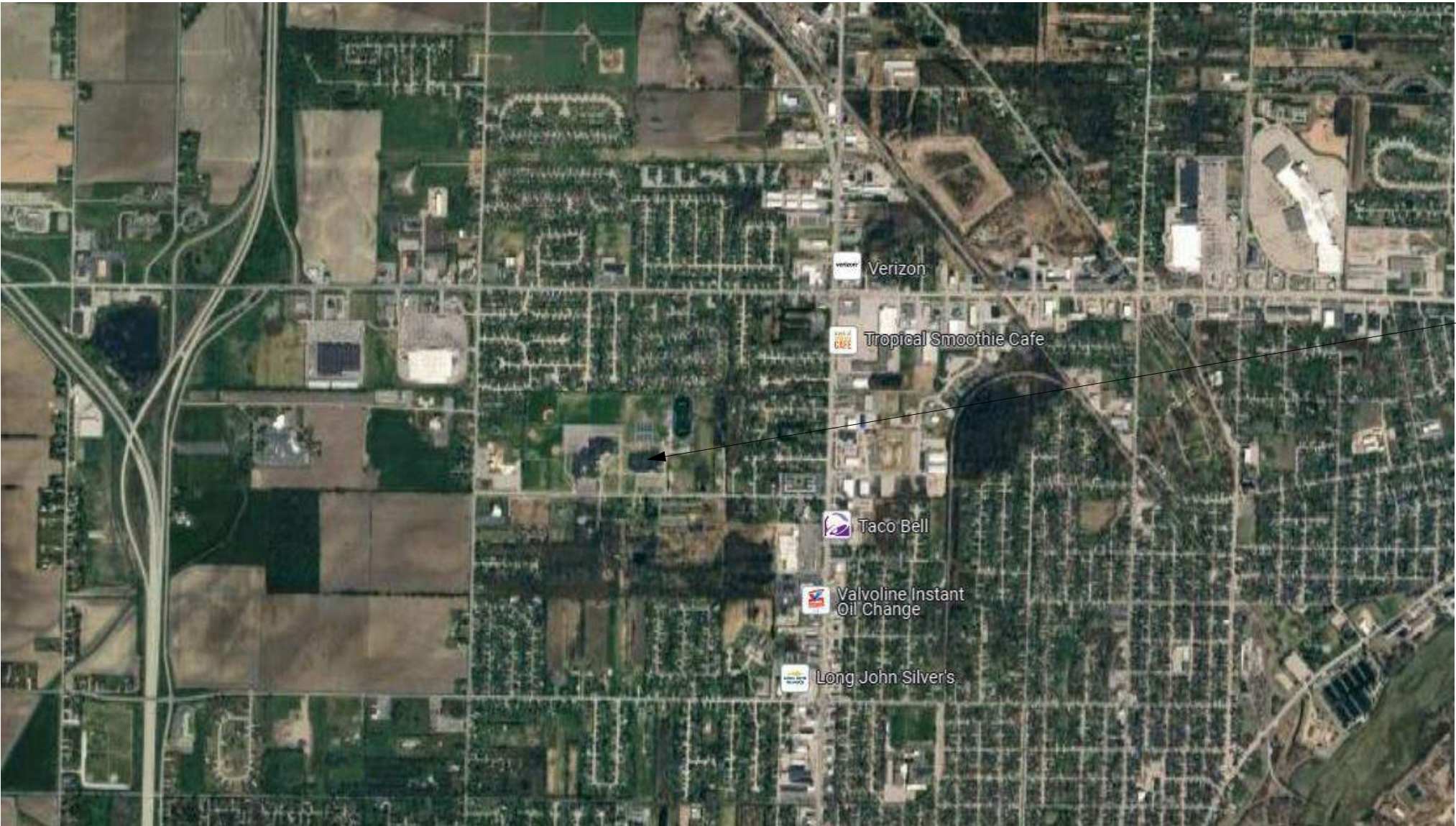


BANGOR TOWNSHIP SCHOOL DISTRICT

3281 KIESEL RD, BAY CITY, MI 48706

PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS



PROJECT LOCATION

ISSUED FOR CONSTRUCTION: 12/20/24

PREPARED BY:

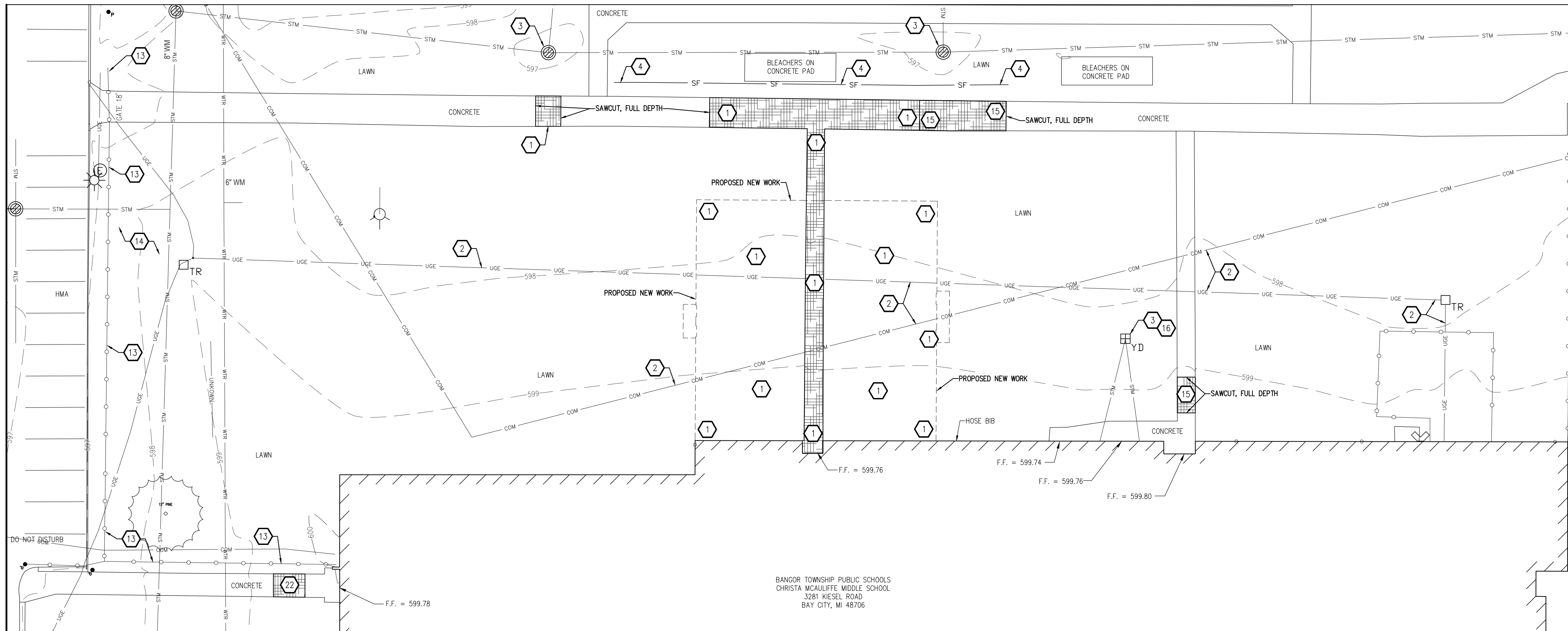


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 1021 W. BARAGA AVENUE
 MARQUETTE, MI 49855
 PHONE: (906)228-4480
 FAX: (906)228-7524

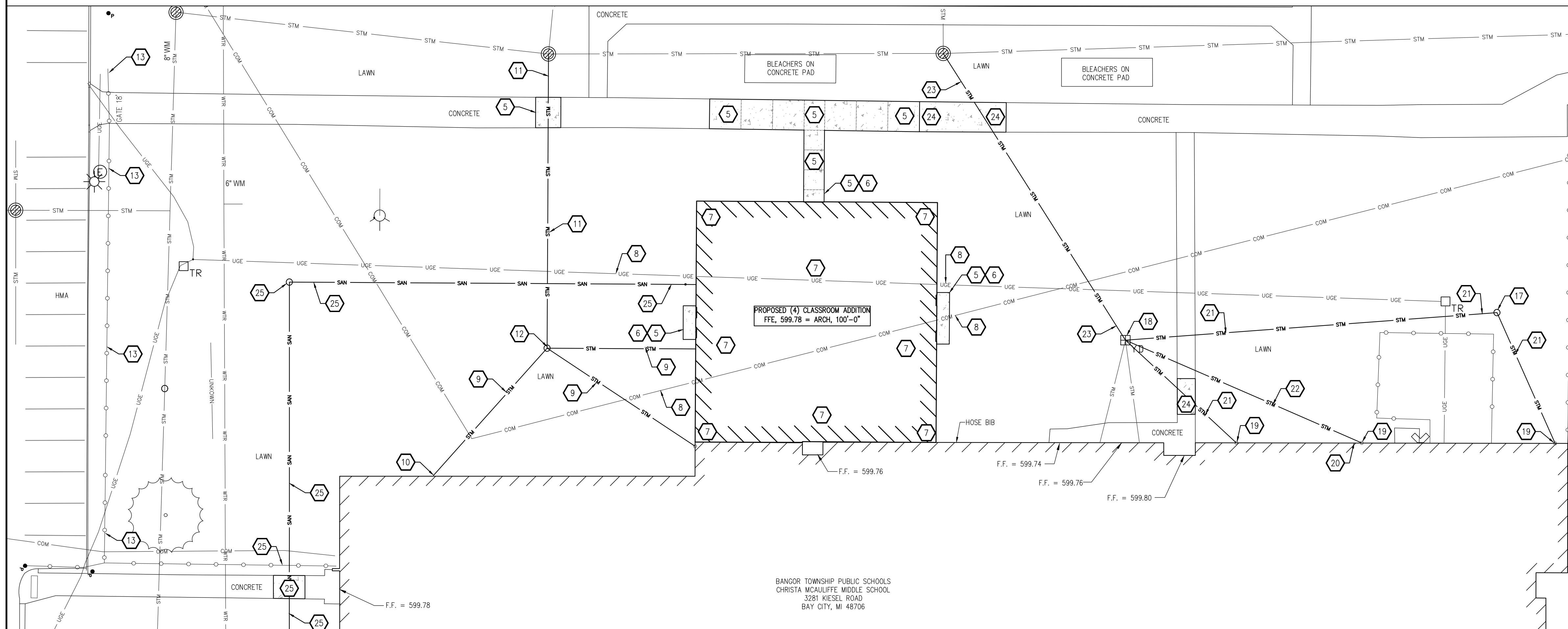
BRIGHTON OFFICE:
 8571 W. GRAND RIVER AVE., SUITE
 600
 BRIGHTON, MI 48816
 PHONE: (810)229-2701
 FAX: (810)229-6767

NUMBER	SHEET NAME	ISSUE DATE	ISSUE NAME
G0.0	COVER		
CIVIL			
C0.1	CIVIL NOTES	12/20/24	FOR CONSTRUCTION
C1.0	DEMOLITION AND SITE PLANS	12/20/24	FOR CONSTRUCTION
C1.1	ALT BID NO.2, DEDUCT, SANITARY SEWER, DEMOLITION & SITE PLANS	12/20/24	FOR CONSTRUCTION
C2.0	GRADING & UTILITY PLANS	12/20/24	FOR CONSTRUCTION
C3.0	CIVIL DETAILS	12/20/24	FOR CONSTRUCTION
C3.1	CIVIL DETAILS	12/20/24	FOR CONSTRUCTION
STRUCTURAL			
S0.1	STRUCTURAL TESTING	12/20/24	FOR CONSTRUCTION
S0.2	STRUCTURAL NOTES	12/20/24	FOR CONSTRUCTION
S1.0	FOUNDATION PLAN	12/20/24	FOR CONSTRUCTION
S2.0	FRAMING PLAN	12/20/24	FOR CONSTRUCTION
S3.0	FOUNDATION DETAILS	12/20/24	FOR CONSTRUCTION
S4.0	FRAMING DETAILS	12/20/24	FOR CONSTRUCTION
ARCHITECTURAL			
A0.1	COMPOSITE & LIFE SAFETY PLAN	12/20/24	FOR CONSTRUCTION
A1.0	DEMOLITION PLAN	12/20/24	FOR CONSTRUCTION
A2.0	NEW WORK FLOOR PLAN	12/20/24	FOR CONSTRUCTION
A2.1	CLASSROOM ADDITION PLANS	12/20/24	FOR CONSTRUCTION
A2.2	ENLARGED RESTROOM PLANS	12/20/24	FOR CONSTRUCTION
A3.0	REFLECTED CEILING PLAN	12/20/24	FOR CONSTRUCTION
A4.0	WINDOW, DOOR & ROOM FINISH SCHEDULES	12/20/24	FOR CONSTRUCTION
A4.1	ROOM FINISH SCHEDULE	12/20/24	FOR CONSTRUCTION
A5.0	ROOF PLAN	12/20/24	FOR CONSTRUCTION
A6.0	EXTERIOR ELEVATIONS	12/20/24	FOR CONSTRUCTION
A6.1	EXTERIOR ELEVATIONS	12/20/24	FOR CONSTRUCTION
A7.0	BUILDING SECTIONS	12/20/24	FOR CONSTRUCTION
A7.1	WALL SECTIONS	12/20/24	FOR CONSTRUCTION
A7.2	WALL OPENING DETAILS	12/20/24	FOR CONSTRUCTION
A7.3	WALL OPENING DETAILS	12/20/24	FOR CONSTRUCTION
A8.0	INTERIOR ELEVATIONS	12/20/24	FOR CONSTRUCTION
A8.1	INTERIOR ELEVATIONS	12/20/24	FOR CONSTRUCTION
A9.0	DETAILS	12/20/24	FOR CONSTRUCTION
A10.0	REFERENCE INTERIOR VIEWS	12/20/24	FOR CONSTRUCTION
MECHANICAL			
M0.0	MECHANICAL SYMBOLS & LEGEND	12.20.24	FOR CONSTRUCTION
M1.0	MECHANICAL DEMOLITION PLAN	12.20.24	FOR CONSTRUCTION
M2.0	MECHANICAL NEW WORK PLANS	12.20.24	FOR CONSTRUCTION
M2.1	MECHANICAL NEW WORK PLANS	12.20.24	FOR CONSTRUCTION
M3.0	MECHANICAL DETAILS	12.20.24	FOR CONSTRUCTION
M4.0	MECHANICAL SCHEDULES	12.20.24	FOR CONSTRUCTION
M5.0	TEMPERATURE CONTROLS	12.20.24	FOR CONSTRUCTION
PLUMBING			
P1.0	PLUMBING DEMOLITION PLANS	12.20.24	FOR CONSTRUCTION
P2.0	PLUMBING NEW WORK PLANS	12.20.24	FOR CONSTRUCTION
P2.1	PLUMBING NEW WORK PLANS	12.20.24	FOR CONSTRUCTION
P3.0	PLUMBING DETAILS & SCHEDULES	12.20.24	FOR CONSTRUCTION
ELECTRICAL			
E0.0	ELECTRICAL SYMBOL LEGEND	12.20.24	FOR CONSTRUCTION
E0.1	ELECTRICAL COMPOSITE PLAN	12.20.24	FOR CONSTRUCTION
E1.0	ELECTRICAL RENOVATION PLANS - RESTROOMS	12.20.24	FOR CONSTRUCTION
E1.1	ELECTRICAL RENOVATION PLANS - KITCHEN	12.20.24	FOR CONSTRUCTION
E2.0	ELECTRICAL ADDITION AREA PLANS	12.20.24	FOR CONSTRUCTION
E2.1	ELECTRICAL ADDITION AREA PLANS	12.20.24	FOR CONSTRUCTION
E3.0	ELECTRICAL RISER AND SCHEDULES	12.20.24	FOR CONSTRUCTION

IDI PROJECT NO. 22-011



DEMOLITION PLAN
SCALE: 1 INCH = 20 FEET



SITE PLAN
SCALE: 1 INCH = 20 FEET

KEYNOTES

- 1. REMOVE EXISTING CONCRETE SIDEWALKS & SLABS, TOPSOIL AND UNDERLYING MATERIAL AS REQUIRED FOR NEW WORK. SAWCUT EXISTING PAVEMENT TO FULL DEPTH PRIOR TO REMOVAL. SAWCUT(S) IN CONCRETE SHALL BE AT THE NEAREST JOINT.
- 2. UTILITIES IN AREA. CONTRACTOR SHALL LOCATE BY ANY MEANS NECESSARY AND PROTECT DURING CONSTRUCTION. LOCATIONS SHOWN ARE APPROXIMATE AND/OR ASSUMED.
- 3. INSTALL INLET PROTECTION FABRIC DROP AND MAINTAIN UNTIL PERMANENT SESC PROTECTIONS ARE IN PLACE. THEN REMOVE FABRIC AND CLEAN ANY SEDIMENT & DEBRIS FROM SUMP. SEE DETAIL SHEET.
- 4. INSTALL #125 LF OF SILT FENCE AS NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING CULVERT(S). MAINTAIN UNTIL COMPLETION OF PROJECT AND REMOVE ONCE ALL PERMANENT SESC MEASURES ARE IN PLACE. SEE DETAIL SHEET.
- 5. PLACE 6 INCH THICK REINFORCED CONCRETE SIDEWALK ON SUB-BASE, 6" CIP MDOT CLASS II. REINFORCEMENT SHALL BE WF, 6X6, W2.1XW2.1. REFER TO STRUCTURAL PLANS FOR FROST STOOP DESIGN. SEE GRADING & DETAIL SHEETS.
- 6. FROST STOOP. REFER TO STRUCTURAL DRAWINGS.
- 7. PROPOSED SINGLE STOREY CLASSROOM ADDITION. REFER TO STRUCTURAL AND ARCHITECTURAL PLANS.
- 8. UTILITIES IN AREA. LOCATION IS APPROXIMATE. SLEEVE THROUGH FOUNDATION AS NECESSARY. REFER TO STRUCTURAL PLANS AND COORDINATE WITH MASONRY CONTRACTOR.
- 9. INSTALL #160 LF (TOTAL) OF 6 INCH SDR-35 STORM SEWER. COORDINATE WITH PLUMBING CONTRACTOR AND SEE UTILITY & DETAIL SHEETS.
- 10. CONNECT TO EXISTING ROOF DRAIN. REMOVE DISCHARGE FIXTURE AND BRING DRAIN 3 FT BELOW GRADE. SEE UTILITY & DETAIL SHEETS.
- 11. INSTALL #93 LF (TOTAL) OF 12 INCH SDR-35 STORM SEWER. SEE UTILITY & DETAIL SHEETS.
- 12. INSTALL 4 FT DIAMETER PRE-CAST CONCRETE MANHOLE WITH 2 FT SUMP. SEE UTILITY & DETAIL SHEETS.
- 13. REMOVE & SALVAGE FENCE SYSTEM AS NEEDED TO ACCESS SITE. RE-INSTALL REMOVED FENCE SYSTEM ONCE SITE ACCESS IS NO LONGER REQUIRED. ANY DAMAGE COMPONENTS SHALL BE MATCHED & REPLACED WITH NEW.
- 14. INSTALL STABILIZED CONSTRUCTION PAD FOR SEDIMENT CONTROL AT ALL SET ENTRANCES AND EXITS. LOCATION SHOWN IS FOR REFERENCE ONLY AND CONTRACTOR SHALL DETERMINE EXACT PLACEMENT LOCATION(S). SEE DETAIL SHEET.

