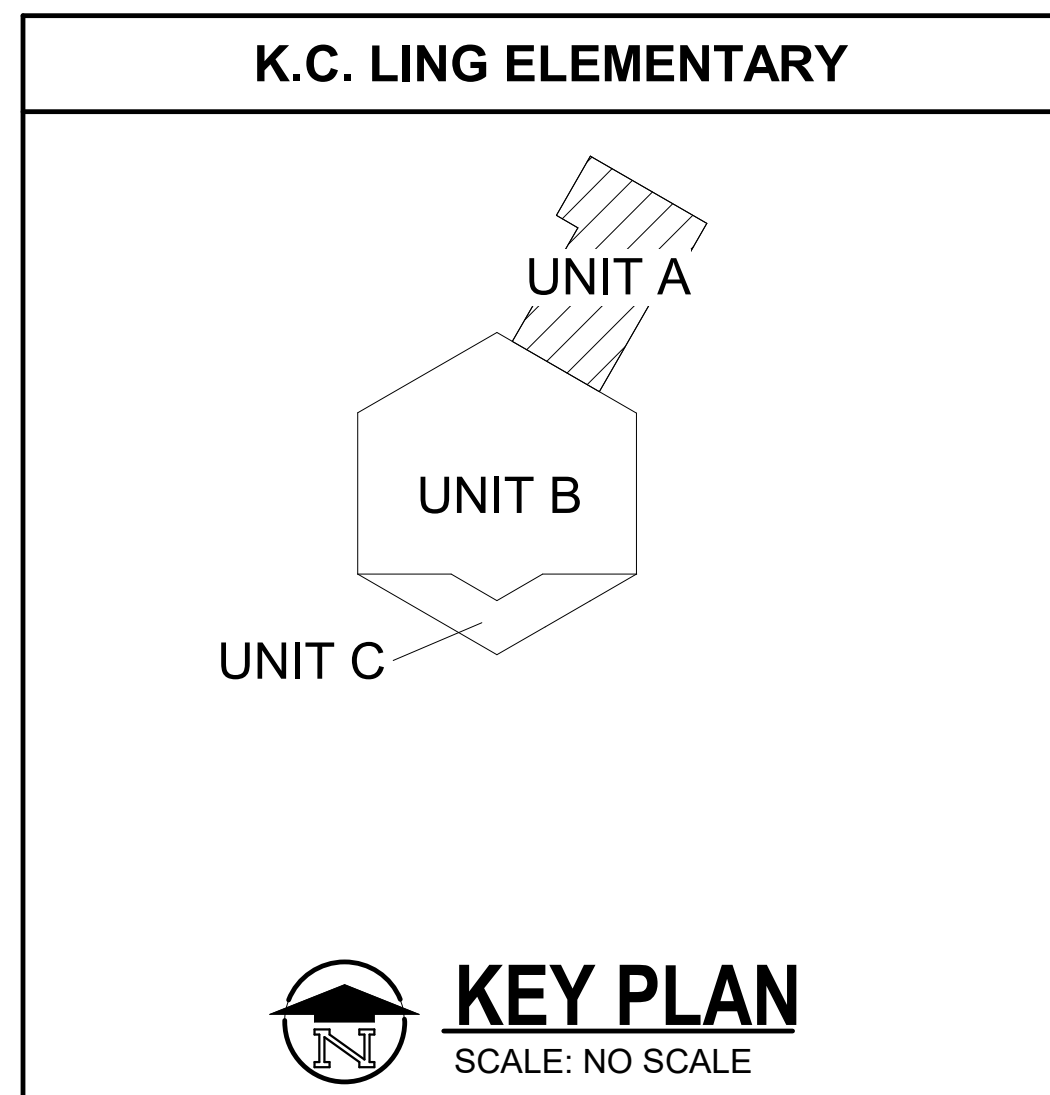
2 COILING DOOR HEAD DETAIL
 1 1/2" = 1'-0"



3 COILING DOOR JAMB DETAIL
 1 1/2" = 1'-0"



FIRST FLOOR PLAN - UNIT A
 1/8" = 1'-0"



KEY PLAN
 SCALE: NO SCALE

ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

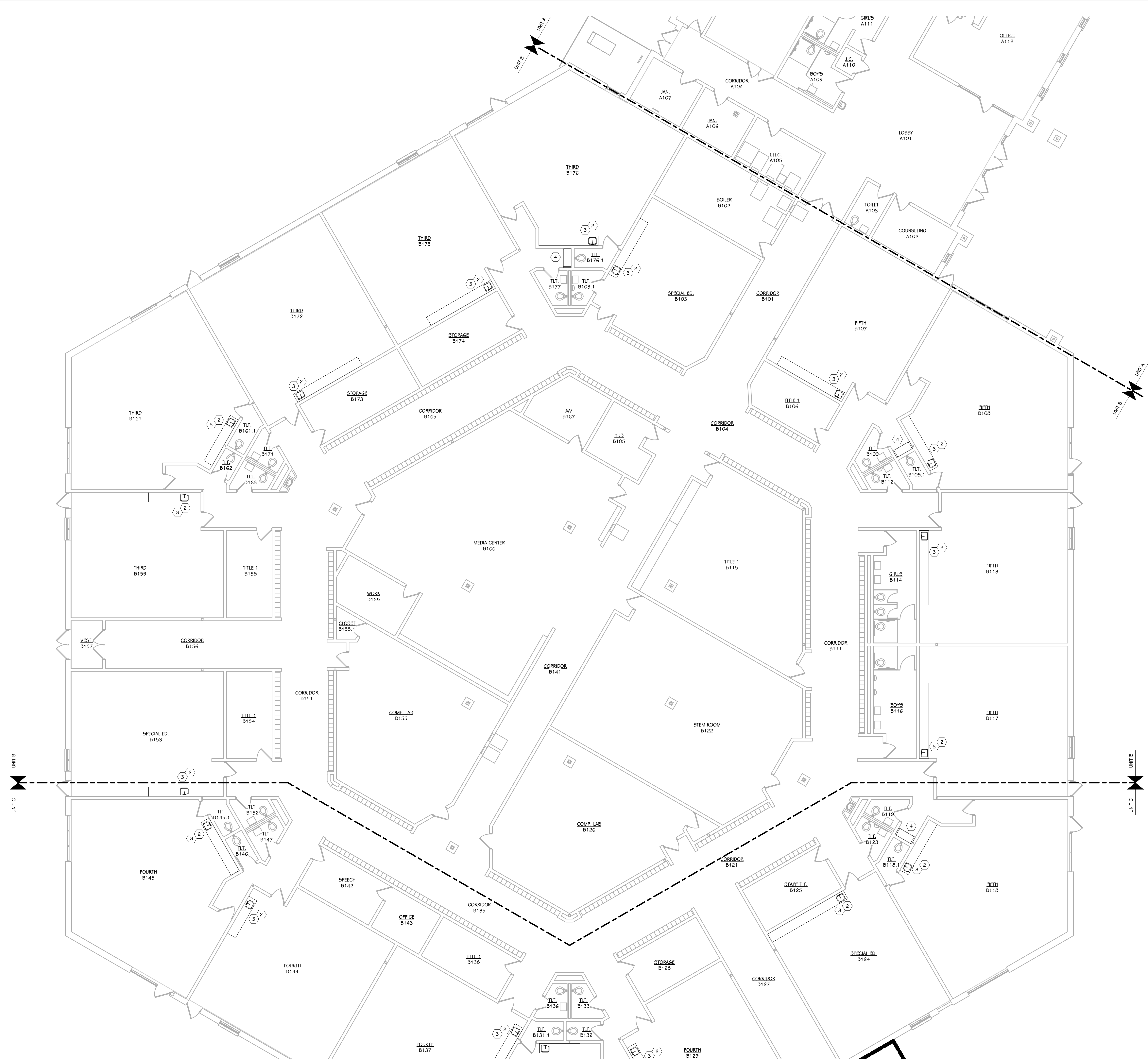
OWNER
 HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

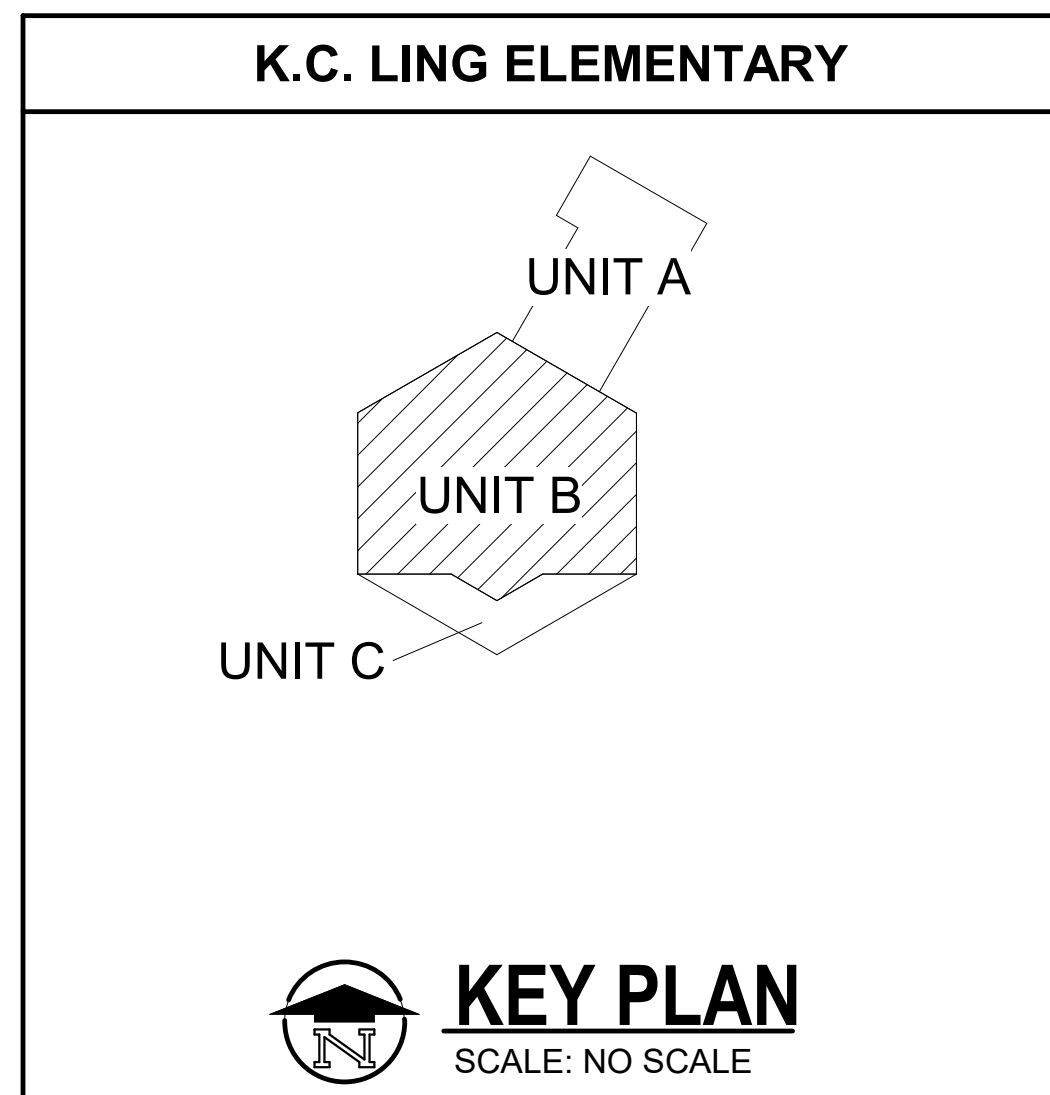
SHEET TITLE
 FIRST FLOOR PLAN - UNIT A

SHEET NUMBER
A 101.1A
 DATE
 DECEMBER 21, 2022
 21113.20

KEYED NOTES - NEW CONSTRUCTION	
1	PATCH AND REPAIR WALL AT AREA OF DEMOLITION AS REQUIRED TO MATCH ADJACENT MASONRY TO BE TOOTHED-IN U.N.O.
2	PLUMBING FIXTURE. REFER TO PLUMBING DRAWINGS.
3	NEW COUNTERTOP. REFER TO INTERIORS DRAWINGS.
4	ALTERNATE #4: NEW CASEWORK. REFER TO INTERIORS DRAWINGS.
5	REINSTALL EXISTING BLEACHER SYSTEM, COORDINATE WITH NEW WORK. REFER TO INTERIORS DRAWINGS.



FIRST FLOOR PLAN - UNIT B
1/8" = 1'-0"



ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

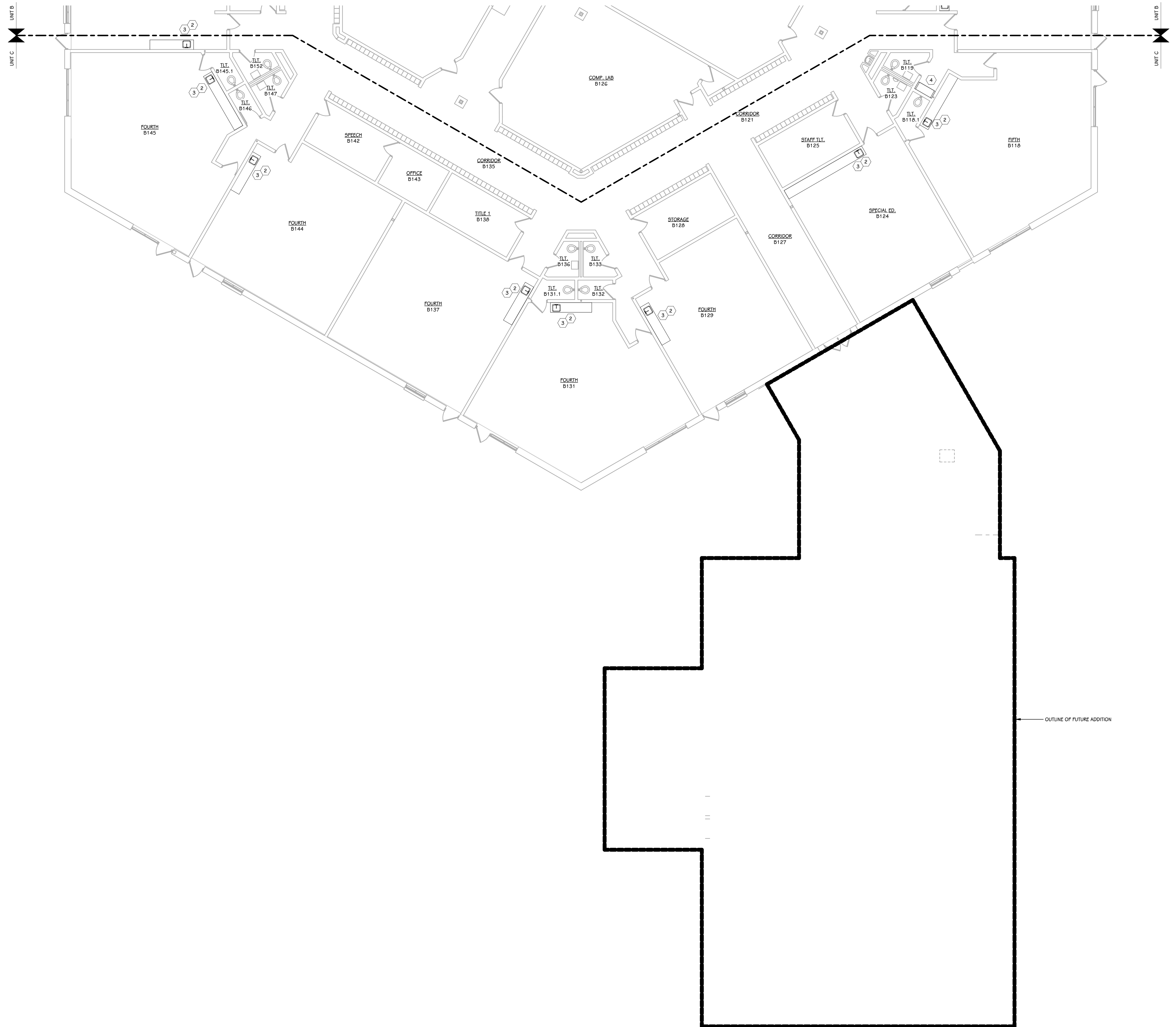
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR PLAN - UNIT B

SHEET NUMBER
A 101.1B
DATE
DECEMBER 21, 2022
21113.20

KEYED NOTES - NEW CONSTRUCTION	
1	PATCH AND REPAIR WALL AT AREA OF DEMOLITION AS REQUIRED TO MATCH ADJACENT. MASONRY TO BE TOOTHED-IN U.N.O.
2	PLUMBING FIXTURE. REFER TO PLUMBING DRAWINGS.
3	NEW COUNTERTOP. REFER TO INTERIORS DRAWINGS.
4	ALTERNATE #4: NEW CASEWORK. REFER TO INTERIORS DRAWINGS.
5	REINSTALL EXISTING BLEACHER SYSTEM, COORDINATE WITH NEW WORK. REFER TO INTERIORS DRAWINGS.



ISSUED FOR _____ DATE _____

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

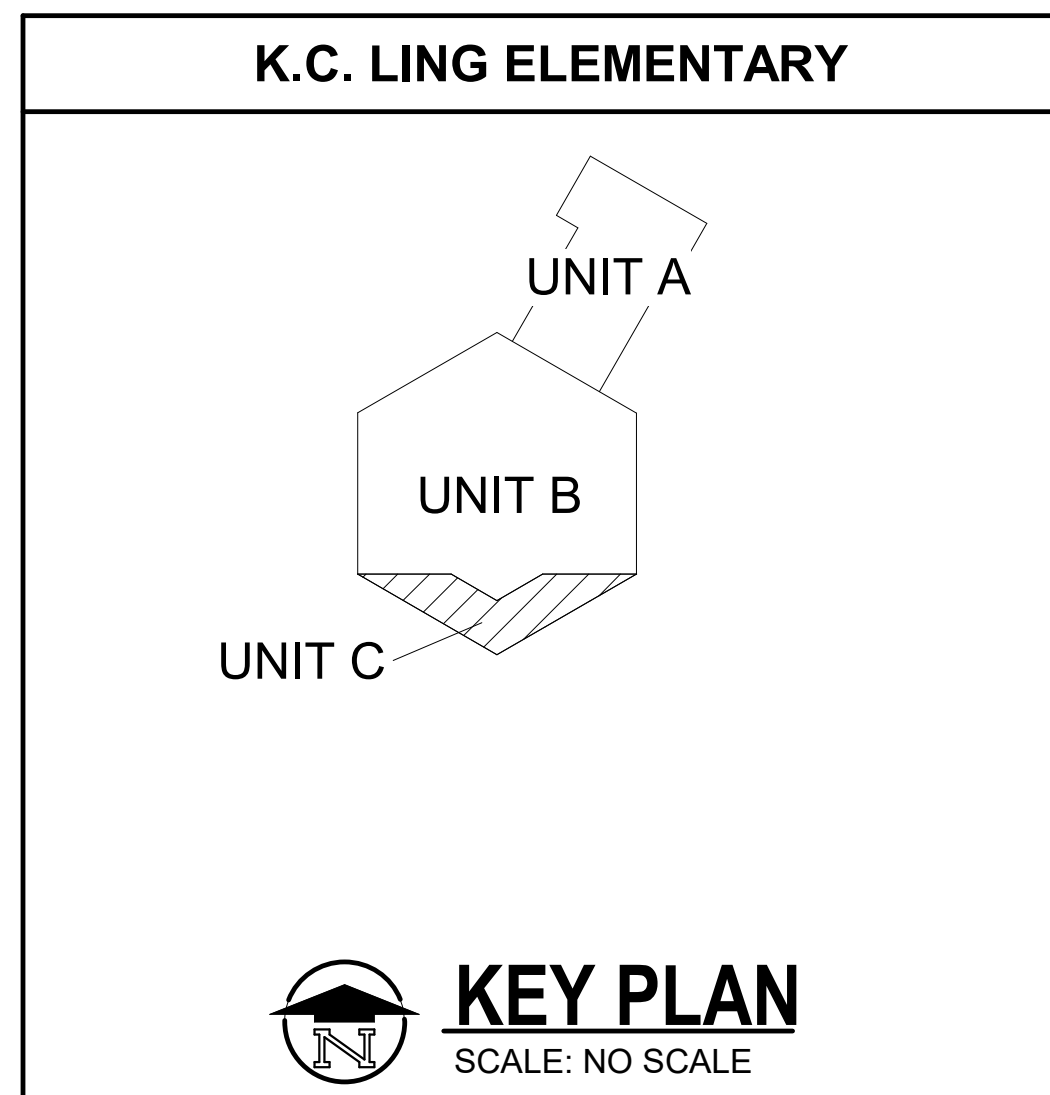
Hemlock, Michigan

SHEET TITLE
 FIRST FLOOR PLAN - UNIT C

SHEET NUMBER
A 101.1C
 21113.20

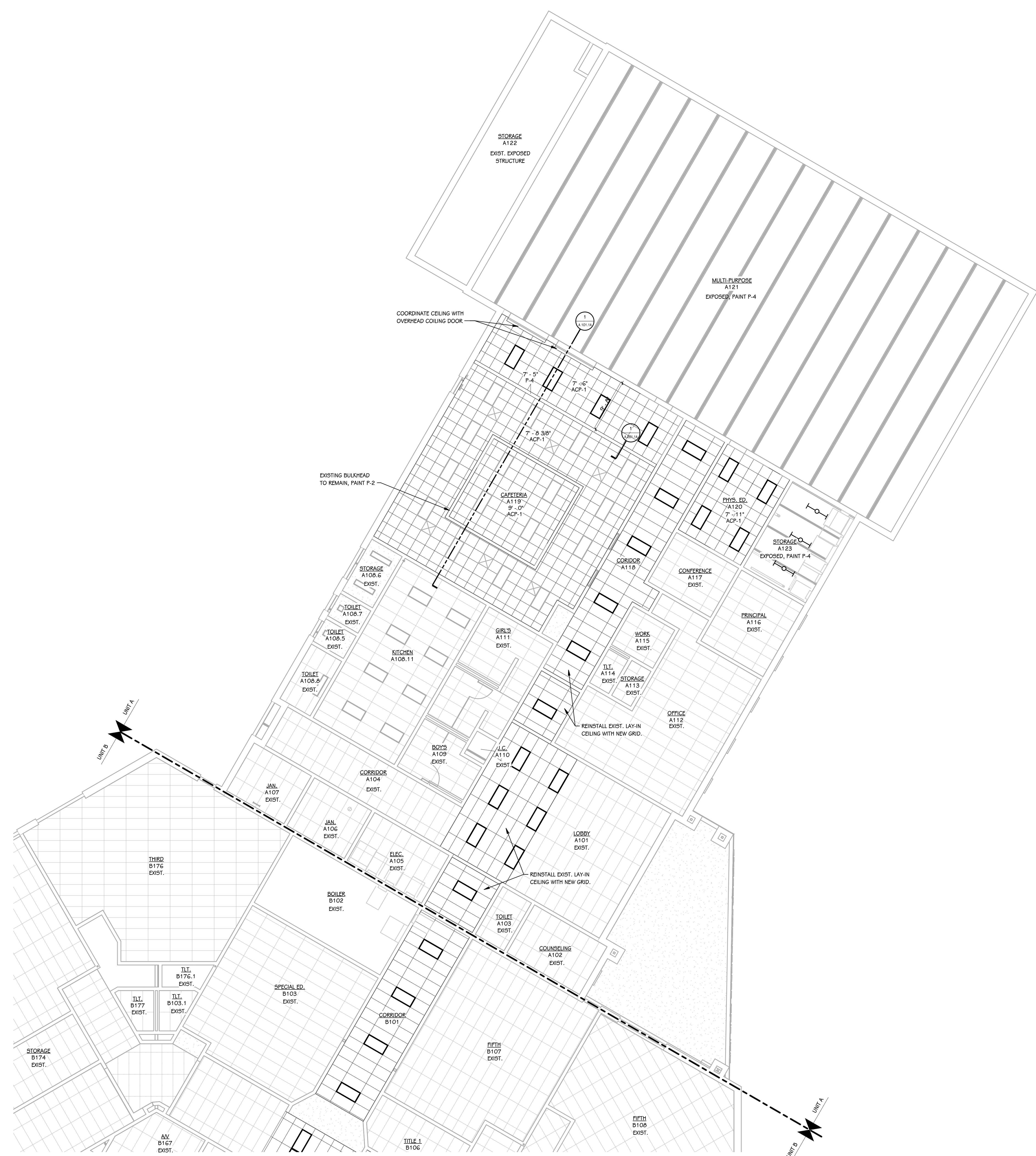
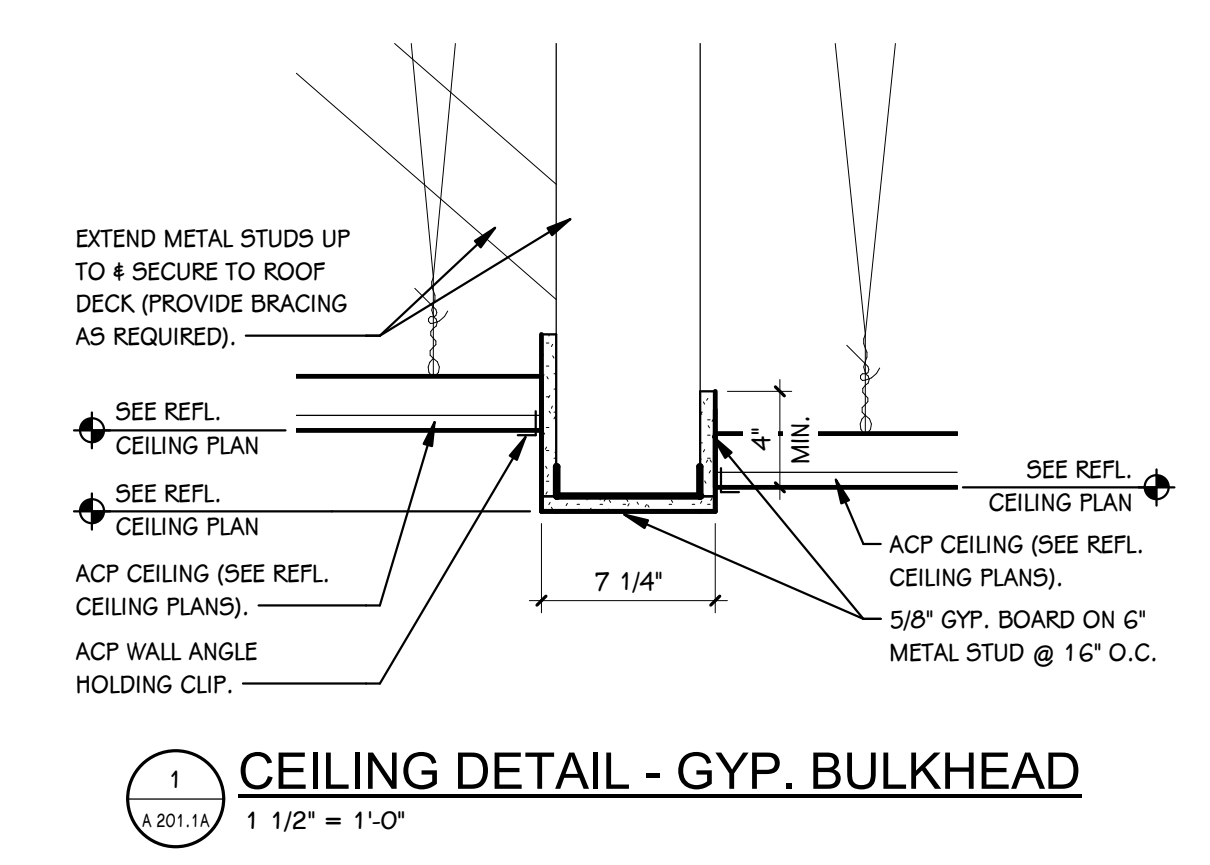
DATE
 DECEMBER 21, 2022

FIRST FLOOR PLAN - UNIT C
 1/8" = 1'-0"

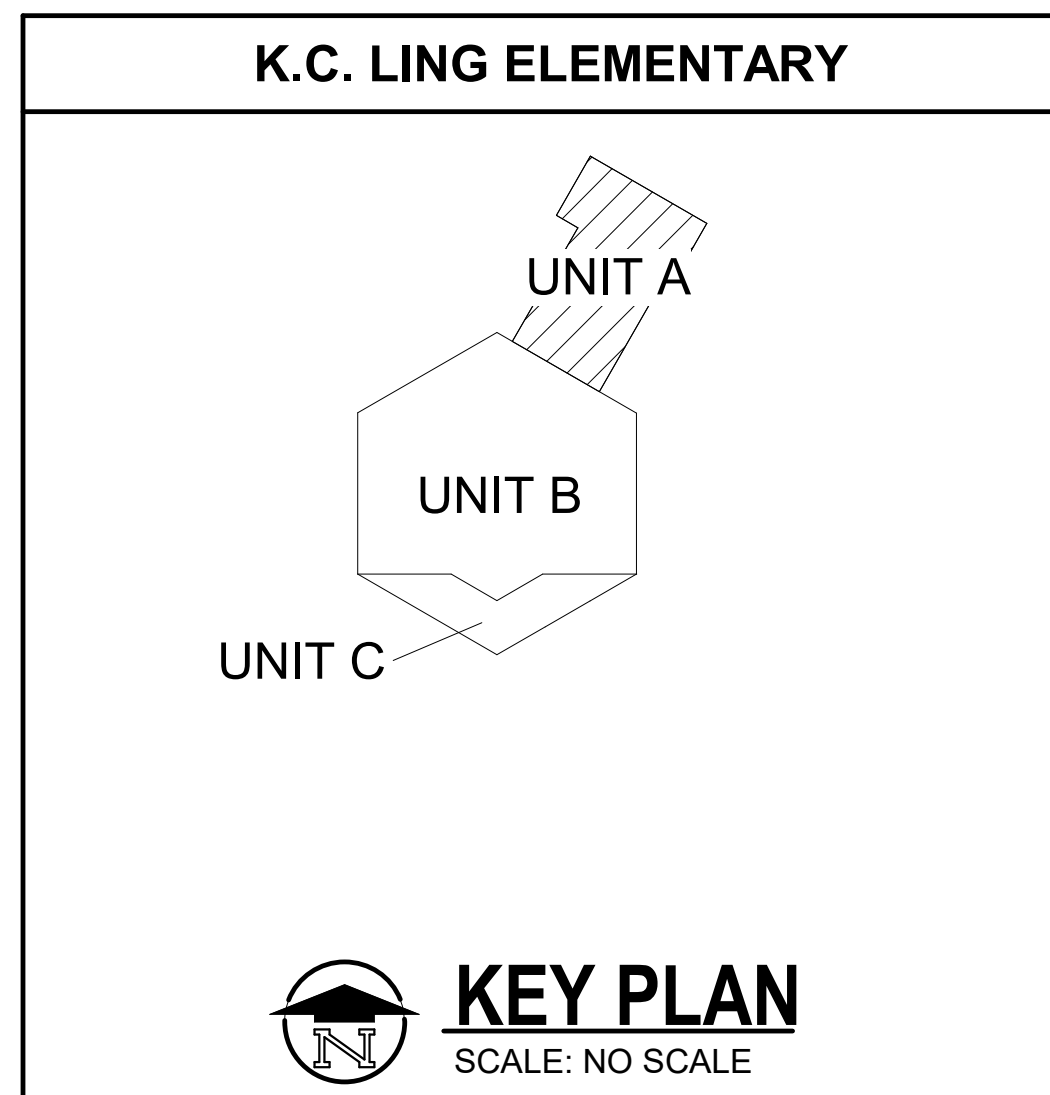


REFLECTED CEILING KEY	
	GYPSUM BOARD (PAINTED P-#)
	ACP-1: 2X2 LAY-IN ACOUSTICAL TILE GRID
	ACP-2: 2X4 LAY-IN ACOUSTICAL TILE GRID
	LIGHTING - REFER TO ELECTRICAL LIGHTING PLAN
	MECHANICAL - REFER TO MECHANICAL SHEET METAL PLAN

GENERAL NOTES - REFLECTED CEILINGS	
1.	WHERE CEILING TILE IS LESS THAN 3" AT PERIMETER OF ROOM PROVIDE A CUT 2x4 TILE IN LIEU OF FULL 2x2 TILE AND SMALL PIECE OF TILE OR DOUBLE GRID - MATCH 2x2 FOR STYLE AND COLOR.
2.	AT AREAS OF EXPOSED CEILING PAINT ALL STRUCTURE, DUCTWORK, PIPING, CONDUIT, HANGERS ETC., COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS. REFER TO THE REFLECTED CEILING PLANS FOR PAINT COLORS.