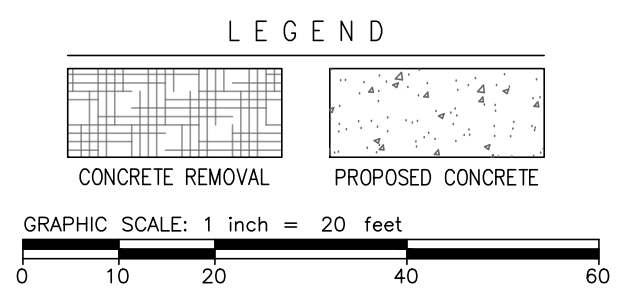
ALTERNATE BID NO.1

- 15. REMOVE EXISTING CONCRETE SIDEWALKS, AND UNDERLYING MATERIAL AS REQUIRED FOR NEW WORK. SAWCUT EXISTING PAVEMENT TO FULL DEPTH PRIOR TO REMOVAL. SAWCUT(S) IN CONCRETE SHALL BE AT THE NEAREST JOINT.
- 16. REMOVE YARD DRAIN.
- 17. INSTALL A 2 FT DIAMETER PRECAST CONCRETE CATCH BASIN WITH 2 FT SUMP. SEE UTILITY AND DETAIL SHEETS.
- 18. INSTALL A 4 FT DIAMETER PRECAST CONCRETE CATCH BASIN WITH 2 FT SUMP. SEE UTILITY AND DETAIL SHEETS.
- 19. REMOVE ROOF DRAIN DOWNSPOUT NOZZLE, CONNECT TO ROOF DRAIN, AND BRING PIPE BELOW GRADE. INCLUDE CLEAN-OUT. ALL EXTERIOR ROOF DRAIN PIPES SHALL BE PAINTED. REFER TO ARCHITECTURAL DOCUMENTS AND SEE UTILITY AND DETAIL SHEETS.
- 20. REMOVE ROOF DRAIN OVERFLOW DOWNSPOUT NOZZLE, CONNECT TO ROOF DRAIN, AND BRING ROOF DRAIN PIPE BELOW GRADE. INCLUDE CLEAN-OUT. ALL EXTERIOR ROOF DRAIN PIPES SHALL BE PAINTED. REFER TO ARCHITECTURAL DOCUMENTS AND SEE UTILITY AND DETAIL SHEETS.
- 21. INSTALL #210 LF (TOTAL) OF 6 INCH SDR-35 STORM SEWER. SEE UTILITY AND DETAIL SHEETS.
- 22. INSTALL #82 LF (TOTAL) OF 8 INCH SDR-35 STORM SEWER. SEE UTILITY AND DETAIL SHEETS.
- 23. INSTALL #110 LF (TOTAL) OF 12 INCH SDR-35 STORM SEWER. SEE UTILITY AND DETAIL SHEETS.
- 24. PLACE 6 INCH THICK REINFORCED CONCRETE SIDEWALK ON SUB-BASE, 6" CIP MDOT CLASS II. REINFORCEMENT SHALL BE WF, 6X6, W2.1XW2.1. SEE GRADING & DETAIL SHEETS.

ALTERNATE BID NO.2

- 25. SANITARY SEWER INSTALLATION & WORK ASSOCIATED WITH IT IS AN ALTERNATE BID ITEM (BID DEDUCT). IF A CONNECTION CAN NOT BE MADE INSIDE THE BUILDING, THIS SITE WORK IS REQUIRED. SEE PLUMBING DRAWINGS, COORDINATE WITH PLUMBING CONTRACTOR, AND REFER TO SHEET C1.1.

ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY



BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3A - MIDDLE SCHOOL CLASSROOM & ATHLETIC ADDITION
3201 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	12.20.24

BY	DATE	NO.	DATE
DESIGN	BLK 09.30.24	0	12.20.24
DRAWN	BLK 09.30.24		
CHECKED	ADM 12.03.24		
APPROVED	BLK 12.04.24		

DEMOLITION & SITE PLANS

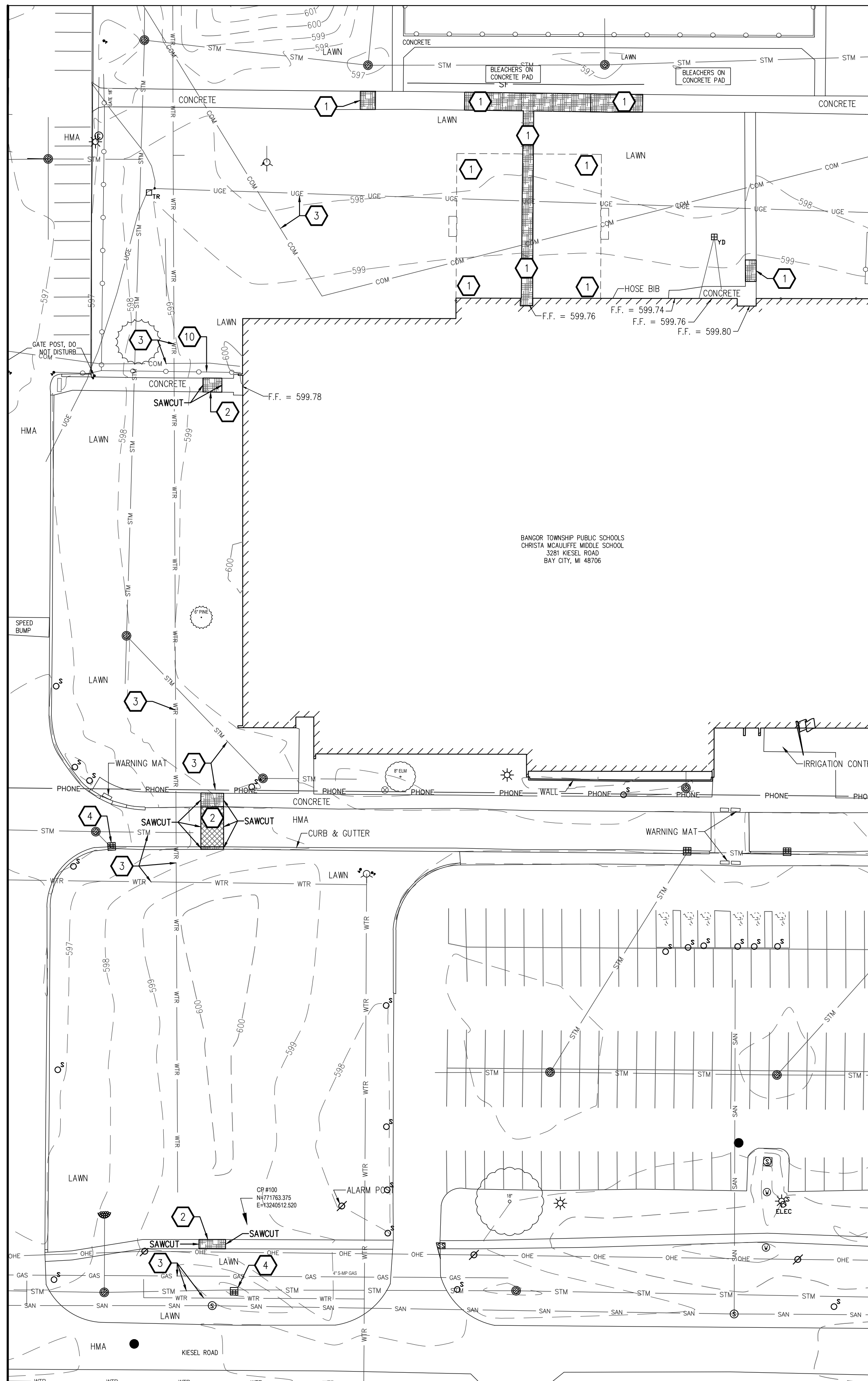
C1.0

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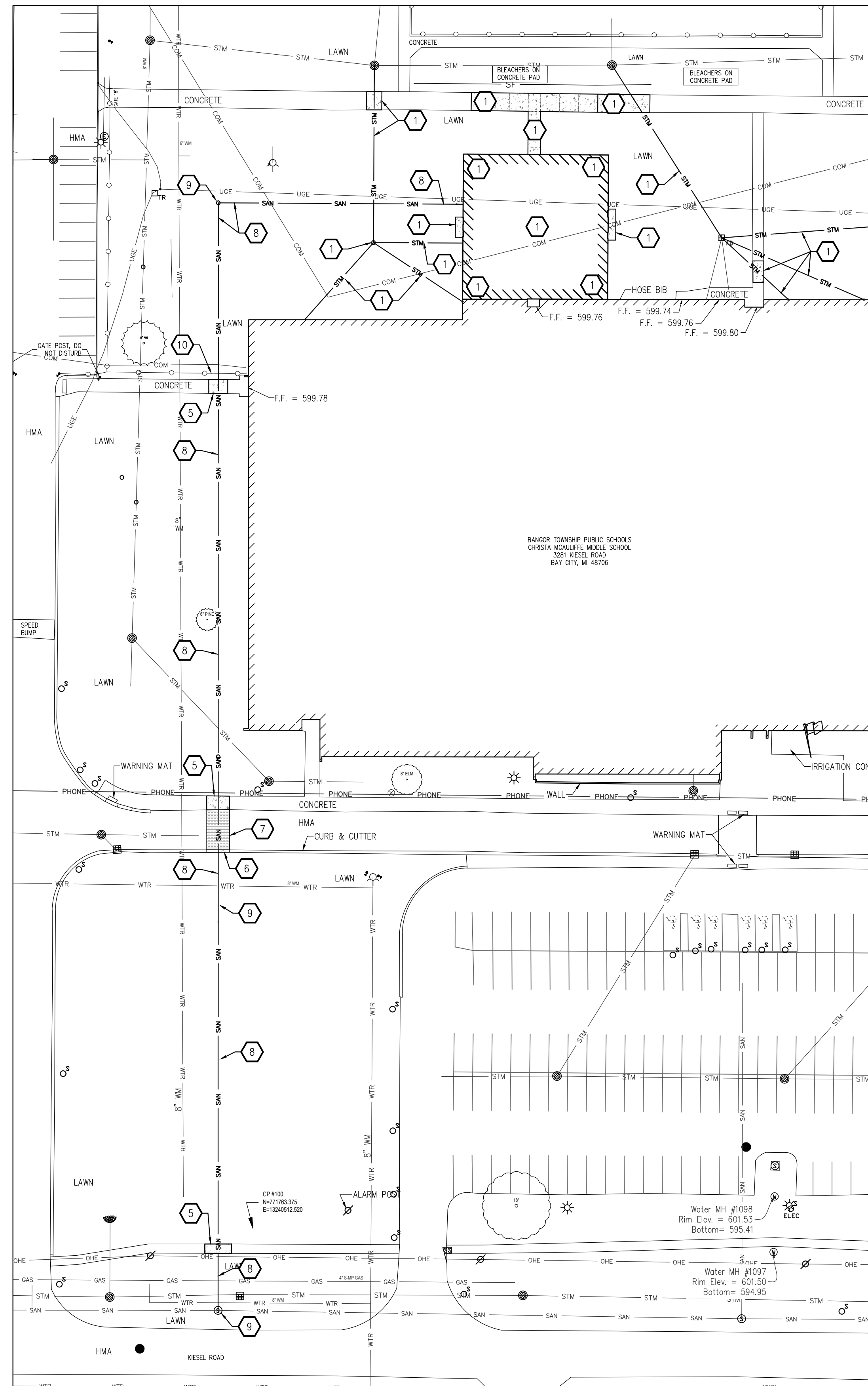
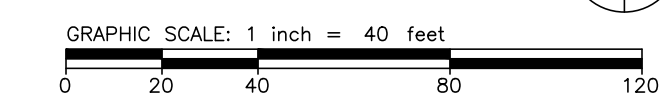
ID

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BRIGHTON OFFICE:
857 W. GRAND RIVER AVE., SUITE 600
BRIGHTON, MI 48816
PHONE: (810)229-2701 FAX: (810)229-6787



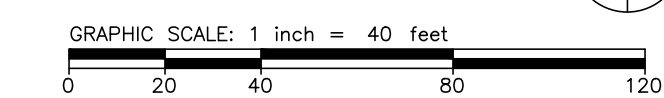
DEMOLITION PLAN

SCALE: 1 INCH = 40 FEET



SITE PLAN

SCALE: 1 INCH = 40 FEET

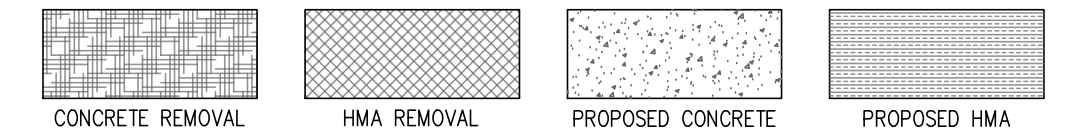


ALTERNATE BID NO.2

- 1. WORK ASSOCIATED WITH BASE BID & ALTERNATE BID NO.1. REFER TO SHEET C1.0.
- 2. REMOVE EXISTING CONCRETE SIDEWALKS, HMA, TOPSOIL, AND UNDERLYING MATERIAL AS REQUIRED FOR NEW WORK. SAWCUT EXISTING PAVEMENT TO FULL DEPTH PRIOR TO REMOVAL. SAWCUT(S) IN CONCRETE SHALL BE AT THE NEAREST JOINT.
- 3. UTILITIES IN AREA. CONTRACTOR SHALL LOCATE BY ANY MEANS NECESSARY AND PROTECT DURING CONSTRUCTION. LOCATION IS APPROXIMATE.
- 4. INSTALL INLET PROTECTION FABRIC DROP AND MAINTAIN UNTIL PERMANENT SESC PROTECTIONS ARE IN PLACE. THEN REMOVE FABRIC AND CLEAN ANY SEDIMENT & DEBRIS FROM SUMP.
- 5. PLACE 6 INCH THICK REINFORCED CONCRETE SIDEWALK ON SUB-BASE, 6" OIP MDOT CLASS II. REINFORCEMENT SHALL BE WWF, 6X6, W2.1XW2.1. SEE DETAIL SHEET.
- 6. PATCH CONCRETE CURB & GUTTER. MATCH EXISTING TYPE AND ELEVATIONS.
- 7. PATCH HMA. MATCH EXISTING SUB-BASE & BASE MATERIALS, DEPTHS & TYPES.
- 8. INSTALL ±710 LF (TOTAL) OF 6 INCH SDR-35 SANITARY SEWER. INCLUDE CLEAN-OUT NEAR NEW ADDITION. SEE UTILITY & DETAIL SHEETS.
- 9. INSTALL 4 FT DIAMETER PRE-CAST CONCRETE SANITARY MANHOLE. SEE UTILITY & DETAIL SHEETS.
- 10. REMOVE & SALVAGE FENCE SYSTEM AS NEEDED TO ACCESS SITE. RE-INSTALL REMOVED FENCE SYSTEM ONCE SITE ACCESS IS NO LONGER REQUIRED. ANY DAMAGE COMPONENTS SHALL BE MATCHED & REPLACED WITH NEW.

ALL KEYNOTES ARE SPECIFIC TO THAT SHEET ONLY

LEGEND



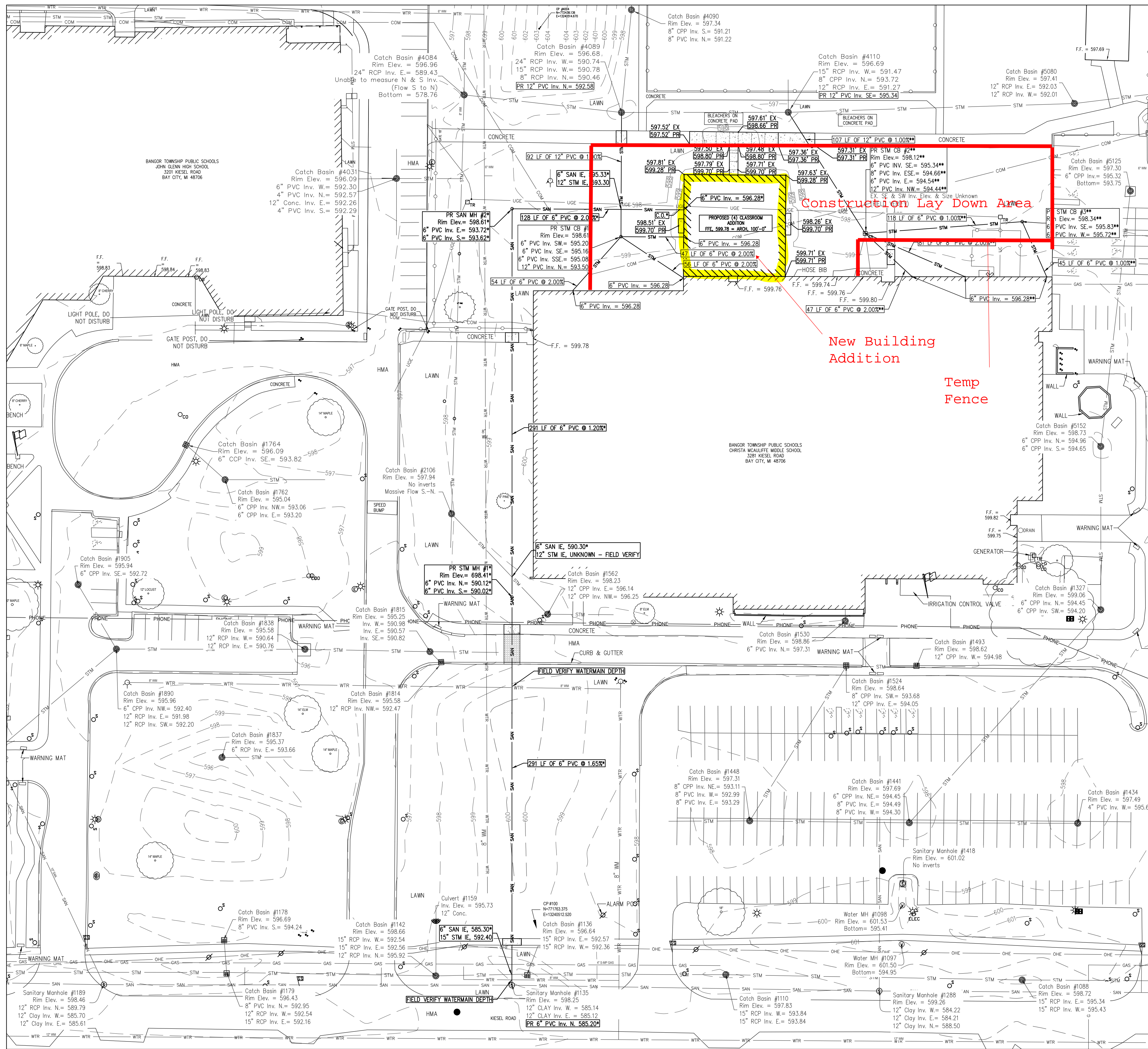
MISS DIG
811.
Know what's below.
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**ALTERNAT BID NO.2, DEDUCT
SANITARY SEWER
DEMOLITION & SITE PLANS**

BY	DATE	NO. REVISIONS	DATE
DESIGN	BLK 09.30.24	0	FOR CONSTRUCTION 12.20.24
DRAWN	BLK 09.30.24		
CHECKED	ADM 12.03.24		
APPROVED	BLK 12.04.24		

C1.1

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 BRIGHTON OFFICE: 857 W. GRAND RIVER AVE., SUITE 600, BRIGHTON, MI 48816, PHONE: (810)229-5701, FAX: (810)229-6787
**ARCHITECTURE
ENGINEERING
CONSULTING**
 BANGOR TOWNSHIP SCHOOL DISTRICT
 PHASE 3A - MIDDLE SCHOOL CLASSROOM & ATHLETIC ADDITION
 3201 KIESEL RD., BAY CITY, MI 48706
 PROJECT NO. 22-011



UTILITY WORK
 ** ALTERNATE BID NO.1, ROOF DRAIN CONNECTIONS
 * ALTERNATE BID NO.2, SANITARY SEWER WORK

LEGEND

	GRADE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	INTEGRAL CURB
	INTEGRAL CURB/BACK OF CURB TAPER TO MATCH GRADE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	GROUND BUILDING
	ADJUST ITEM
	EDGE OF HMA
	EDGE OF CONCRETE
	INVERT ELEVATION
	BACK OF WALK
	FACE OF WALK
	TOP OF WALK
	EXISTING
	PROPOSED
	LINEAR FEET
	MID POINT
	POINT OF CURVATURE
	FINISHED FLOOR ELEVATION
	TOP OF ROCK
	GRAVEL
	CATCH BASIN
	MANHOLE
	STORM SEWER
	SANITARY SEWER
	REMOVE ITEM
	RELOCATE ITEM
	FLOW LINE
	BACK OF CURB



GRADING & UTILITY PLAN
 SCALE: 1 INCH = 40 FEET
 GRAPHIC SCALE: 1 inch = 40 feet

ARCHITECTURE
 ENGINEERING
 CONSULTING

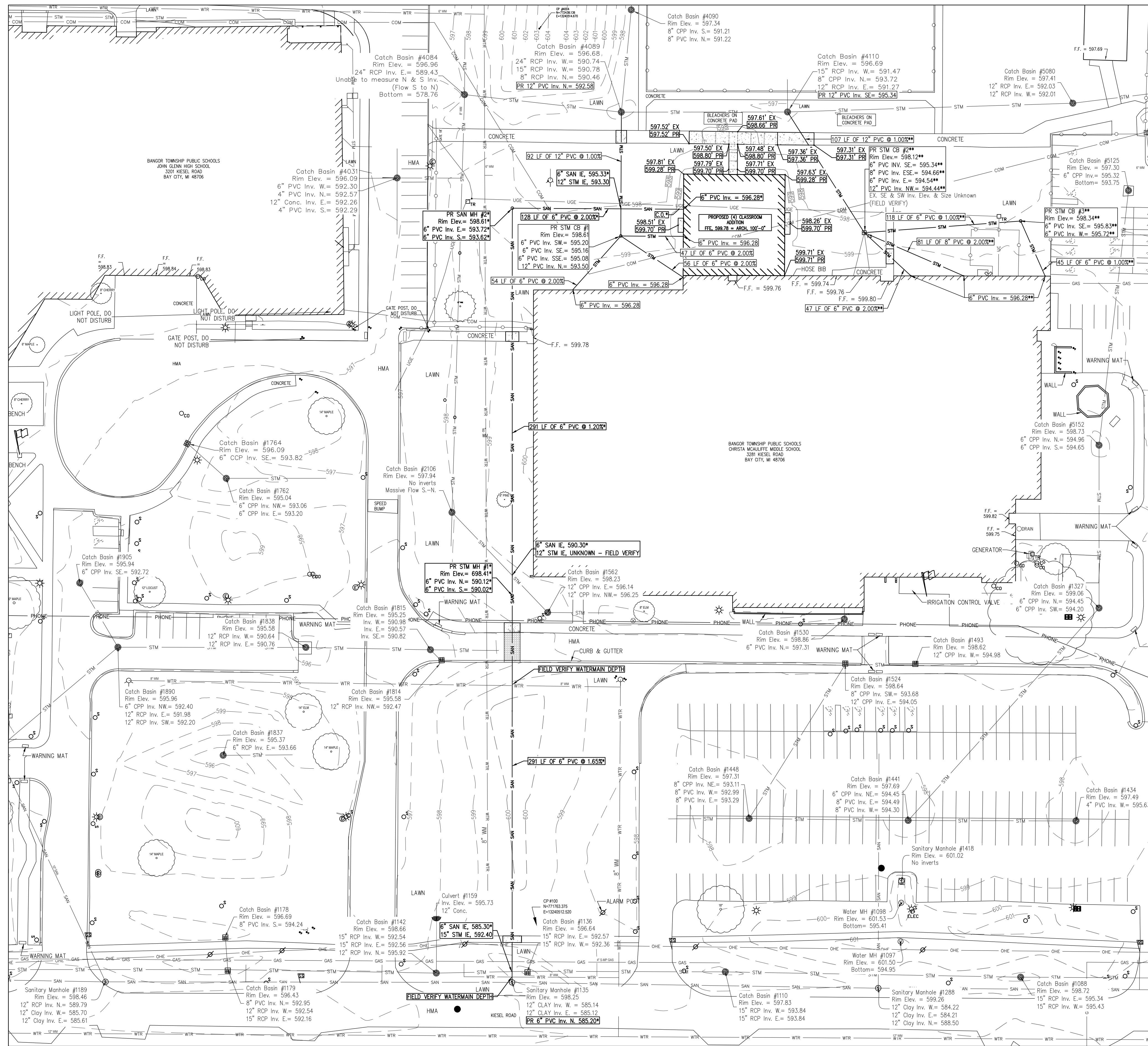
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BANGOR TOWNSHIP SCHOOL DISTRICT
 PHASE 3A - MIDDLE SCHOOL CLASSROOM & ATHLETIC ADDITION
 3201 KIESEL RD., BAY CITY, MI 48706
 PROJECT NO. 22-011

BY	DATE	NO. REVISIONS	DATE
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CHECKED	ADM		12.03.24
APPROVED	BLK		12.04.24

GRADING & UTILITY PLANS
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C2.O



UTILITY WORK
 ** ALTERNATE BID NO.1, ROOF DRAIN CONNECTIONS
 * ALTERNATE BID NO.2, SANITARY SEWER WORK

LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	INTEGRAL CURB
	INTEGRAL CURB/BACK OF CURB
	TAPER TO MATCH GRADE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	GROUND BUILDING
	ADJUST ITEM
	EDGE OF HMA
	EDGE OF CONCRETE
	INVERT ELEVATION
	BACK OF WALK
	FACE OF WALK
	TOP OF WALK
	EXISTING
	PROPOSED
	LINEAR FEET
	MID POINT
	POINT OF CURVATURE
	FINISHED FLOOR ELEVATION
	TOP OF ROCK
	GRAVEL
	CATCH BASIN
	MANHOLE
	STORM SEWER
	SANITARY SEWER
	REMOVE ITEM
	RELOCATE ITEM
	FLOW LINE
	BACK OF CURB

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GRADING & UTILITY PLAN
 SCALE: 1 INCH = 40 FEET
 GRAPHIC SCALE: 1 inch = 40 feet

ARCHITECTURE
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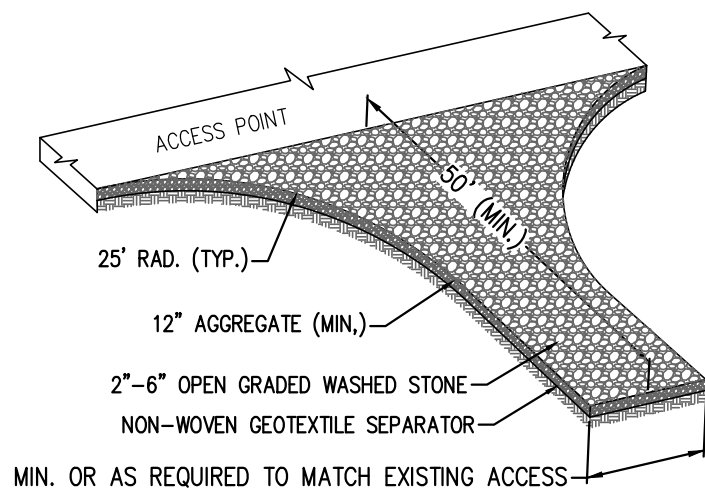
MISS DIG 811.
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BANGOR TOWNSHIP SCHOOL DISTRICT
 PHASE 3A - MIDDLE SCHOOL CLASSROOM & ATHLETIC ADDITION
 3201 KIESEL RD, BAY CITY, MI 48706
 PROJECT NO. 22-011

BY	DATE	NO. REVISIONS	DATE
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DRAWN	09.30.24		
CHECKED	ADM		12.03.24
APPROVED	BLK		12.04.24

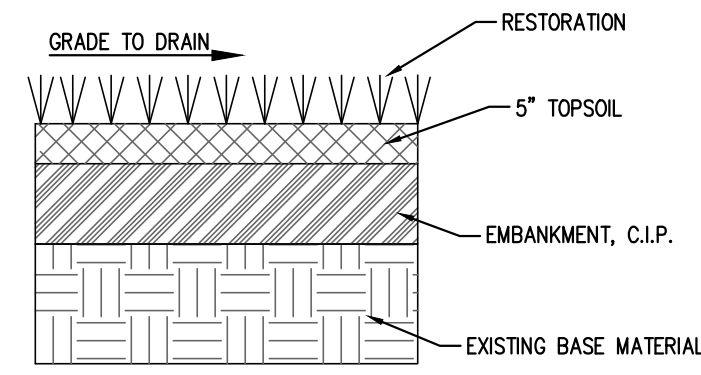
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C2.0



STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

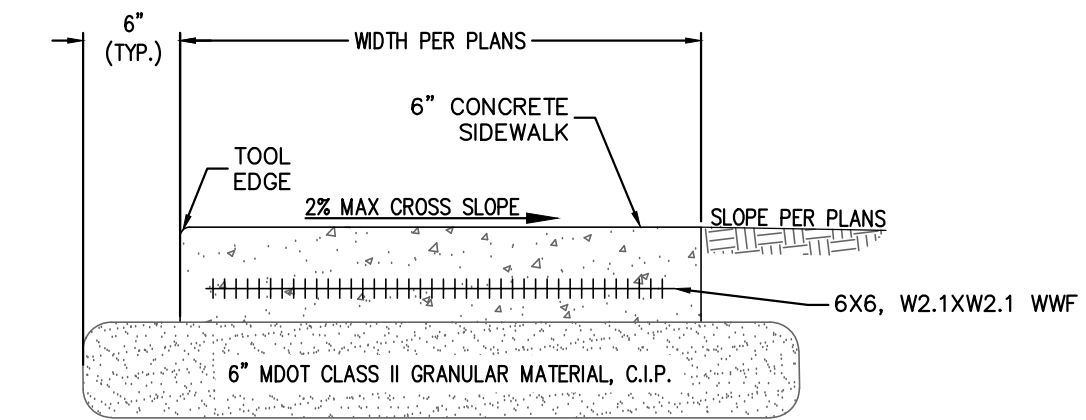


NOTE: STABILIZATION SHALL BE ACCOMPLISHED WITH SEED AND STRAW MULCH WITH A TACKIFIER OR STRAW BLANKETS PEGGED IN PLACE.

SEEDING RATE = 210 LBS PER ACRE MINIMUM
 FERTILIZER RATE = 150 LBS PER ACRE MINIMUM
 MULCHING RATE = MINIMUM 3\"/>

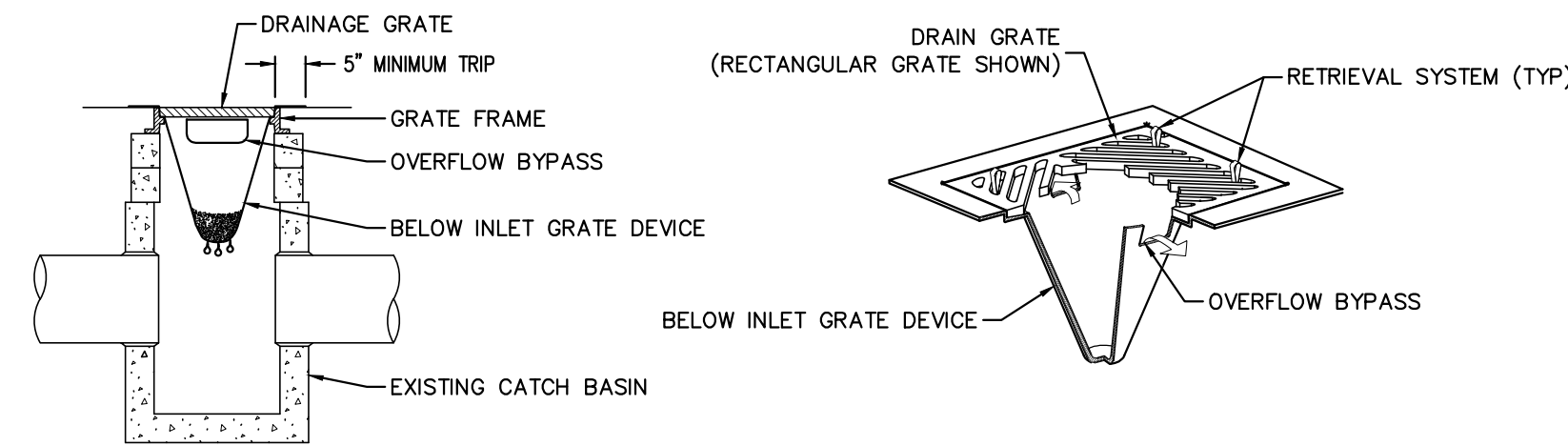
TURF RESTORATION DETAIL

NOT TO SCALE



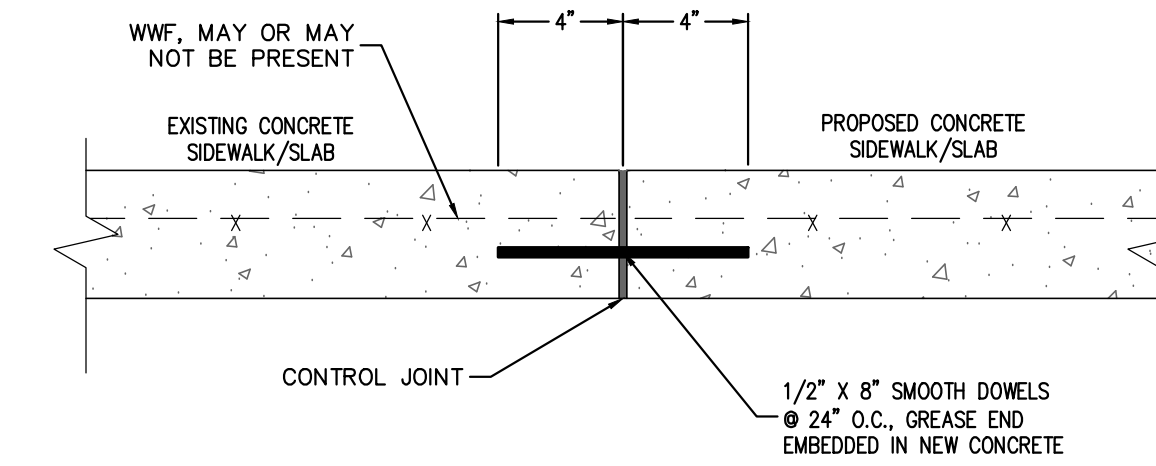
CONCRETE SIDEWALK

NOT TO SCALE



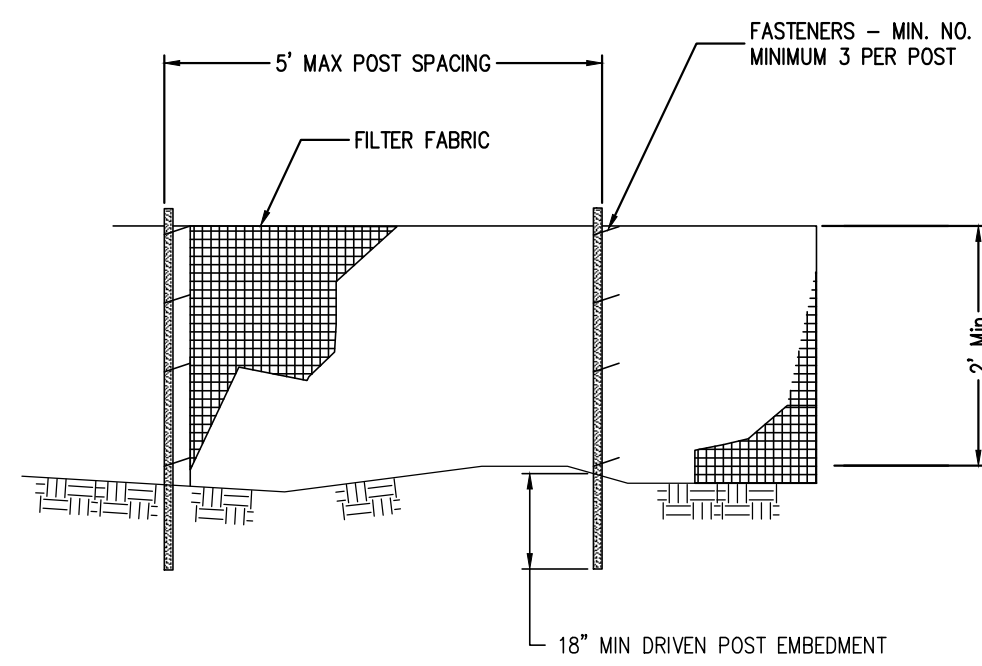
INLET PROTECTION FABRIC DROP

NO SCALE



EXISTING & PROPOSED CONCRETE INTERFACE

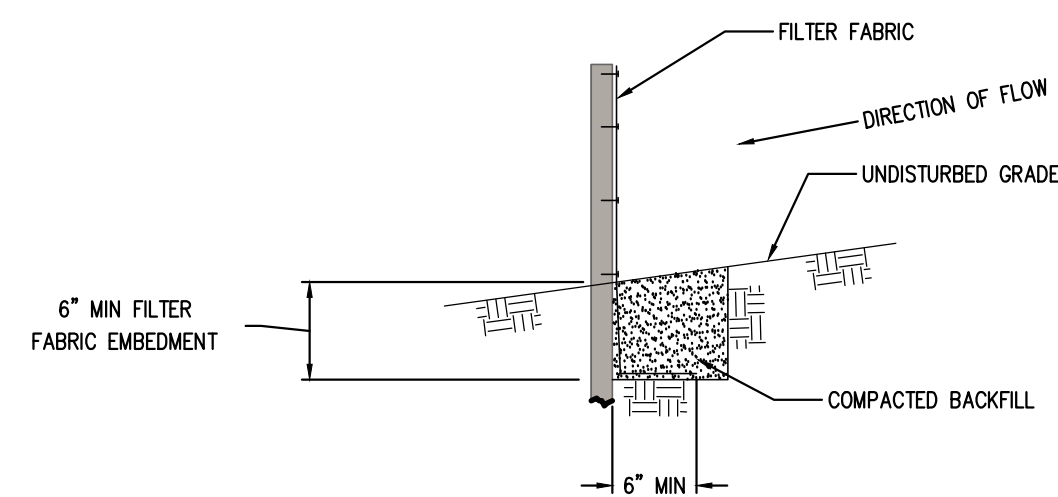
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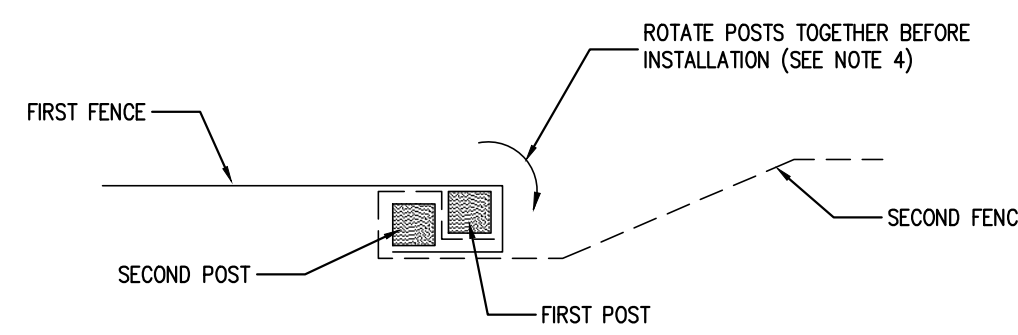
ELEVATION