FIRST FLOOR REFLECTED CEILING PLAN - UNIT A
1/8" = 1'-0"



ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR REFLECTED CEILING PLAN - UNIT A

SHEET NUMBER
A 201.1A
21113.20

DATE
DECEMBER 21, 2022

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR REFLECTED CEILING
PLAN - UNIT B

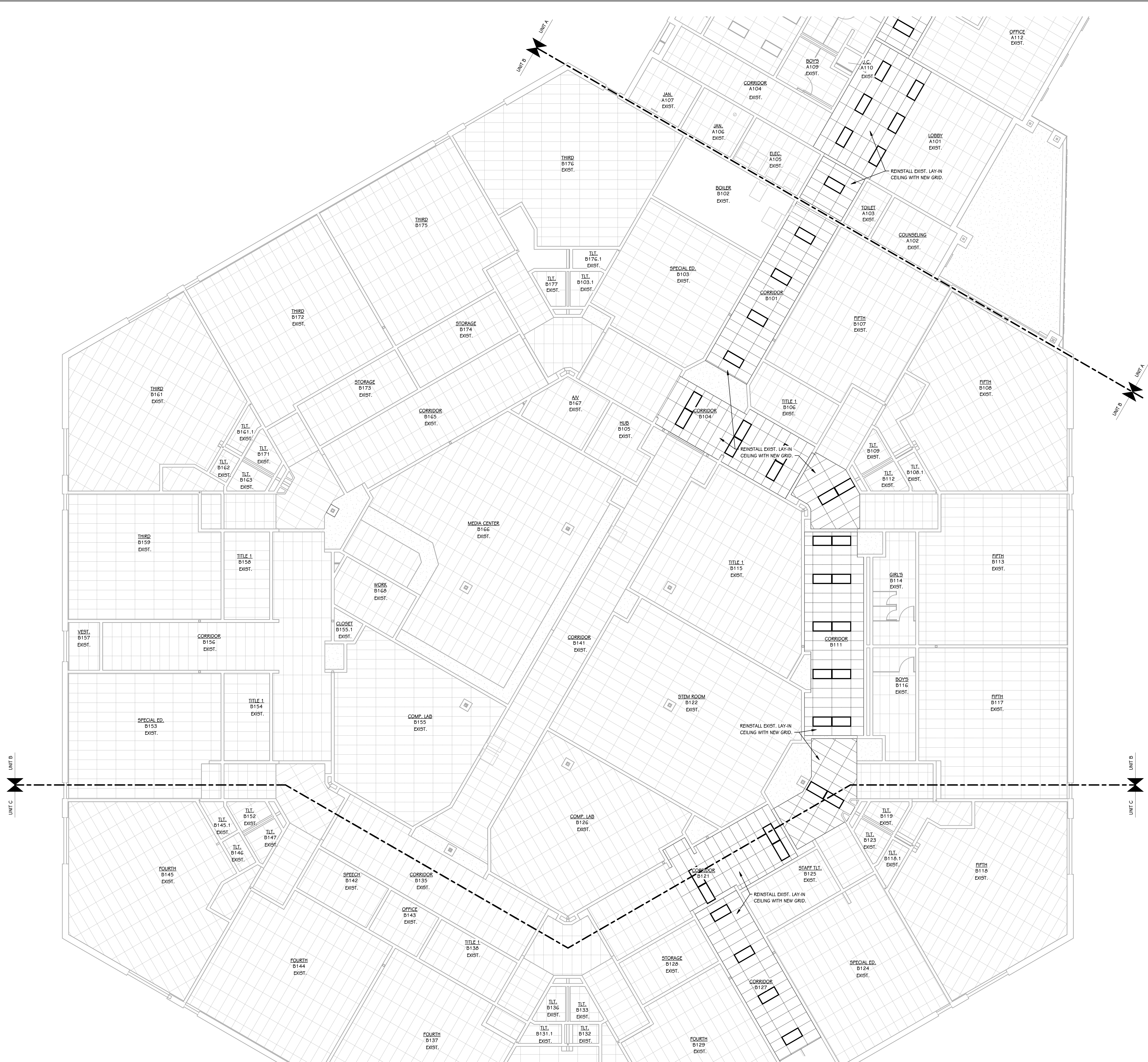
SHEET NUMBER
A 201.1B
DATE
DECEMBER 21, 2022
21113.20

REFLECTED CEILING KEY

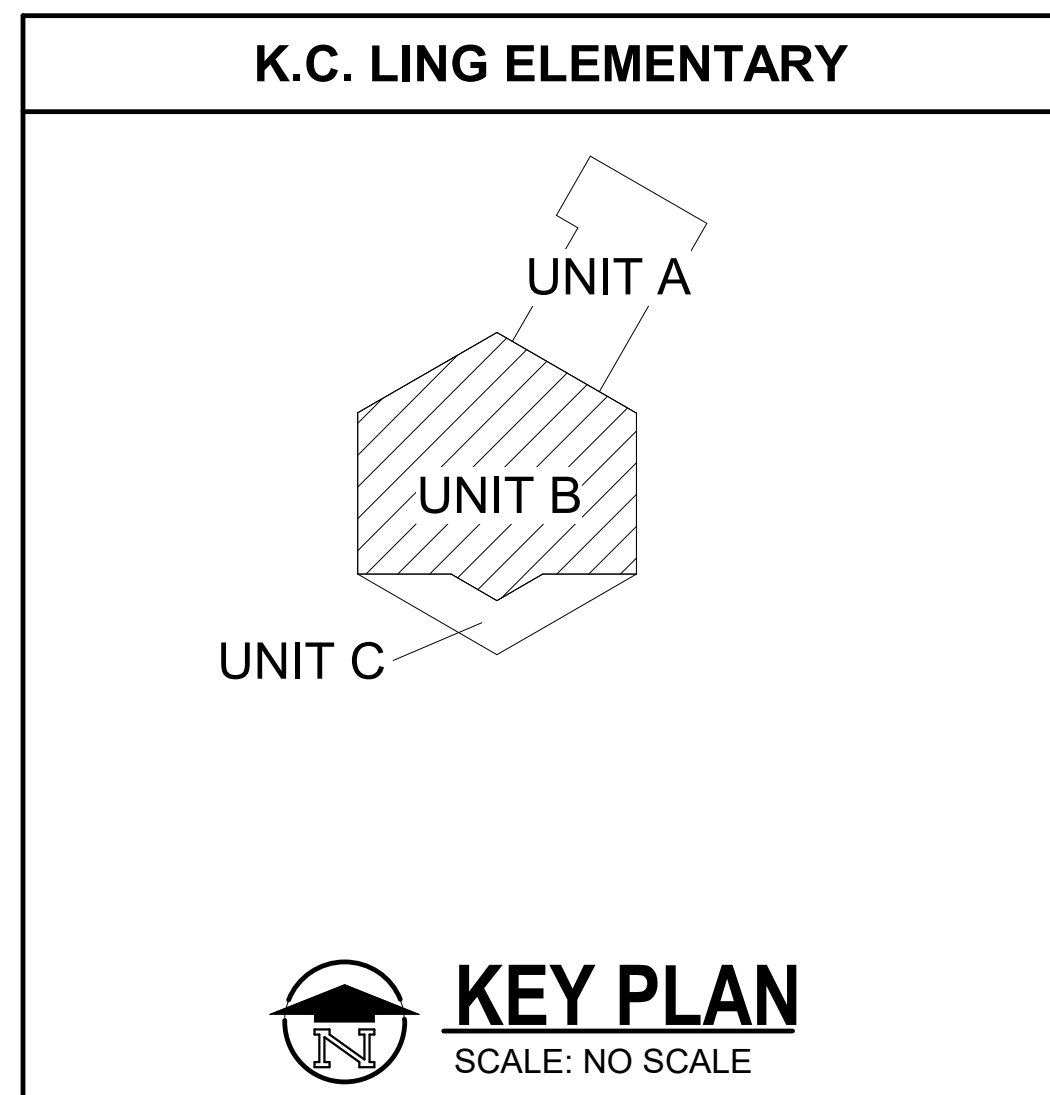
- GYPSUM BOARD (PAINTED P-F)
- ACP-1: 2X2 LAY-IN ACOUSTICAL TILE GRID
- ACP-2: 2X4 LAY-IN ACOUSTICAL TILE GRID
- LIGHTING - REFER TO ELECTRICAL LIGHTING PLAN
- MECHANICAL - REFER TO MECHANICAL SHEET METAL PLAN

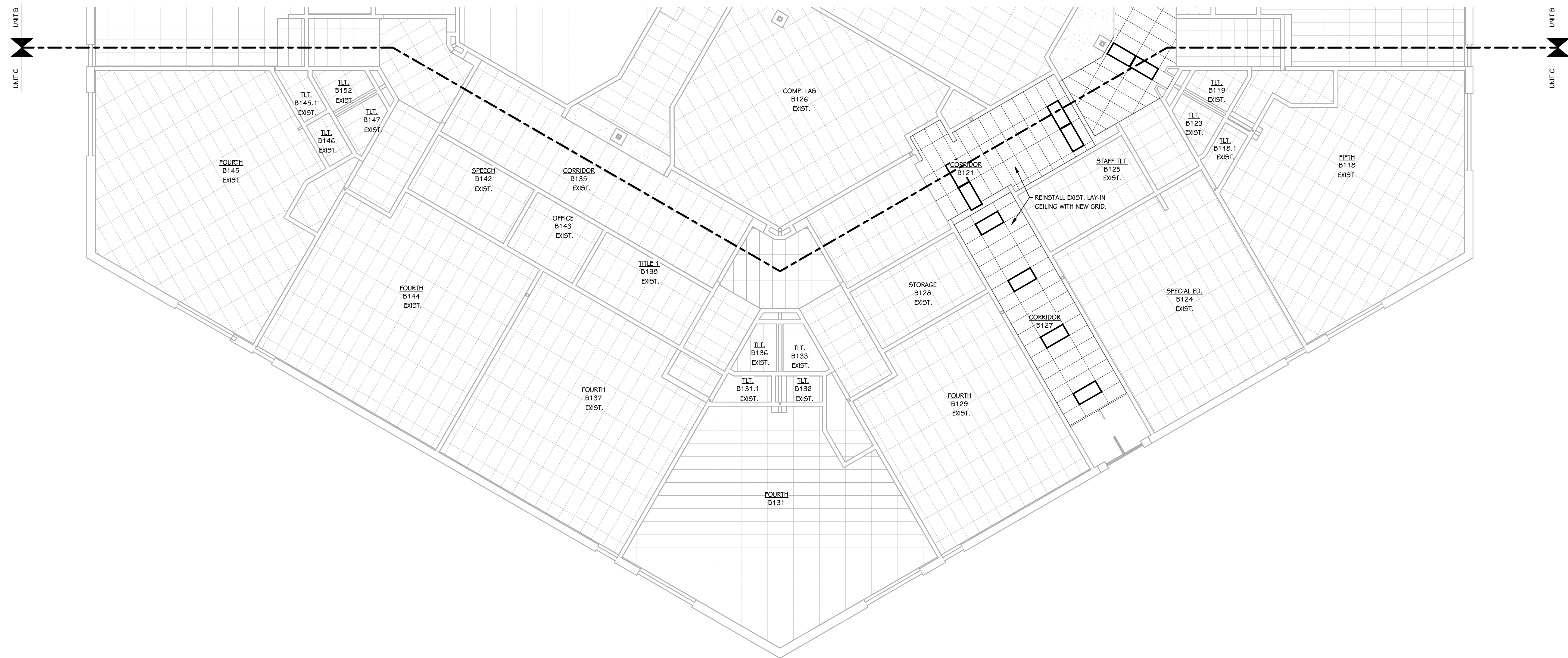
GENERAL NOTES - REFLECTED CEILINGS

- WHERE CEILING TILE IS LESS THAN 3" AT PERIMETER OF ROOM PROVIDE A CUT 2x4 TILE IN LIEU OF FULL 2x2 TILE AND SMALL PIECE OF TILE OR DOUBLE GRID - MATCH 2x2 FOR STYLE AND COLOR.
- AT AREAS OF EXPOSED CEILING PAINT ALL STRUCTURE, DUCTWORK, PIPING, CONDUIT, HANGERS ETC., COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS. REFER TO THE REFLECTED CEILING PLANS FOR PAINT COLORS.



FIRST FLOOR REFLECTED CEILING PLAN - UNIT B
1/8" = 1'-0"





FIRST FLOOR REFLECTED CEILING PLAN - UNIT C
1/8" = 1'-0"

REFLECTED CEILING KEY	
	GYPSUM BOARD (PAINTED P-#)
	ACP-1: 2X2 LAY-IN ACOUSTICAL TILE GRID
	ACP-2: 2X4 LAY-IN ACOUSTICAL TILE GRID
	○ OR ○ LIGHTING - REFER TO ELECTRICAL LIGHTING PLAN
	☒ MECHANICAL - REFER TO MECHANICAL SHEET METAL PLAN

GENERAL NOTES - REFLECTED CEILINGS

- WHERE CEILING TILE IS LESS THAN 3" AT PERIMETER OF ROOM PROVIDE A CUT 2x4 TILE IN LIEU OF FULL 2x2 TILE AND SMALL PIECE OF TILE OR DOUBLE GRID - MATCH 2x2 FOR STYLE AND COLOR.
- AT AREAS OF EXPOSED CEILING PAINT ALL STRUCTURE, DUCTWORK, PIPING, CONDUIT, HANGERS ETC., COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS. REFER TO THE REFLECTED CEILING PLANS FOR PAINT COLORS.

ISSUED FOR _____ DATE _____

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

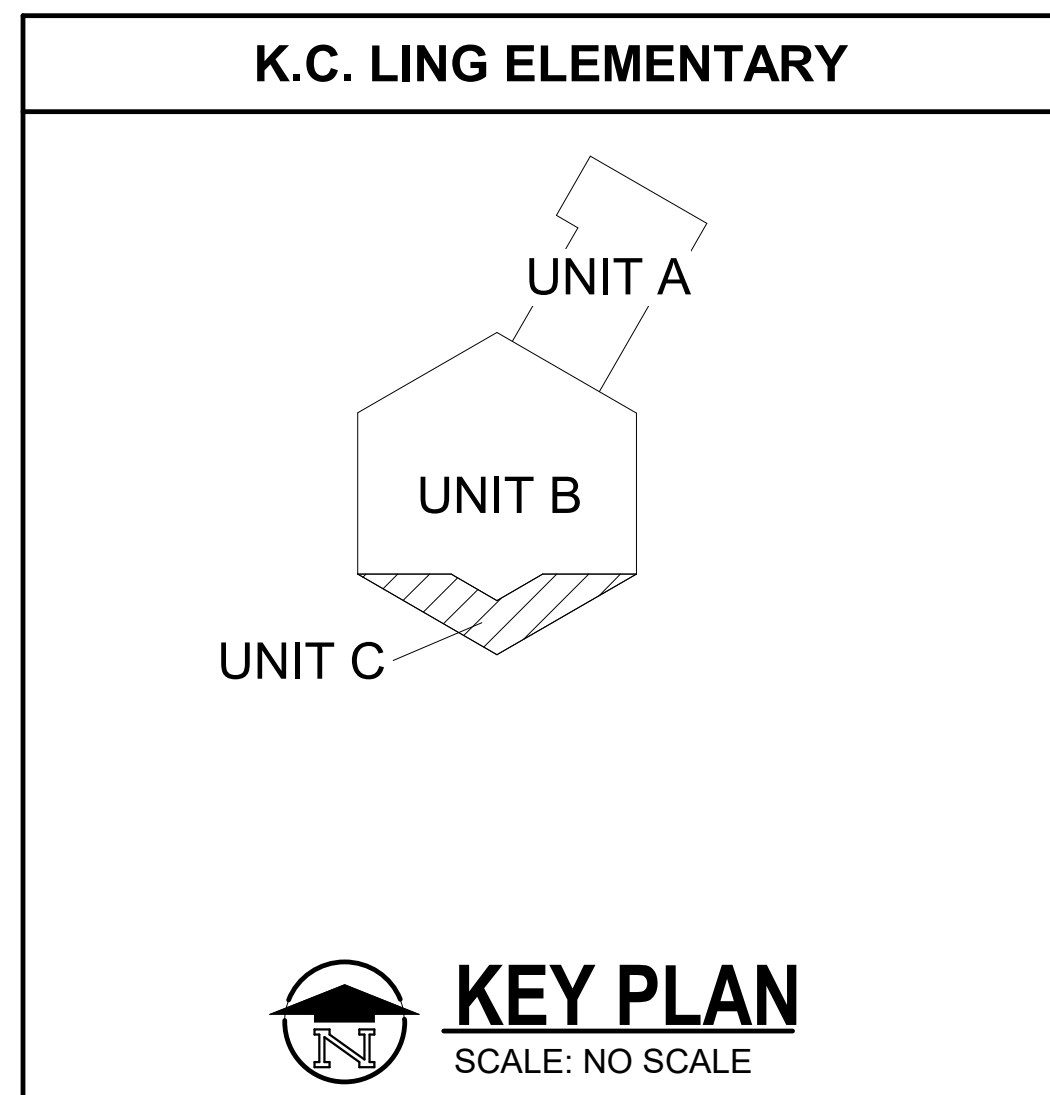
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR REFLECTED CEILING
PLAN - UNIT C

SHEET NUMBER
A 201.1C
21113.20

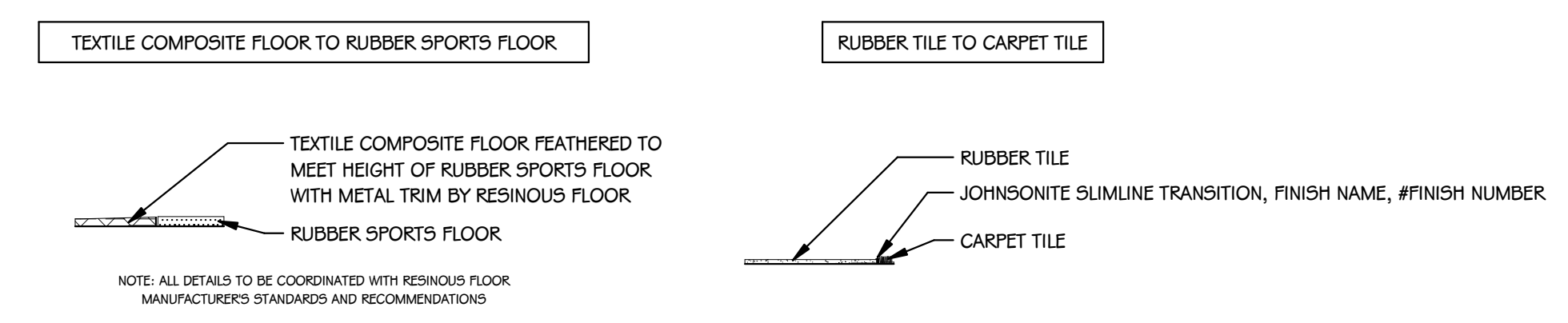
DATE
DECEMBER 21, 2022



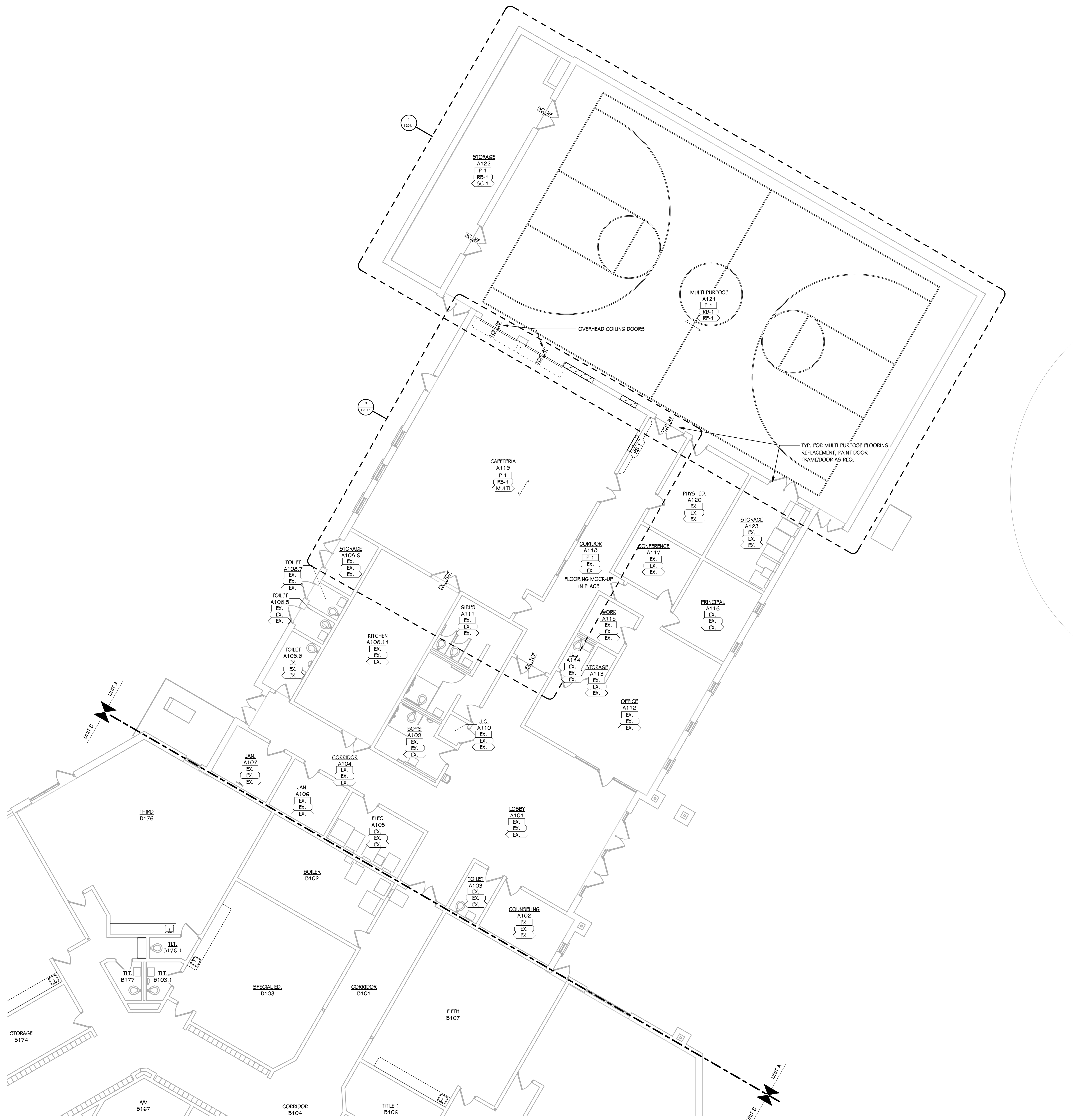
MATERIAL SELECTION SCHEDULE

PHASE I	PHASE II	ABBREV	ITEM	MANUFACTURER	PATTERN	COLOR	PRODUCT NO.	SIZE	SINGLE SOURCE	BASIS OF DESIGN	REMARKS
X	X	ACP-1	ACOUSTIC CEILING PANEL	ARMSTRONG CEILING 4 WALL	ULTIMA	WHITE	1910	24" X 24"		X	15/16" SQUARE LAY-IN
	X	ACP-2	ACOUSTIC CEILING PANEL	ARMSTRONG CEILING 4 WALL	ULTIMA HEALTH ZONE	WHITE	1445	24" X 24"		X	15/16" SQUARE LAY-IN
	X	ACP-3	ACOUSTIC CEILING PANEL	ARMSTRONG CEILING 4 WALL	ULTIMA	WHITE		24" X 48"		X	15/16" SQUARE LAY-IN
	X	AWP-1	ACOUSTIC WALL PANEL (GYM)	ARMSTRONG CEILING 4 WALL	TECTUM DIRECT-ATTACH	P-2	--	2"DEPTH	X		REFER TO DRAWING DETAILS FOR SIZE, CUT, AND COLORS. BEVEL EDGES ON ALL SIDES.
	X	AWP-2	ACOUSTIC WALL PANEL	ARMSTRONG CEILING 4 WALL	TECTUM DIRECT-ATTACH	P-3	--	2"DEPTH	X		REFER TO DRAWING DETAILS FOR SIZE, CUT, AND COLORS. BEVEL EDGES ON ALL SIDES.
	X	CPTL-1	CARPET TILE (EXISTING)	SHAW CONTRACT	HYPE TILE	DYNAMIC	5T065-64481	24" X 24"	X		INSTALLATION: QUARTER TURN, ECOWORK® BACKING
	X	CPTL-2	CARPET TILE (EXISTING - WALK-OFF)	SHAW CONTRACT	PORTAL	SPEERING	5T035-34557	24" X 24"	X		INSTALLATION: QUARTER TURN, ECOWORK® BACKING
	X	CT-1	CERAMIC TILE	PLATFORM SURFACES	PLATFORM SOLUTIONS WALL TILE	WHITE ICE GLOSSY	--	3" X 6"	X		G-2, HORIZONTAL BRICK ASHLAR, 1/3 OFFSET
	X	CT-2	CERAMIC TILE	PLATFORM SURFACES	PLATFORM SOLUTIONS WALL TILE	WHITE ICE GLOSSY	--	3" X 12"	X		G-2, VERTICAL BRICK ASHLAR, 1/3 OFFSET
	X	DCMU-1	DECORATIVE CONCRETE MASONRY UNIT	CONSUMERS	BURNISHED	ALABASTER	--	--		X	COLORLED MORTAR, PERMA GRIND. TK BRIGHT SEALER WB
	X	DCMU-2	DECORATIVE CONCRETE MASONRY UNIT	CONSUMERS	BURNISHED	DOMINO	--	--		X	COLORLED MORTAR, PERMA GRIND. TK BRIGHT SEALER WB
	X	DCMU-3	DECORATIVE CONCRETE MASONRY UNIT	CONSUMERS	SPLIT FACED	ALABASTER	--	--		X	COLORLED MORTAR, PERMA GRIND. SPLIT FACED
	X	G-1	GROUT (FLOOR)	LATICRETE	--	DUSTY GREY	--	--		X	--
	X	G-2	GROUT (WALL)	LATICRETE	--	DUSTY GREY	--	--		X	--
	X	LVT-1	LUXURY VINYL TILE (EXISTING)	SHAW CONTRACT	UNCOMMON GROUND	FRENCH GREY	0188V-02500	6" X 36"	X		INSTALLATION: 1/3 OFFSET ASHLAR
	X	P-1	PAINT (EXISTING MAIN)	SHERWIN WILLIAMS	--	HEMLOCK RAFFIA BEIGE	CUSTOM	--	X		CONTROL NUMBER 48621
	X	P-2	PAINT (EXISTING DOORSTRIM)	SHERWIN WILLIAMS	--	NAVAL	SW 6244	--	X		--
	X	P-3	PAINT (EXISTING ACCENT)	SHERWIN WILLIAMS	--	DOVETAIL	SW 7018	--	X		--
	X	P-4	PAINT (CEILING)	SHERWIN WILLIAMS	--	CEILING BRIGHT WHITE	SW 7007	--	X		--
	X	P-5	PAINT (NEW MAIN)	SHERWIN WILLIAMS	--	PASSIVE	SW 7064	--	X		--
	X	P-6	PAINT (ACCENT)	SHERWIN WILLIAMS	--	BLUE NILE	SW 6776	--	X		--
	X	P-7	PAINT (ACCENT)	SHERWIN WILLIAMS	--	DILL	SW 6438	--	X		--
	X	PCE-1	PRE-CATALYZED EPOXY	SHERWIN WILLIAMS	--	PASSIVE	SW 7064	--	X		--
	X	PL-1	PLASTIC LAMINATE (COUNTERTOP)	WILSONART	FRENCH LINEN	--	5016-38	--	X		FINE VELVET FINISH, MATCHING EDGE BAND FOR COUNTERTOP APPLICATION
	X	PL-2	PLASTIC LAMINATE (CASEWORK)	FORMICA	SILVER RIFTWOOD	--	6413-NG	--	X		--
	X	PT-1	PORCELAIN TILE	PLATFORM SURFACES	SOUL	GREY MERINO	--	12" X 24"	X		G-1
	X	PTB-1	PORCELAIN TILE BASE	PLATFORM SURFACES	SOUL	GREY MERINO	--	CUT TO 4" BASE	X		G-1
	X	RAF-1	RESILIENT ATHLETIC FLOORING (MULTI-PURPOSE)	TARKETT SPORTS INDOOR	OMNISPORTS MULTI-USE	GREY MAPLE	--	85.3' X 6.5' (8.1MM THICKNESS)	X		SPORT LINES PAINT TO MATCH, SHERWIN WILLIAMS NAVAL SW 6244
	X	RAF-2	RESILIENT ATHLETIC FLOORING (MULTI-PURPOSE)	TARKETT SPORTS INDOOR	OMNISPORTS MULTI-USE	BLUE MAPLE	--	85.3' X 6.5' (8.1MM THICKNESS)	X		SPORT LINES PAINT TO MATCH, SHERWIN WILLIAMS NAVAL SW 6244
	X	RB-1	RESILIENT BASE	JOHNSONITE	TRADITIONAL VINYL	BLUE INTENSITY	TH2	4.25"	X		MATCH EXISTING FLOOR BASE, CONFIRM WITH OWNER.
	X	SC-1	SEALED CONCRETE	--	--	--	--	--		X	AGGREGATE/TINT TO MATCH POLISHED CONCRETE
	X	SSM-1	SOLID SURFACE MATERIAL (WINDOW SILLS)	CORIAN	--	SILVER BIRCH	--	--	X		--
	X	SSM-2	SOLID SURFACE MATERIAL (BENCH)	CORIAN	--	CARBON CONCRETE	--	--	X		--
	X	SV-1	SHEET VINYL	TARKETT	IQ OPTIMA	EBONY ASH WG	3242 242	6.5' X 82' ROLLED	X		AWAITING OWNER APPROVAL
	X	TCF-1	TEXTILE COMPOSITE FLOORING	J+J FLOORING GROUP	KINETEX - CATALYST	LAUNCH	2843	24" X 24" (0.205" THICKNESS)	X		REFER TO INSTALLATION DIAGRAM FOR LAYOUT
	X	TCF-2	TEXTILE COMPOSITE FLOORING	J+J FLOORING GROUP	KINETEX - CATALYST	CHEMISTRY	2847	24" X 24" (0.205" THICKNESS)	X		REFER TO INSTALLATION DIAGRAM FOR LAYOUT
	X	WAF-1	WOOD ATHLETIC FLOORING	TARKETT SPORTS INDOOR	--	WHITE MAPLE	--	--		X	--

GENERAL NOTES:
 - NO COMPARABLE PRODUCTS WILL BE REVIEWED FOR PRODUCTS DESIGNATED AS SINGLE SOURCE.
 - COMPARABLE PRODUCTS WILL BE REVIEWED FOR ITEMS LISTED AS BASIS OF DESIGN. COMPARABLE PRODUCTS ARE REQUIRED TO MEET ANY MINIMUM PERFORMANCE REQUIREMENTS LISTED IN REMARKS AND DESIGN ATTRIBUTES OF SPECIFIED PRODUCT.
 - REFER TO PRODUCT SPECIFICATION FOR TRIMS AND ACCESSORIES ASSOCIATED WITH SPECIFIED PRODUCTS ABOVE.
 - FINISHES ABOVE REPRESENT MATERIALS USED ON BID PACK I (HEMLOCK ELEMENTARY & KC LING ELEMENTARY) FOR PHASE I & II. REFERENCE FINISH PLANS/ELEVATIONS/DETAILS FOR APPLICATION LOCATION.



1 ENLARGED TYPICAL FLOORING TRANSITIONS PHASE I
 1001.1 3" = 1'-0"



FIRST FLOOR FINISH PLAN - UNIT A
1/8" = 1'-0"

FINISH PLAN KEY

- INDICATES MATERIAL TYPE
- X# INDICATES CORRESPONDING SELECTION IN SCHEDULE
- W# WALL FINISH
- B# BASE FINISH
- F# FLOOR FINISH
- C# COUNTER FINISH
- CB# CABINET FINISH (BASE AND UPPER)
- X# INDICATES EXTENT OF ATYPICAL FINISH
- X# X# INDICATES TRANSITION BETWEEN DISSIMILAR FLOOR MATERIAL FINISHES
- MULTI INDICATES MULTIPLE MATERIAL TYPES ON A SURFACE, REFER TO DETAIL OR ELEVATION
- X.P.A. INDICATES PATTERNED INSTALLATION OF A SINGLE MATERIAL TYPE, REFER TO DETAIL OR ELEVATION
- INDICATES PATTERN INTENT, REFER TO DETAIL OR ELEVATION
- INDICATES INSTALLATION DIRECTION OF MATERIAL

- GENERAL NOTES - INTERIOR**
- 1 REFER TO MATERIAL SELECTION SCHEDULE FOR FINISH INFORMATION.
 - 2 REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.
 - 3 REFER TO ARCHITECTURAL FLOOR PLANS FOR VISUAL DISPLAY BOARD LOCATIONS AND QUANTITIES.
 - 4 REFER TO ARCHITECTURAL FLOOR PLANS FOR LOCKER LOCATIONS, FINISHES AND QUANTITIES.
 - 5 REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND HEIGHTS.
 - 6 REFER TO ENLARGED STAIR PLANS AND SECTIONS FOR FINISH COLORS OF STRINGERS AND GUARDRAILS.
 - 7 REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.
 - 8 REFER TO ENLARGED FINISH PLANS FOR TOILET ROOM FINISHES.
 - 9 FINISH TAGS APPLY TO LIKE MATERIALS IN ENTIRE ROOM. I.E. CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES, UNLESS TAGGED DIFFERENTLY.
 - 10 CASEWORK FINISH TAGS DO NOT APPLY TO CUSTOM MILLWORK PIECES. REFER TO ENLARGED MILLWORK DETAILS FOR FINISH MATERIALS.
 - 11 WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED WITH AN OIL-BASED PAINT TO MATCH THE ADJACENT WALL FINISH.
 - 12 CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH.
 - 13 PATCH & REPAIR AS REQ. REFERENCE "EXISTING" FINISHES IN MATERIAL SELECTION SCHEDULE.
 - 14 ALTERNATE #4: REMOVAL OF (3) EXISTING SINKS AND RELATED CASEWORK SHALL INCLUDE CAPPING OF LINES AND PATCHING OF WALLS AS REQUIRED. PROVIDE NEW WARDROBE (AT THREE LOCATIONS) INDICATED ON DRAWINGS. PATCH FLOORING WITH ADJACENT FINISH, REPLACE ENTIRE RUN OF WALL BASE AS REQUIRED, AND REPAINT FULL WALLS AFFECTED BY DEMO.