- NOTES:
1. TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS L WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. FENCE POSTS SHALL BE EITHER WOOD POST WITH A MINIMU CROSS-SECTIONAL AREA OF 1.5\"/>

DETAIL MODIFIED FROM NRCS-IL STANDARD DRAWING NRCS141P2_029360



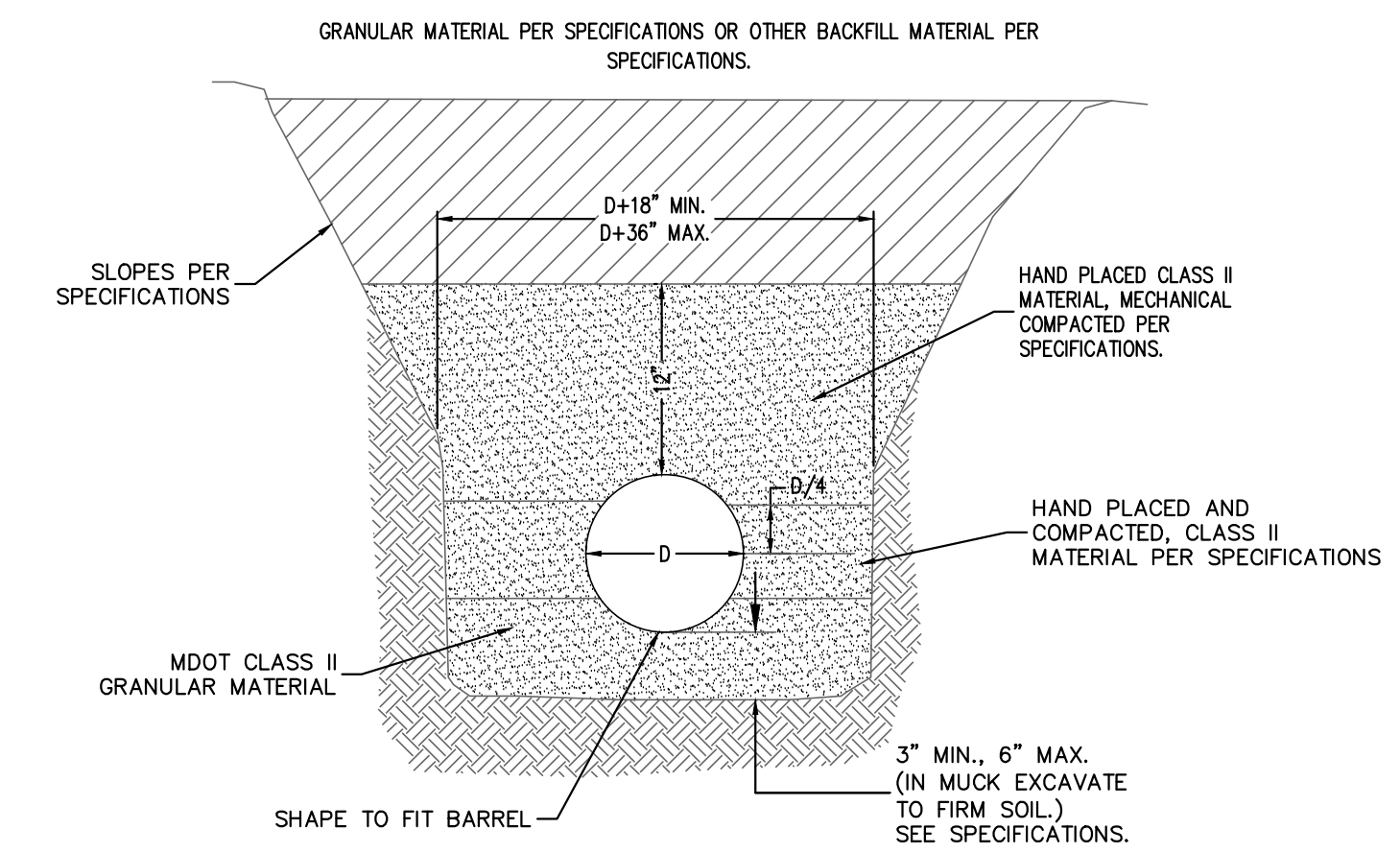
FABRIC ANCHOR DETAIL



SPLICE DETAIL-PLAN VIEW

SILT FENCE INSTALLATION DETAILS

NO SCALE



UTILITY TRENCH

NOT TO SCALE

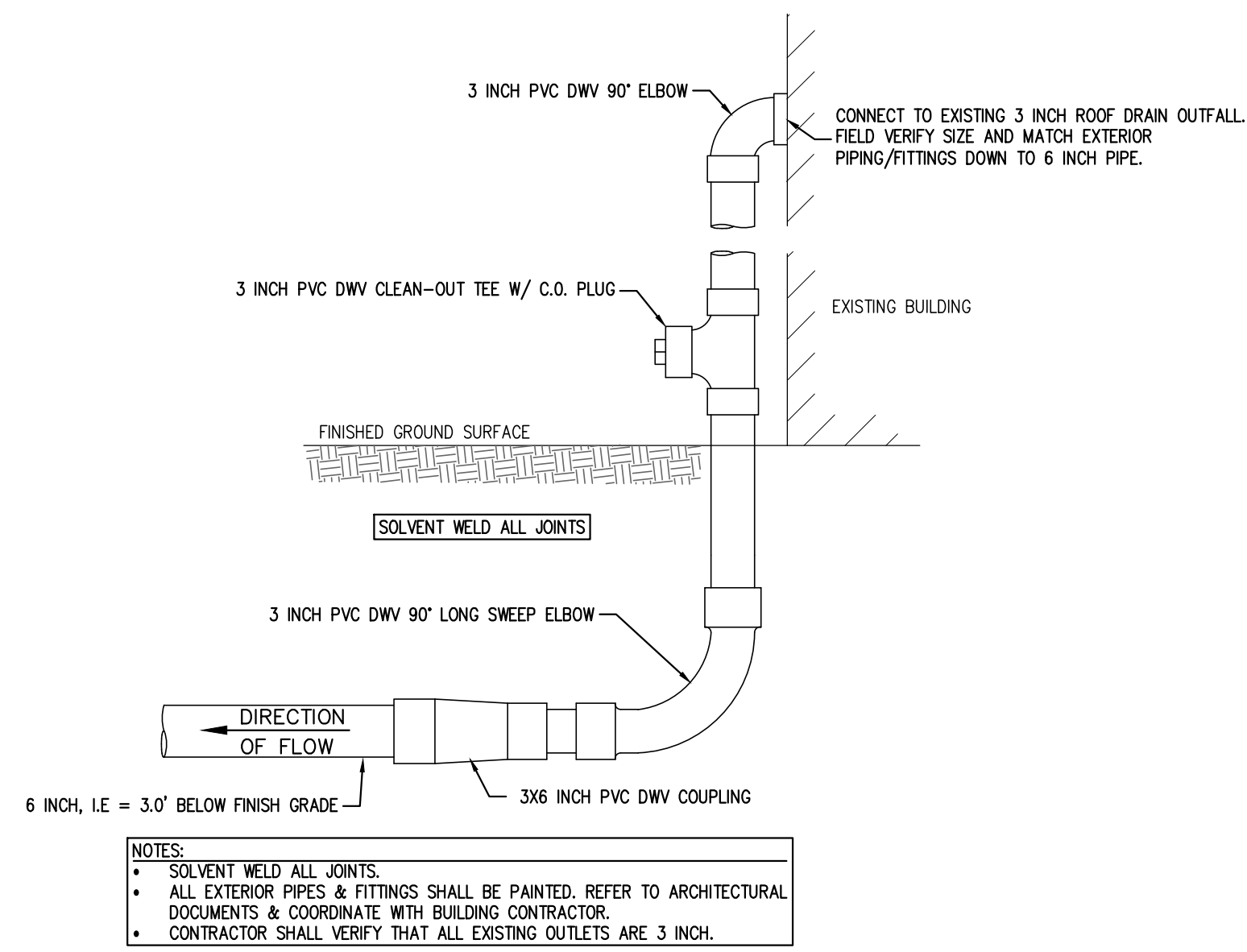
MARQUETTE OFFICE:
 1021 W. BARAGA AVENUE
 MARQUETTE, MI 49855
 PHONE: (909)228-4480 FAX: (909)228-7524
 BRIGHTON OFFICE:
 857 W. GRAND RIVER AVE., SUITE 600
 BRIGHTON, MI 48816
 PHONE: (910)229-2701 FAX: (910)229-6787



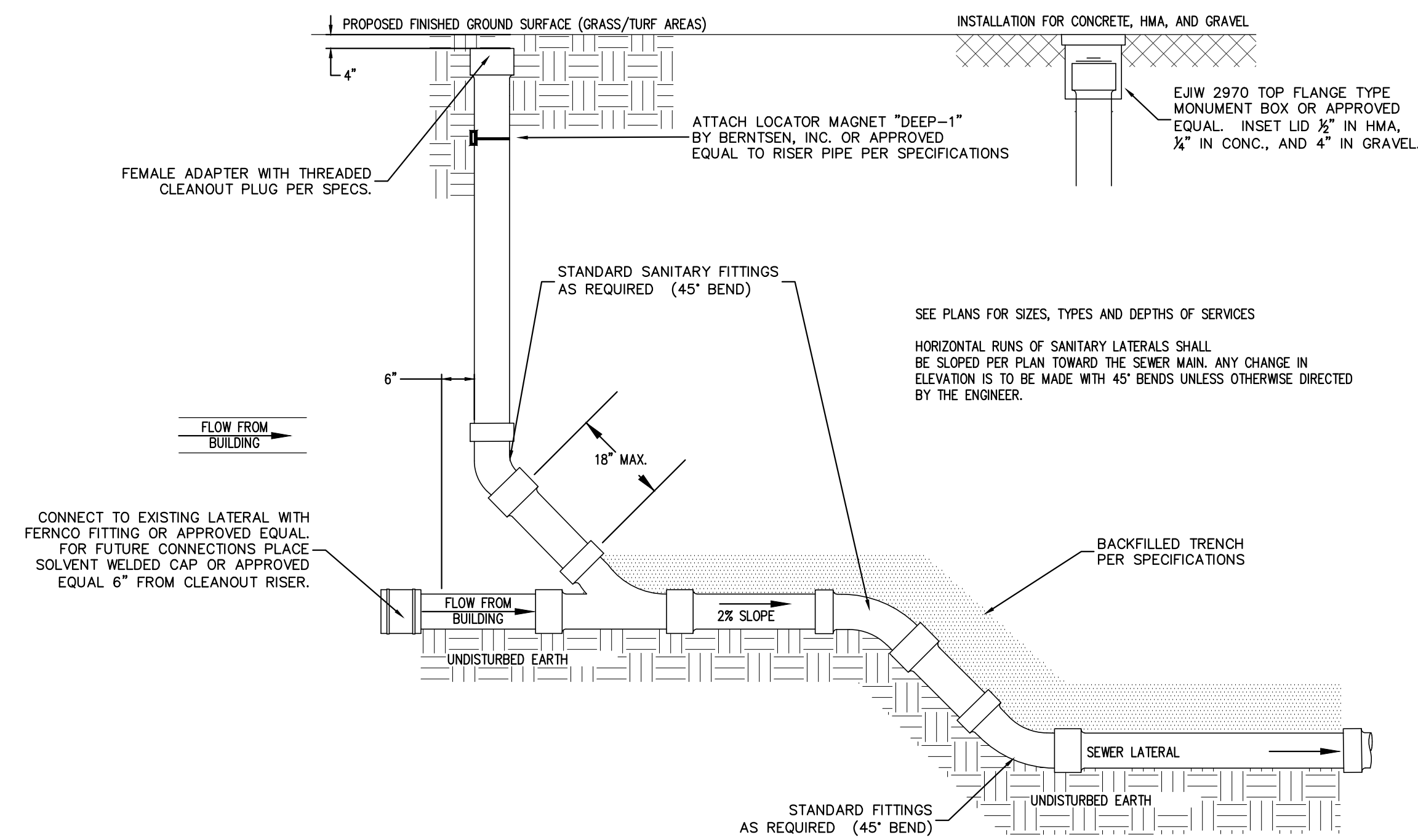
BANGOR TOWNSHIP SCHOOL DISTRICT
 PHASE 2 - HIGH SCHOOL CLASSROOM & ATHLETIC ADDITION
 3201 KIESEL RD, BAY CITY, MI 48706
 PROJECT NO. 22-011

BY	DATE	NO. REVISIONS	DATE
DESIGN	09.30.24	0	12.20.24
DRAWN	09.30.24		
CHECKED	ADM		
APPROVED	BLK		12.04.24

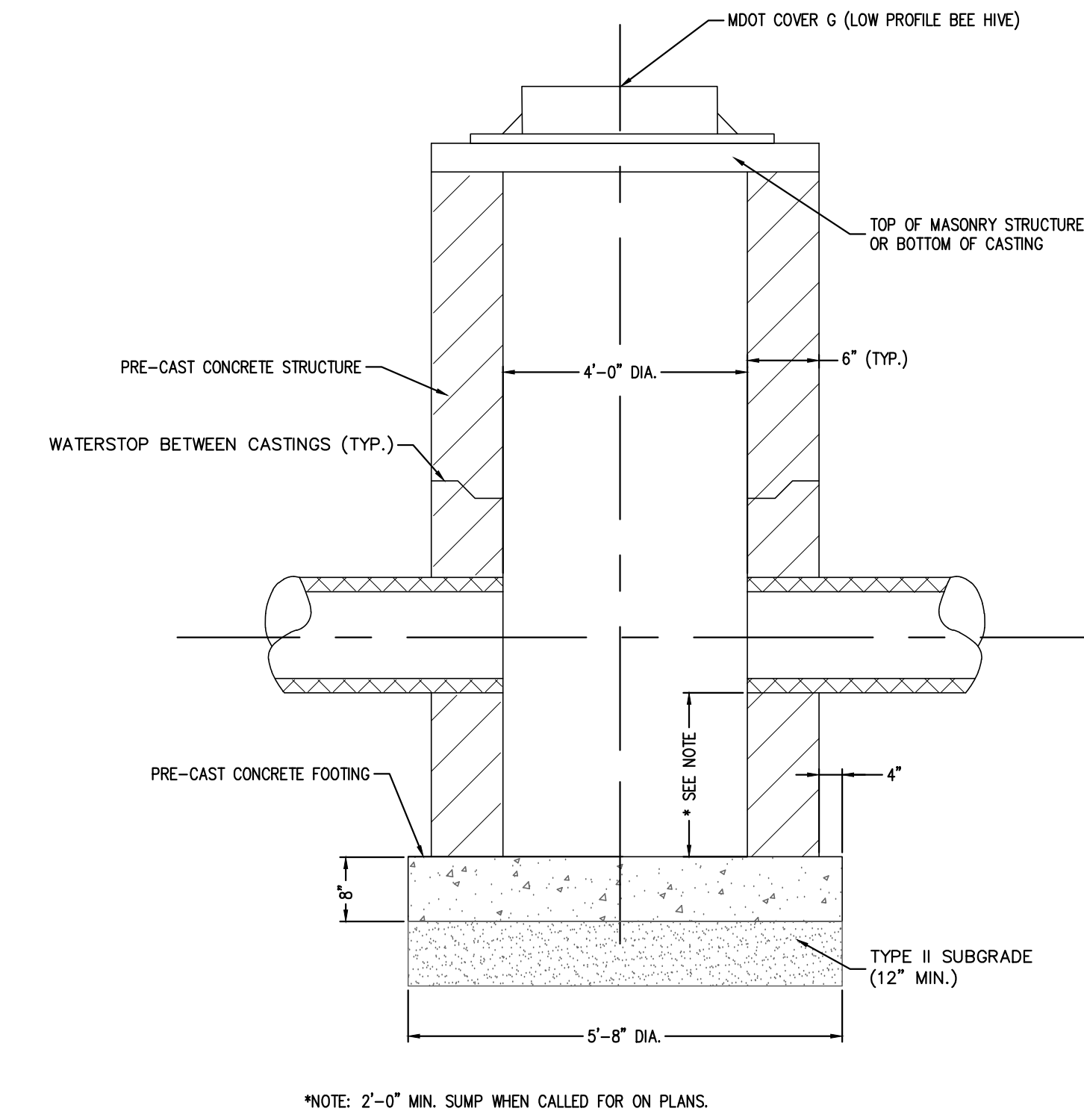
CIVIL DETAILS
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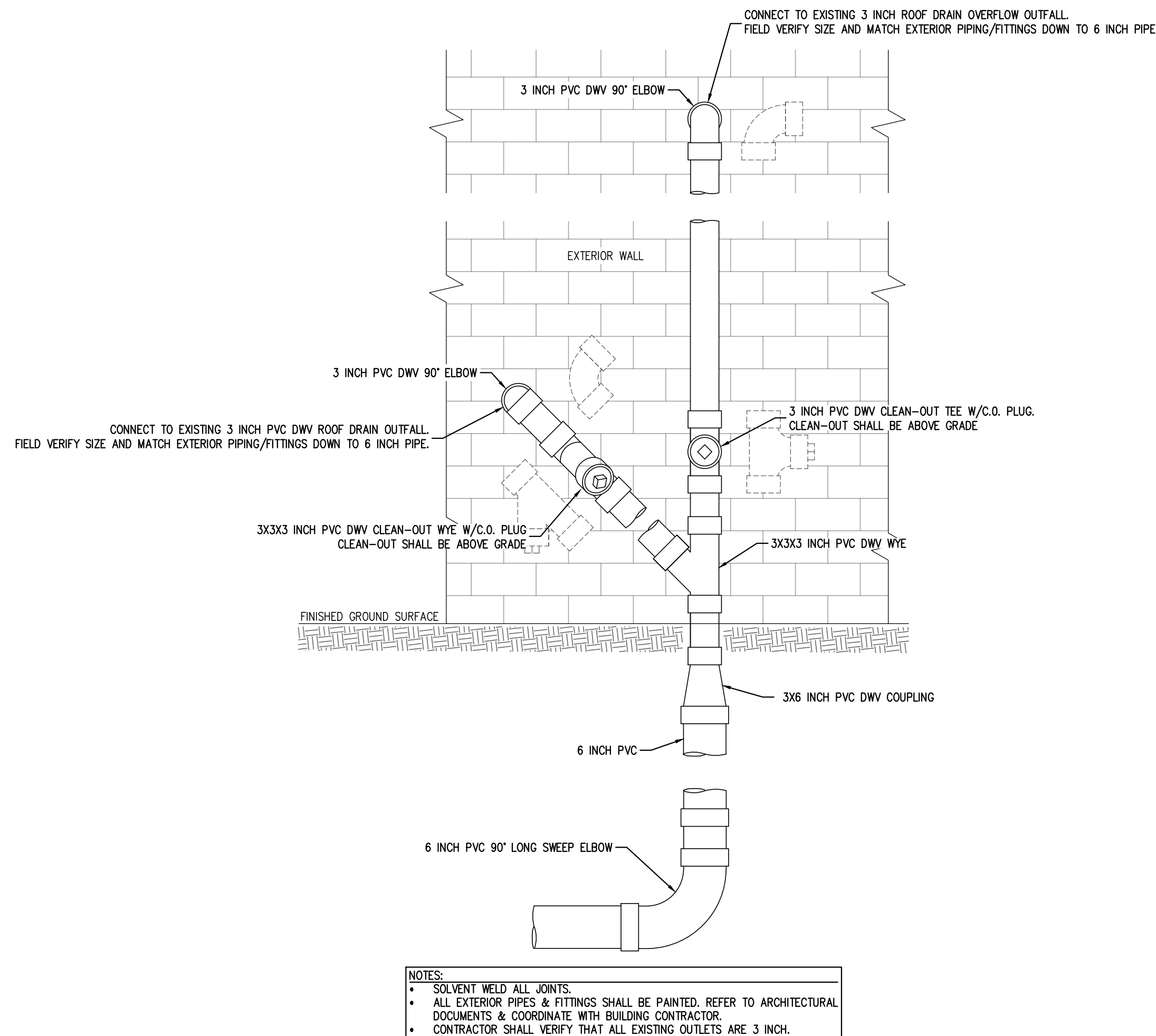
SINGLE, ABOVE GRADE, ROOF DRAIN CONNECTION, PROFILE
NOT TO SCALE



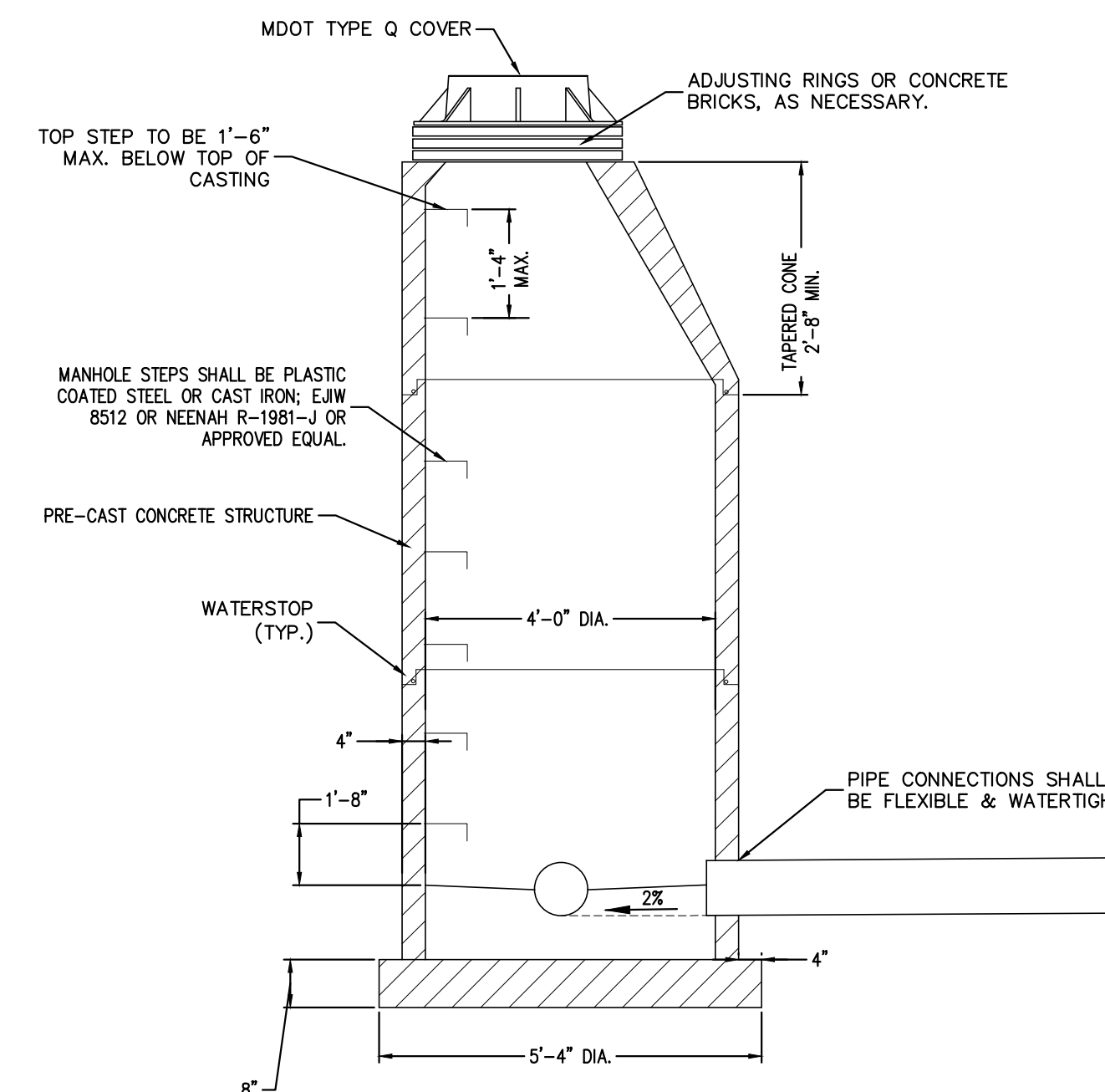
SANITARY/STORM SEWER LATERAL RISER DETAIL
NOT TO SCALE



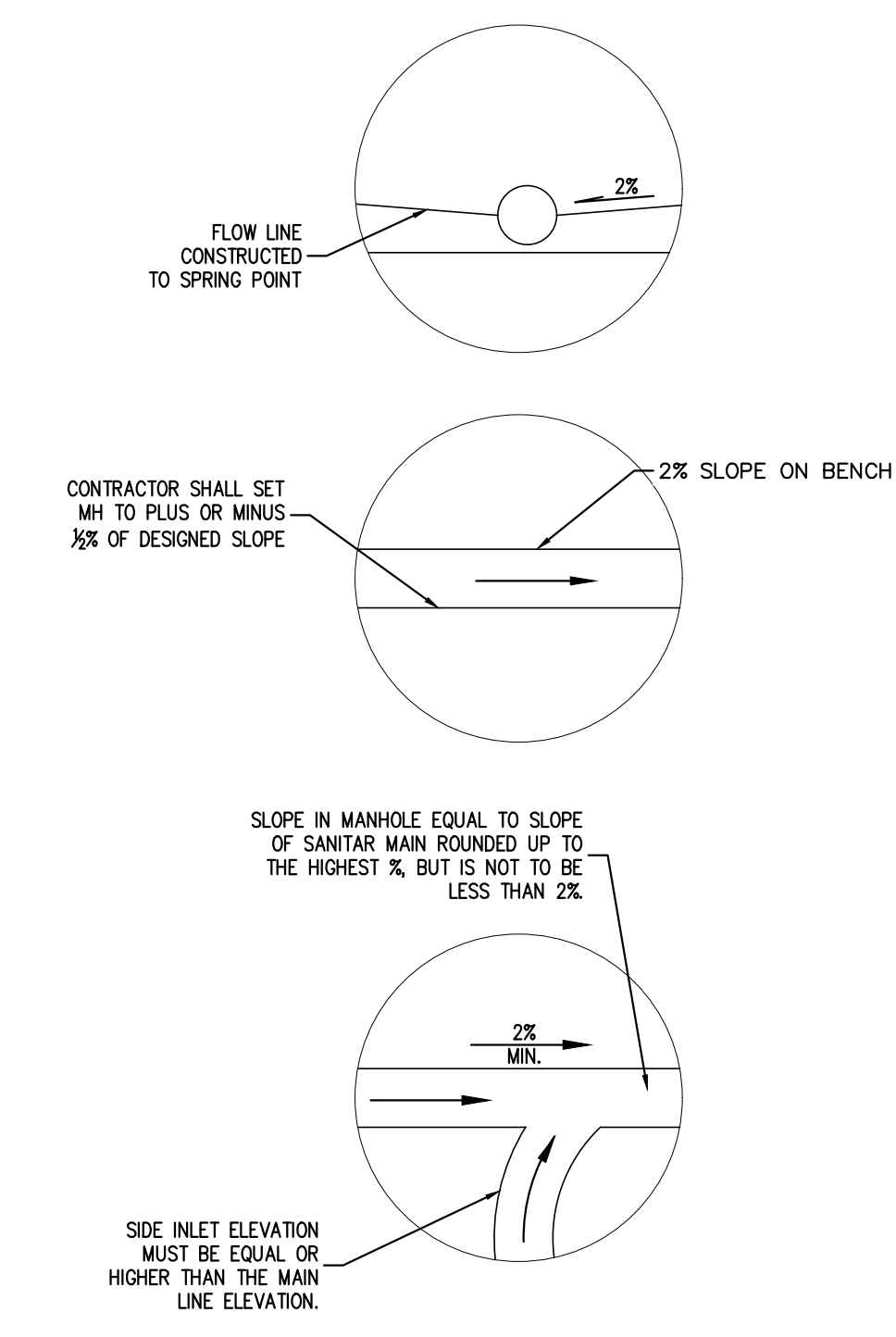
STORM WATER STRUCTURE
NOT TO SCALE

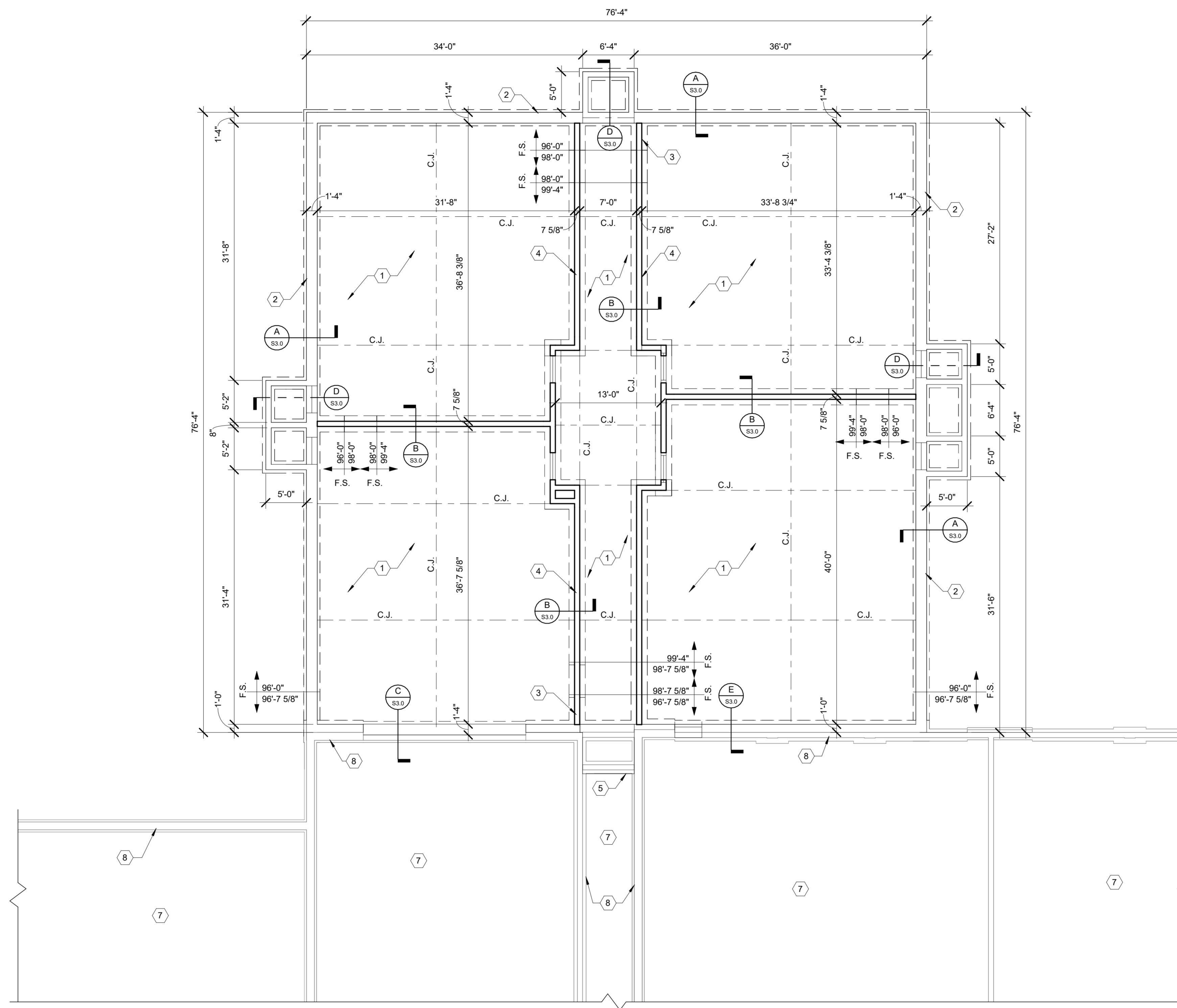


DOUBLE, ABOVE GRADE, ROOF DRAIN CONNECTION, ELEVATION VIEW
NOT TO SCALE



STANDARD SANITARY CONCRETE MANHOLE
NOT TO SCALE





FOUNDATION PLAN

1/8" = 1'-0"

T/SLAB = 100'-0", U.N.O. = 599.78' CIVIL, SEE CIVIL PLANS
 T/FTG. = 96'-0", U.N.O.



KEYNOTES

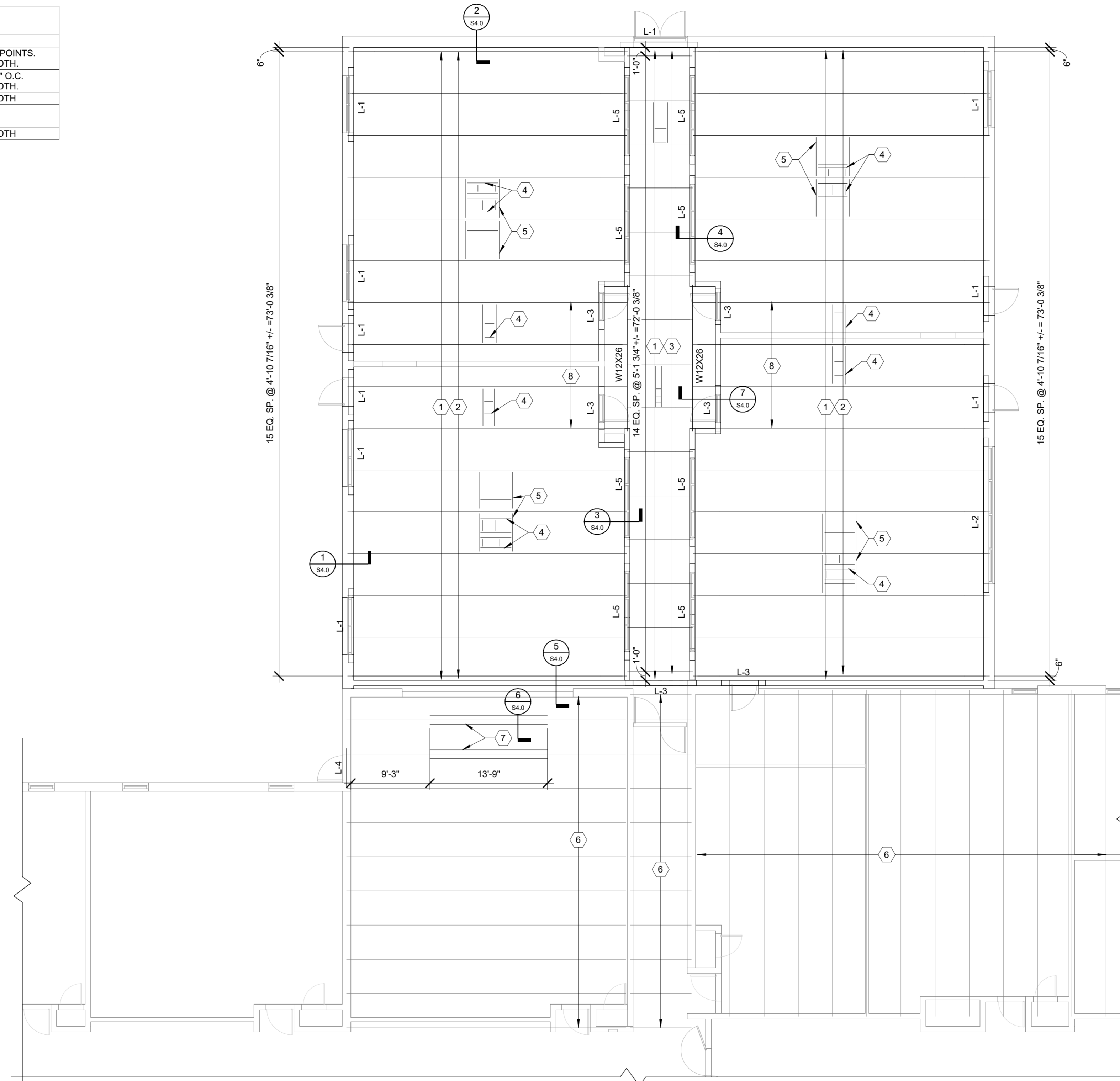
1. 4" CONCRETE SLAB W/ W.W.F. - 6x6-W1.4xW1.4 IN TOP 1/3 OF SLAB OVER 6 MIL VAPOR BARRIER ON 10" COMPACTED CLASS II FILL.
2. 16" REINF. CONCRETE FOUNDATION WALL W/ 12"x24" CONT. FOOTING, RE: DTLS.
3. 8" REINF. CONCRETE FOUNDATION WALL W/ 12"x24" CONT. FOOTING, RE: DTLS.
4. 8" CMU WALL W/ 12"x24" CONT. FOOTING, RE: DTLS.
5. DEMO CONCRETE SLAB UP TO NEAREST FLOOR JOINT FOR INSTALLATION OF NEW FLOOR SLAB. COORD. W/ ARCH. DWGS. PROVIDE #4x12" DOWELS FROM NEW SLAB INTO EXIST. SLAB @ 24" O.C. GREASE DOWEL END IN NEW POUR.
6. THRU WALL FOUNDATION WALL SLEEVE FOR PLUMBING PENETRATION, COORD. SIZE AND LOCATION W/ PLUMBING PLANS.
7. EXIST. CONC. SLAB, VERIFY.
8. EXIST. CONCRETE FOUNDATION SYSTEM, VERIFY.
9. DEMO EXIST. FOUNDATION WALL DOWN 8" AND POUR NEW SLAB OVER TOP.