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

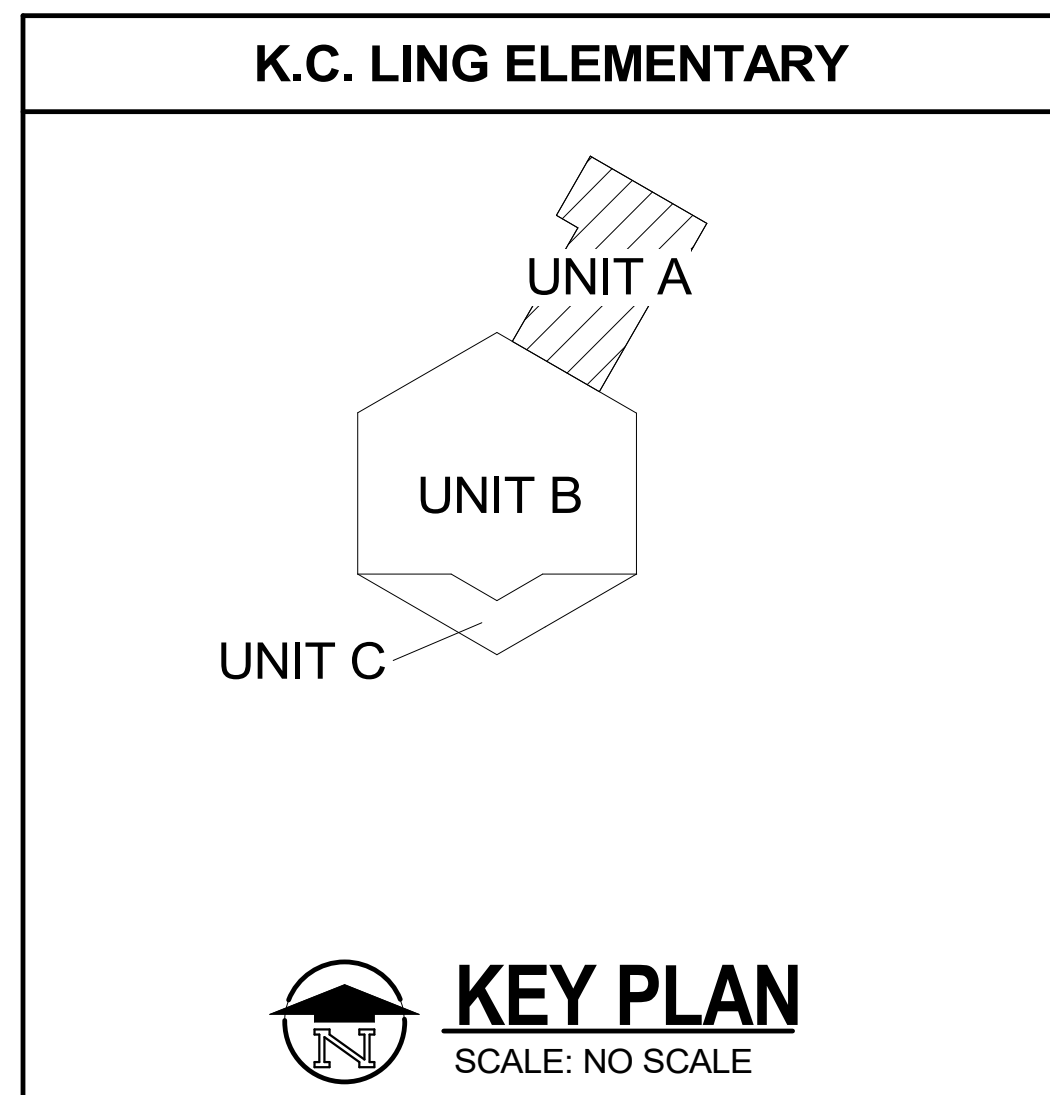
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR FINISH PLAN - UNIT A

SHEET NUMBER
I 101.1A
21113.20

DATE
DECEMBER 21, 2022



FINISH PLAN KEY

- INDICATES MATERIAL TYPE
- X# INDICATES CORRESPONDING SELECTION IN SCHEDULE
- W# WALL FINISH
- F# FLOOR FINISH
- C# COUNTER FINISH
- CB# CABINET FINISH (BASE AND UPPER)
- X# INDICATES EXTENT OF ATYPICAL FINISH
- X# X# INDICATES TRANSITION BETWEEN DISSIMILAR FLOOR MATERIAL FINISHES
- MULTI INDICATES MULTIPLE MATERIAL TYPES ON A SURFACE, REFER TO DETAIL OR ELEVATION
- X#(P) INDICATES PATTERNED INSTALLATION OF A SINGLE MATERIAL TYPE, REFER TO DETAIL OR ELEVATION
- INDICATES PATTERN INTENT, REFER TO DETAIL OR ELEVATION
- INDICATES INSTALLATION DIRECTION OF MATERIAL

- GENERAL NOTES - INTERIOR**
- 1 REFER TO MATERIAL SELECTION SCHEDULE FOR FINISH INFORMATION.
 - 2 REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.
 - 3 REFER TO ARCHITECTURAL FLOOR PLANS FOR VISUAL DISPLAY BOARD LOCATIONS AND QUANTITIES.
 - 4 REFER TO ARCHITECTURAL FLOOR PLANS FOR LOCKER LOCATIONS, FINISHES AND QUANTITIES.
 - 5 REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND HEIGHTS.
 - 6 REFER TO ENLARGED STAIR PLANS AND SECTIONS FOR FINISH COLORS OF STRINGERS AND GUARDRAILS.
 - 7 REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.
 - 8 REFER TO ENLARGED FINISH PLANS FOR TOILET ROOM FINISHES.
 - 9 FINISH TAGS APPLY TO LIKE MATERIALS IN ENTIRE ROOM. I.E. CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES, UNLESS TAGGED DIFFERENTLY.
 - 10 CASEWORK FINISH TAGS DO NOT APPLY TO CUSTOM MILLWORK PIECES. REFER TO ENLARGED MILLWORK DETAILS FOR FINISH MATERIALS.
 - 11 WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED WITH AN OIL-BASED PAINT TO MATCH THE ADJACENT WALL FINISH.
 - 12 CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH.
 - 13 PATCH & REPAIR AS REQ. REFERENCE "EXISTING" FINISHES IN MATERIAL SELECTION SCHEDULE.
 - 14 ALTERNATE #4: REMOVAL OF (3) EXISTING SINKS AND RELATED CASEWORK SHALL INCLUDE CAPPING OF LINES AND PATCHING OF WALLS AS REQUIRED. PROVIDE NEW WARDROBE (AT THREE LOCATIONS) INDICATED ON DRAWINGS. PATCH FLOORING WITH ADJACENT FINISH, REPLACE ENTIRE RUN OF WALL BASE AS REQUIRED, AND REPAIR FULL WALLS AFFECTED BY DEMO.

ISSUED FOR _____ DATE _____

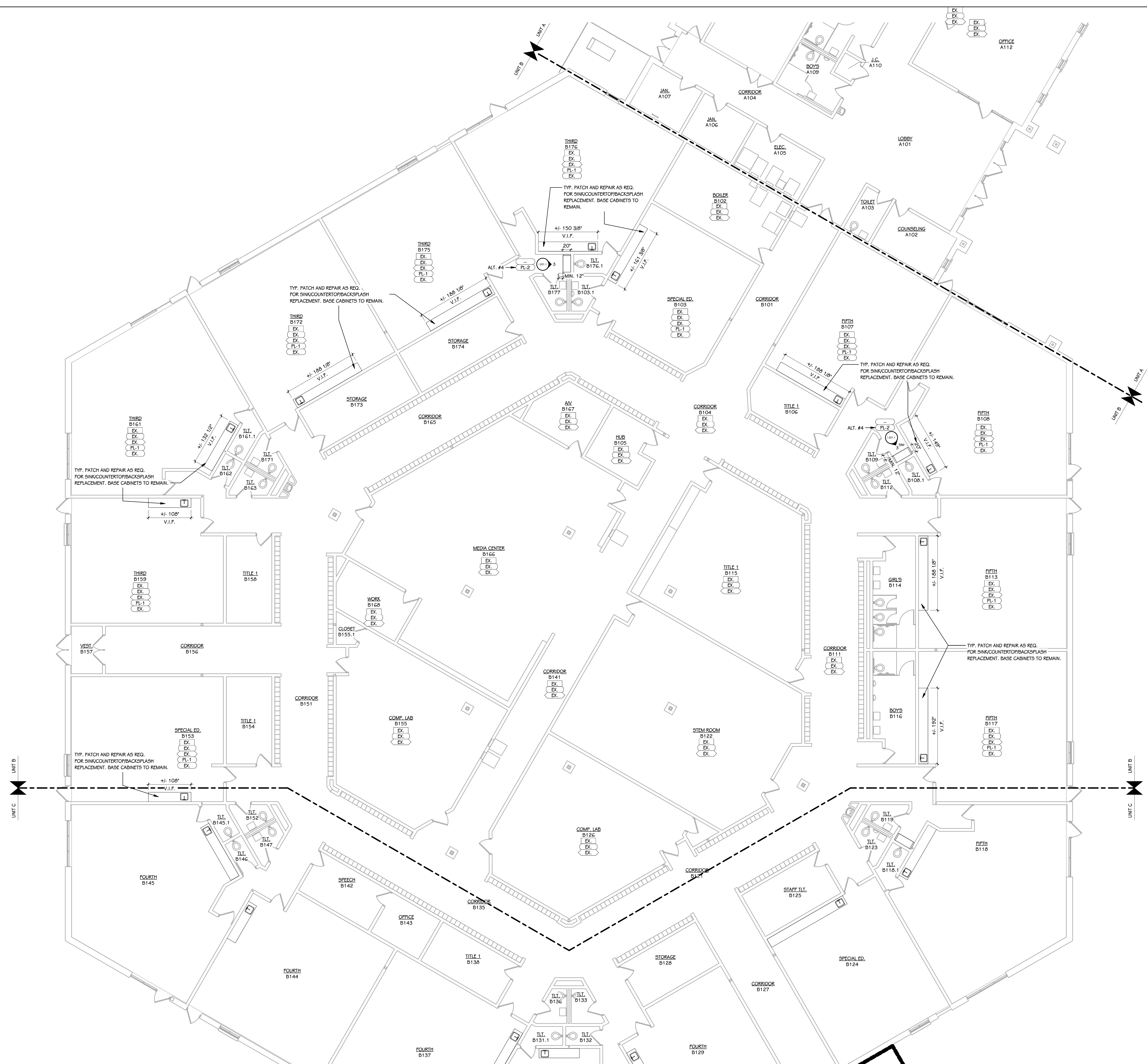
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

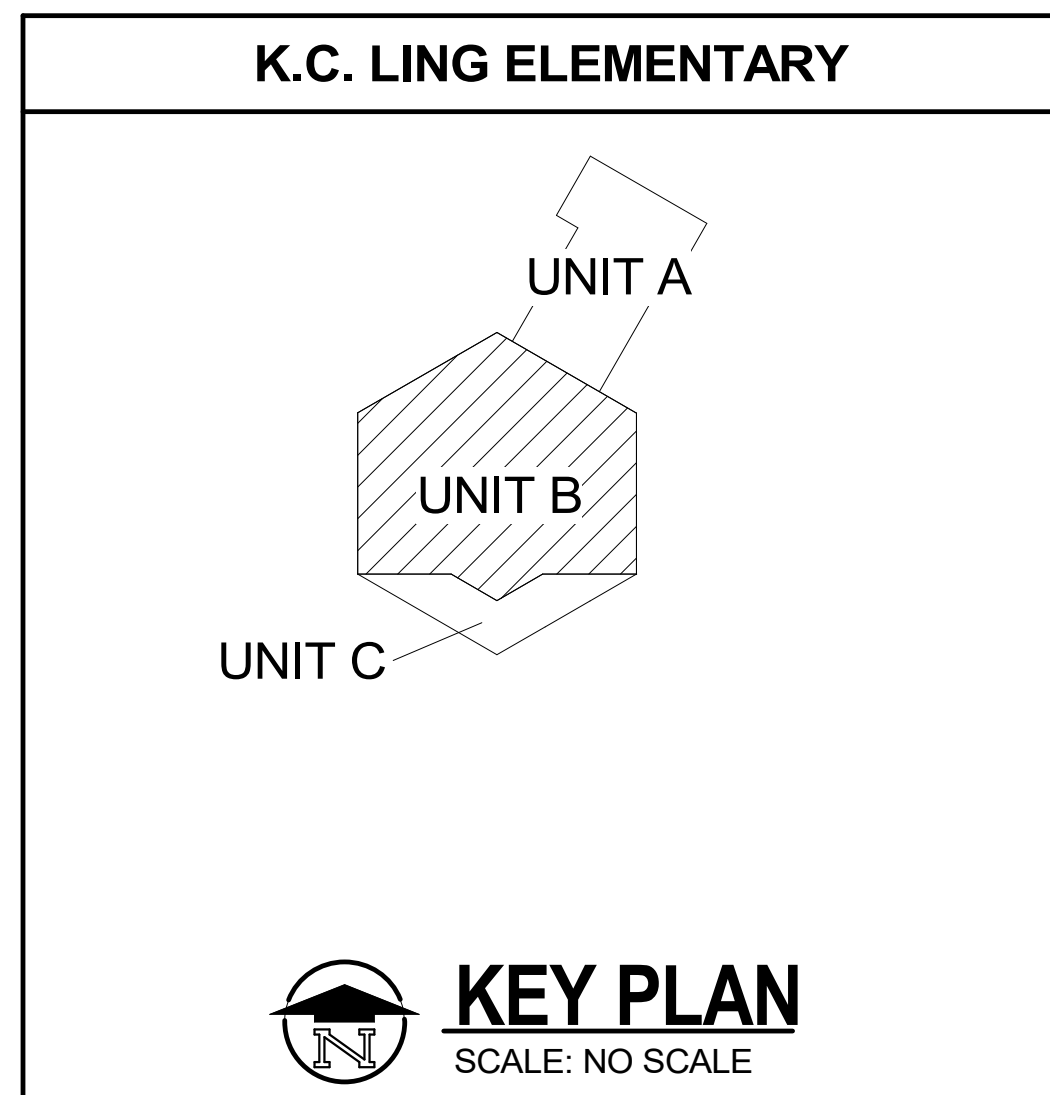
Hemlock, Michigan

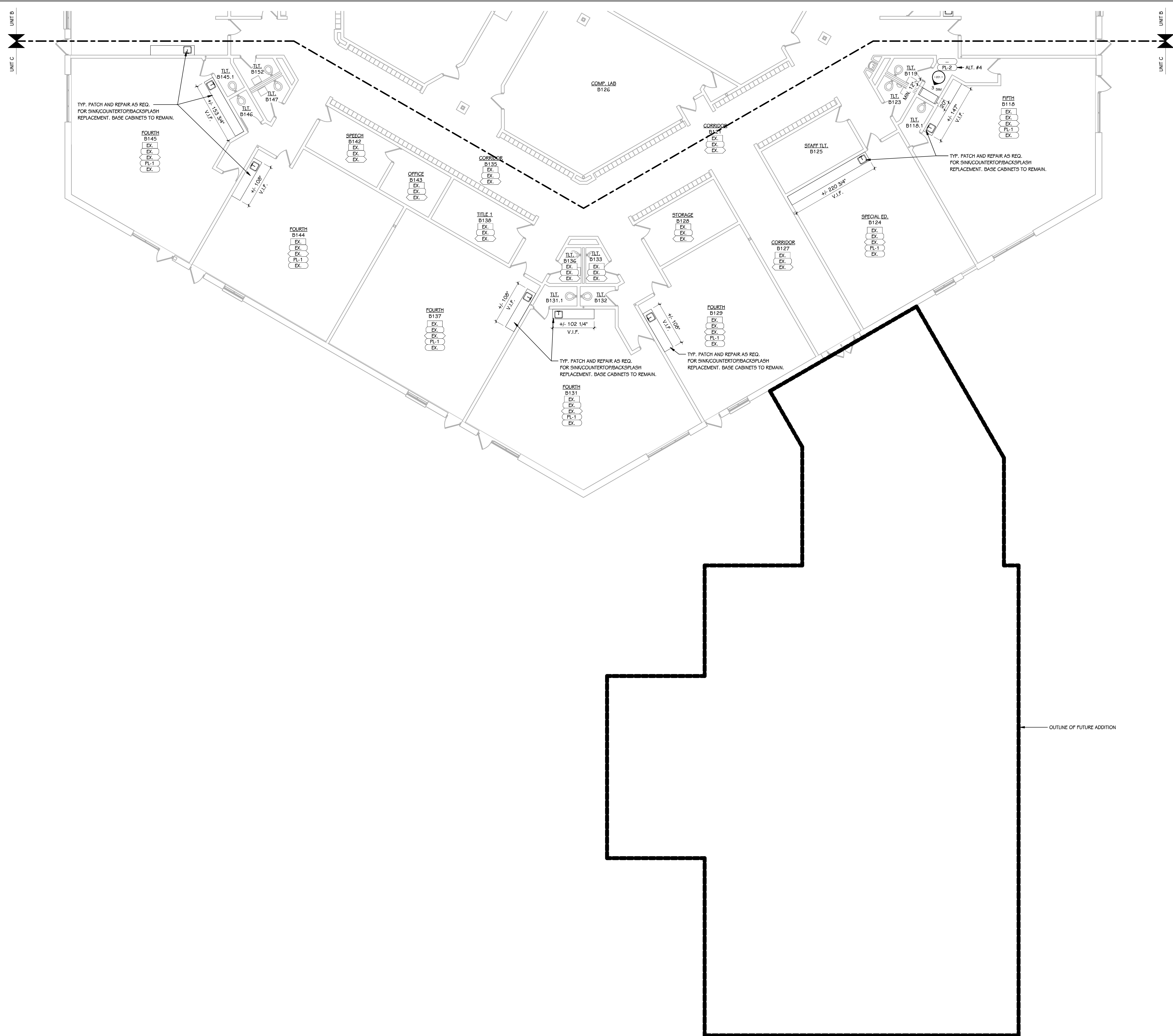
SHEET TITLE
FIRST FLOOR FINISH PLAN - UNIT B

SHEET NUMBER
I 101.1B
DATE
DECEMBER 21, 2022
21113.20



FIRST FLOOR FINISH PLAN - UNIT B
1/8" = 1'-0"





FINISH PLAN KEY

- INDICATES MATERIAL TYPE
- X# INDICATES CORRESPONDING SELECTION IN SCHEDULE
- W# WALL FINISH
- B# BASE FINISH
- F# FLOOR FINISH
- C# COUNTER FINISH
- CB# CABINET FINISH (BASE AND UPPER)
- X# INDICATES EXTENT OF ATYPICAL FINISH
- X# X# INDICATES TRANSITION BETWEEN DISSIMILAR FLOOR MATERIAL FINISHES
- MULTI INDICATES MULTIPLE MATERIAL TYPES ON A SURFACE, REFER TO DETAIL OR ELEVATION
- X.P.A. INDICATES PATTERNED INSTALLATION OF A SINGLE MATERIAL TYPE, REFER TO DETAIL OR ELEVATION
- INDICATES PATTERN INTENT, REFER TO DETAIL OR ELEVATION
- INDICATES INSTALLATION DIRECTION OF MATERIAL

- GENERAL NOTES - INTERIOR**
- 1 REFER TO MATERIAL SELECTION SCHEDULE FOR FINISH INFORMATION.
 - 2 REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.
 - 3 REFER TO ARCHITECTURAL FLOOR PLANS FOR VISUAL DISPLAY BOARD LOCATIONS AND QUANTITIES.
 - 4 REFER TO ARCHITECTURAL FLOOR PLANS FOR LOCKER LOCATIONS, FINISHES AND QUANTITIES.
 - 5 REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND HEIGHTS.
 - 6 REFER TO ENLARGED STAIR PLANS AND SECTIONS FOR FINISH COLORS OF STRINGERS AND GUARDRAILS.
 - 7 REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.
 - 8 REFER TO ENLARGED FINISH PLANS FOR TOILET ROOM FINISHES.
 - 9 FINISH TAGS APPLY TO LIKE MATERIALS IN ENTIRE ROOM. I.E. CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES, UNLESS TAGGED DIFFERENTLY.
 - 10 CASEWORK FINISH TAGS DO NOT APPLY TO CUSTOM MILLWORK PIECES. REFER TO ENLARGED MILLWORK DETAILS FOR FINISH MATERIALS.
 - 11 WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED WITH AN OIL-BASED PAINT TO MATCH THE ADJACENT WALL FINISH.
 - 12 CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH.
 - 13 PATCH & REPAIR AS REQ. REFERENCE "EXISTING" FINISHES IN MATERIAL SELECTION SCHEDULE.
 - 14 ALTERNATE #4: REMOVAL OF (3) EXISTING SINKS AND RELATED CASEWORK SHALL INCLUDE CAPPING OF LINES AND PATCHING OF WALLS AS REQUIRED. PROVIDE NEW WARDROBE (AT THREE LOCATIONS) INDICATED ON DRAWINGS. PATCH FLOORING WITH ADJACENT FINISH, REPLACE ENTIRE RUN OF WALL BASE AS REQUIRED, AND REPAINT FULL WALLS AFFECTED BY DEMO.

ISSUED FOR _____ DATE _____

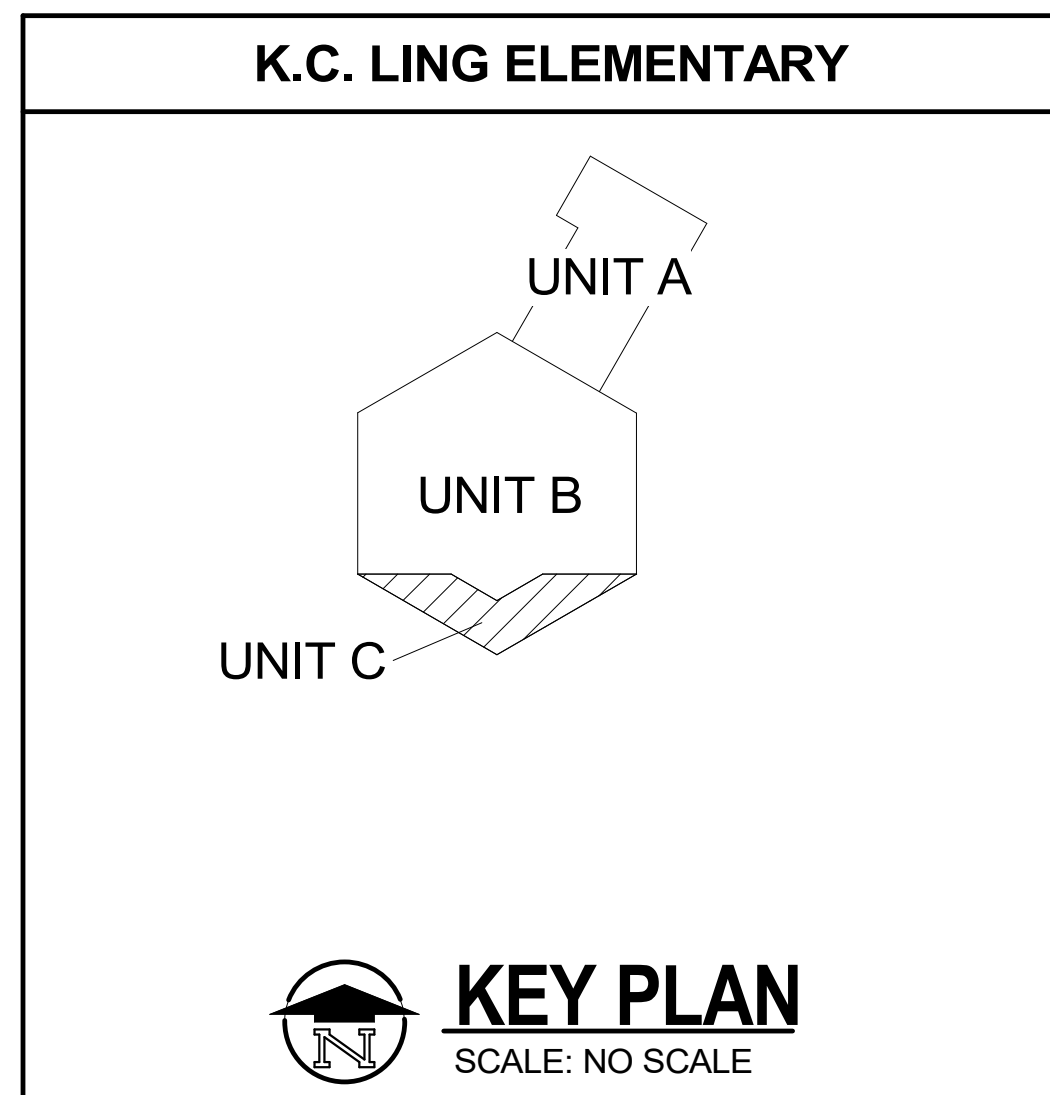
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

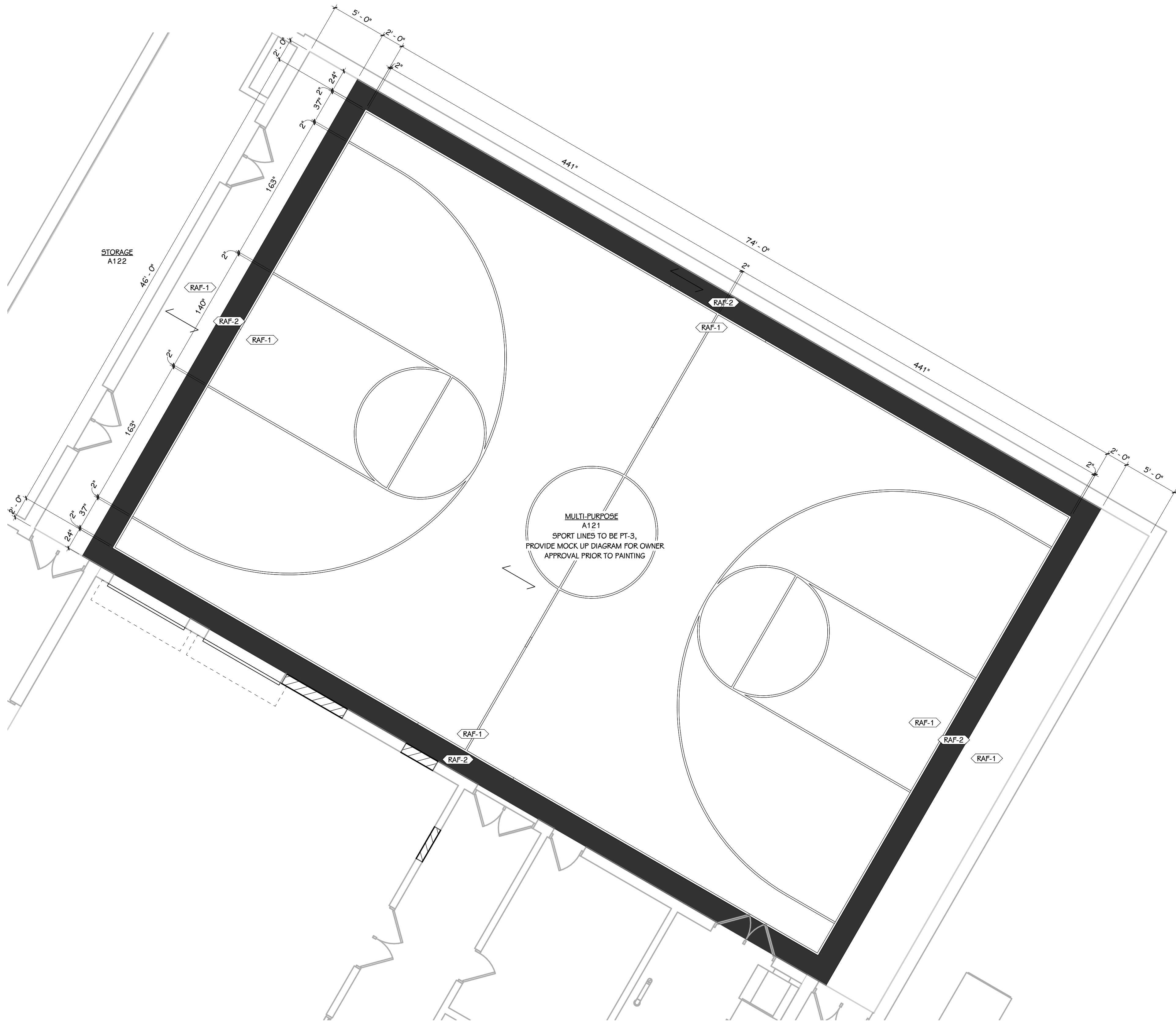
Hemlock, Michigan

SHEET TITLE
FIRST FLOOR FINISH PLAN - UNIT C

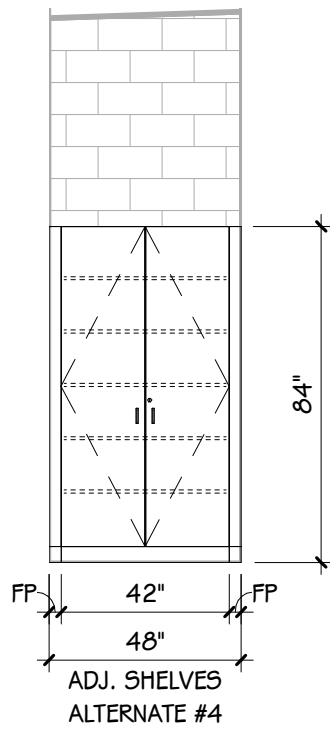
SHEET NUMBER
I 101.1C
DATE
DECEMBER 21, 2022
21113.20



FIRST FLOOR FINISH PLAN - UNIT C
1/8" = 1'-0"



1 ENLARGED PATTERN PLAN - MULTI PURPOSE A121
1201.1 3/16" = 1'-0"

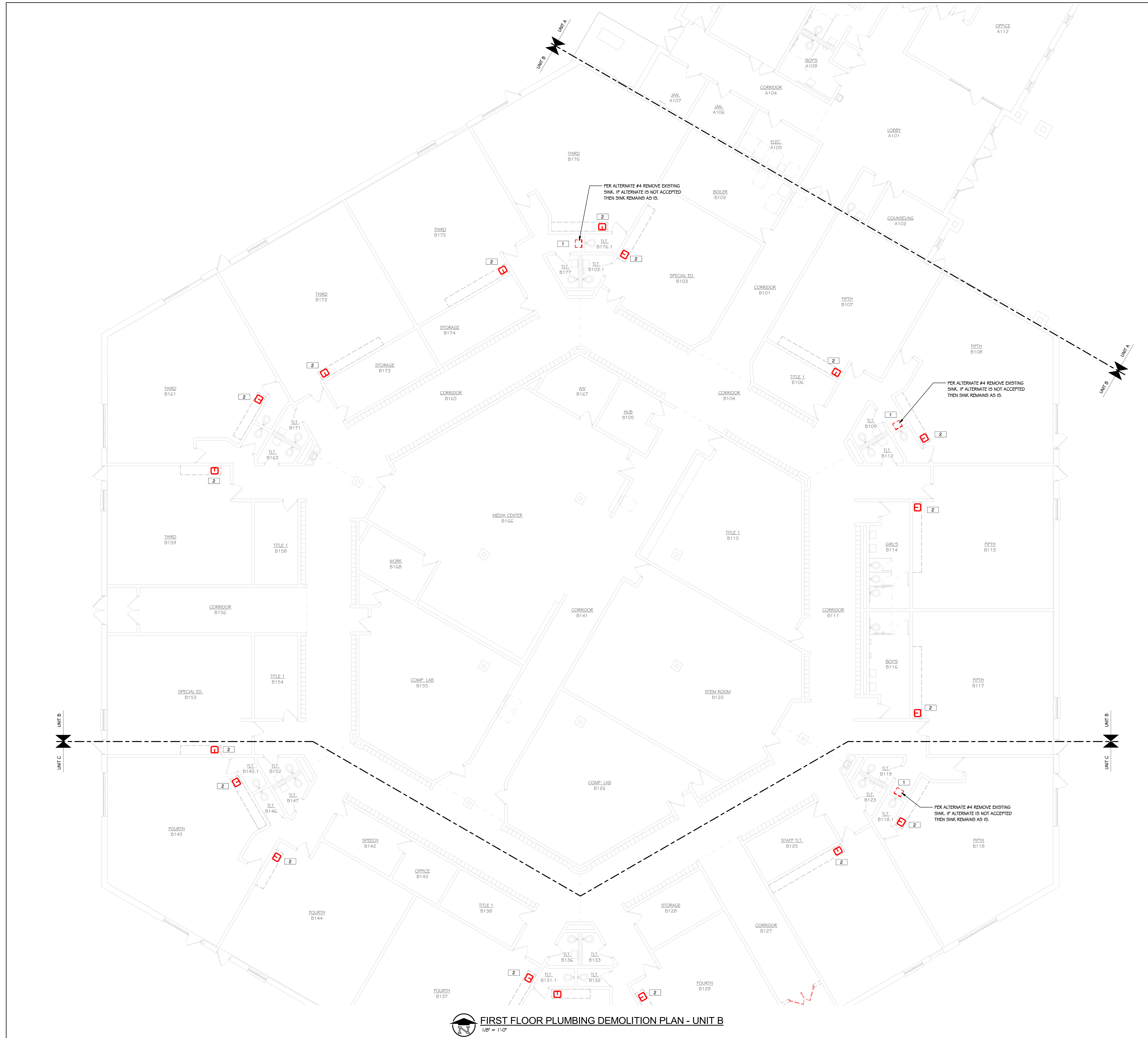


3 CLASSROOM ALCOVE WARDROBE TYP.
1201.1 1/4" = 1'-0"



2 ENLARGED PATTERN PLAN - CAFETERIA A119
1201.1 3/16" = 1'-0"

ABBREVIATIONS	MECHANICAL SYMBOLS	GENERAL MECHANICAL NOTES
<p>A.C.D. AUTOMATIC CONTROL DAMPER A.F.F. ABOVE FINISHED FLOOR A.G. ABOVE GRADE A.P.D. AIR PRESSURE DROP B.D. BALANCING DAMPER B.D.D. BACKDRAFT DAMPER B.F. BARRIER FREE BTUH BRITISH THERMAL UNIT PER HOUR B.V. BALANCING VALVE C.B. CATCH BASIN C.B.V. CALIBRATED BALANCING VALVE C.F.H. CUBIC FEET PER HOUR C.F.M. CUBIC FEET PER MINUTE C.H. CABINET HEATER C.I. CAST IRON C.M. CEILING MOUNTED C.O. CLEAN OUT C.V. CONTROL VALVE D.F. DRINKING FOUNTAIN DN. DOWN D.S. DOWN SPOUT E.A. EXHAUST AIR E.A.T. ENTERING AIR TEMPERATURE E.D.B. ENTERING DRY BULB E.F. EXHAUST FAN E.S.P. EXTERNAL STATIC PRESSURE E.W.B. ENTERING WET BULB E.W.C. ELECTRIC WATER COOLER E.W.T. ENTERING WATER TEMPERATURE EXIST. EXISTING E.T.R. EXISTING TO REMAIN F.C. FLEDBLE CONNECTION F.D. FLOOR DRAIN (FD) FIRE DAMPER F.H.C. FIRE HOSE CABINET F.I. FIELD INSTALLED F.M. FLOOR MOUNTED F.P.M. FEET PER MINUTE F.R. FIN RADIATION G.P.M. GALLONS PER MINUTE H.B. HOSE BIBB HP. HORSE POWER I.E. INVERT ELEVATION L.A.T. LEAVING AIR TEMPERATURE LAV. LAVATORY L.D.B. LEAVING DRY BULB LODK. LOUVER L.W.B. LEAVING WET BULB L.W.T. LEAVING WATER TEMPERATURE M.A. MIXED AIR M.A.T. MIXED AIR TEMPERATURE MAX. MAXIMUM M.B. MOP BASIN MBH BRITISH THERMAL UNIT PER HOUR (THOUSANDS) MFR.(S) MANUFACTURER(S) M.H. MANHOLE MIN. MINIMUM MTG. MOUNTING M.V. MANUAL AIR VENT N.C. NORMALLY CLOSED N.F.W.H. NON-FREEZE WALL HYDRANT N.I.C. NOT IN CONTRACT N.O. NORMALLY OPEN O.A. OUTSIDE AIR O.A.I. OUTSIDE AIR INTAKE OCT. OCTAVE P.A. PIPE ANCHOR P.D. PRESSURE DROP P.I.V. POST INDICATOR VALVE P.R.V. PRESSURE REDUCING VALVE P.T. PRESSURE / TEMPERATURE TAPPING R.A. RETURN AIR R.D. ROOF DRAIN R.H. RELATIVE HUMIDITY R.L.O. ROUGH IN ONLY R.P.M. REVOLUTIONS PER MINUTE RPPBP REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTER RELIEF VALVE R.V. SUPPLY AIR S.A. SUPPLY AIR S.B.S. SENSIBLE SHR. SHOWER SK. SINK S.O.V. SHUT-OFF VALVE S.P. STATIC PRESSURE S.SK. SERVICE SINK TEMP. TEMPERATURE TOT. TOTAL T.R. TEMPERATURE RISE T.S. TIP SPEED T.S.P. TOTAL STATIC PRESSURE T.U. TERMINAL UNIT BOX T.W.C. TEPD WATER CONNECTION U.H. UNIT HEATER URN. URINAL V. VENT VEL. VELOCITY V.I. VIBRATION ISOLATORS V.I.F. VERIFY IN FIELD V.S. VENT STACK V.T.R. VENT THRU ROOF W. WASTE W.C. WATER CLOSET W.M. WALL MOUNTED W.P.D. WATER PRESSURE DROP W.SK. WASH SINK</p>	<p>AW ACID WASTE AWV ACID WASTE VENT BALANCING VALVE BUTTERFLY VALVE CALIBRATED BALANCING VALVE CAP CHECK VALVE CHILLER RETURN CHILLER SUPPLY CHILLED WATER RETURN CHILLED WATER SUPPLY COLD WATER (DOMESTIC) COMPRESSED AIR CONDENSATE CONDENSATE DRAIN CONTROL VALVE COOLING TOWER RETURN COOLING TOWER SUPPLY FIRE DAMPER (HORIZONTAL) FIRE DAMPER (VERTICAL) FIRE(SMOKE) DAMPER FIRE PROTECTION FLOW METER (PROBE TYPE) FLOW METER (WATER TYPE) FLOW SWITCH FOOTING DRAIN FUEL OIL RETURN FUEL OIL SUPPLY GAS GAS COCK HEATING HOT WATER RETURN HEATING HOT WATER SUPPLY HEAT PUMP RETURN HEAT PUMP SUPPLY HOT WATER RETURN (DOMESTIC) HOT WATER SUPPLY (DOMESTIC) HUMIDISTAT MEDICAL AIR MEDICAL VACUUM OUTSIDE STEM AND YORKE VALVE OXYGEN PRESSURE GAUGE PRESSURE REDUCING VALVE PRESSURE RELIEF VALVE PRESSURE / TEMPERATURE TAPPING PRIMARY HEATING HOT WATER RETURN PRIMARY HEATING HOT WATER SUPPLY PUMPED CONDENSATE REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER SANITARY SEWER (ABOVE FLOOR) SANITARY SEWER (BELOW FLOOR) SHUT-OFF VALVE SMOKE DAMPER SOFT COLD WATER SOFT HOT WATER SOFT HOT WATER RETURN SPRING CHECK VALVE STEAM STEAM TRAP STORM SEWER (ABOVE FLOOR) STORM SEWER (OVERFLOW SYSTEM) STORM (BELOW FLOOR) STRAINER TEMPERATURE SENSOR TEPD WATER TEPD WATER RETURN THERMOMETER THERMOSTAT THREE-WAY CONTROL VALVE THROTTLING VALVE TRIPLE DUTY VALVE (ANGLE) TRIPLE DUTY VALVE (STRAIGHT) UNION VACUUM VACUUM BREAKER VENT</p>	<p>GENERAL MECHANICAL NOTES</p> <ol style="list-style-type: none"> DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. DRAWINGS ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. IF THE CONTRACTOR ELECTS TO PROVIDE EQUIPMENT OTHER THAN BASIS OF DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE LAYOUT AND CLEARANCE REQUIREMENTS IN ALL SPACES CONTAINING EQUIPMENT AND PROVIDE EQUIPMENT MEETING THE SPECIFICATIONS AND ACHIEVING CODE REQUIRED CLEARANCES WITHIN THE SPACE PROVIDED. COORDINATE ALL NEW CONSTRUCTION WORK OR ACTIVITY WITH THAT WHICH IS REQUIRED BY OTHER TRADES OR INSTALLERS IN ORDER TO PROVIDE A COMPLETE SYSTEM INCLUDING ALL NECESSARY COMPONENTS, FITTINGS, AND OFFSETS. INSTALLER SHALL VERIFY ALL EXISTING JOBSITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. NOTIFY THE ENGINEER OF DISCREPANCIES PRIOR TO COMMENCING WORK. FIRE SEAL ALL PENETRATIONS, SUCH AS PIPES, DUCTS, CONDUIT, ETC. THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES. MECHANICAL INSTALLER IS RESPONSIBLE FOR PATCHING OF WALLS, CEILINGS, AND FLOORS WHERE FIXTURES, MECHANICAL EQUIPMENT, SHEET METAL, OR PIPING HAS BEEN REMOVED, RELOCATED, OR INSTALLED. ALL PIPING SHALL AVOID LOCATIONS DIRECTLY ABOVE ALL ELECTRICAL EQUIPMENT. COORDINATE WITH ELECTRICAL. ALL LOW VOLTAGE CABLING SHALL BE RUN IN CONDUIT BETWEEN DEVICE AND CABLE TRAY OR TECHNOLOGY RACK. NO CABLING SHALL BE VISIBLE IN EXPOSED CEILING SPACES. EXPOSED CONDUIT SHALL BE PAINTED TO MATCH SURFACE IT IS SUPPORTED FROM. WIRING ROUTED IN ACCESSIBLE CEILING SPACES SHALL BE INDEPENDENTLY SUPPORTED WITH COMM HOOKS OR RINGS. COORDINATE ALL TEMPERATURE SENSOR LOCATIONS WITH "ELECTRICAL DEVICES ALIGNMENT GUIDELINES" DETAIL ON SHEET E001. <p>GENERAL DEMOLITION NOTES</p> <ol style="list-style-type: none"> ALL DUCTWORK, PIPING AND EQUIPMENT SHOWN DASHED SHALL BE REMOVED. PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE FOR REUSE WITH TEMPORARY COVERS, SHORING, BRACING AND SUPPORTS. VERIFY LOCATIONS OF AND PROTECT EXISTING INTERIOR ELECTRICAL AND MECHANICAL UTILITIES AND SERVICES EXCEPT WHERE INDICATED OTHERWISE. ALL MATERIALS AND EQUIPMENT REMOVED AND NOT REUSED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. THE OWNER RESERVES THE RIGHT TO KEEP ANY EQUIPMENT OR TO SALVAGE PARTS FROM ANY EQUIPMENT PRIOR TO BEING REMOVED FROM SITE. ALL MATERIALS AND EQUIPMENT REQUIRING REMOVAL AND RELOCATION FOR REUSE SHALL BE CAREFULLY REMOVED AND STORED TO PREVENT DAMAGE AND REINSTALLED AS THE WORK PROGRESSES. CONTRACTOR SHALL PROTECT ALL WALLS, CEILINGS, FLOORS, LIGHTS AND OTHER FINISHED SURFACES NOT BEING DEMOED. IF DAMAGED, THE CONTRACTOR SHALL REPAIR TO MATCH EXISTING CONDITIONS. MODIFICATIONS TO THE ROOFING SYSTEM FOR DEMOLITION OR INSTALLATION OF NEW EQUIPMENT SHALL BE DONE IN A MANNER TO MAINTAIN OWNER'S ROOFING WARRANTY.
<p>CONTROL SYMBOLS</p> <p>CONTROL VALVE FLOW METER (PROBE TYPE) THREE-WAY CONTROL VALVE FREEZE STAT MOTORIZED ACTUATOR HUMIDITY SENSOR TEMPERATURE SENSOR CARBON DIOXIDE SENSOR DIFFERENTIAL PRESSURE SENSOR AIRFLOW SENSOR ENTHALPY SENSOR (TEMP / HUMIDITY) MOISTURE SENSOR DUCT SMOKE SENSOR</p>		
		<p>ISSUED FOR _____ DATE _____</p> <p>PROJECT TITLE BID PACKAGE 1 - K.C. LING ELEMENTARY</p> <p>OWNER HEMLOCK PUBLIC SCHOOLS</p> <p>HEMLOCK, Michigan</p> <p>SHEET NUMBER MP 001.1</p> <p>DATE DECEMBER 21, 2022</p> <p>SHEET TITLE MECHANICAL & PLUMBING SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES</p> <p>21113.20</p>



KEYED NOTES - DEMOLITION

- 1 REMOVE EXISTING SINK, CW, HW AND SANITARY PIPING AND ALL RELATED ACCESSORIES. REMOVE ALL CW, HW AND SANITARY PIPING BACK TO INSIDE WALL WHERE CAPPED. WALL SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION.
- 2 REMOVE EXISTING SINK AND ALL RELATED ACCESSORIES. A NEW SINK SHALL BE INSTALLED IN THE SAME LOCATION AND CONNECTED TO THE EXISTING PIPING. REFER TO THE NEW WORK FOR ADDITIONAL DETAILS.

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

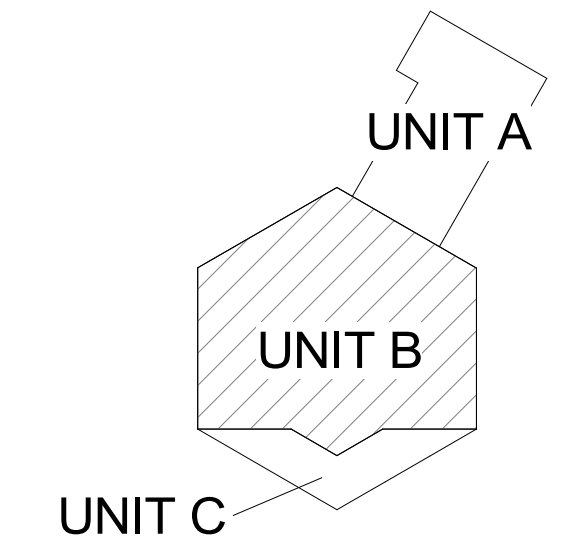
OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT B

Hemlock, Michigan

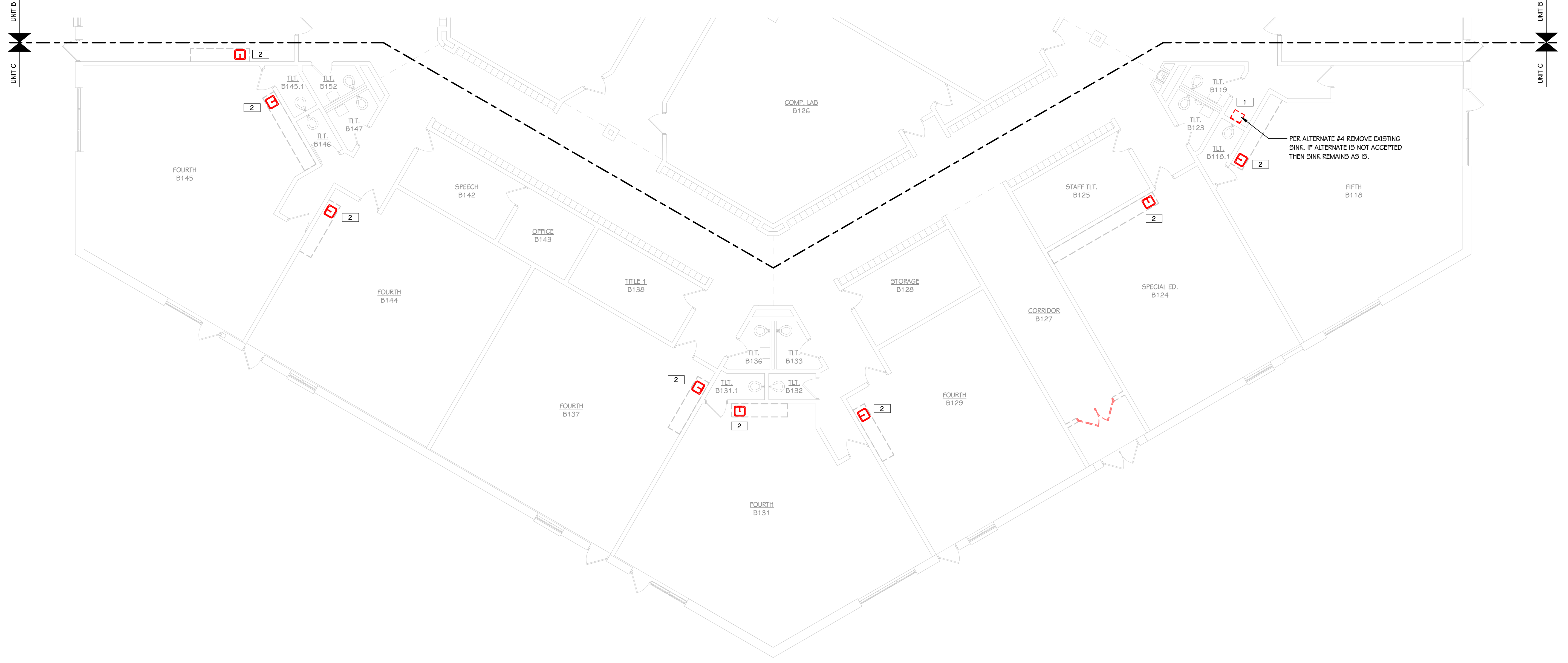
SHEET NUMBER
PD 101.1B
 DATE
DECEMBER 21, 2022
21113.20

K.C. LING ELEMENTARY



KEY PLAN
 SCALE: NO SCALE

FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT B
 1/8" = 1'-0"



 **FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT C**
1/8" = 1'-0"

KEYED NOTES - DEMOLITION

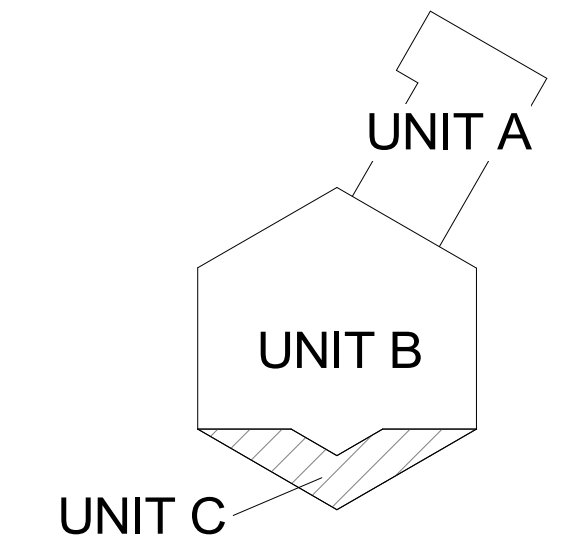
- 1 REMOVE EXISTING SINK, CW, HW AND SANITARY PIPING AND ALL RELATED ACCESSORIES. REMOVE ALL CW, HW AND SANITARY PIPING BACK TO INSIDE WALL WHERE CAPPED. WALL SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION.
- 2 REMOVE EXISTING SINK AND ALL RELATED ACCESSORIES. A NEW SINK SHALL BE INSTALLED IN THE SAME LOCATION AND CONNECTED TO THE EXISTING PIPING. REFER TO THE NEW WORK FOR ADDITIONAL DETAILS.

ISSUED FOR: PROJECT TITLE: BID PACKAGE 1 - K.C. LING ELEMENTARY
DATE: OWNER: HEMLOCK PUBLIC SCHOOLS
Hemlock, Michigan

PROJECT TITLE: BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER: HEMLOCK PUBLIC SCHOOLS
Hemlock, Michigan

K.C. LING ELEMENTARY



 **KEY PLAN**
SCALE: NO SCALE

SHEET TITLE: FIRST FLOOR PLUMBING DEMOLITION PLAN - UNIT C

SHEET NUMBER: PD 101.1C
DATE: DECEMBER 21, 2022
21113.20



FIRST FLOOR PLUMBING PLAN - UNIT A
1/8" = 1'-0"

KEYED NOTES - PLUMBING

- 1 PROVIDE AND INSTALL SINK. CONNECT TO EXISTING CW, HW, SANITARY AND VENT PIPING. MODIFY PIPING AS NECESSARY FOR NEW CONNECTION. PROVIDE NEW CW 4 HW STOPS, NEW TAIL PIECE AND DRAIN TRAP. REFER TO THE SPECS FOR SINK TYPE AND ADDITIONAL ACCESSORIES.
- 2 EXISTING INCOMING 3" DOMESTIC WATER SERVICE.
- 3 EXISTING WATER METER.
- 4 CONNECT NEW 2 1/2" CW TO EXISTING 3" CW IN THIS LOCATION.
- 5 VALVE AND CAP PIPING FOR FUTURE ADDITION.
- 6 REWORK EXISTING SECTION OF FIRE PROTECTION PIPING TO ACCOMMODATE NEW OVERHEAD DOOR.

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

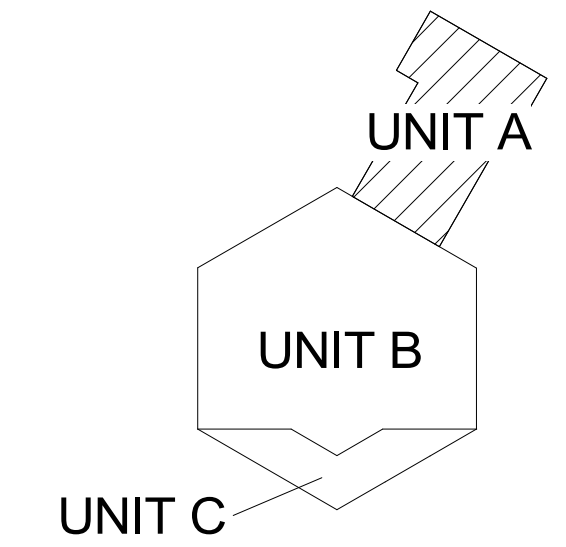
SHEET TITLE
FIRST FLOOR PLUMBING PLAN - UNIT A

Hemlock, Michigan

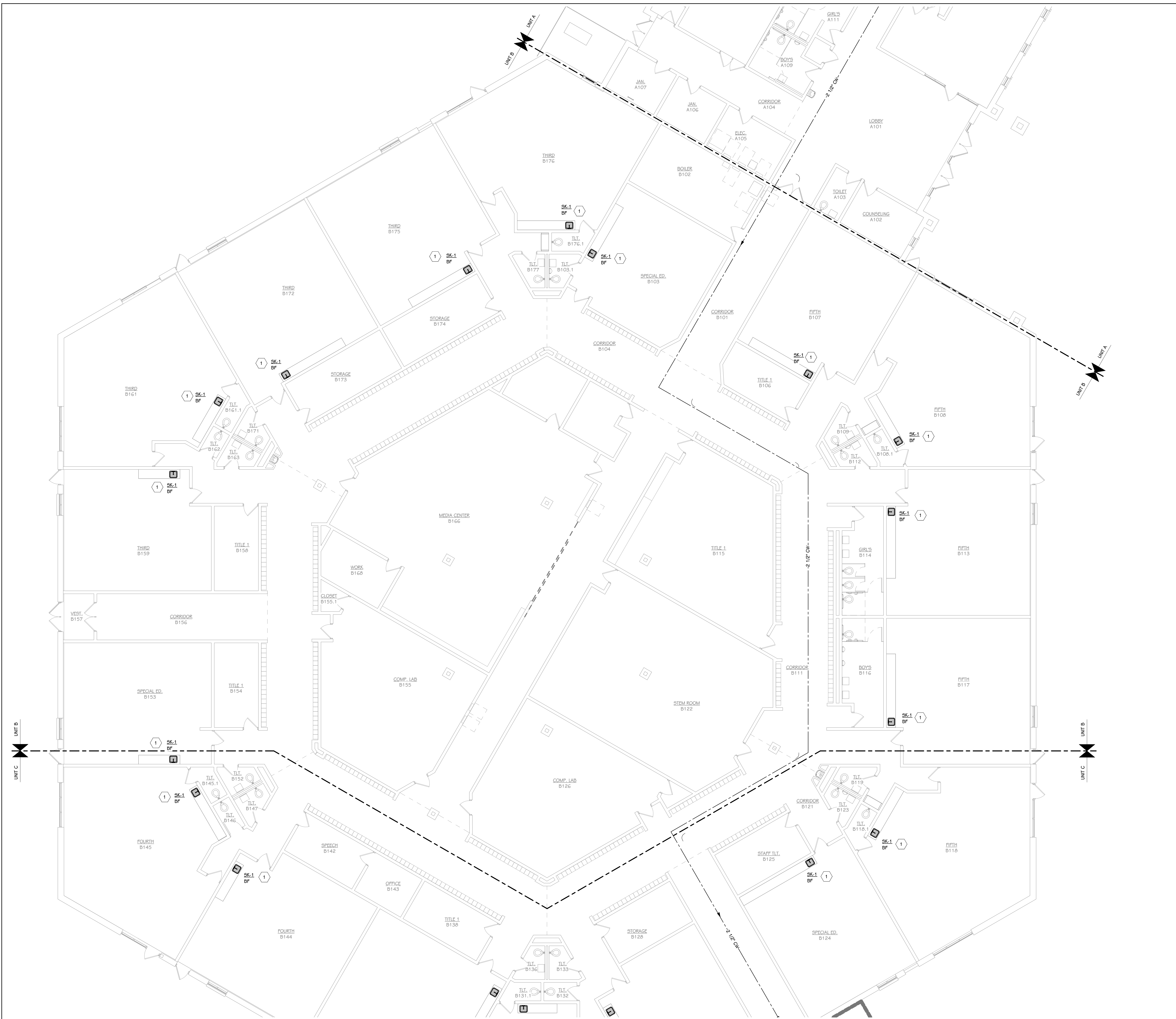
DATE
DECEMBER 21, 2022

SHEET NUMBER
P 101.1A
21113.20

K.C. LING ELEMENTARY



KEY PLAN
SCALE: NO SCALE



FIRST FLOOR PLUMBING PLAN - UNIT B
 1/8" = 1'-0"

KEYED NOTES - PLUMBING

- 1 PROVIDE AND INSTALL SINK. CONNECT TO EXISTING CW, HW, SANITARY AND VENT PIPING. MODIFY PIPING AS NECESSARY FOR NEW CONNECTION. PROVIDE NEW CW 4 HW STOPS, NEW TAIL PIECE AND DRAIN TRAP. REFER TO THE SPECS FOR SINK TYPE AND ADDITIONAL ACCESSORIES.
- 2 EXISTING INCOMING 3" DOMESTIC WATER SERVICE.
- 3 EXISTING WATER METER.
- 4 CONNECT NEW 2 1/2" CW TO EXISTING 3" CW IN THIS LOCATION.
- 5 VALVE AND CAP PIPING FOR FUTURE ADDITION.
- 6 REWORK EXISTING SECTION OF FIRE PROTECTION PIPING TO ACCOMMODATE NEW OVERHEAD DOOR.

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

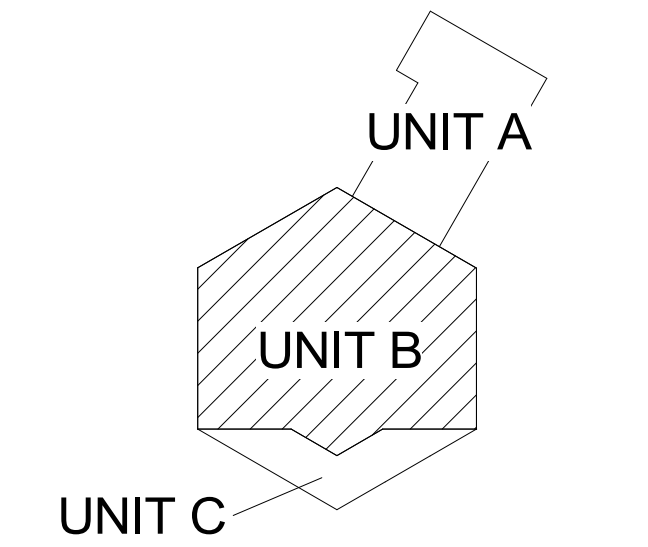
SHEET TITLE
FIRST FLOOR PLUMBING PLAN - UNIT B

Hemlock, Michigan

DATE
DECEMBER 21, 2022

SHEET NUMBER
P 101.1B
 21113.20

K.C. LING ELEMENTARY



KEY PLAN
 SCALE: NO SCALE

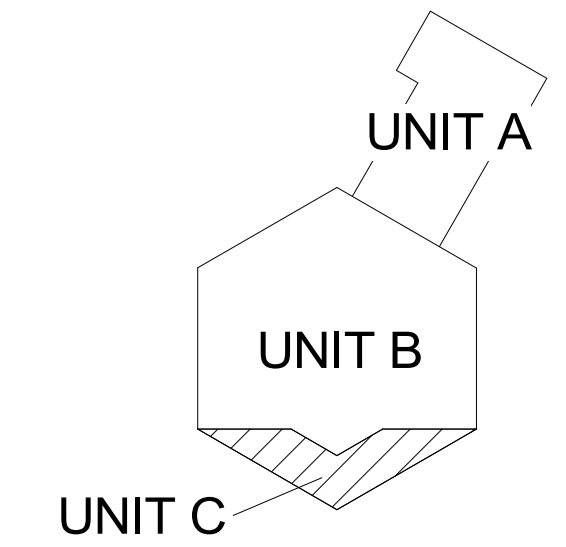


KEYED NOTES - PLUMBING

- 1 PROVIDE AND INSTALL SINK. CONNECT TO EXISTING CW, HW, SANITARY AND VENT PIPING. MODIFY PIPING AS NECESSARY FOR NEW CONNECTION. PROVIDE NEW CW 4 HW STOPS, NEW TAIL PIECE AND DRAIN TRAP. REFER TO THE SPECS FOR SINK TYPE AND ADDITIONAL ACCESSORIES.
- 2 EXISTING INCOMING 3" DOMESTIC WATER SERVICE.
- 3 EXISTING WATER METER.
- 4 CONNECT NEW 2 1/2" CW TO EXISTING 3" CW IN THIS LOCATION.
- 5 VALVE AND CAP PIPING FOR FUTURE ADDITION.
- 6 REWORK EXISTING SECTION OF FIRE PROTECTION PIPING TO ACCOMMODATE NEW OVERHEAD DOOR.