LEGEND

F.S.	FOOTING STEP
T/	"TOP OF"
EXIST.	EXISTING
F.-	FOOTING MARK
T.S.	THICKENED SLAB
TYP.	TYPICAL
C.J.	CONTROL/CONSTRUCTION JOINT
SIM.	SIMILAR
T/S	TOP OF STEEL
F.V.	FIELD VERIFY
N.T.S.	NOT TO SCALE
U.N.O.	UNLESS NOTED OTHERWISE

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	12/20/24

LINTEL SCHEDULE			
Type Mark	SECTION	BEARING	REMARKS
L-1	16" MASONRY LINTEL W/ (4) #5 & L8x5x7/16" LEDGER ANGLE	12"	BOLT ANGLE TO MASONRY LINTEL @ 1/3 POINTS. CONTINUE REBAR 12" PAST OPENING WIDTH.
L-2	32" MASONRY LINTEL W/ (6) #7 & L8x4x7/16" LEDGER ANGLE	12"	BOLT ANGLE TO MASONRY LINTEL @ 8'-0" O.C. CONTINUE REBAR 12" PAST OPENING WIDTH.
L-3	8" MASONRY LINTEL W/ (2) #6	12"	CONTINUE REBAR 12" PAST OPENING WIDTH
L-4	W8x10 + 1/4"x11" BOTTOM PLATE	8"	
L-5	16" MASONRY LINTEL W/ (4) #5	12"	CONTINUE REBAR 12" PAST OPENING WIDTH



FRAMING PLAN

1/8" = 1'-0"
 T/JOIST = VARIES, SEE DTLS.
 T/STL WEST CORRIDOR = 111'-1 1/4" +/-
 T/STL EAST CORRIDOR = 111'-3"



KEYNOTES

- 1 1/2" 22 GAGE, WIDE RIB, PAINTED STEEL ROOF DECK. MINIMUM 3 SPANS CONTINUOUS. FASTEN TO SUPPORT MEMBERS IN A 36/4 PATTERN WITH #12 TEK SCREWS. PROVIDE (2) EVENLY SPACED #10 TECK SCREW SIDE LAP FASTENERS.
- 20LH03 STEEL JOIST W/ 3 ROWS WELDED HORIZONTAL BRIDGING.
- 10K1 STEEL JOIST W/ 1 ROW WELDED HORIZONTAL BRIDGING. PROVIDE 5" BEARING SEAT EA. END.
- ANGLE FRAME AT MECH. ROOF TOP OPENING PER "STEEL NOTES" #11. SEE TYPICAL JOIST REINF. DETAIL.
- L4x4x1/4" ANGLE FRAME AT MECH. ROOF TOP UNIT, COORD. & VERIFY LOCATION W/ MECH. DWGS. AND MECH. CONTRACTOR. SEE TYPICAL JOIST REINF. DETAIL.
- EXISTING ROOF FRAMING.
- REINF. EXISTING ROOF JOIST W/ (4) #5 REBAR, SEE DETAIL.
- JOIST TO HAVE TOP CHORD JOIST EXTENSION TYPE R1 TO STEEL BEAM, RE: DTL.

LEGEND

- | | |
|-------------------------|--------------------------------|
| T/ EXIST. | "TOP OF" EXISTING FOOTING MARK |
| TYP. | TYPICAL |
| STEEL JOIST | |
| BEAM/LINTEL | |
| L-x HORIZONTAL BRIDGING | LINTEL MARK |
| CROSS BRIDGING | JOIST BEARING ELEVATION |
| J.B. | OPPOSITE HAND |
| O.H. | SIMILAR |
| SIM. | TOP OF STEEL |
| T/S | FIELD VERIFY |
| F.V. | NOT TO SCALE |
| N.T.S. | UNLESS NOTED OTHERWISE |
| U.N.O. | MASONRY CONTROL JOINT |
| C.J. | |

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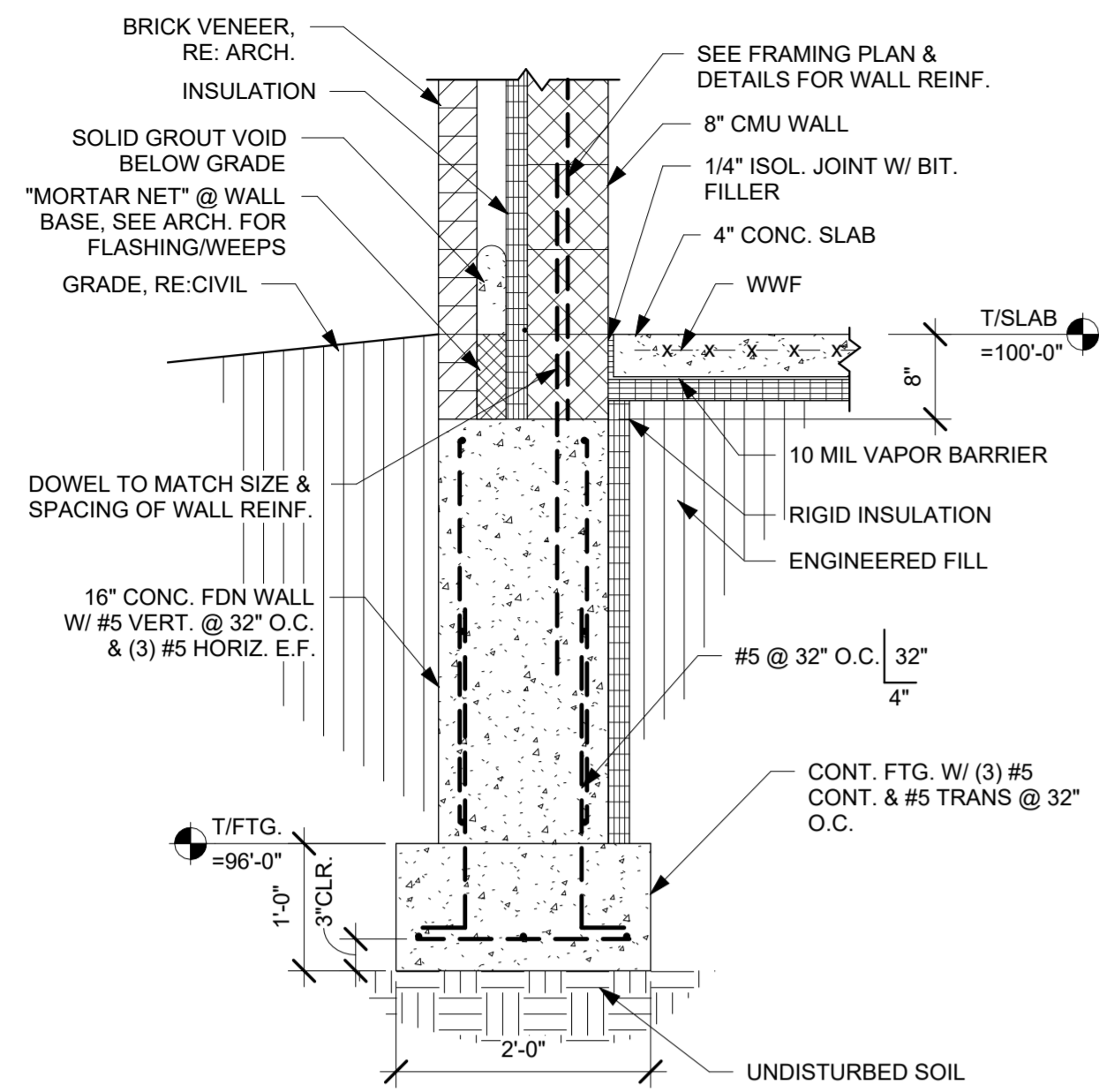
BANGOR TOWNSHIP SCHOOL DISTRICT
 PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
 3281 KIESEL RD, BAY CITY, MI 48706

BY		NO.	REVISIONS	DATE
DESIGN	NPC	A	SCHEMATIC DESIGN	9/30/24
DRAWN	NPC	0	FOR CONSTRUCTION	12/20/24
CHECKED	NPC			
APPROVED	NPC			

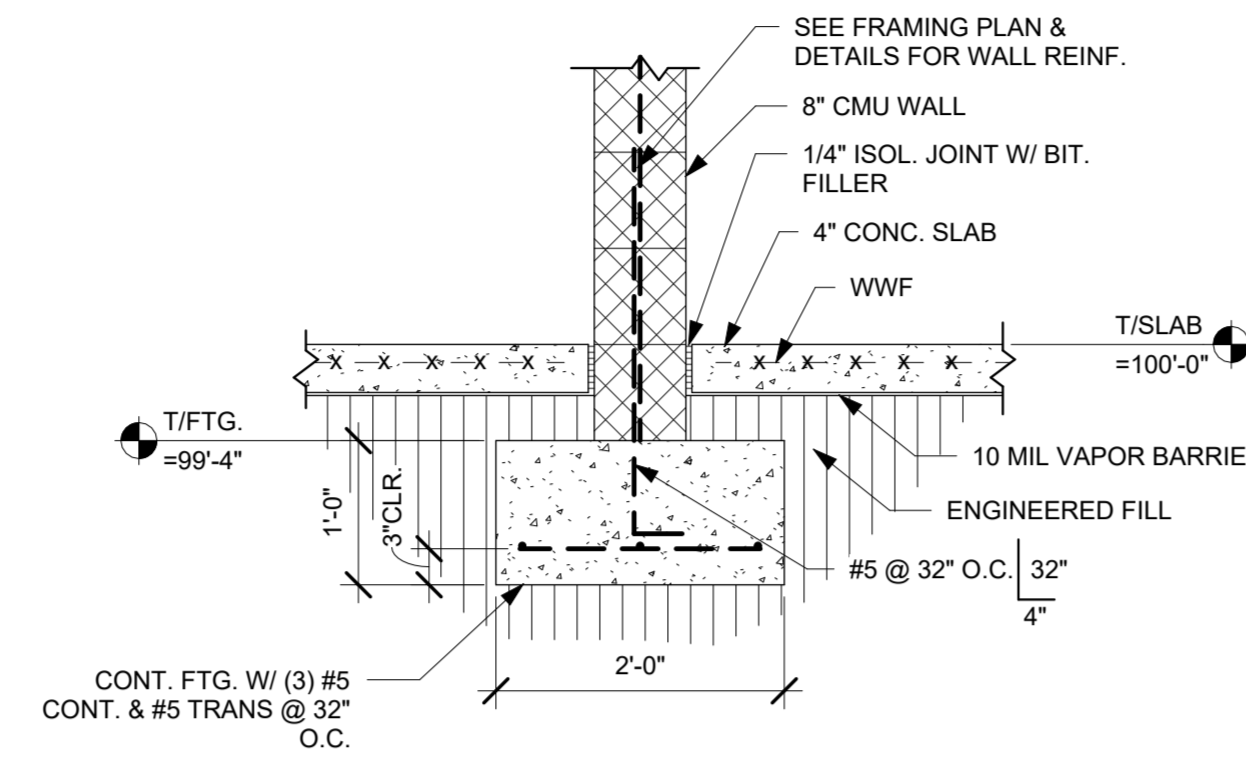
FRAMING PLAN
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ARCHITECTURE
 ENGINEERING
 CONSULTING
 INTEGRATED DESIGNS, INC.
 MARQUETTE OFFICE:
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 8871 W. GRAND PRAIRIE AVE. SUITE 800
 BRIGHTON, MI 48015
 PHONE (9822) 8701
 FAX (9822) 8781

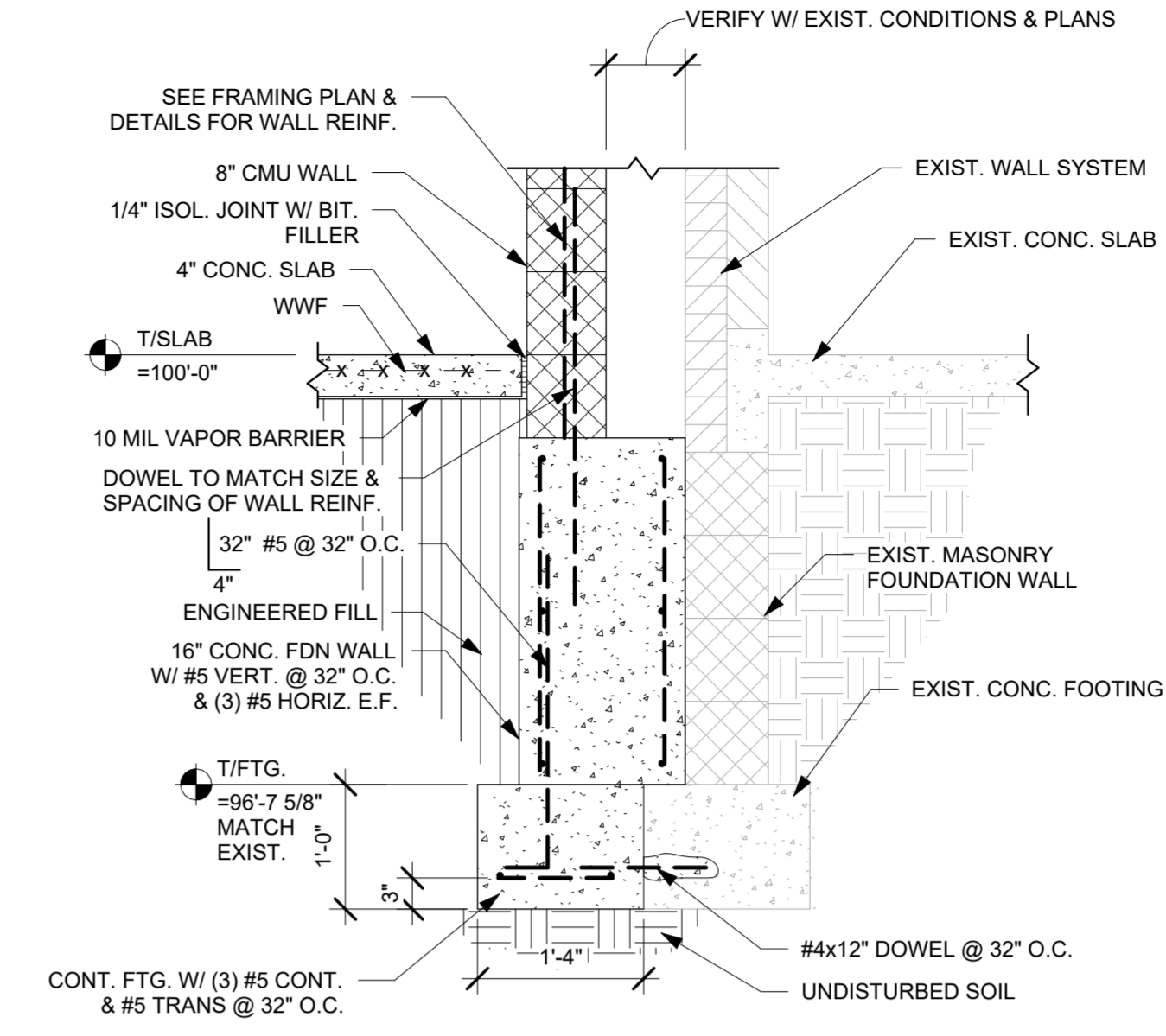
PROJECT NO. 22-011
 S2.0



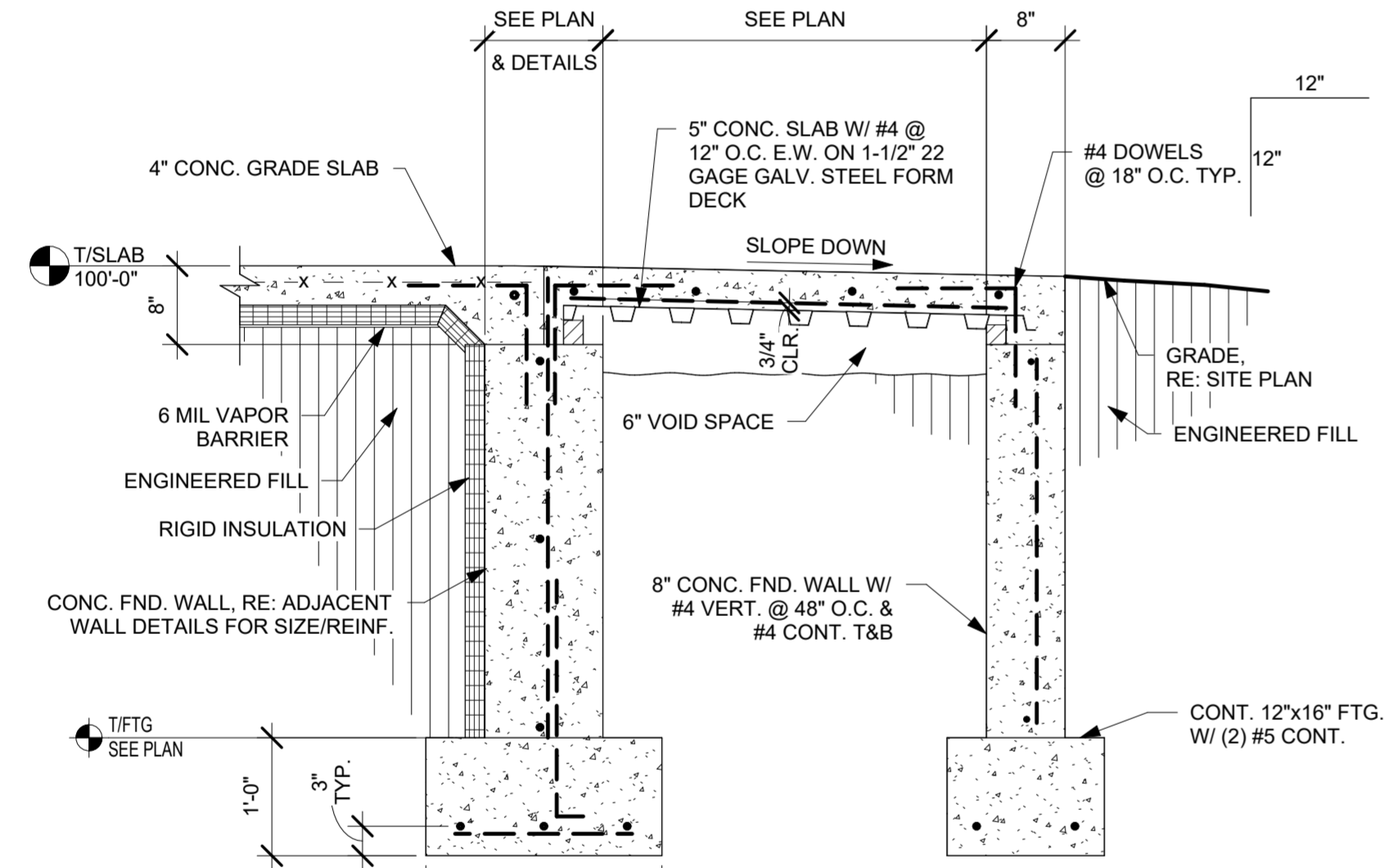
DETAIL A
3/4" = 1'-0"