 **FIRST FLOOR PLUMBING PLAN - UNIT C**
1/8" = 1'-0"

K.C. LING ELEMENTARY



 **KEY PLAN**
SCALE: NO SCALE

ISSUED FOR _____ DATE _____

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

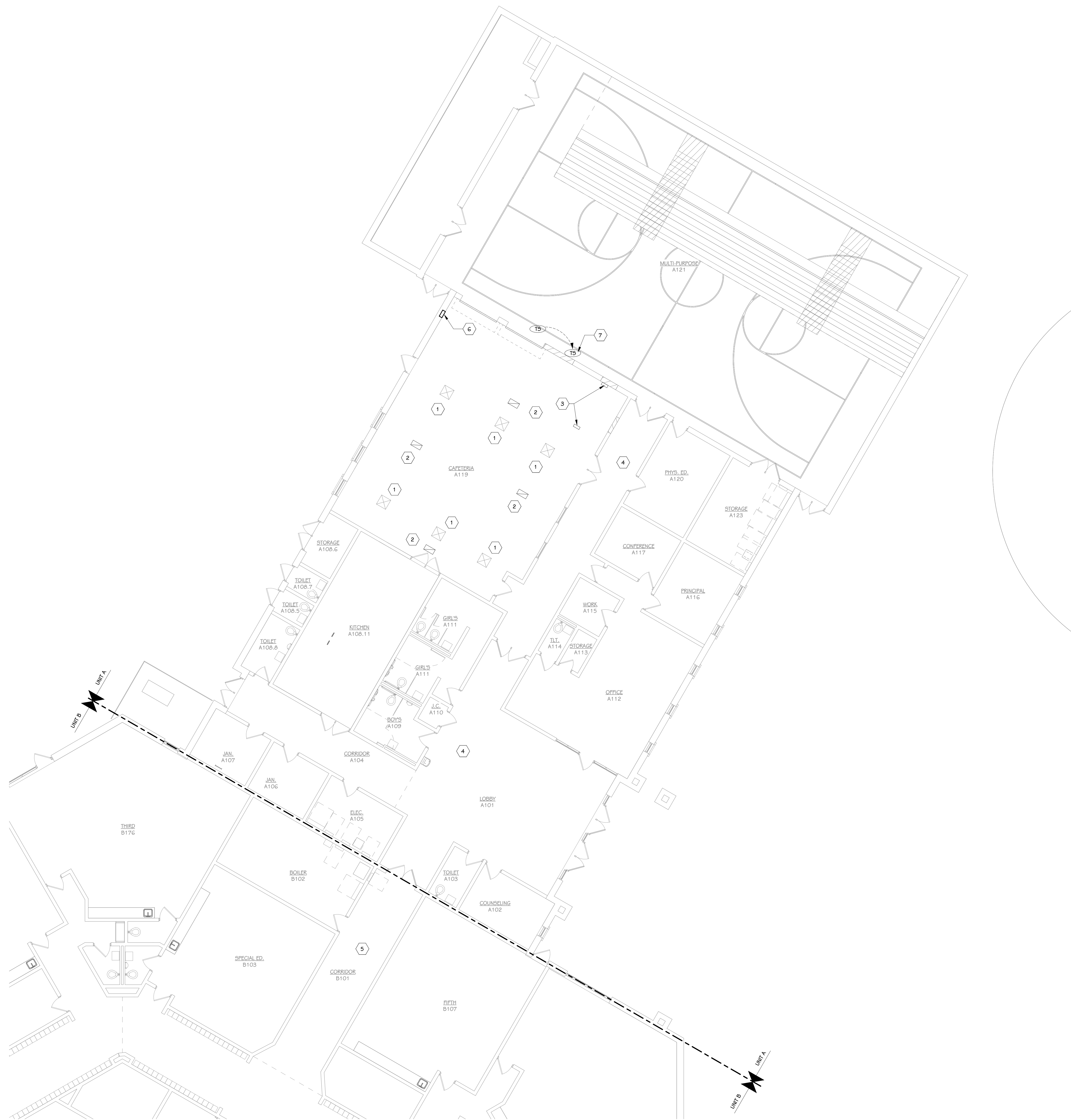
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR PLUMBING PLAN - UNIT C

DATE
DECEMBER 21, 2022

SHEET NUMBER
P 101.1C
21113.20



FIRST FLOOR SHEET METAL PLAN - UNIT A
1/8" = 1'-0"

KEYED NOTES - MECHANICAL

- 1 NEW CEILING TO BE INSTALLED IN CAFETERIA. EXISTING SUPPLY DIFFUSER TO BE REMOVED AND TO BE RE-INSTALLED IN NEW CEILING CLOSE TO ITS ORIGINAL INSTALL LOCATION. MODIFY EXISTING DUCTWORK AS NECESSARY FOR NEW DIFFUSER LOCATION. REBALANCE AIRFLOW TO 265 CFM.
- 2 REMOVE EXISTING RETURN AIR GRILLE AND RE-INSTALL IN NEW CEILING.
- 3 IN THIS LOCATION WHERE THE EXISTING WALL WAS REMOVED, THERE WAS AN EXISTING TEST SWITCH FOR AN EXISTING SMOKE DAMPER. RELOCATE SWITCH TO NORTH WALL ABOVE THE CEILING.
- 4 IN THIS AREA IN UNIT A, THE EXISTING CEILING WILL BE REMOVED AND RE-INSTALLED FOR NEW PIPING. THERE ARE CURRENTLY (5) EXISTING SUPPLY AND RETURN GRILLES. THESE GRILLES SHALL BE REMOVED AND INSTALLED BACK IN THEIR ORIGINAL LOCATIONS. MODIFY THE EXISTING DUCTWORK AS NECESSARY FOR RE-INSTALL.
- 5 IN THIS AREA IN UNIT B 4 C, THE EXISTING CEILING WILL BE REMOVED AND RE-INSTALLED FOR NEW PIPING. THERE ARE CURRENTLY (6) EXISTING SUPPLY AND RETURN GRILLES. THESE GRILLES SHALL BE REMOVED AND INSTALLED BACK IN THEIR ORIGINAL LOCATIONS. MODIFY THE EXISTING DUCTWORK AS NECESSARY FOR RE-INSTALL.
- 6 REMOVE EXISTING WALL MOUNTED ELECTRIC HEATER. PATCH WALL TO MATCH EXISTING CONSTRUCTION.
- 7 EXISTING SPACE TEMPERATURE SENSOR FOR EXISTING RTU TO BE RELOCATED TO ACCOMMODATE NEW OVERHEAD DOOR.

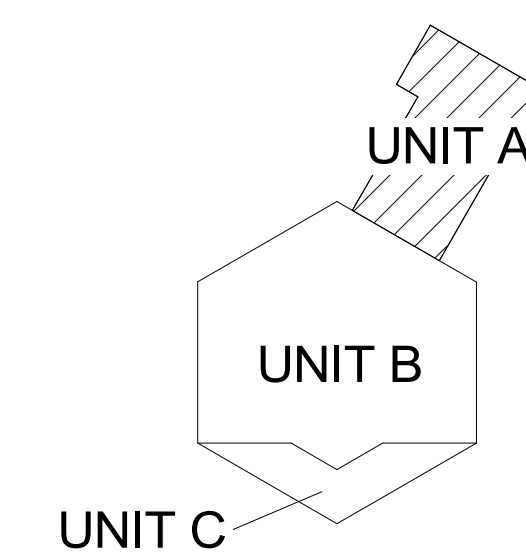
ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

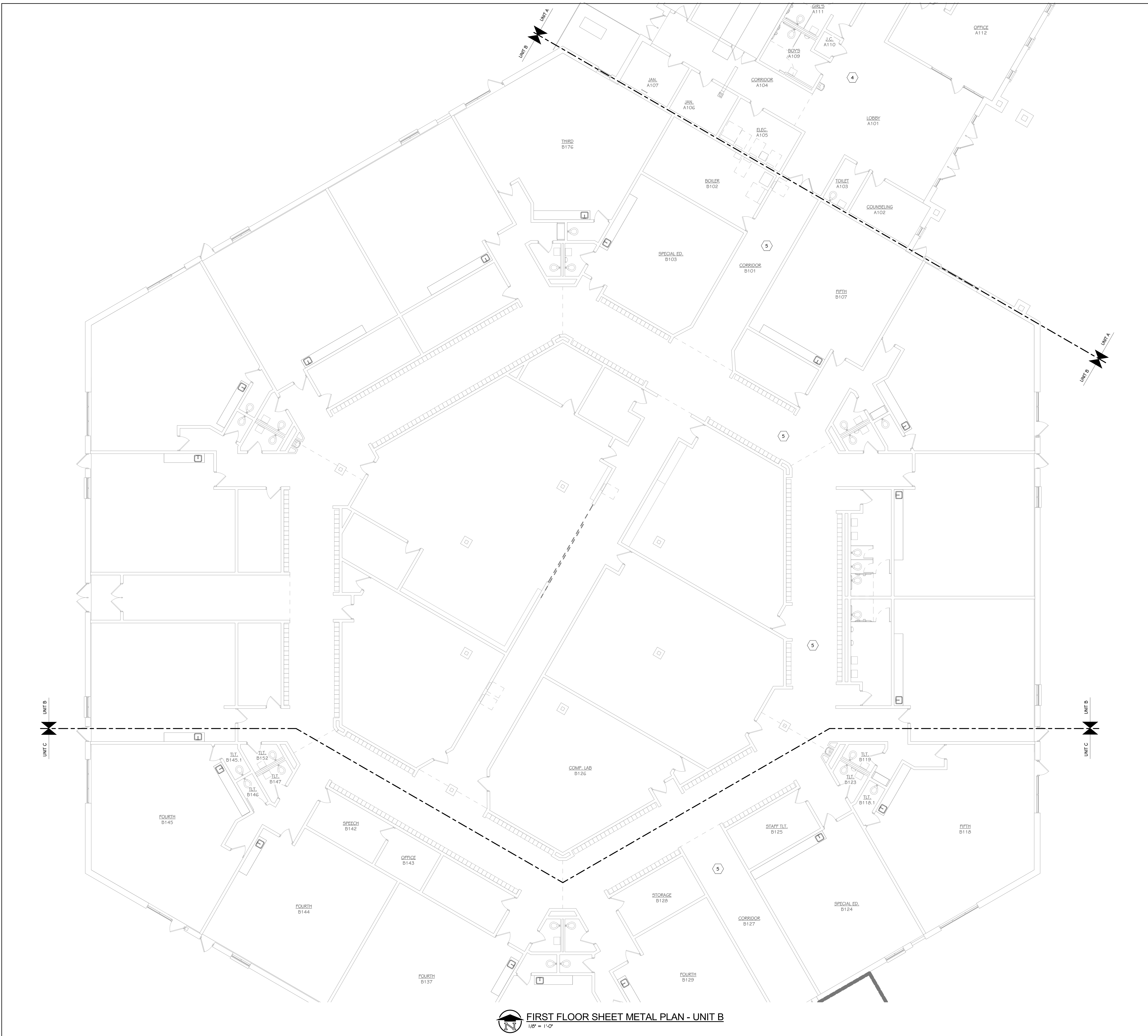
K.C. LING ELEMENTARY



KEY PLAN
SCALE: NO SCALE

SHEET TITLE
FIRST FLOOR SHEET METAL PLAN - UNIT A

SHEET NUMBER
M 101.1A
DATE
DECEMBER 21, 2022
21113.20



- KEYED NOTES - MECHANICAL**
- 1 NEW CEILING TO BE INSTALLED IN CAFETERIA. EXISTING SUPPLY DIFFUSER TO BE REMOVED AND TO BE RE-INSTALLED IN NEW CEILING CLOSE TO ITS ORIGINAL INSTALL LOCATION. MODIFY EXISTING DUCTWORK AS NECESSARY FOR NEW DIFFUSER LOCATION. REBALANCE AIRFLOW TO 265 CFM.
 - 2 REMOVE EXISTING RETURN AIR GRILLE AND RE-INSTALL IN NEW CEILING.
 - 3 IN THIS LOCATION WHERE THE EXISTING WALL WAS REMOVED, THERE WAS AN EXISTING TEST SWITCH FOR AN EXISTING SMOKE DAMPER. RELOCATE SWITCH TO NORTH WALL ABOVE THE CEILING.
 - 4 IN THIS AREA IN UNIT A, THE EXISTING CEILING WILL BE REMOVED AND RE-INSTALLED FOR NEW PIPING. THERE ARE CURRENTLY (5) EXISTING SUPPLY AND RETURN GRILLES. THESE GRILLES SHALL BE REMOVED AND INSTALLED BACK IN THEIR ORIGINAL LOCATIONS. MODIFY THE EXISTING DUCTWORK AS NECESSARY FOR RE-INSTALL.
 - 5 IN THIS AREA IN UNIT B 4 C, THE EXISTING CEILING WILL BE REMOVED AND RE-INSTALLED FOR NEW PIPING. THERE ARE CURRENTLY (6) EXISTING SUPPLY AND RETURN GRILLES. THESE GRILLES SHALL BE REMOVED AND INSTALLED BACK IN THEIR ORIGINAL LOCATIONS. MODIFY THE EXISTING DUCTWORK AS NECESSARY FOR RE-INSTALL.
 - 6 REMOVE EXISTING WALL MOUNTED ELECTRIC HEATER. PATCH WALL TO MATCH EXISTING CONSTRUCTION.
 - 7 EXISTING SPACE TEMPERATURE SENSOR FOR EXISTING RTU TO BE RELOCATED TO ACCOMMODATE NEW OVERHEAD DOOR.

ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
 HEMLOCK PUBLIC SCHOOLS

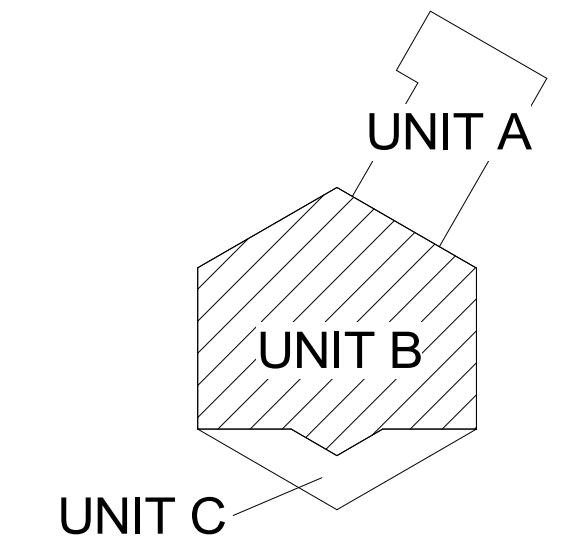
SHEET TITLE
 FIRST FLOOR SHEET METAL PLAN - UNIT B

Hemlock, Michigan

DATE
 DECEMBER 21, 2022

SHEET NUMBER
 M 101.1B
 21113.20

K.C. LING ELEMENTARY



KEY PLAN
 SCALE: NO SCALE

FIRST FLOOR SHEET METAL PLAN - UNIT B
 1/8" = 1'-0"

ELECTRICAL ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes items like AFPC ABOVE FINISHED CEILING, AFF ABOVE FINISHED FLOOR, AHJ AUTHORITY HAVING JURISDICTION, etc.

LIGHTING SYMBOLS

Table with 3 columns: Symbol, Description, and Mounting Height. Includes items like S SINGLE POLE SWITCH, S1a OCCUPANCY SENSOR (SET TO VACANCY MODE) - SWITCH MOUNTED, etc.

RECEPTACLE SYMBOLS

Table with 3 columns: Symbol, Description, and Mounting Height. Includes items like DUPLEX RECEPTACLE, DOUBLE DUPLEX RECEPTACLE, GFCI REMOTE TRIP DEVICE, etc.

FIRE ALARM SYMBOLS

Table with 3 columns: Symbol, Description, and Mounting Height. Includes items like FIRE ALARM SMOKE DETECTOR - CEILING TYPE, FIRE ALARM SMOKE DETECTOR - ELEVATOR TYPE, etc.

POWER SYMBOLS

Table with 3 columns: Symbol, Description, and Mounting Height. Includes items like ELEGRIC METER, SURGE PROTECTION DEVICE, MOTOR CONTROL CENTER, etc.

NOTES:

MOUNT DEVICES AT HEIGHTS INDICATED UNLESS INDICATED OTHERWISE ON PLANS. HEIGHTS ARE TO BOTTOM OF DEVICE.

GENERAL ELECTRICAL DEMOLITION NOTES

- 1 FIXTURES, DEVICES AND EQUIPMENT SHOWN DASHED OR WITH AN "X" ARE TO BE REMOVED. FIXTURES, DEVICES AND EQUIPMENT SHOWN LIGHTLY OR WITH AN "E" ARE EXISTING TO REMAIN UNDISTURBED.
2 DEVICES SHOWN WITH AN "R" ARE EXISTING TO BE REPLACED WITH NEW DEVICE AND COVERPLATE. REUSE EXISTING CODE COMPLIANT WIRING.
3 REMOVE ALL LIGHT FIXTURES, DEVICES, WIRING AND EXPOSED CONDUIT FROM WALL AND CEILINGS TO BE DEMOLISHED. COORDINATE WITH ARCHITECTURAL. REMOVE ABANDONED EXPOSED CONDUIT AND ABANDONED WIRING BACK TO SOURCE. RE-LABEL CIRCUIT BREAKER AS A SPARE.
4 TEMPORARILY SUPPORT EXISTING CEILING DEVICES TO REMAIN IN EXISTING CEILINGS TO BE REPLACED. REINSTALL DEVICES INTO NEW CEILING.
5 CONTRACTOR SHALL BE RESPONSIBLE FOR PROJECT PHASING. TEMPORARY POWER, EGRESS LIGHTING, EXIT SIGNAGE, PULL STATIONS AND BATTERY BACKUP LIGHTING SHALL BE PROVIDED AS REQUIRED WHILE BUILDING IS OCCUPIED BETWEEN PHASES OF CONSTRUCTION.
6 PATCH AND REPAIR ANY MATERIALS TO MATCH ADJACENT FOR ANY EQUIPMENT OR LIGHT FIXTURES REMOVED OR MATERIALS DAMAGED IN REMOVAL.

GENERAL LIGHTING NOTES

- 1 ALL OCCUPANCY SENSORS AND PHOTOCELLS MOUNTED IN THE SAME ROOM SHALL BE CONNECTED TOGETHER AND OPERATE AS ONE SYSTEM. DAYLIGHT HARVESTING SHALL BE SELF CONTAINED WITHIN EACH ROOM AND SHALL BE FIELD ADJUSTED WITH ENGINEER. MANUFACTURER SHALL PROVIDE FLOOR PLANS DURING SHOP DRAWING PHASE SHOWING EXACT LOCATIONS AND QUANTITIES AS REQUIRED FOR A COMPLETE SYSTEM.
2 ALL OCCUPANCY SENSOR WIRING SHALL BE CONCEALED WITHIN CONDUIT WHERE EXPOSED. NO LOW VOLTAGE WIRING SHALL BE EXPOSED.
3 ALL CONDUITS SHALL RUN AS TIGHT TO DECK AS POSSIBLE. CONDUITS SHALL BE RUN IN A NEAT MANNER. MAINTAIN THE SAME SPACING WHEN CONDUITS ARE RUN TOGETHER. CONCEAL JUNCTION BOXES OVER LAY-IN CEILINGS AND USE EMT DROPS DOWN TO CLOUDS. LOCATE CONDUIT DROPS TO CLOUDS AND CEILING ELEMENTS IN LEAST VISIBLE LOCATION. NO MC-CABLE TO LIGHT FIXTURES SHALL BE VISIBLE FROM ANY ANGLE.
4 RECESS NEW DEVICES AND ASSOCIATED CONDUIT AND BACKBOX IN EXISTING WALL. CUT AND PATCH AS REQUIRED.
5 COORDINATE LIGHTING RUNS FOR LINEAR FIXTURES ALL TRADES. NO PIPES, DUCTS, CONDUIT, CABLE TRAY OR ANY OTHER SYSTEMS SHALL BE ROUTED UNDER LIGHTS.

GENERAL POWER NOTES

- 1 ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR NEW WORK OR WHERE DEVICES ARE REMOVED AND NOT REPLACED.
2 ELECTRICAL CONTRACTOR SHALL COORDINATE WITH G SERIES SHEETS DEVICE COORDINATION DETAIL. DEVICES ARE TO ALIGN VERTICALLY AND HORIZONTALLY AND FOLLOW THE RULES OF THIS DETAIL CONSISTENTLY. A PRE-INSTALL DEVICE COORDINATION MEETING FOR DEVICE FINISHES AND LAYOUT MAY BE REQUIRED IN THE SPECIFICATION FOR THIS PROJECT.
3 PATCH ALL PENETRATIONS AS REQUIRED TO MAINTAIN FIRE RATING.
4 REFER TO INTERIOR ELEVATIONS, SECTIONS, ARCHITECTURAL ELEVATIONS AND RELATED DRAWINGS FOR EXACT DEVICE LOCATIONS AND MOUNTING HEIGHTS. WHERE DEVICES ARE MOUNTED UNDER OR ABOVE TACK BOARDS, DOORS, WINDOWS, OR ANY PIECE OF EQUIPMENT, THE ELECTRICAL DEVICE SHALL BE CENTERED AS SHOWN. COORDINATE LOCATION OF FURNITURE CONNECTIONS AND/OR RECEPTACLES AND DATA RACEWAYS WITH APPROVED FURNITURE SHOP DRAWINGS, FINAL CONNECTIONS TO FURNITURE BY ELECTRICAL CONTRACTOR.
5 ALL CONDUITS SHALL RUN AS NEAR TO DECK AS PERMITTED BY CODE. SOME CONDUITS WILL BE EXPOSED AND SHALL BE RUN IN A NEAT MANNER. MAINTAIN THE SAME SPACING WHEN CONDUITS ARE RUN TOGETHER. CONCEAL JUNCTION BOXES OVER LAY-IN CEILING AND USE EMT DROPS DOWN TO CLOUDS. LOCATE CONDUIT DROPS TO CLOUDS AND CEILING ELEMENTS IN LEAST VISIBLE LOCATION.
6 WHEN CEILINGS ARE REMOVED ELECTRICAL CONTRACTOR SHALL PROPERLY SUPPORT ALL CONDUIT AND LOW VOLTAGE WIRING AS REQUIRED PER NEC.
7 REMOVE CEILINGS AND GRID AS REQUIRED. REPLACE ANY DAMAGED CEILINGS.
8 ALL KITCHEN RECEPTACLES, BATHROOM RECEPTACLES, OUTDOOR RECEPTACLES, OUTLETS WITHIN 6' OF SINK AND ANY OTHER REQUIRED BY 2017 AS TO BE GFCI PROTECTED PER NEC REQUIREMENTS. PROVIDE REMOTE GFCI TESTING DEVICE FOR INACCESSIBLE GFCI DEVICES.
9 ALL TOILET ROOMS, LOCKER ROOMS AND GYMNASIUM CLOCKS, FIRE ALARM STROBES AND SMOKE DETECTORS TO HAVE WIRE GUARDS.
10 ALL FIRE ALARM PULL STATIONS TO HAVE PLASTIC COVERS WITH ALARM.
11 ALL LOW VOLTAGE CABLING SHALL BE RUN IN CONDUIT BETWEEN DEVICE AND CABLE TRAY OR TECHNOLOGY RACK. NO CABLING SHALL BE VISIBLE IN EXPOSED CEILING SPACES. EXPOSED CONDUIT SHALL BE PAINTED TO MATCH SURFACE IT IS SUPPORTED FROM. WIRING ROUTED IN ACCESSIBLE CEILING SPACES SHALL BE INDEPENDENTLY SUPPORTED WITH COMM HOOKS OR RINGS.
12 CONNECT POWER TO ALL VAV, TERMINAL UNITS AND MISCELLANEOUS MECHANICAL DAMPERS AND VALVES PROVIDED WITH LOW VOLTAGE TRANSFORMERS. PROVIDE AT LEAST A CIRCUIT FOR EVERY 4 UNITS TO BE ON A TRANSFORMER. COORDINATE EXACT LOCATIONS AND TRANSFORMER QUANTITIES WITH BUILDING AUTOMATION SYSTEM AND MECHANICAL CONTRACTORS AND REFER TO MECHANICAL CONTRACTORS AND SEQUENCE OF OPERATIONS DETAIL. THESE ITEMS ARE NOT SHOWN ON ELECTRICAL DRAWINGS. DO NOT USE SPARE BREAKERS INDICATED IN PANEL SCHEDULES FOR THESE CIRCUITS, NOTIFY PANELBOARD MANUFACTURERS OF QUANTITIES OF THESE BREAKERS REQUIRED.
13 CONNECT BAS CONTROL PANEL TO EMERGENCY CIRCUIT (IF AVAILABLE) AND COORDINATE BAS PANEL LOCATION WITH CONTROLS CONTRACTOR.
14 ALL CONDUITS SHALL ENTER/EXIT THE BUILDING BELOW GRADE. PROVIDE TRENCHING AND DIRECTIONAL BORING AS REQUIRED. CUT AND PATCH AS REQUIRED. NO EXPOSED CONDUIT SHALL BE ALLOWED ON EXTERIOR OF BUILDING.
15 PROVIDE 120V CIRCUIT FROM NEAREST GENERATOR STANDBY PANEL FOR ALL BMS/BAS CONTROL PANELS. COORDINATE LOCATION AND NUMBER OF CIRCUITS WITH CONTROLS CONTRACTOR.
16 PROVIDE 120V CIRCUIT FROM NEAREST LIFE SAFETY PANEL FOR ALL FIRE ALARM HAC PANELS. COORDINATE WITH FIRE ALARM CONTRACTOR FOR LOCATIONS AND NUMBER OF CIRCUITS.
17 PROVIDE 4" HOUSEKEEPING PADS FOR SWITCHGEAR, TRANSFORMERS AND ALL FLOOR MOUNTED EQUIPMENT. PROVIDE FLEXIBLE CONNECTION TO TRANSFORMERS AND SIMILAR EQUIPMENT PER SPECIFICATIONS.
18 PROVIDE MINIMUM 2" CABLE ROUTE (UNLESS OTHERWISE NOTED ON PLANS) FROM EACH TECHNOLOGY/DATA DROP INDICATED ON PLANS TO NEAREST CABLE TRAY OR TECHNOLOGY CLOSET. AT ANY DEMISING WALL, PROVIDE 2" SLEEVE ABOVE ACCESSIBLE CEILING ABOVE LATCH SIDE OF EACH DOOR INTO ROOM. SLEEVES TO BE MINIMUM 12" ON EACH SIDE OF WALL WITH BUSHINGS. FILL UNUSED CONDUITS PRIOR TO COMPLETION OF CONSTRUCTION. [EXTEND SLEEVE AND GROUND TO NEAREST CABLE TRAY].
19 PROVIDE FINAL CONNECTION TO ALL OWNER/CONTRACTOR PROVIDED EQUIPMENT. COORDINATE RECEPTACLE SIZES AND TYPE WITH EQUIPMENT, ADJUST CIRCUIT SIZE AS REQUIRED.
20 ALL RECEPTACLES SHALL BE TAMPER-RESISTANT IN ACCORDANCE WITH NEC 406.1.2.

ISSUED FOR DATE

PROJECT TITLE BID PACKAGE 1 - K.C. LING ELEMENTARY

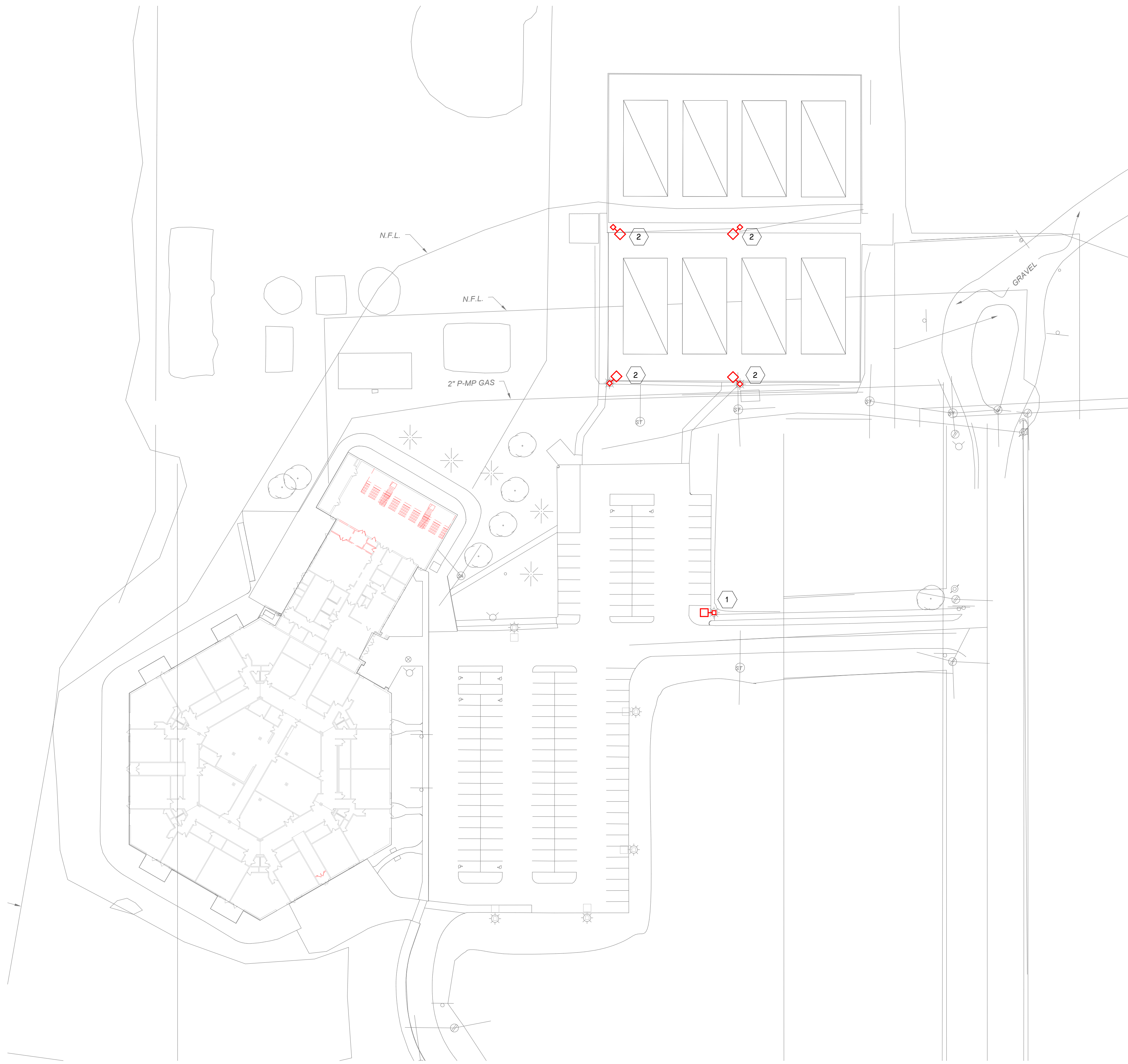
OWNER HEMLOCK PUBLIC SCHOOLS

SHEET TITLE ELECTRICAL SYMBOLS AND GENERAL NOTES

Hemlock, Michigan

DATE DECEMBER 21, 2022

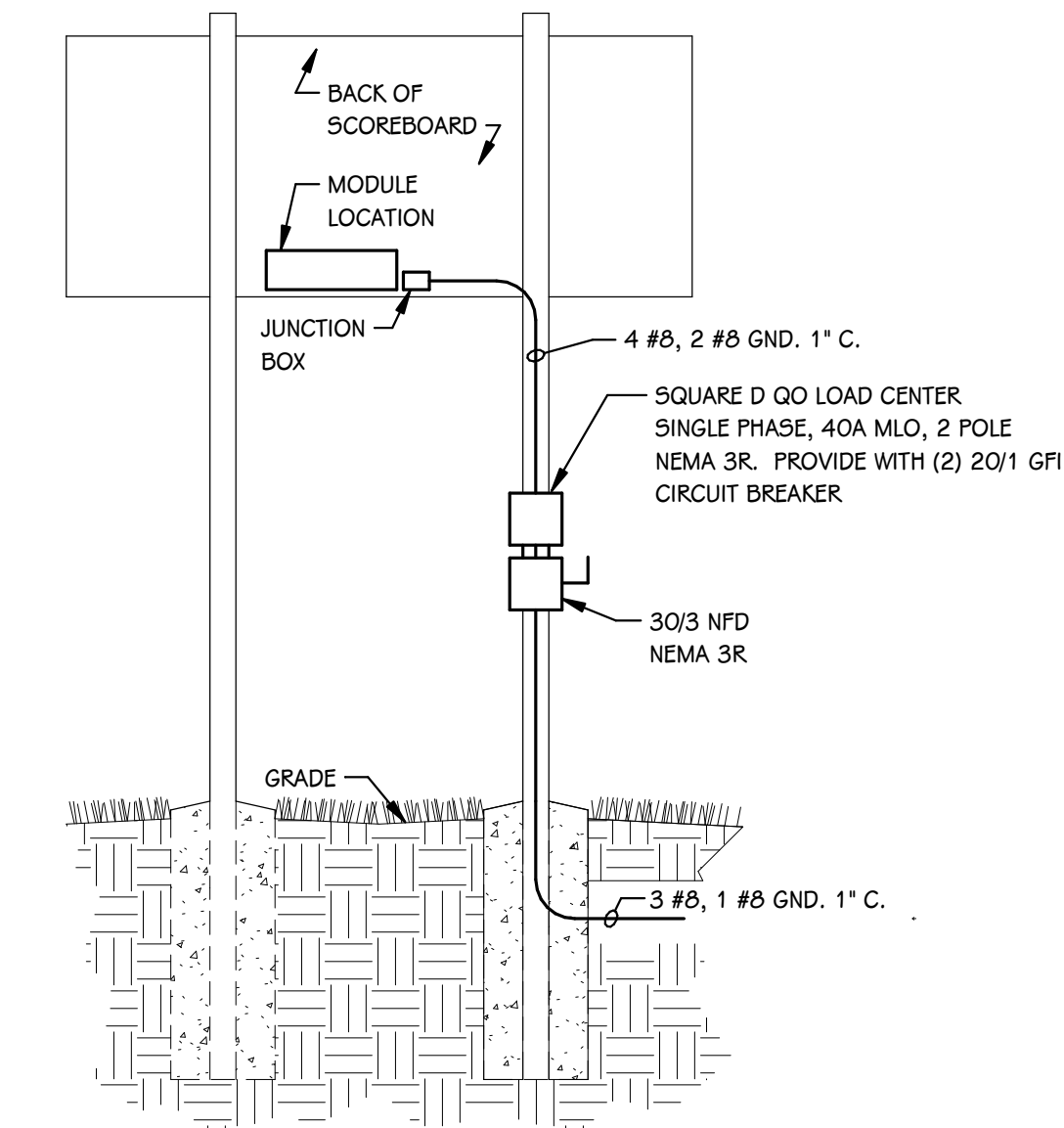
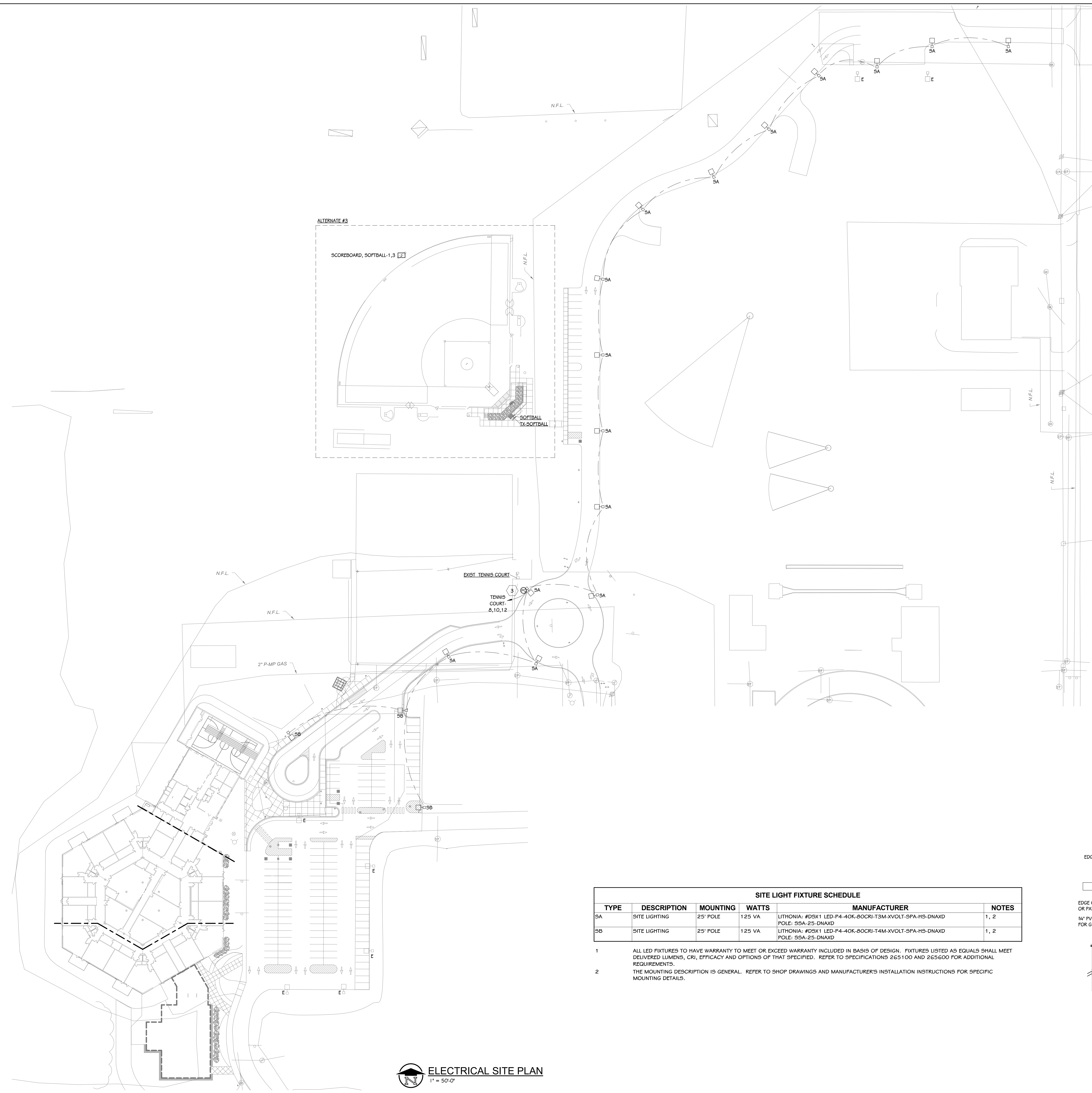
SHEET NUMBER E 001.1 2/11/20