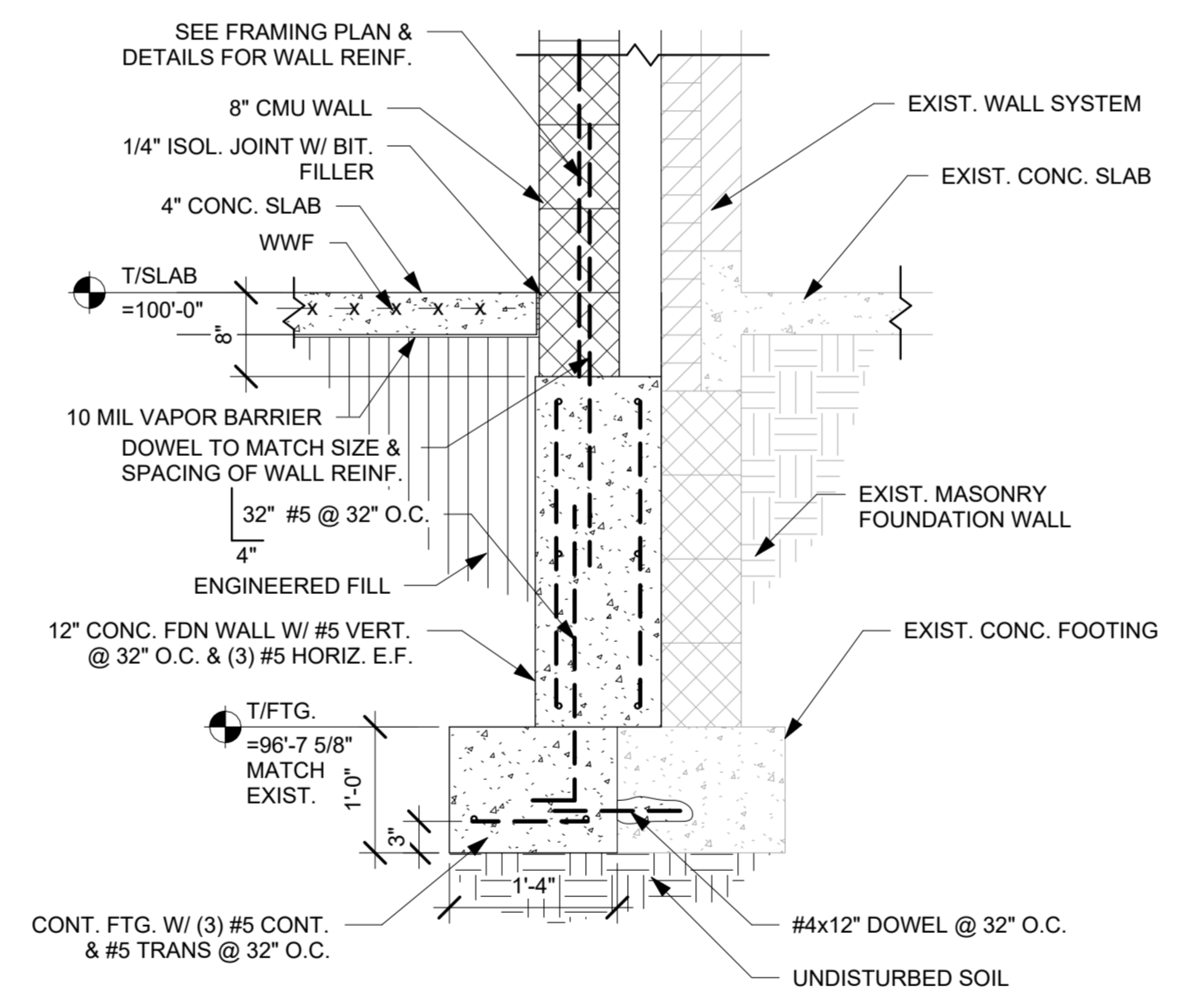
DETAIL B
3/4" = 1'-0"



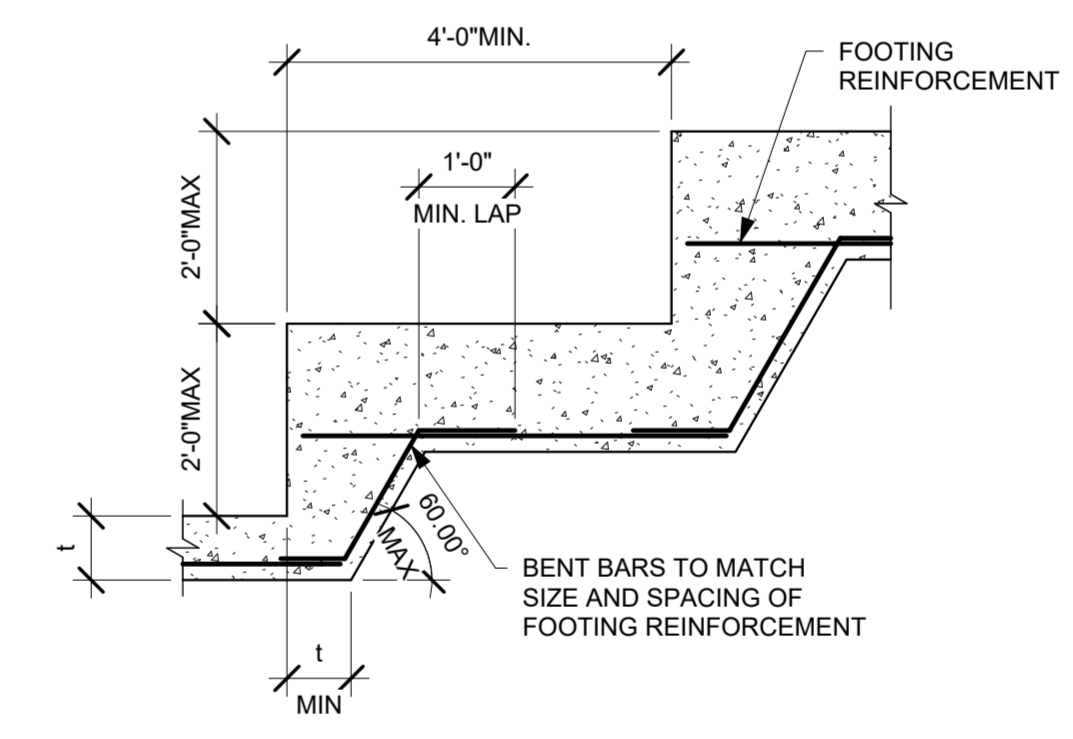
DETAIL C
3/4" = 1'-0"



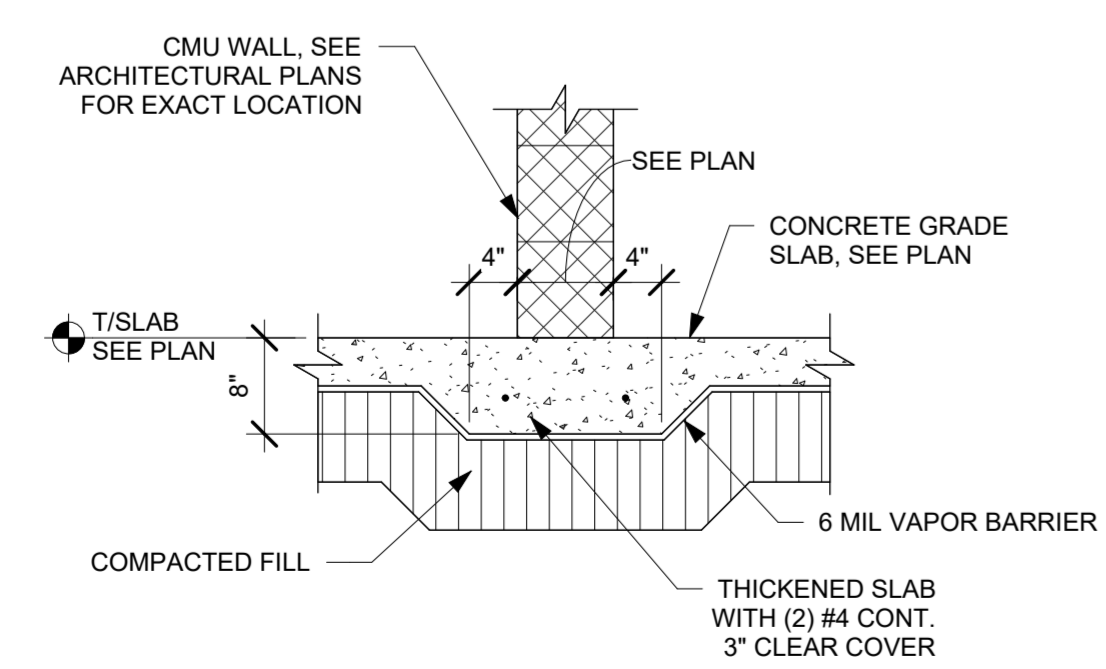
DETAIL D
3/4" = 1'-0"



DETAIL E
3/4" = 1'-0"

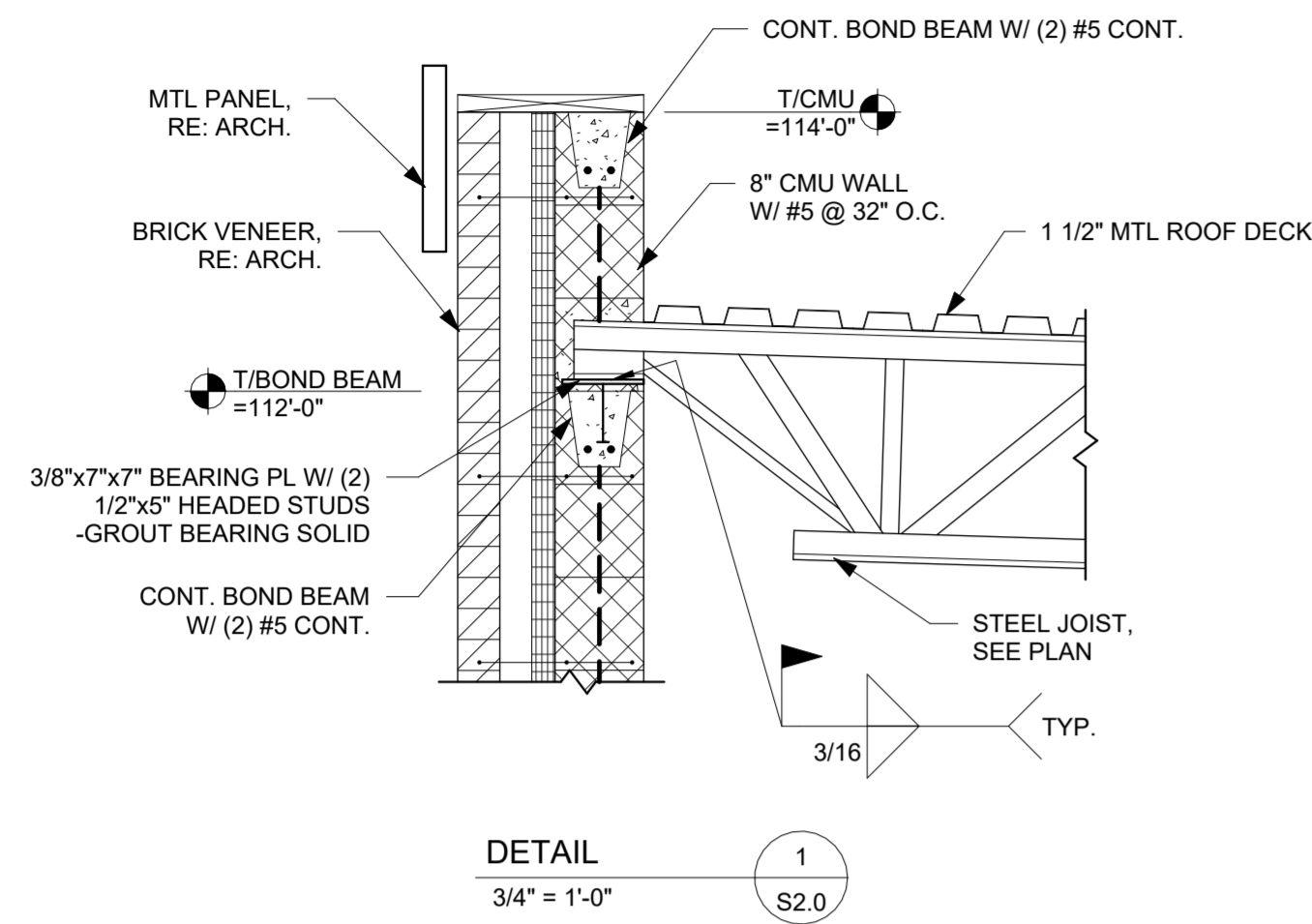


FOOTING STEP DETAIL
1/2" = 1'-0"

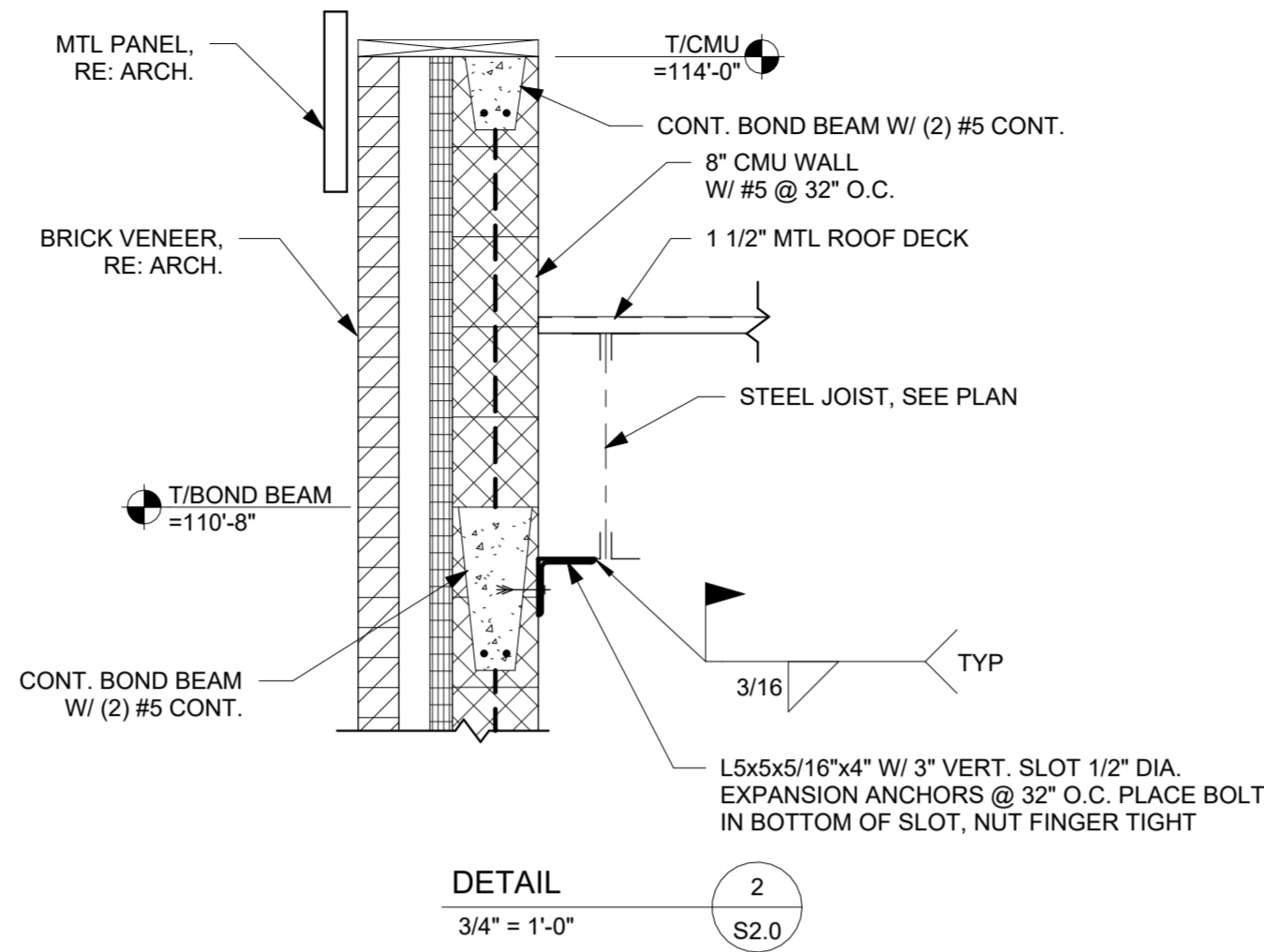


THICKENED SLAB
3/4" = 1'-0"

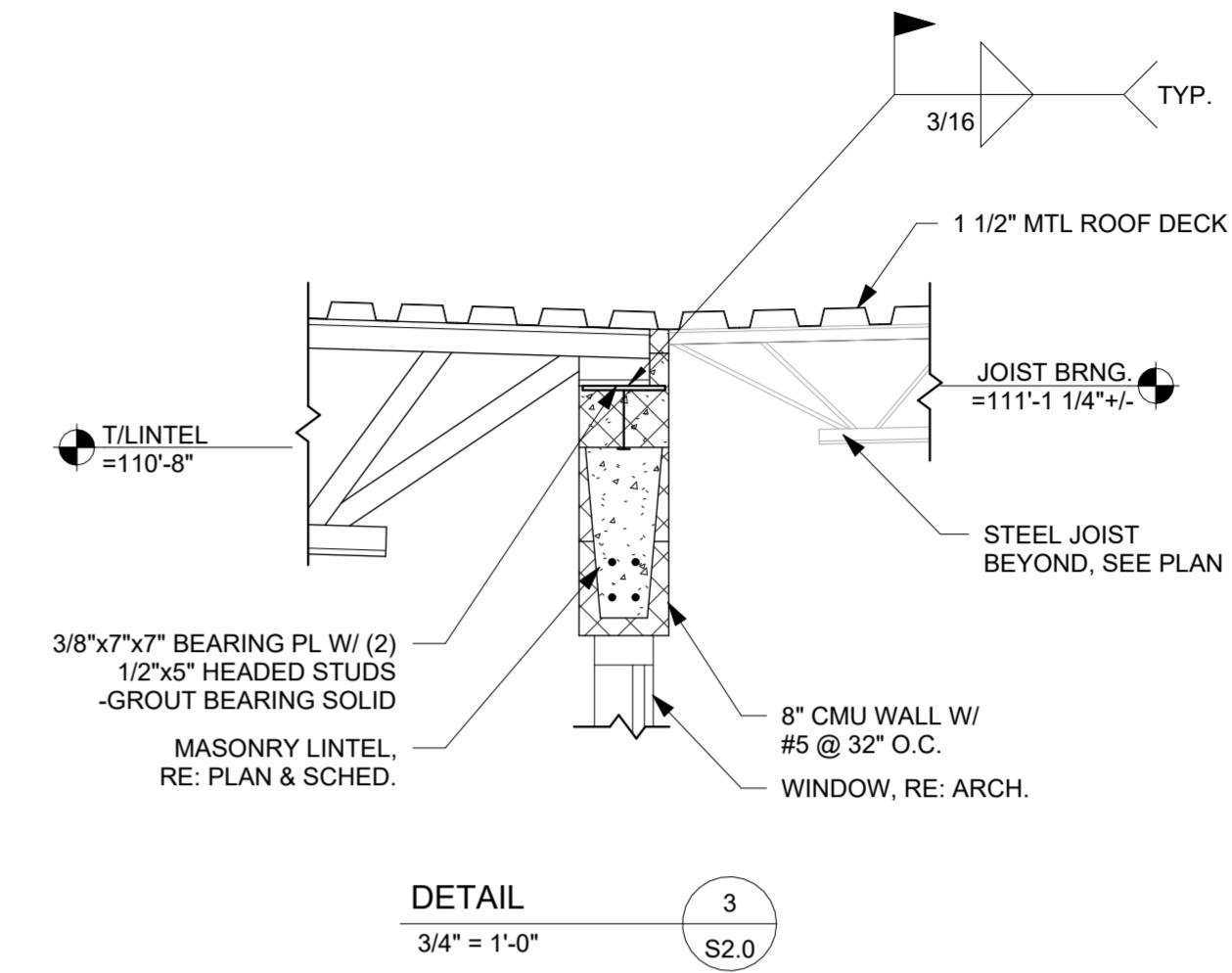
NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	12/20/24