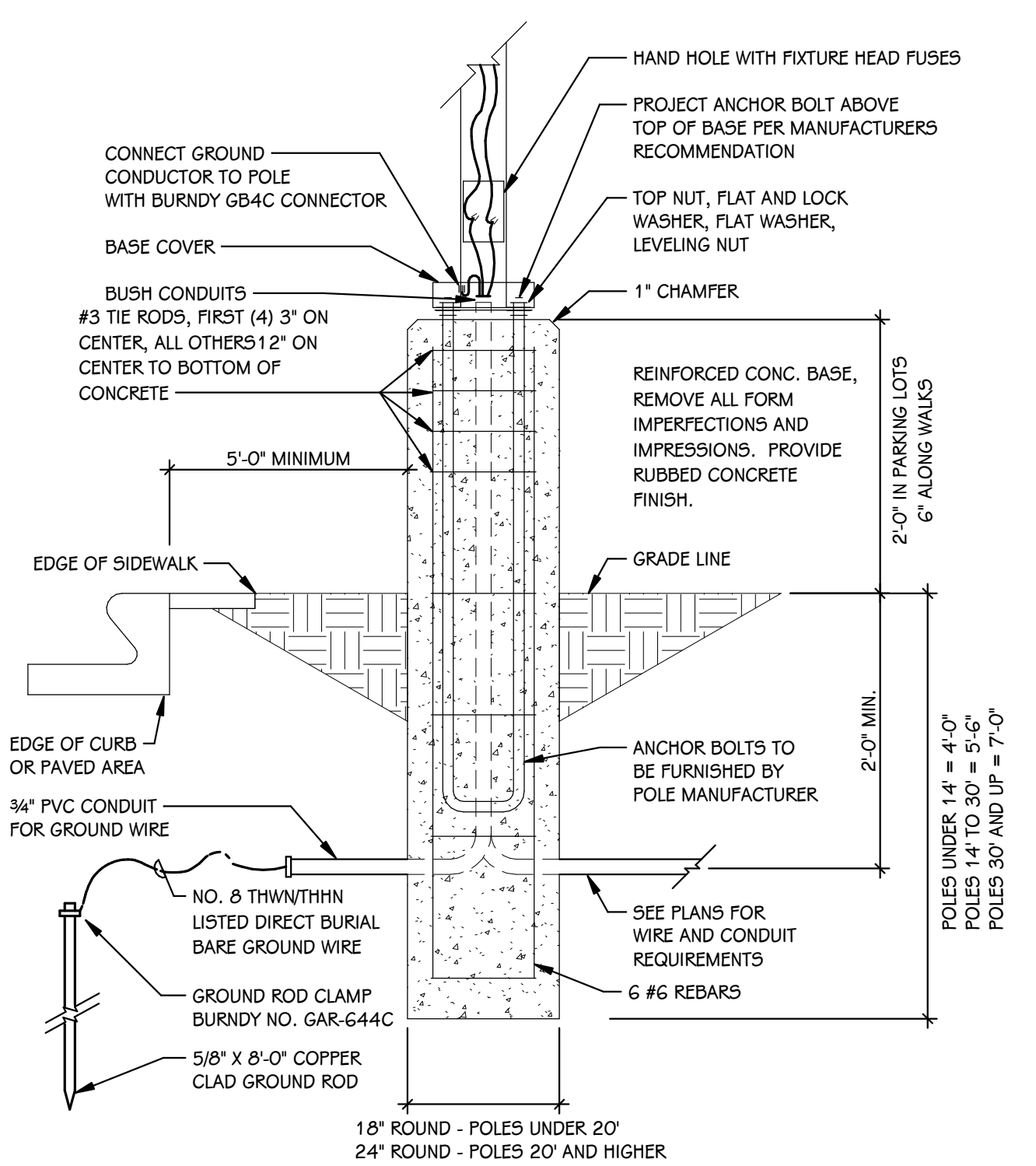
- ELECTRICAL SITE KEYED NOTES**
- 1 DISCONNECT AND REMOVE EXISTING SITE LIGHT FIXTURE, POLE, BASE, AND WIRING. PROVIDE CONNECTION TO EXISTING SITE LIGHTING AS REQUIRED TO MAINTAIN EXISTING CIRCUIT.
 - 2 DISCONNECT AND REMOVE EXISTING TENNIS COURT LIGHT FIXTURES. LIGHT FIXTURES SHALL BE SALVAGED AND STORED FOR REUSE IN FUTURE CONSTRUCTION. DEMOLISH EXISTING LIGHT POLES, CONDUIT AND WIRING BACK TO SOURCE AS REQUIRED.
 - 3 PROVIDE (4) #12, WITH #12G IN 1" CONDUIT. PROVIDE EXTERIOR PHOTOCELL MOUNTED ON SITE LIGHT POLE FOR LIGHTING CONTROL. PROVIDE ALL NECESSARY COMPONENTS FOR COMPLETE INSTALLATION.

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING

- ELECTRICAL SITE KEYED NOTES**
- DISCONNECT AND REMOVE EXISTING SITE LIGHT FIXTURE, POLE, BASE, AND WIRING. PROVIDE CONNECTION TO EXISTING SITE LIGHTING AS REQUIRED TO MAINTAIN EXISTING CIRCUIT.
 - DISCONNECT AND REMOVE EXISTING TENNIS COURT LIGHT FIXTURES. LIGHT FIXTURES SHALL BE SALVAGED AND STORED FOR REUSE IN FUTURE CONSTRUCTION. DEMOLISH EXISTING LIGHT POLES, CONDUIT AND WIRING BACK TO SOURCE AS REQUIRED.
 - PROVIDE (4) #12, WITH #12G IN 1" CONDUIT. PROVIDE EXTERIOR PHOTOCELL MOUNTED ON SITE LIGHT POLE FOR LIGHTING CONTROL. PROVIDE ALL NECESSARY COMPONENTS FOR COMPLETE INSTALLATION.



SCOREBOARD REAR ELEVATION
SCALE: NONE

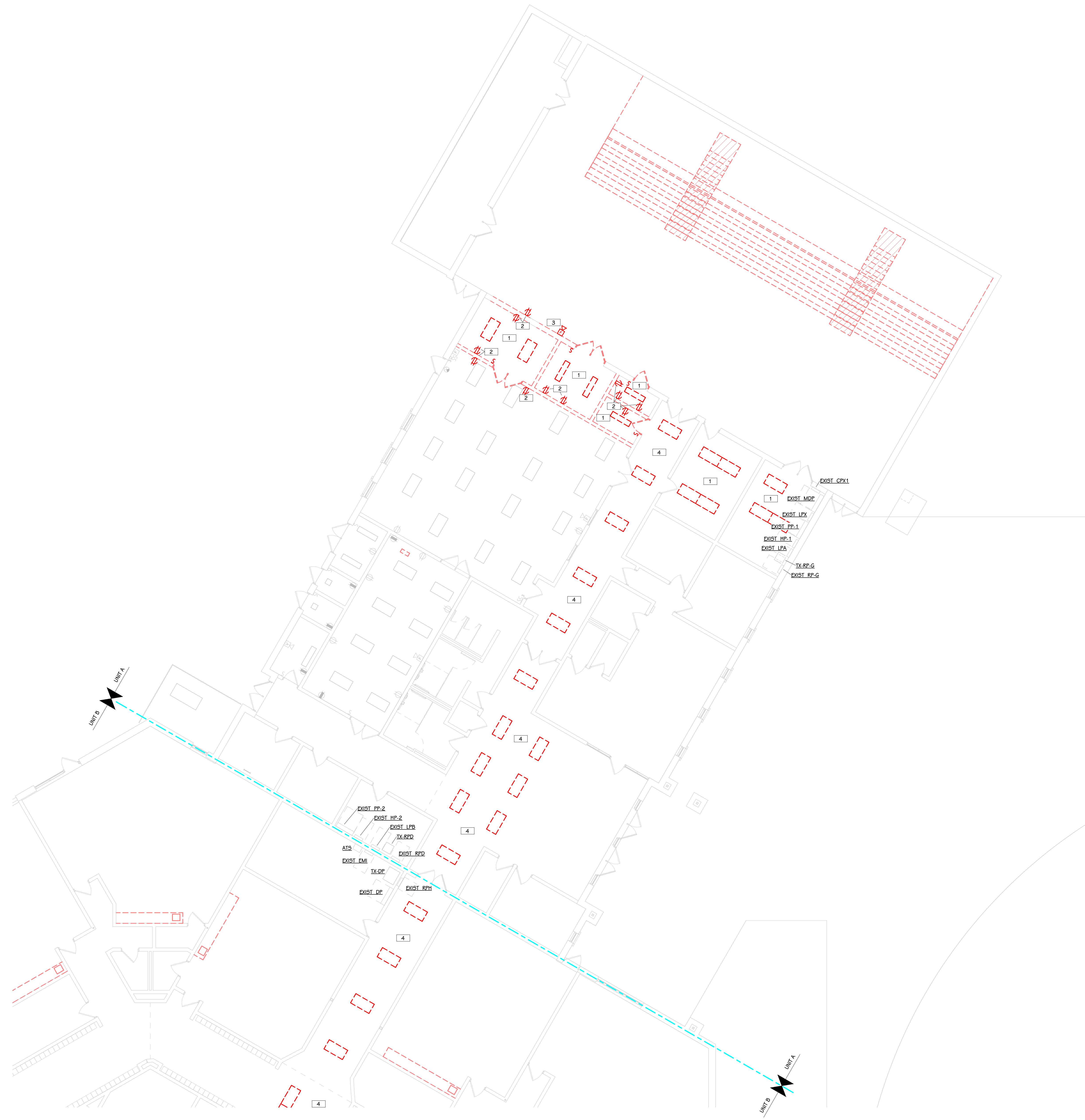


LIGHTING POLE BASE DETAIL
SCALE: NONE

SITE LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	WATTS	MANUFACTURER	NOTES	
SA	SITE LIGHTING	25' POLE	125 VA	LITHONIA: #DSX1 LED-P4-40K-80CRI-T3M-XVOLT-SPA-HS-DNAXD POLE: S5A-25-DNAXD	1, 2	
SB	SITE LIGHTING	25' POLE	125 VA	LITHONIA: #DSX1 LED-P4-40K-80CRI-T4M-XVOLT-SPA-HS-DNAXD POLE: S5A-25-DNAXD	1, 2	

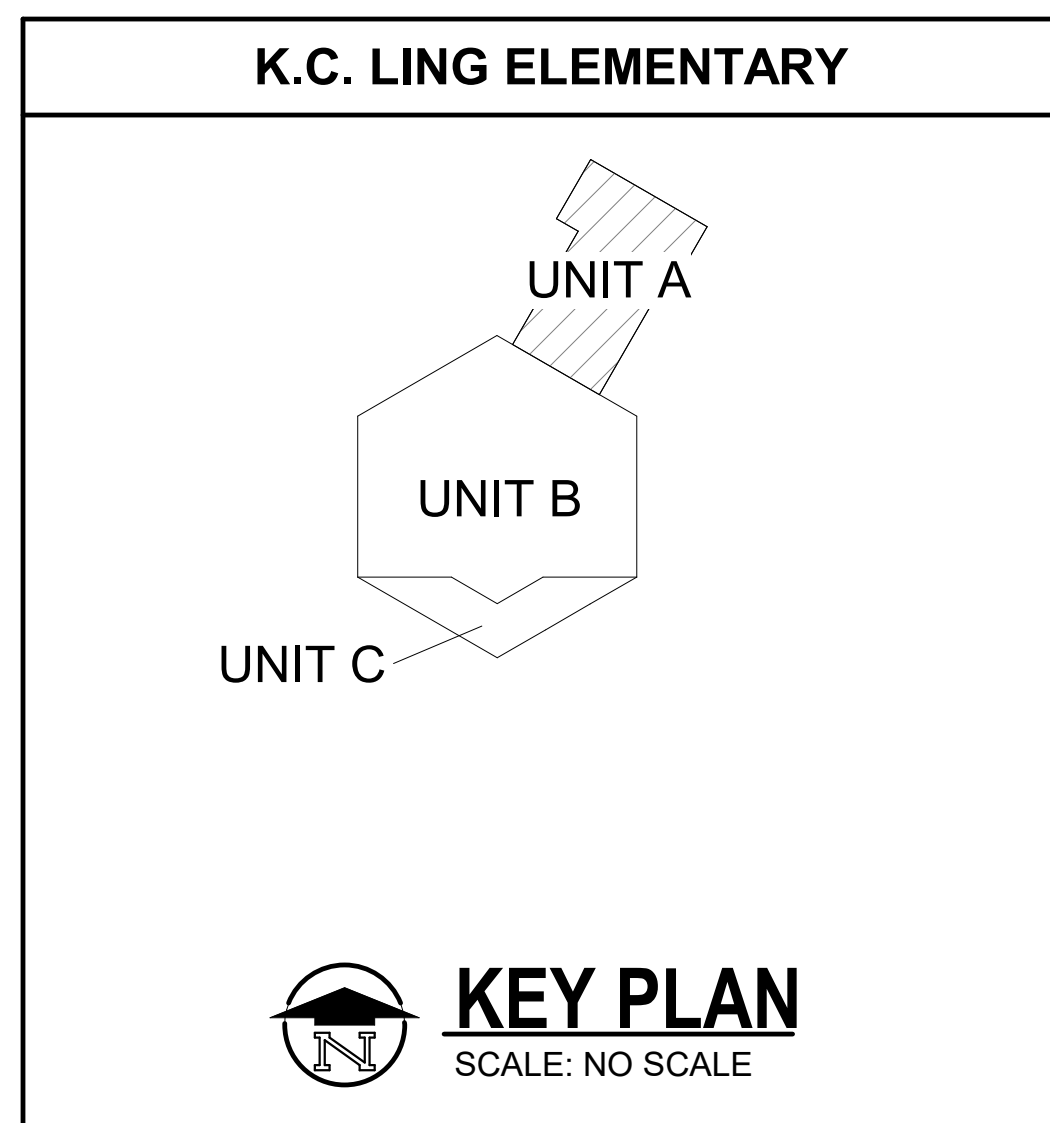
- ALL LED FIXTURES TO HAVE WARRANTY TO MEET OR EXCEED WARRANTY INCLUDED IN BASIS OF DESIGN. FIXTURES LISTED AS EQUALS SHALL MEET DELIVERED LUMENS, CRI, EFFICACY AND OPTIONS OF THAT SPECIFIED. REFER TO SPECIFICATIONS 265100 AND 265600 FOR ADDITIONAL REQUIREMENTS.
- THE MOUNTING DESCRIPTION IS GENERAL. REFER TO SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SPECIFIC MOUNTING DETAILS.

- ELECTRICAL DEMOLITION KEYED NOTES**
- 1 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED SWITCHES IN SPACE. REMOVE EXISTING CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX.
 - 2 DISCONNECT AND REMOVE EXISTING ELECTRICAL DEVICE. REMOVE EXISTING CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX.
 - 3 DISCONNECT AND REMOVE EXISTING FIRE ALARM DEVICE. REMOVE EXISTING CONDUIT AND WIRING BACK TO SOURCE.
 - 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES IN SPACE AS REQUIRED FOR INSTALLATION OF FIRE PROTECTION PIPING. RETAIN AND STORE FIXTURES FOR REINSTALLATION IN NEW CONSTRUCTION.



FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT A
1/8" = 1'-0"

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING



ISSUED FOR DATE

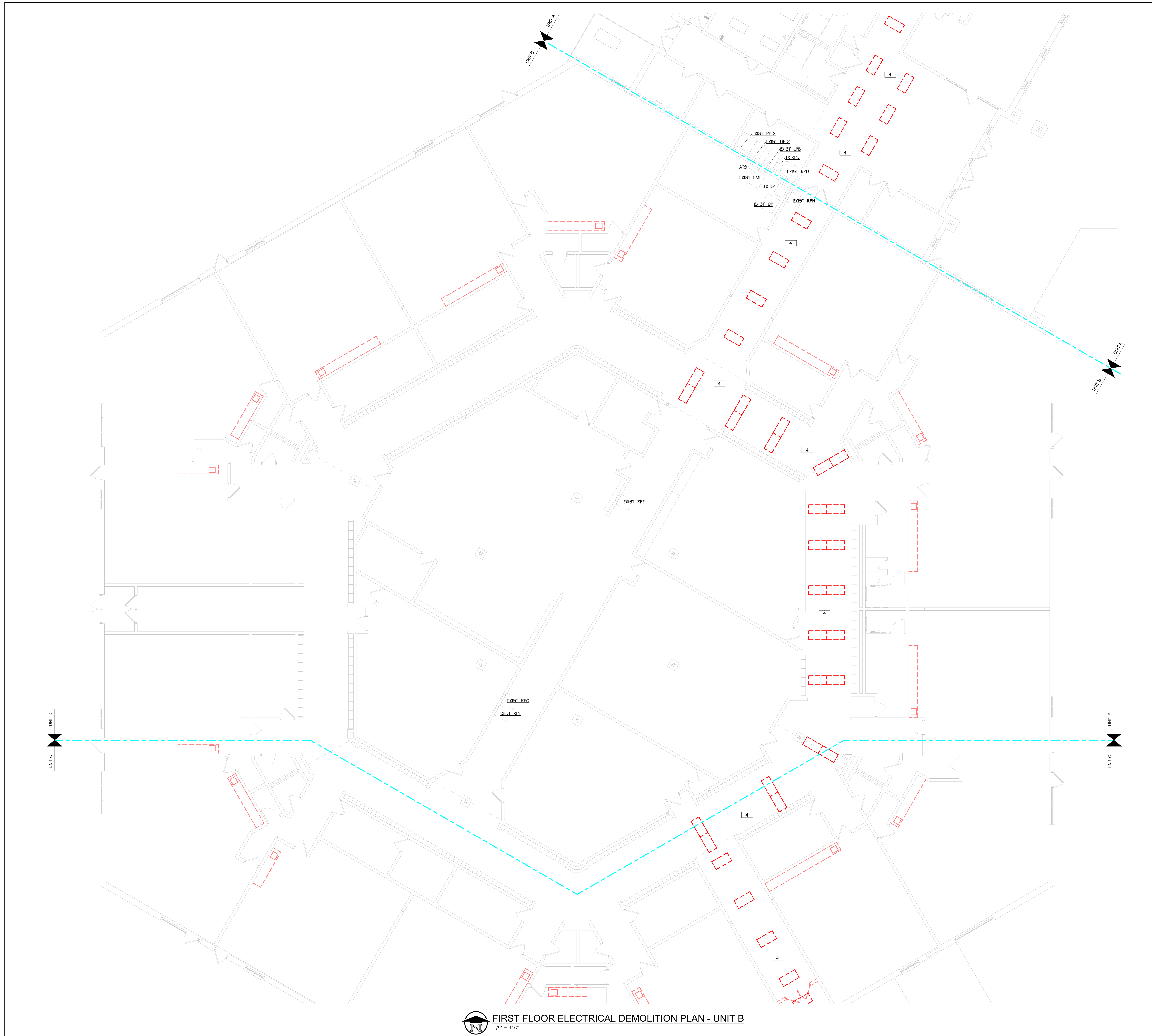
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT A

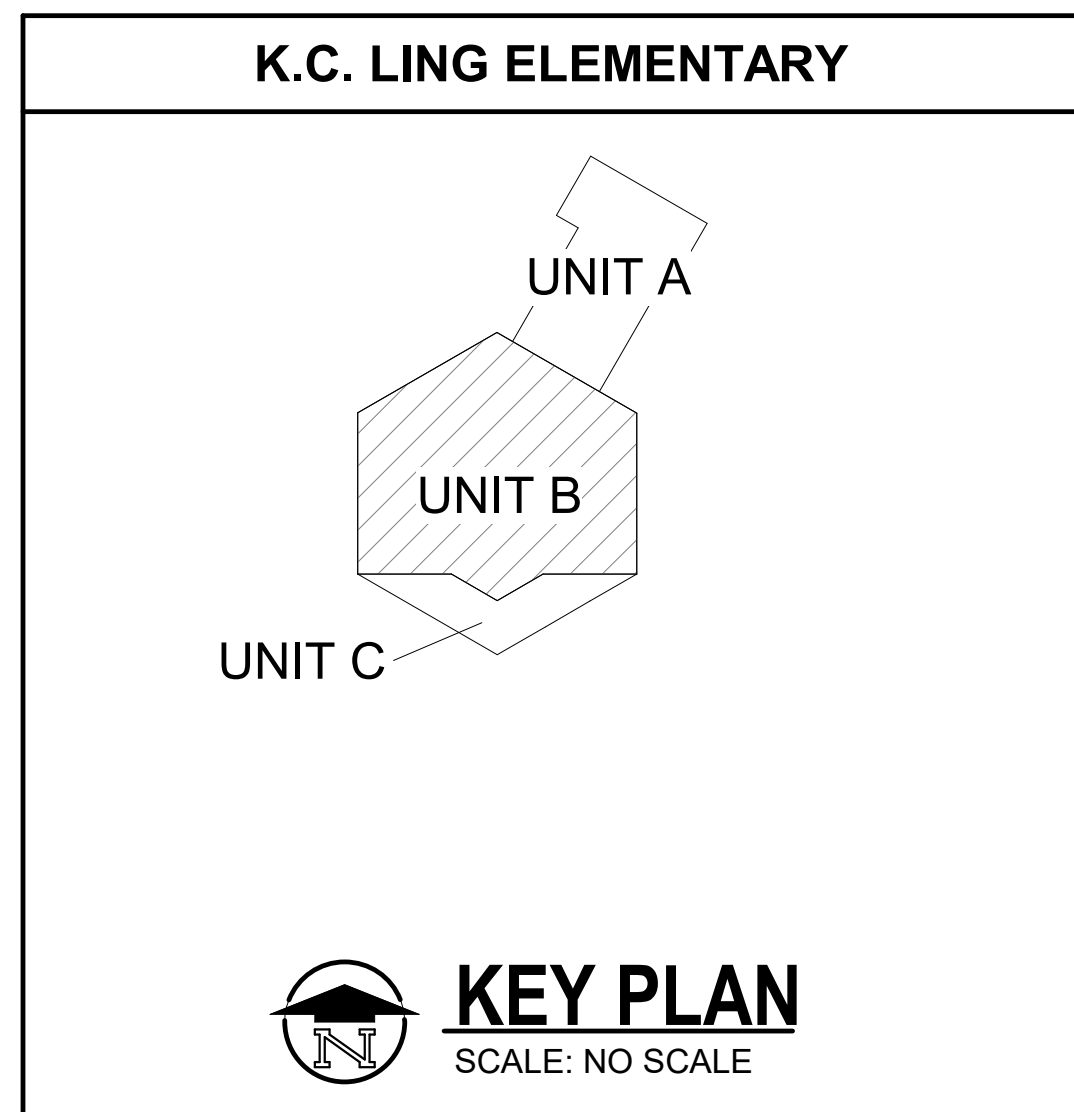
Hemlock, Michigan

SHEET NUMBER
ED 101.1A
DATE
DECEMBER 21, 2022
21113.20



- ELECTRICAL DEMOLITION KEYED NOTES**
- 1 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED SWITCHES IN SPACE. REMOVE EXISTING CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX.
 - 2 DISCONNECT AND REMOVE EXISTING ELECTRICAL DEVICE. REMOVE EXISTING CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX.
 - 3 DISCONNECT AND REMOVE EXISTING FIRE ALARM DEVICE. REMOVE EXISTING CONDUIT AND WIRING BACK TO SOURCE.
 - 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES IN SPACE AS REQUIRED FOR INSTALLATION OF FIRE PROTECTION PIPING. RETAIN AND STORE FIXTURES FOR REINSTALLATION IN NEW CONSTRUCTION.

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING



FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT B
1/8" = 1'-0"

ISSUED FOR DATE

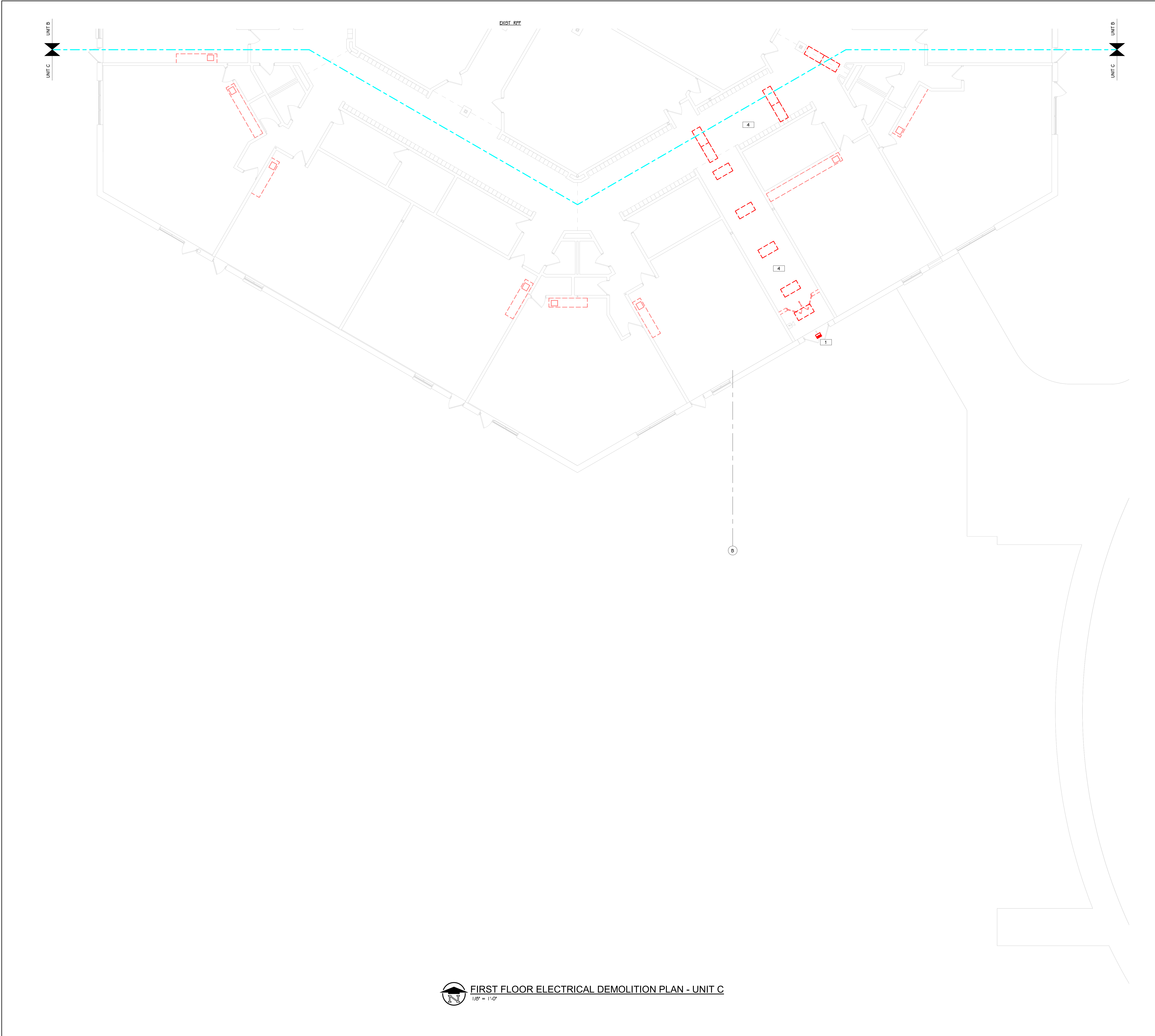
PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
FIRST FLOOR ELECTRICAL DEMOLITION
PLAN - UNIT B

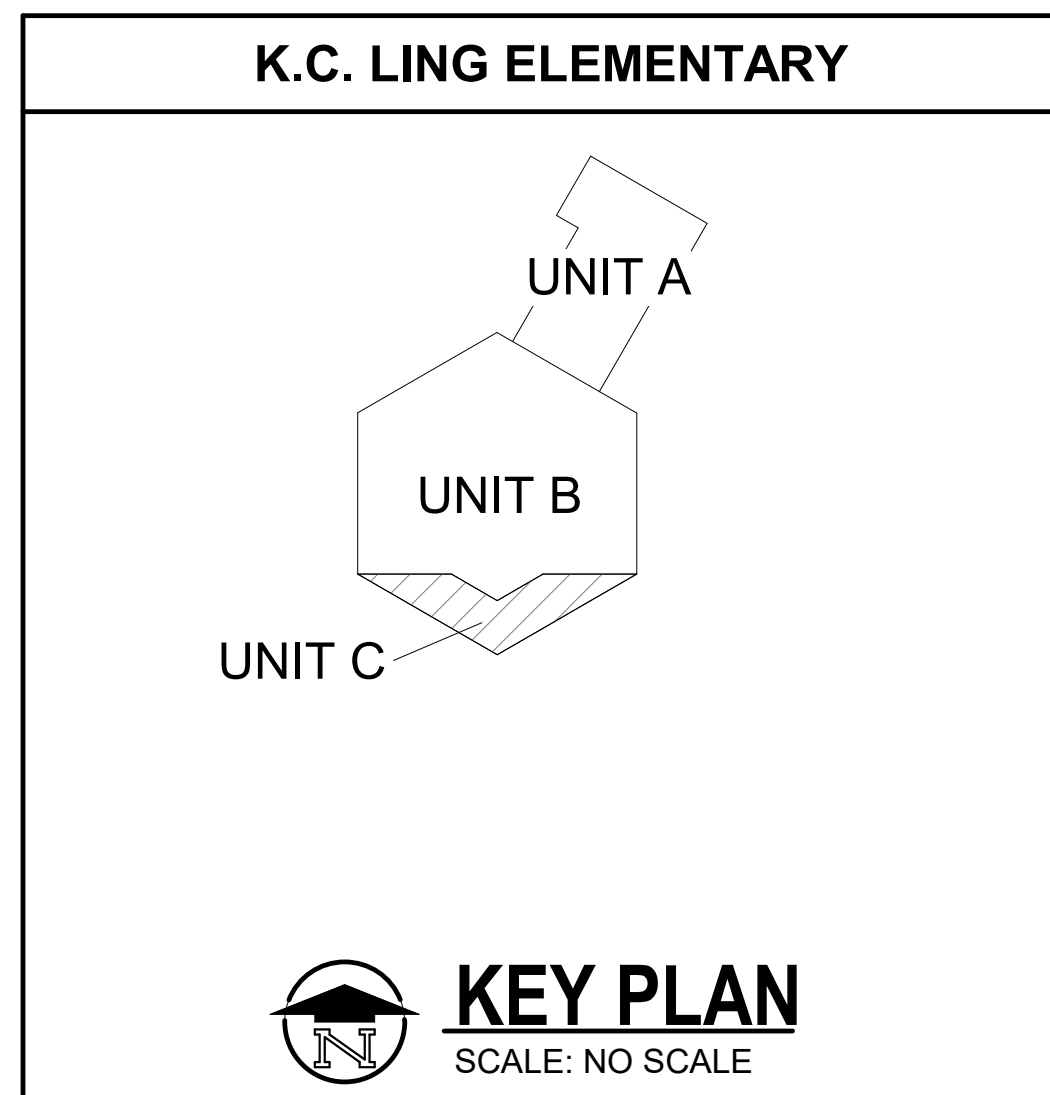
Location: Hemlock, Michigan

SHEET NUMBER
ED 101.1B
DATE
DECEMBER 21, 2022
21113.20



- ELECTRICAL DEMOLITION KEYED NOTES**
- 1 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND ASSOCIATED SWITCHES IN SPACE. REMOVE EXISTING CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX.
 - 2 DISCONNECT AND REMOVE EXISTING ELECTRICAL DEVICE. REMOVE EXISTING CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX.
 - 3 DISCONNECT AND REMOVE EXISTING FIRE ALARM DEVICE. REMOVE EXISTING CONDUIT AND WIRING BACK TO SOURCE.
 - 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES IN SPACE AS REQUIRED FOR INSTALLATION OF FIRE PROTECTION PIPING. RETAIN AND STORE FIXTURES FOR REINSTALLATION IN NEW CONSTRUCTION.

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING



FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT C
1/8" = 1'-0"

TowerPinkster
Architecture · Engineering · Interiors
© 2022 ALL RIGHTS RESERVED

ISSUED FOR: PROJECT TITLE: BID PACKAGE 1 - K.C. LING ELEMENTARY
DATE: DATE

OWNER: HEMLOCK PUBLIC SCHOOLS
OWNER: Hemlock, Michigan

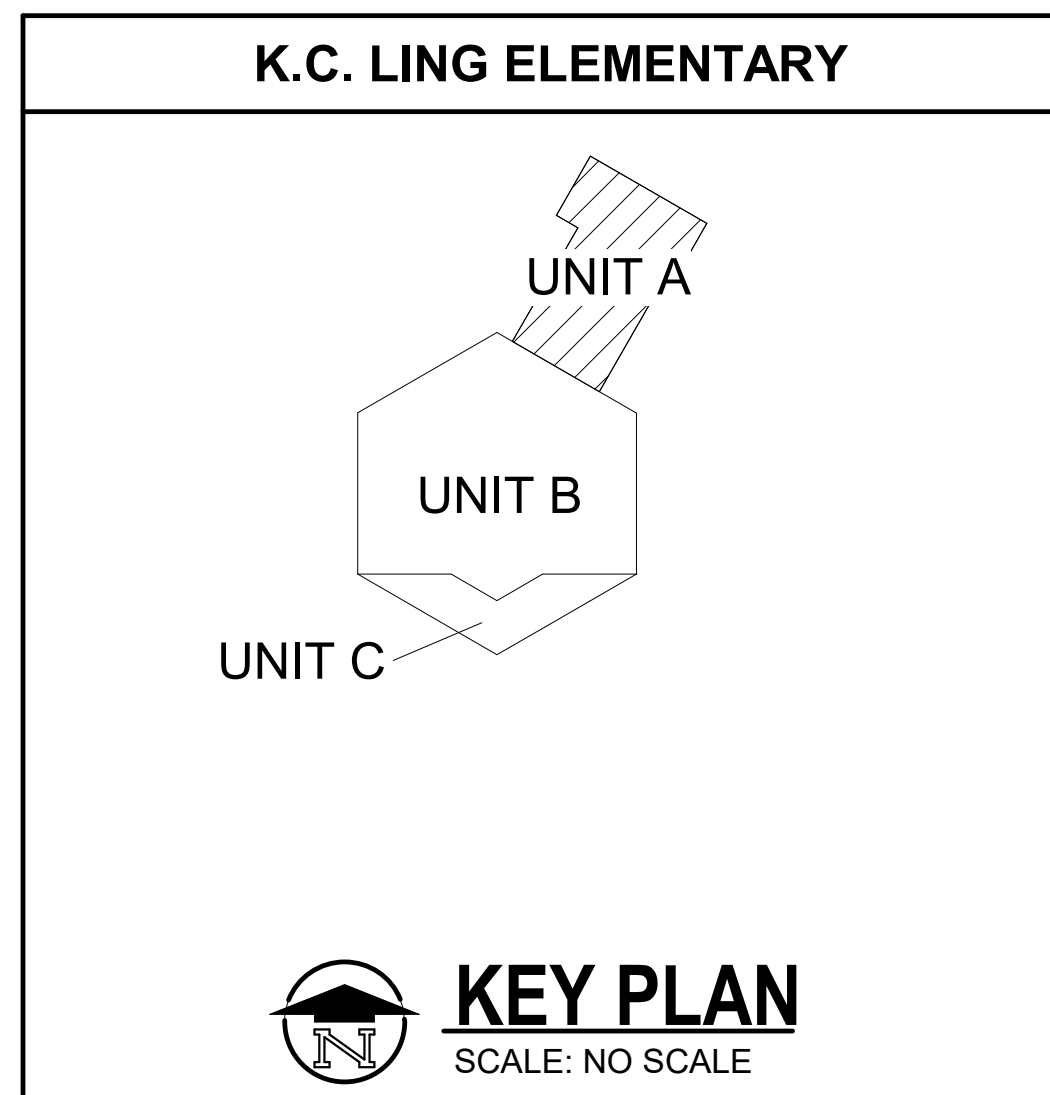
SHEET TITLE: FIRST FLOOR ELECTRICAL DEMOLITION PLAN - UNIT C
SHEET NUMBER: ED 101.1C
DATE: DECEMBER 21, 2022
21113.20

ELECTRICAL KEYED NOTES

1. PROVIDE 225A/3P BREAKER IN PANEL PP-2. PROVIDE 4 #4/0, WITH #4 GND IN 2 1/2" CONDUIT TO JUNCTION BOX SHOWN. FEEDERS TO BE EXTENDED IN FUTURE CONSTRUCTION.

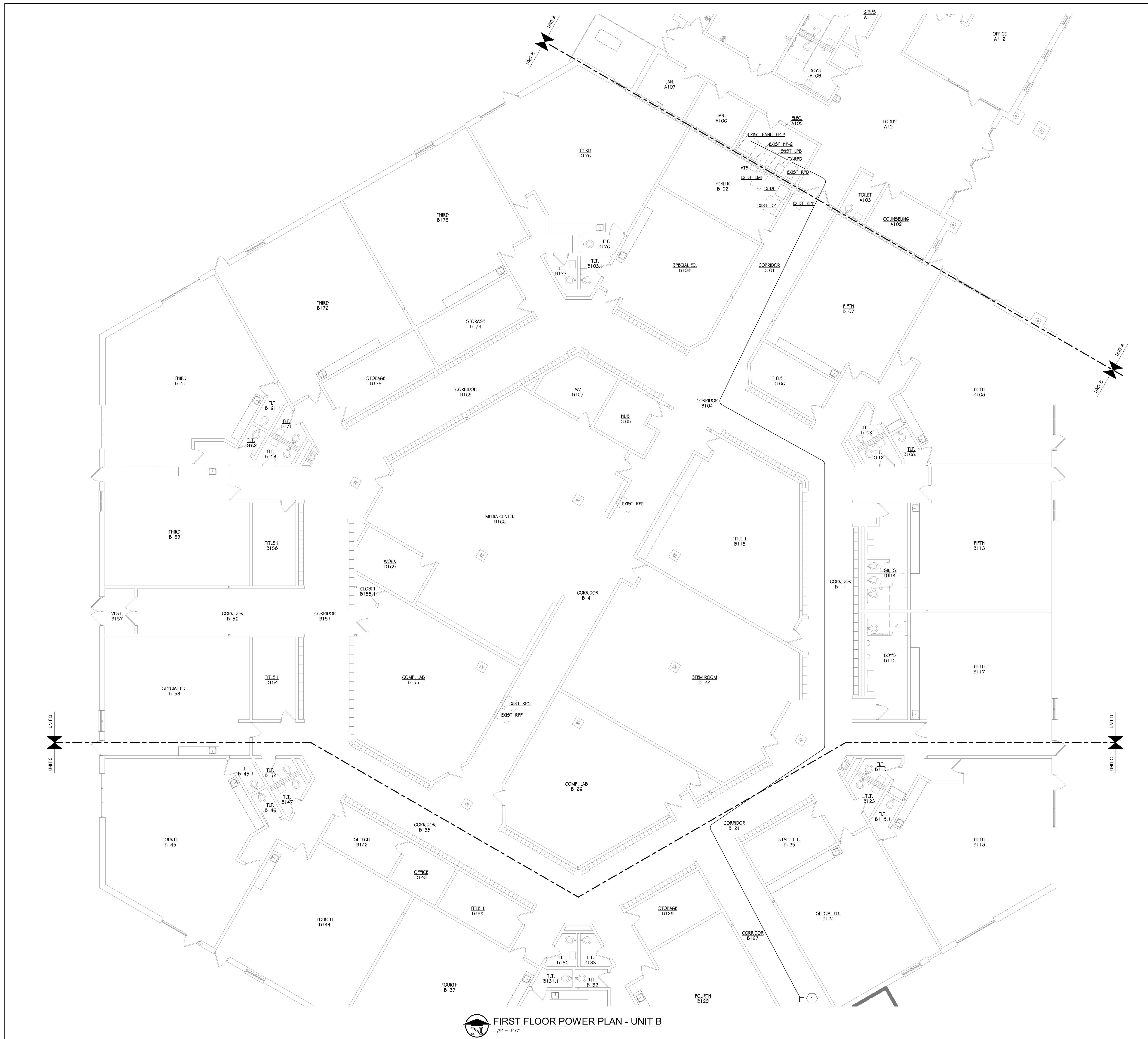


FIRST FLOOR POWER PLAN - UNIT A
1/8" = 1'-0"



ELECTRICAL KEYED NOTES

1 PROVIDE 225A/3P BREAKER IN PANEL PP-2. PROVIDE 4 #4/0, WITH #4 GND IN 2 1/2" CONDUIT TO JUNCTION BOX SHOWN. FEEDERS TO BE EXTENDED IN FUTURE CONSTRUCTION.



ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

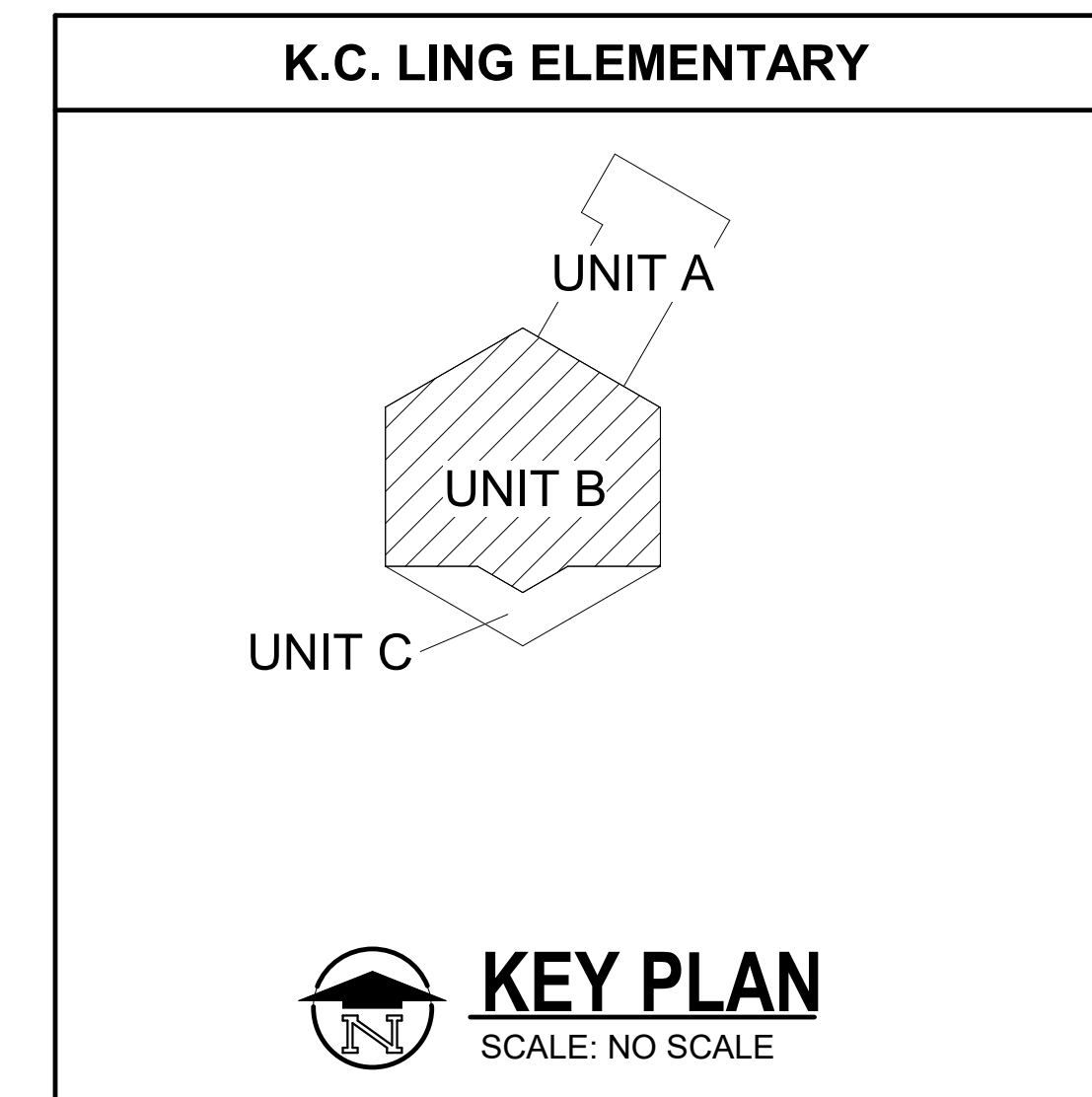
OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
FIRST FLOOR POWER PLAN - UNIT B

Hemlock, Michigan

DATE
DECEMBER 21, 2022

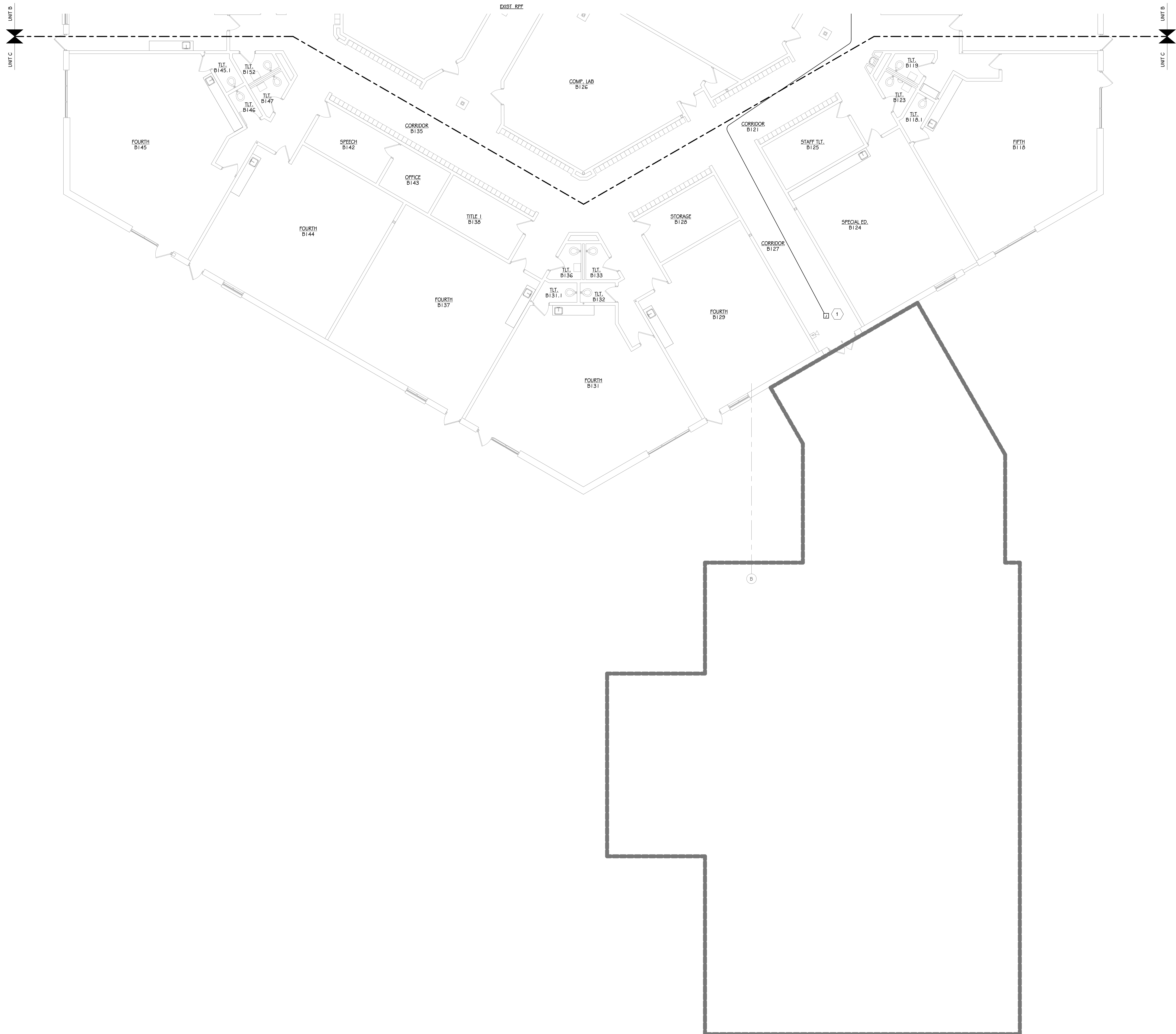
SHEET NUMBER
E 101.1B
21113.20



FIRST FLOOR POWER PLAN - UNIT B
1/8" = 1'-0"

ELECTRICAL KEYED NOTES

1 PROVIDE 225A/3P BREAKER IN PANEL PP-2. PROVIDE 4 #4/G, WITH #4 GND IN 2 1/2" CONDUIT TO JUNCTION BOX SHOWN. FEEDERS TO BE EXTENDED IN FUTURE CONSTRUCTION.



FIRST FLOOR POWER PLAN - UNIT C
 1/8" = 1'-0"

ISSUED FOR _____ DATE _____

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

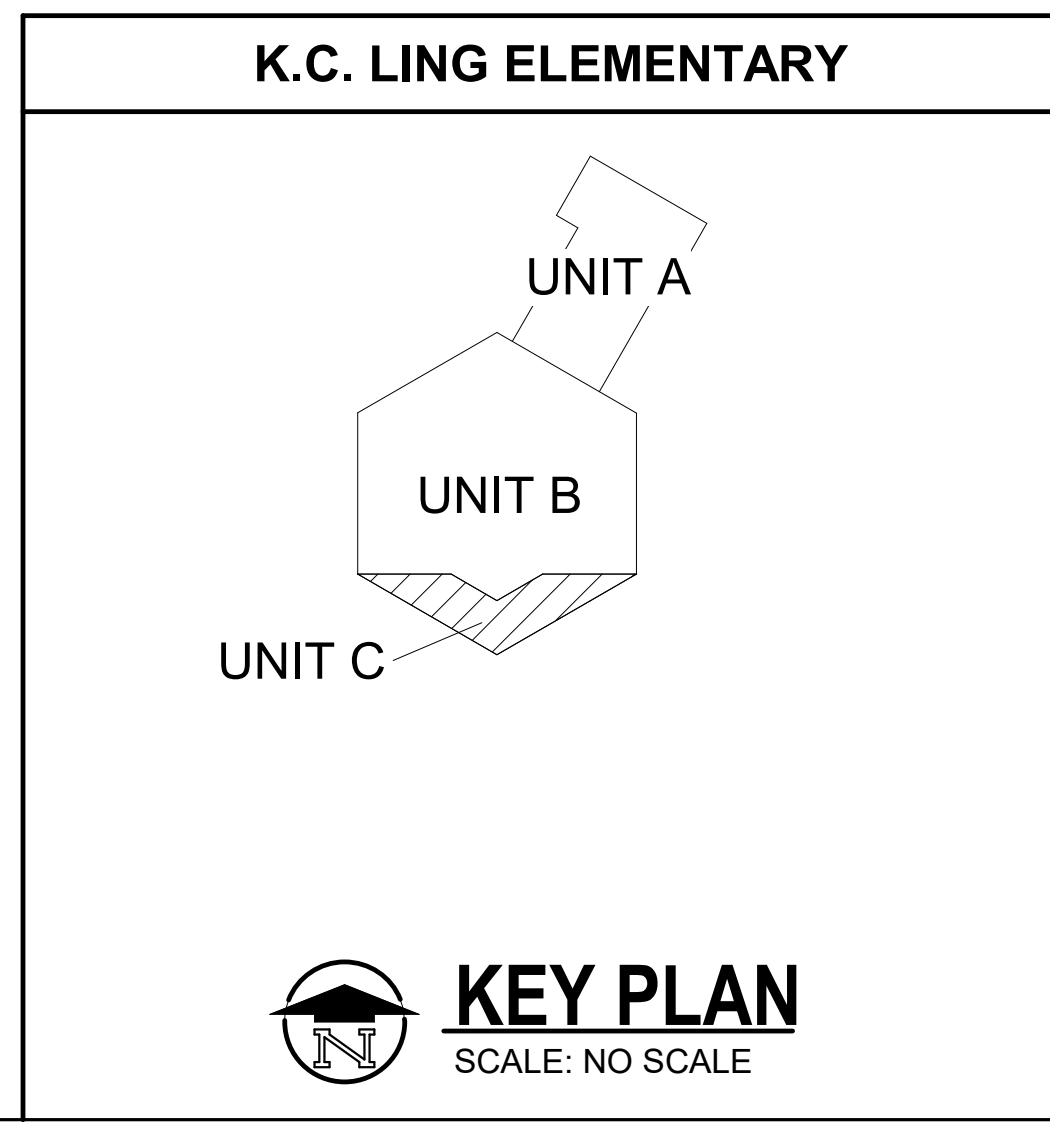
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR POWER PLAN - UNIT C

SHEET NUMBER
E 101.1C
 21113.20

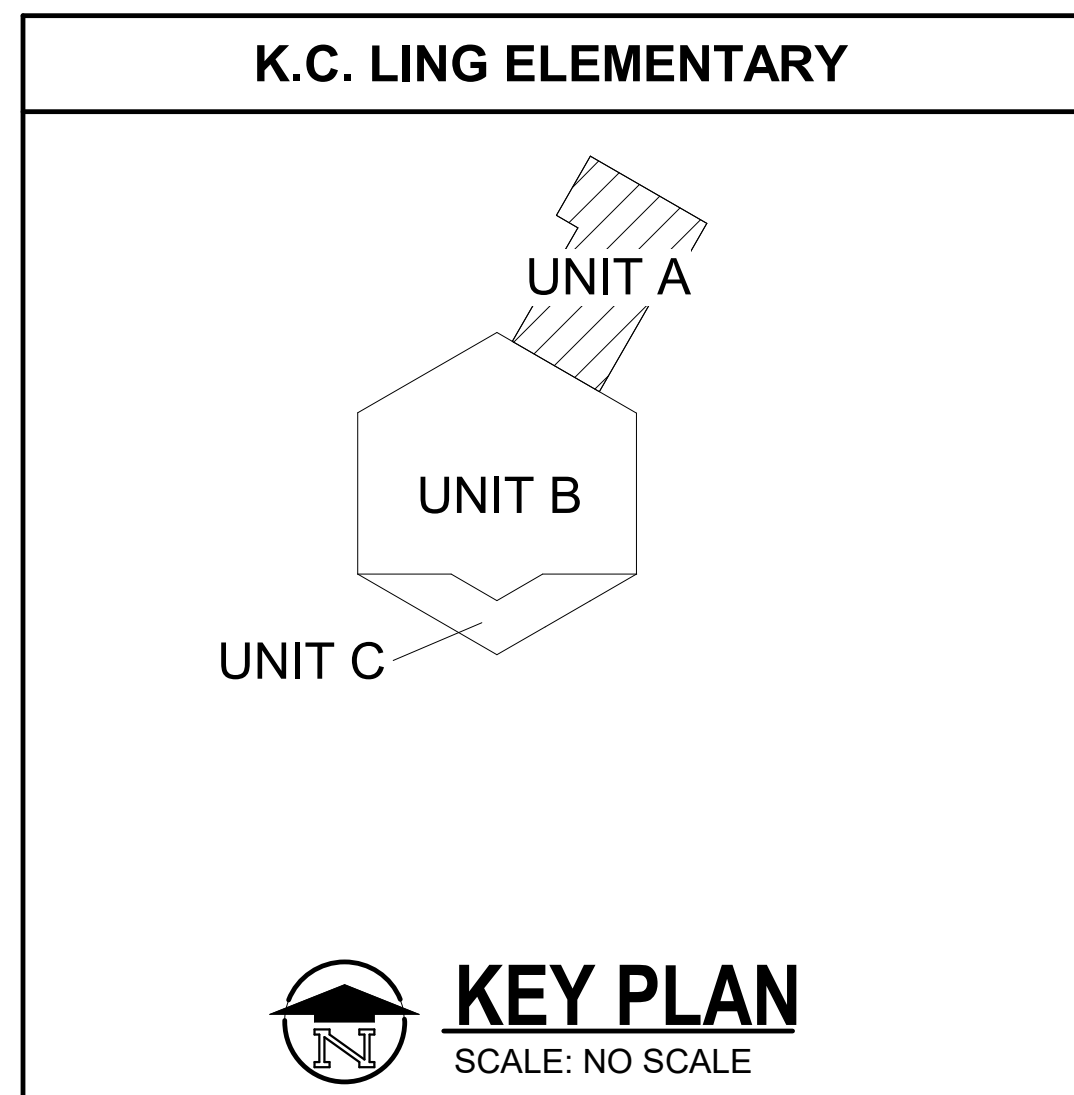
DATE
DECEMBER 21, 2022



- ELECTRICAL KEYED NOTES**
- 1 REINSTALL EXISTING LIGHT FIXTURES IN SAME LOCATION BEFORE BEING REMOVED.
 - 2 PROVIDE NEW SWITCH IN PLACE OF EXISTING. CONNECT LIGHT FIXTURES TO NEW EXISTING CIRCUIT. PROVIDE NEW CONTROLS AS SHOWN.



FIRST FLOOR LIGHTING PLAN - UNIT A
1/8" = 1'-0"



ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
FIRST FLOOR LIGHTING PLAN - UNIT A

Hemlock, Michigan

DATE
DECEMBER 21, 2022

SHEET NUMBER
E 201.1A
21113.20

- ELECTRICAL KEYED NOTES**
- 1 REINSTALL EXISTING LIGHT FIXTURES IN SAME LOCATION BEFORE BEING REMOVED.
 - 2 PROVIDE NEW SWITCH IN PLACE OF EXISTING. CONNECT LIGHT FIXTURES TO NEW EXISTING CIRCUIT. PROVIDE NEW CONTROLS AS SHOWN.

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

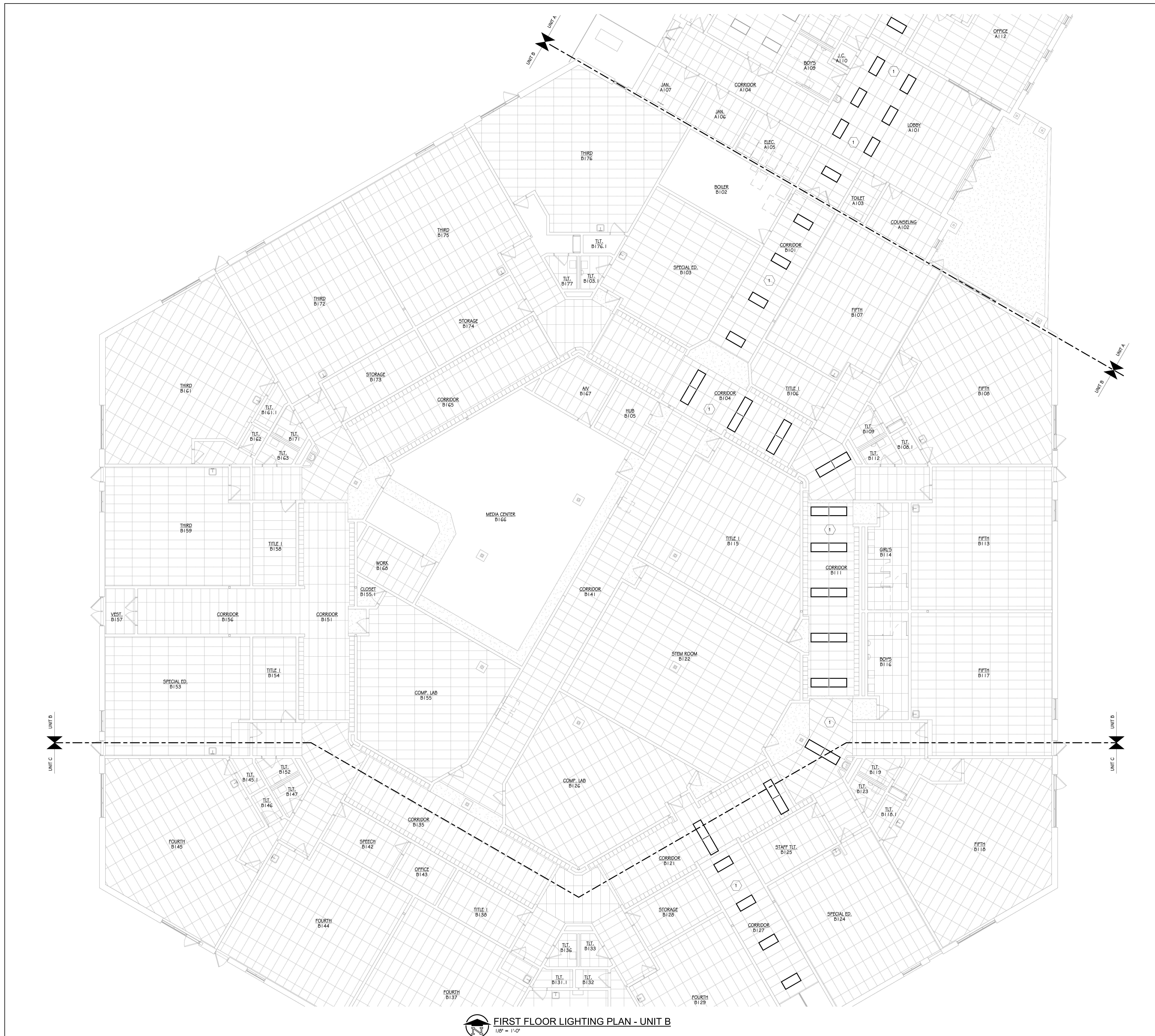
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

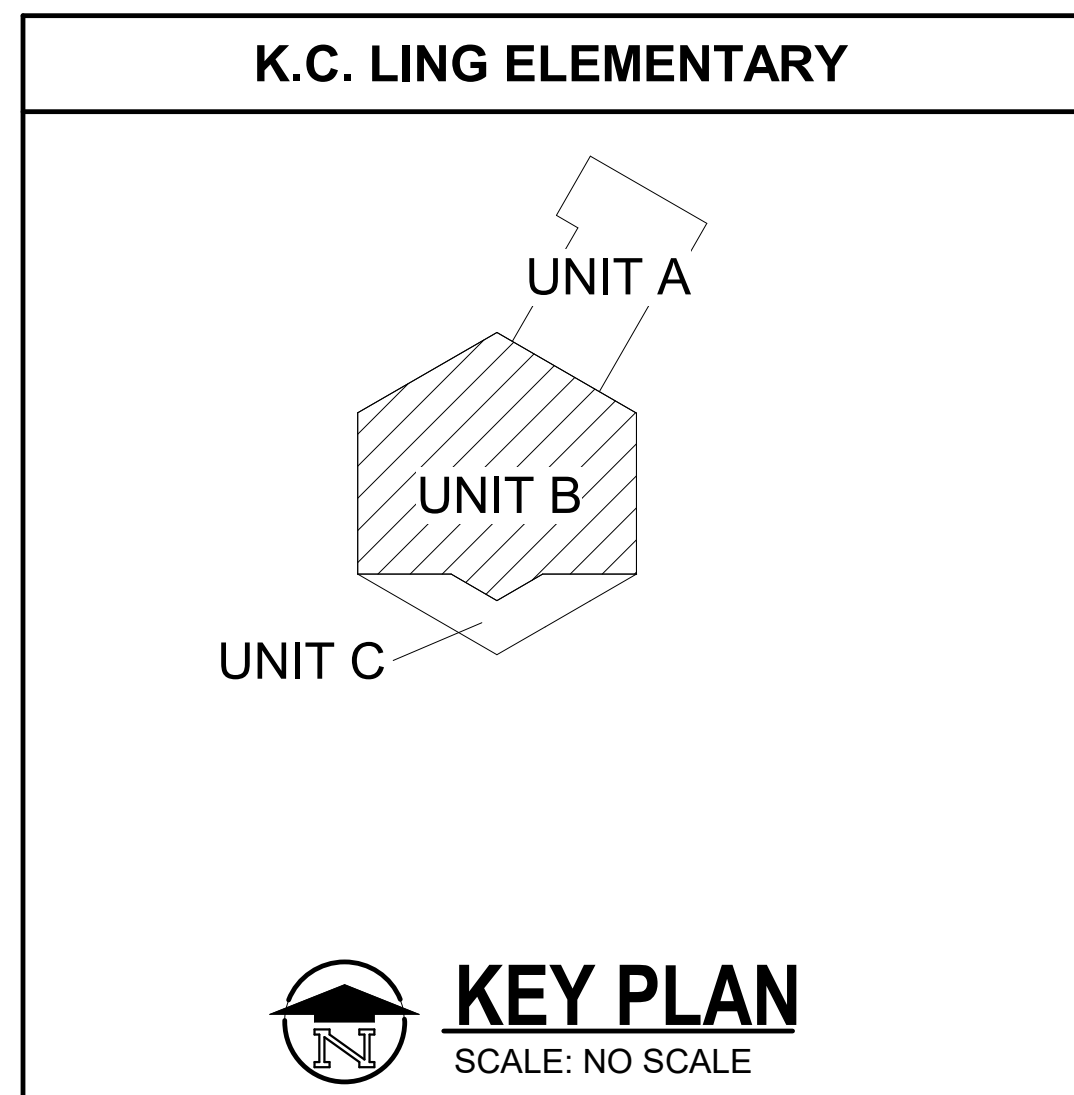
SHEET TITLE
FIRST FLOOR LIGHTING PLAN - UNIT B

DATE
DECEMBER 21, 2022

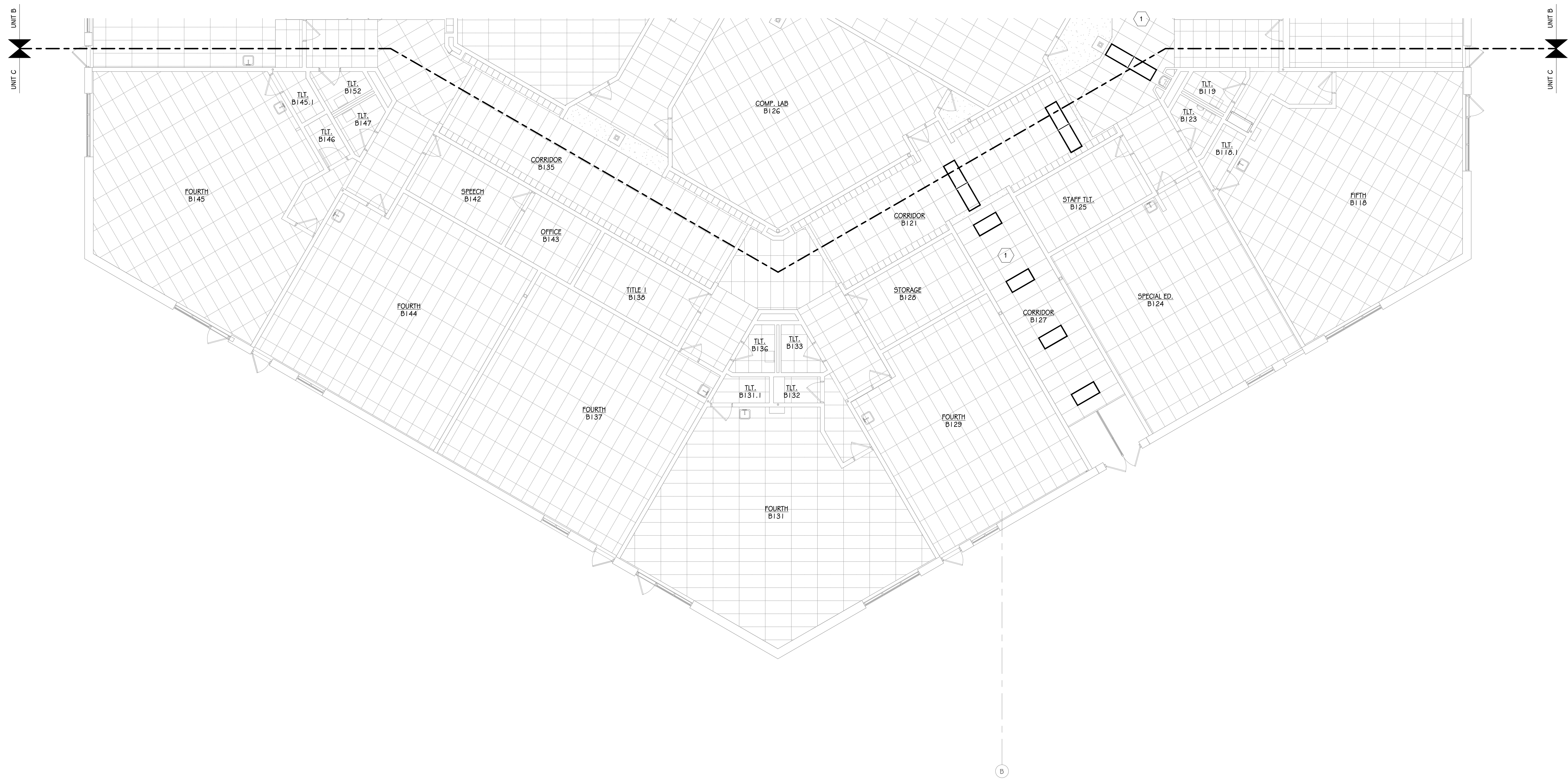
SHEET NUMBER
E.201.1B
21113.20



FIRST FLOOR LIGHTING PLAN - UNIT B
1/8" = 1'-0"

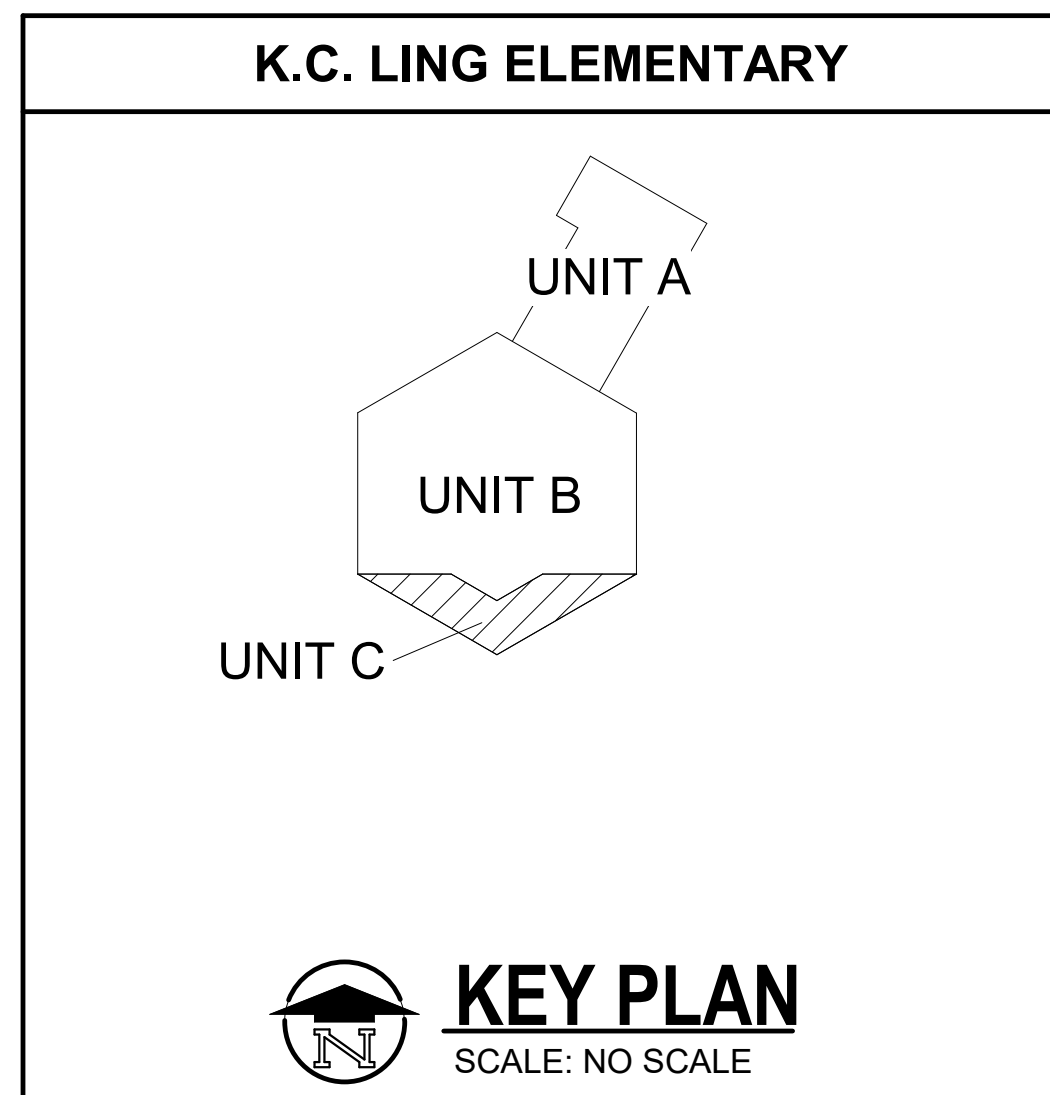


COMP. LAB
B155



- ELECTRICAL KEYED NOTES**
- 1 REINSTALL EXISTING LIGHT FIXTURES IN SAME LOCATION BEFORE BEING REMOVED.
 - 2 PROVIDE NEW SWITCH IN PLACE OF EXISTING. CONNECT LIGHT FIXTURES TO NEW EXISTING CIRCUIT. PROVIDE NEW CONTROLS AS SHOWN.

 **FIRST FLOOR LIGHTING PLAN - UNIT C**
1/8" = 1'-0"



ISSUED FOR _____ DATE _____

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

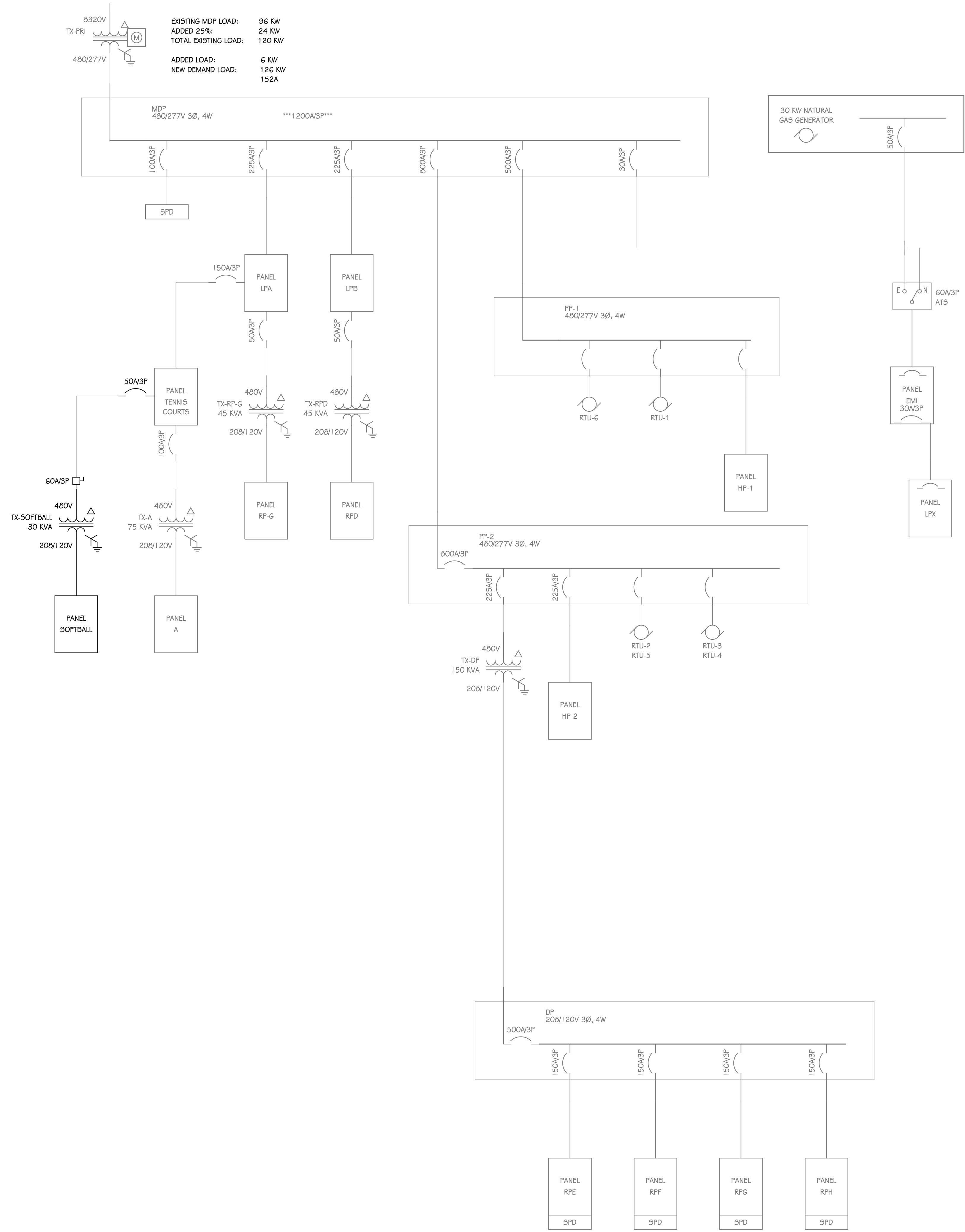
OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
FIRST FLOOR LIGHTING PLAN - UNIT C

DATE
DECEMBER 21, 2022

SHEET NUMBER
E 201.1C
21113.20



EXISTING MDP LOAD: 96 KW
 ADDED 25%: 24 KW
 TOTAL EXISTING LOAD: 120 KW
 ADDED LOAD: 6 KW
 NEW DEMAND LOAD: 126 KW
 152A

ONE LINE NEW - BP1
 SCALE: NONE

ELECTRICAL PANEL FEEDER SCHEDULE										
DESCRIPTION	FED FROM	CURRENT (FLA)	DEMAND (FLA)	BREAKER / POLES	# OF SETS	FEEDER WIRE	GROUND	EMT	ACCUM VOLT DROP %	NOTES
208 V SOFTBALL	TX-SOFTBALL	3 A	1 A	100 A / 3	1 SET	4 #3	#8 G.E.C.	1 1/4"		

GENERAL: CONDUIT SIZES BASED ON EMT. UPSIZE AS REQUIRED WHERE PVC OR GALVANIZED IS USED OR REQUIRED PER SPECIFICATIONS.

- 1 CONDUIT SIZES BASED ON EMT AND COPPER CONDUCTORS (UNLESS OTHERWISE INDICATED WITH AN "AL" FOR ALUMINUM), UPSIZE AS REQUIRED WHERE PVC OR GALVANIZED IS USED OR REQUIRED PER SPECIFICATIONS.
- 2 G.E.C. = GROUNDING ELECTRODE CONDUCTOR FOR SEPARATELY DERIVED SYSTEM (PER SET, USE EQUIVALENT CML AND GEC FROM 250.66)
- 3 GND. = EQUIPMENT GROUNDING CONDUCTOR (E.G.C.)

ELECTRICAL TRANSFORMER SCHEDULE									
TRANSFORMER NAME	FED FROM	SIZE	PRIMARY VOLTAGE (V)	BREAKER / POLES	# OF SETS	PRIMARY FEEDER WIRE	GROUND	EMT	
TX-SOFTBALL	TENNIS COURT	30 kVA	480 V	50 A / 3	1 SET	3 #8	#10 GND.	3/4"	

ISSUED FOR DATE

PROJECT TITLE
 BID PACKAGE 1 - K.C. LING ELEMENTARY

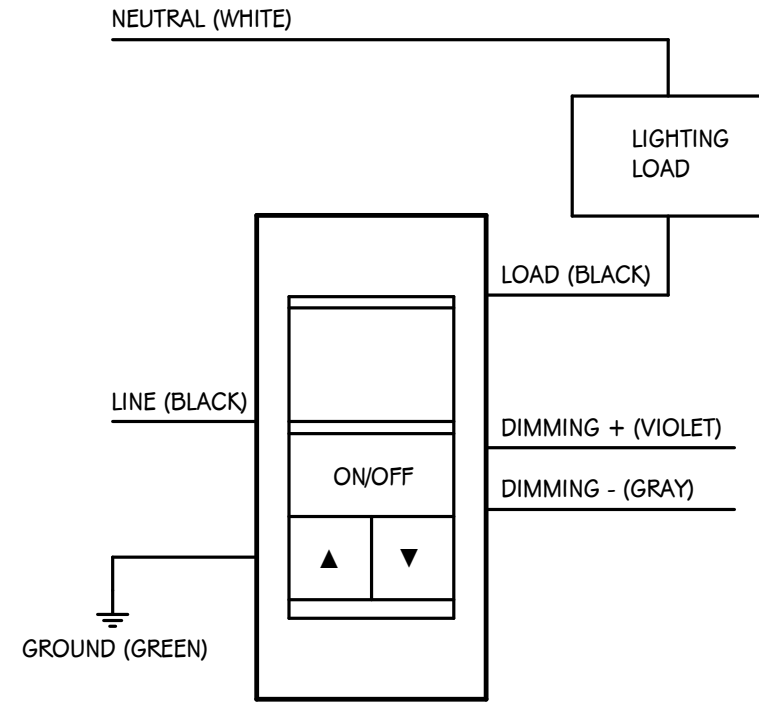
OWNER
 HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
 ELECTRICAL ONE LINE AND CONNECTION SCHEDULES

Hemlock, Michigan

SHEET NUMBER
E 401.1
 21113.20

DATE
 DECEMBER 21, 2022



NOTE: DIAGRAM BASED ON SENSOR SWITCH: #WSX-PDT-EZ-D-SA-WH

WALL SWITCH OCCUPANCY SENSOR WIRING DIAGRAM
SCALE: NONE

LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	DRIVER	WATTS	MANUFACTURER	NOTES
A	2x4 TROFFER, 4' - 0" FEET	RECESSED	0-10V	23 VA	LITHONIA: #2CTL-4-30L-FW-GZ10-LP840	1, 2
B	LINEAR PENDANT	CHAIN	0-10V	30 VA	LITHONIA: #ZL1D-L48-3000LM-FST-MVOLT-40K-80CRI-WH-HC36 M12	1, 2

- 1 ALL LED FIXTURES TO HAVE WARRANTY TO MEET OR EXCEED WARRANTY INCLUDED IN BASIS OF DESIGN. FIXTURES LISTED AS EQUALS SHALL MEET DELIVERED LUMENS, CRI, EFFICACY AND OPTIONS OF THAT SPECIFIED. REFER TO SPECIFICATIONS 265100 AND 265600 FOR ADDITIONAL REQUIREMENTS.
- 2 THE MOUNTING DESCRIPTION IS GENERAL. REFER TO SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SPECIFIC MOUNTING DETAILS.

ISSUED FOR DATE

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

Hemlock, Michigan

SHEET TITLE
LIGHTING SCHEDULE AND DETAILS

SHEET NUMBER
E 420.1
21113.20

DATE

DECEMBER 21, 2022

PANELBOARD "EXIST RP-G" LOAD SCHEDULE

PANEL: RP-G		MOUNTING: SURFACE		VOLTAGE: 208/120V, 3PH, 4W				
LOCATION: STORAGE A123 / FIRST FLOOR		AMPS: 225 A MLO		FED FROM: TX-RP-G				
ADDED ACCESSORIES:		FEED-THRU LUGS...		A.I.C. VALUE: (PROVIDE 25% HIGHER A.I.C. RATING)				
CIRCUIT DESCRIPTION	TRIP (A)	POLES	A (VA)	B (VA)	C (VA)	POLES	TRIP (A)	CIRCUIT DESCRIPTION
1 (EXIST.) OUTLET & EXHAUST FAN RM 27 & 15	20	1	0	0			1	20 (EXIST.) OUTLETS IN CLINIC, OFFICE & MAIN...
3 (EXIST.) OUTLETS TEACHERS LOUNGE & ...	20	1		0	0		1	20 (EXIST.) OUTLETS IN COUNCELORS OFF. & STO...
5 (EXIST.) OUTLETS MUSIC RM. NORTH TEACHERS...	20	1			0	0	1	20 (EXIST.) OUTLETS OUTSIDE MAIN ENTRANCE...
7 (EXIST.) OUTLETS PRINCIPAL & NORTH & EAST...	20	1	0	1200			1	20 POWER - CAFETERIA COILING DOOR
9 (EXIST.) OUTLETS WORK RM & CLINIC RESTROOM	20	1		0	0		1	20 (EXIST.) OUTLETS WEST & NORTH WALLS OF...
11 (EXIST.) COMPUTER IN OFFICE	20	1			0	0	1	20 (EXIST.) OUTLETS WEST & WEST WALL OF GYM
13 (EXIST.) OUTLETS - GYM	20	1	0	0			1	20 (EXIST.) OUTLETS - ELEC RM #10 & CONF. RM #8
15 (EXIST.) OUTLETS - NORTH WALL OF KITCHEN	20	1		0	0		1	20 (EXIST.) OUTLETS WEST WALL OF HALL TO GYM...
17 (EXIST.) OUTLETS EAST WALL OF KITCHEN	20	1			0	0	1	20 (EXIST.) OUTLETS EAST WALL OF MUSIC RM
19 (EXIST.) OUTLETS EAST WALL OF KITCHEN	20	1	0	0			1	20 (EXIST.) ADT PANEL
21 (EXIST.) OUTLETS SOUTH WALL OF KITCHEN	20	1		0	0		1	20 (EXIST.) SOFFIT LIGHTS ENTRY
23 (EXIST.) OUTLETS W. WALL OF KITCHEN & EX. F...	20	1			0	0	1	20 (EXIST.) OUTLETS DRINKING FOUNTAIN RM...
25 (EXIST.) KITCHEN SO. PLUG 1 OF 2	20	1	0	0			1	20 (EXIST.) OUTLETS RM 19 & EAST WALL OF RM 23
27 (EXIST.) COMPUTER JC B5	20	1		0	0		1	20 (EXIST.) OUTLETS HALL BY RM 23 & STORAGE R...
29 (EXIST.) KITCHEN SO. PLUG 2 OF 2	20	1			0	0	1	20 (EXIST.) GYM EXHAUST FAN #21
31 (EXIST.) COPY MACHINE	50	2	0	1200			1	20 POWER - CAFETERIA COILING DOOR
33 --	--	--		0	0		1	20 (EXIST.) CLOCK SYSTEM
35 (EXIST.) TV	20	1			0	0	1	20 (EXIST.) CLOCK SYSTEM
37 (EXIST.) GARBAGE DISPOSAL	20	1	0	0			3	15 (EXIST.)
39 (EXIST.) STEAMER TABLE	30	2		0	0		--	--
41 --	--	--			0	0	--	--
TOTAL LOAD:			2400 VA	0 VA	0 VA			
ADDITIONAL FEED THRU LUGS LOAD (IF APPLICABLE):			0 VA	0 VA	0 A			
TOTAL AMPS:			20 A	0 A	0 A			
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS				
POWER -	2400 VA	100.00%	2400 VA					
				TOTAL CONNECTED LOAD: 2400 VA				
				TOTAL ESTIMATED DEMAND: 2400 VA				
				TOTAL CONNECTED LOAD (A): 7 A				
				TOTAL ESTIMATED DEMAND...: 7 A				
NOTES:								
NEW BREAKERS TO MATCH EXISTING AIC RATING.								

PANELBOARD "EXIST TENNIS COURT" LOAD SCHEDULE

PANEL: TENNIS COURT		MOUNTING: SURFACE		VOLTAGE: 480/277V, 3PH, 4W				
LOCATION: FIRST FLOOR		AMPS: 225 A MLO		FED FROM: LPA				
ADDED ACCESSORIES:		FEED-THRU LUGS...		A.I.C. VALUE: (PROVIDE 25% HIGHER A.I.C. RATING)				
CIRCUIT DESCRIPTION	TRIP (A)	POLES	A (VA)	B (VA)	C (VA)	POLES	TRIP (A)	CIRCUIT DESCRIPTION
1 (EXIST.) N.E. LIGHT	20	1	0	--			1	-- SPACE
3 (EXIST.) S.W. LIGHT	20	1			0	--	1	-- SPACE
5 (EXIST.) S.E. LIGHT	20	1			0	0	1	20 (EXIST.) N.W. LIGHT
7 TX-A	100	3	0	750			3	20 LIGHTING - PARKING AND ENTRANCE DRIVE
9 --	--	--		0	750		--	--
11 --	--	--			0	750	--	--
13 TX-SOFTBALL	50	3	600	--			1	-- SPACE
15 --	--	--		600	--		1	-- SPACE
17 --	--	--			0	--	1	-- SPACE
TOTAL LOAD:			1350 VA	1350 VA	750 VA			
ADDITIONAL FEED THRU LUGS LOAD (IF APPLICABLE):			0 VA	0 VA	0 A			
TOTAL AMPS:			5 A	5 A	3 A			
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS				
Other	2250 VA	100.00%	2250 VA					
POWER -	1200 VA	100.00%	1200 VA					
				TOTAL CONNECTED LOAD: 3450 VA				
				TOTAL ESTIMATED DEMAND: 3450 VA				
				TOTAL CONNECTED LOAD (A): 4 A				
				TOTAL ESTIMATED DEMAND...: 4 A				
NOTES:								
NEW BREAKERS TO MATCH EXISTING AIC RATING.								

PANELBOARD "EXIST LPA" LOAD SCHEDULE

PANEL: LPA		MOUNTING: SURFACE		VOLTAGE: 480/277V, 3PH, 4W				
LOCATION: STORAGE A123 / FIRST FLOOR		AMPS: 225 A MLO		FED FROM: MDP				
ADDED ACCESSORIES:		FEED-THRU LUGS...		A.I.C. VALUE: (PROVIDE 25% HIGHER A.I.C. RATING)				
CIRCUIT DESCRIPTION	TRIP (A)	POLES	A (VA)	B (VA)	C (VA)	POLES	TRIP (A)	CIRCUIT DESCRIPTION
1 (EXIST.) OFFICES	20	1	0	0			1	20 (EXIST.) GYM LIGHTS 3 ROWS
3 (EXIST.) MUSIC RM., INSIDE RESTROOMS,...	20	1		0	0		1	20 (EXIST.) GYM LIGHTS 4 ROWS
5 (EXIST.)	20	1			0	0	1	20 (EXIST.) ELEC RM., KITCHEN, STORAGE, MUSIC...
7 TENNIS COURT	150	3	1350	0			1	20 (EXIST.) HALLWAYS
9 --	--	--		1350	0		1	20 (EXIST.) MUSIC RM
11 --	--	--			750	0	1	20 (EXIST.) PARKING LOT LIGHTS
13 (EXIST.)	20	1	0	0			1	20 (EXIST.) SIDEWALK LIGHTS
15 (EXIST.)	20	1		0	0		1	20 (EXIST.)
17 (EXIST.)	20	1			0	0	1	20 (EXIST.)
19 (EXIST.)	20	1	0	0			1	20 (EXIST.)
21 (EXIST.)	20	1		0	0		1	20 (EXIST.)
23 (EXIST.)	20	1			0	0	1	20 (EXIST.)
25 (EXIST.)	20	1	0	0			1	20 (EXIST.)
27 (EXIST.)	20	1		0	0		1	20 (EXIST.)
29 (EXIST.)	20	1			0	0	1	20 (EXIST.)
31 (EXIST.)	20	1	0	0			1	20 (EXIST.)
33 (EXIST.)	20	1			0	0	1	20 (EXIST.)
35 (EXIST.)	20	1			0	0	1	20 (EXIST.)
37 (EXIST.)	20	1	0	2400			3	50 TX-RP-G
39 --	--	--			0		--	--
41 SPACE	--	1			--	0	--	--
TOTAL LOAD:			3750 VA	1350 VA	750 VA			
ADDITIONAL FEED THRU LUGS LOAD (IF APPLICABLE):			0 VA	0 VA	0 A			
TOTAL AMPS:			14 A	5 A	3 A			
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS				
Other	2250 VA	100.00%	2250 VA					
POWER -	3600 VA	100.00%	3600 VA					
				TOTAL CONNECTED LOAD: 5850 VA				
				TOTAL ESTIMATED DEMAND: 5850 VA				
				TOTAL CONNECTED LOAD (A): 7 A				
				TOTAL ESTIMATED DEMAND...: 7 A				
NOTES:								
NEW BREAKERS TO MATCH EXISTING AIC RATING.								

PANELBOARD " SOFTBALL" LOAD SCHEDULE

PANEL: SOFTBALL		MOUNTING: SURFACE		VOLTAGE: 208/120V, 3PH, 4W				
LOCATION: FIRST FLOOR		AMPS: 100 A MB		FED FROM: TX-SOFTBALL				
ADDED ACCESSORIES:		FEED-THRU LUGS...		A.I.C. VALUE: (PROVIDE 25% HIGHER A.I.C. RATING)				
CIRCUIT DESCRIPTION	TRIP (A)	POLES	A (VA)	B (VA)	C (VA)	POLES	TRIP (A)	CIRCUIT DESCRIPTION
1 POWER - SCOREBOARD	50	2	600					
3 --	--	--		600				
5 --	--	--						
7 --	--	--						
9 --	--	--						
11 --	--	--						
13 --	--	--						
15 --	--	--						
17 --	--	--						
19 --	--	--						
21 --	--	--						
23 --	--	--						
25 --	--	--						
27 --	--	--						
29 --	--	--						
TOTAL LOAD:			600 VA	600 VA	0 VA			
ADDITIONAL FEED THRU LUGS LOAD (IF APPLICABLE):			0 VA	0 VA	0 A			
TOTAL AMPS:			5 A	5 A	0 A			
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS				
POWER -	1200 VA	100.00%	1200 VA					
				TOTAL CONNECTED LOAD: 1200 VA				
				TOTAL ESTIMATED DEMAND: 1200 VA				
				TOTAL CONNECTED LOAD (A): 3 A				
				TOTAL ESTIMATED DEMAND...: 3 A				
NOTES:								
PROVIDE SPD BREAKER PER ONELINE SCHEDULE. RECEPTACLE DEMAND FACTOR = FIRST 10kVA X 100% + 50% OF REMAINDER AIC RATING IS CALCULATED VALUE. PROVIDE IC RATINGS AT LEAST 25% HIGHER AS PER SPECIFICATIONS.								

ISSUED FOR _____ DATE _____

PROJECT TITLE
BID PACKAGE 1 - K.C. LING ELEMENTARY

OWNER
HEMLOCK PUBLIC SCHOOLS

SHEET TITLE
ELECTRICAL PANEL LOAD SHEETS

Hemlock, Michigan

SHEET NUMBER
E 501.1
DATE
DECEMBER 21, 2022
21113.20