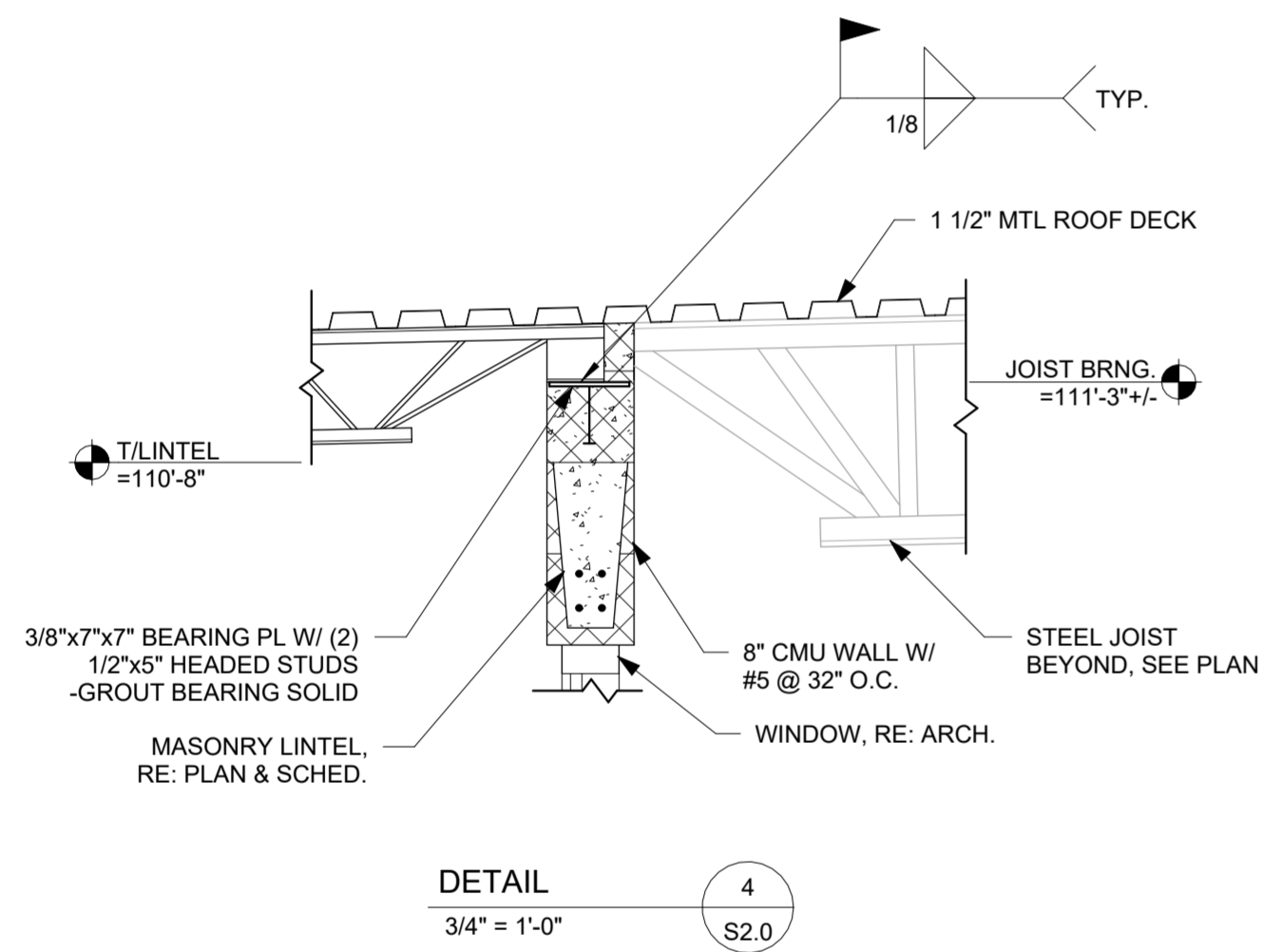
DETAIL 1
3/4" = 1'-0" S2.0



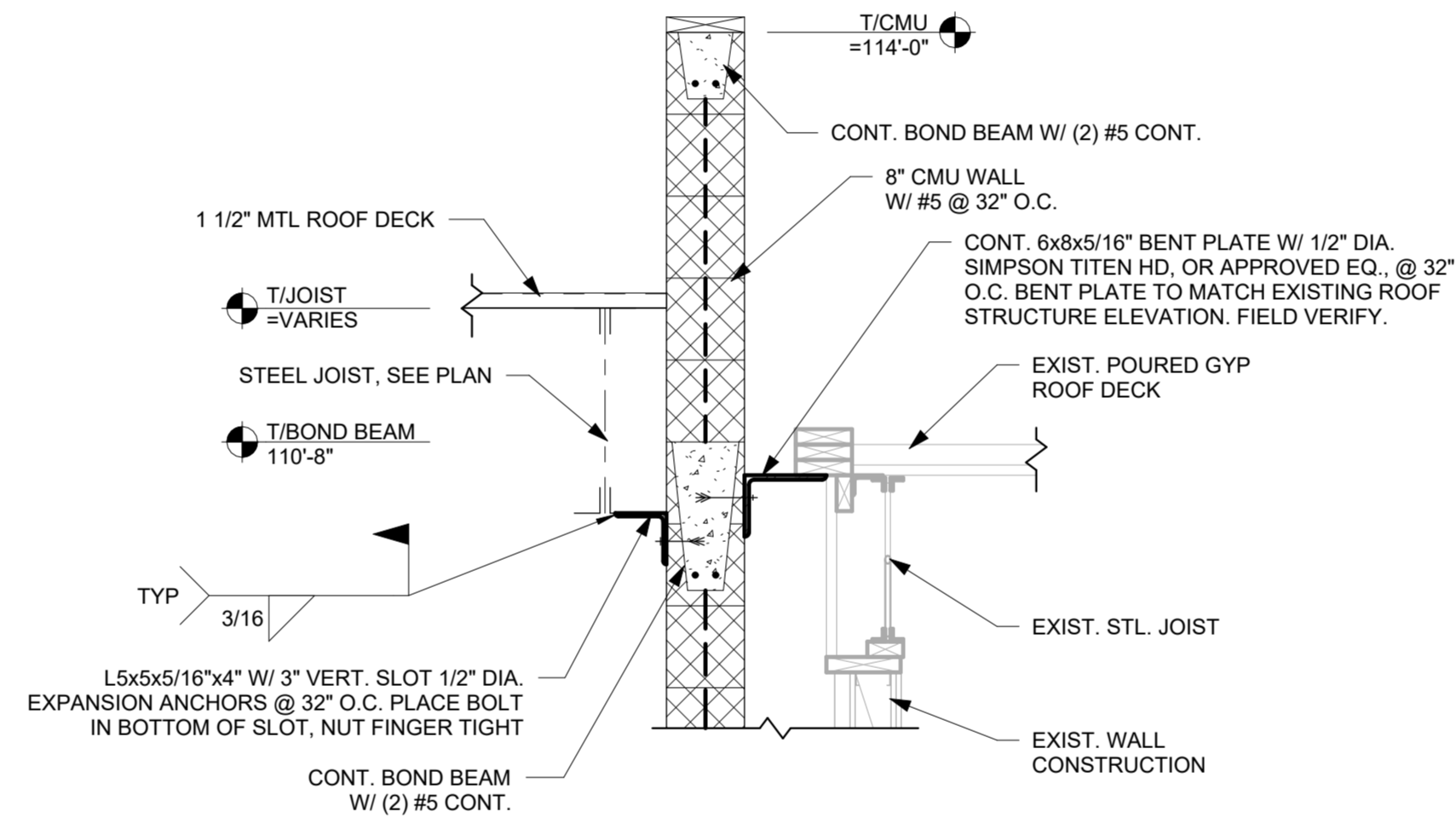
DETAIL 2
3/4" = 1'-0" S2.0



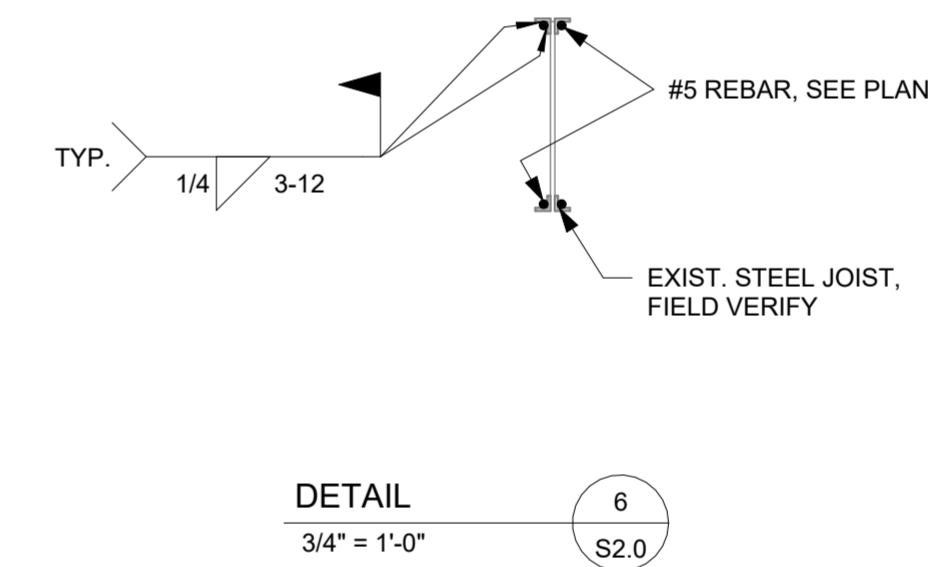
DETAIL 3
3/4" = 1'-0" S2.0



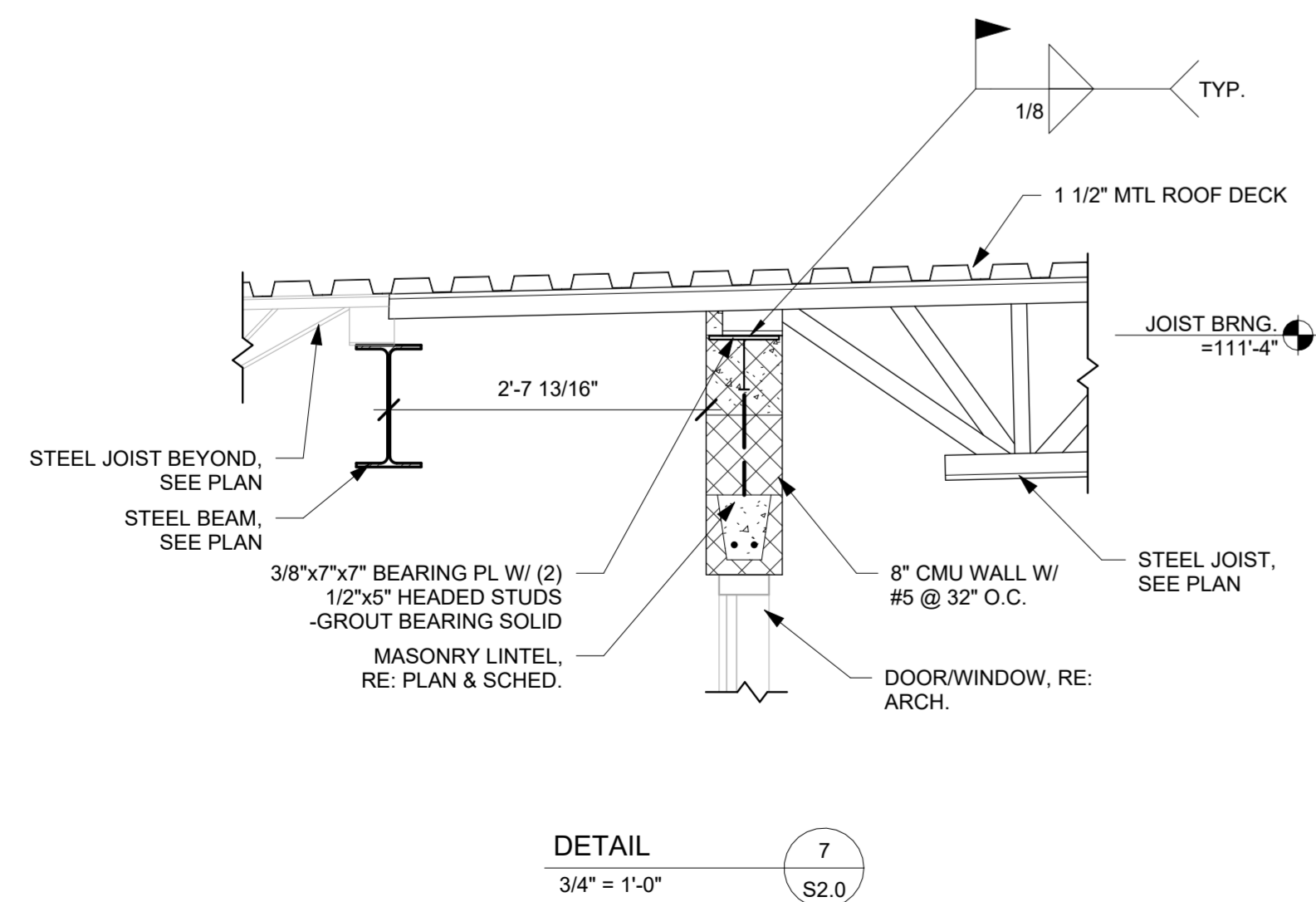
DETAIL 4
3/4" = 1'-0" S2.0



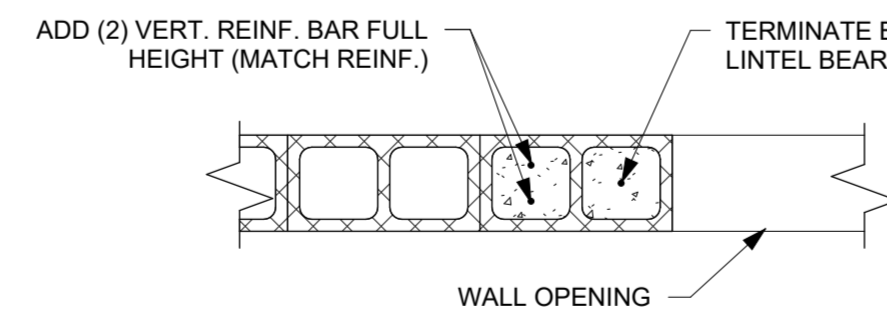
DETAIL 5
3/4" = 1'-0" S2.0



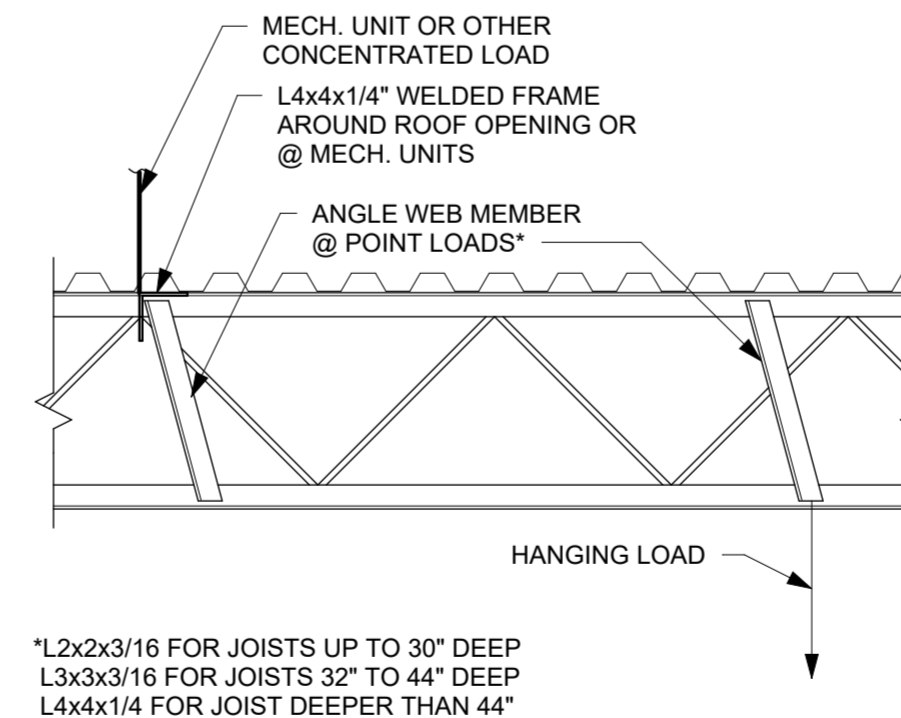
DETAIL 6
3/4" = 1'-0" S2.0



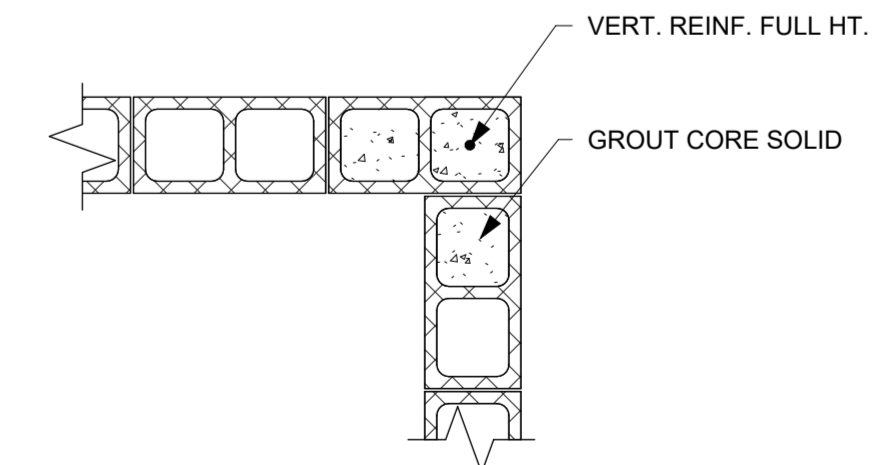
DETAIL 7
3/4" = 1'-0" S2.0



TYP. CMU WALL OPENING REINF.
3/4" = 1'-0"



TYPICAL JOIST REINFORCING
3/4" = 1'-0"



TYPICAL WALL CORNER REINF.
3/4" = 1'-0"

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NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	12/20/24

CODE SUMMARY

2015 MICHIGAN BUILDING CODE	FIRE MARSHALL RULES
STATE OF MICHIGAN BARRIER FREE ACCESS DESIGN RULES (2009 ICC/ANSI A117.1)	MICHIGAN DEPARTMENT OF LABOR CONSTRUCTION CODE COMMISSION GENERAL RULES
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)	2021 MICHIGAN MECHANICAL CODE
2021 MICHIGAN PLUMBING CODE	MICHIGAN UNIFORM ENERGY CODE
NATIONAL ELECTRICAL SAFETY CODE	2023 MICHIGAN ELECTRICAL CODE
CODES FIRE RESISTIVE ANALYSIS	
CLASSIFICATIONS:	CONSTRUCTION PROTECTION:
1 STORIES	0 INTERIOR NON-BEARING PARTITIONS
E OCCUPANCY TYPE	0 STRUCTURAL FRAME
II B CONSTRUCTION TYPE	0 EXTERIOR NON-BEARING WALLS
NO SPRINKLER SYSTEM	0 ROOF
YES FIRE PROTECTION: PORTABLE FIRE EXTINGUISHERS PER SECTION 906	
YES FIRE PROTECTION: FIRE ALARM AND DETECTION SYSTEM PER SECTION 907 (EXISTING FIRE PROTECTION SYSTEM WILL BE EXTENDED INTO AREA OF ADDITION)	

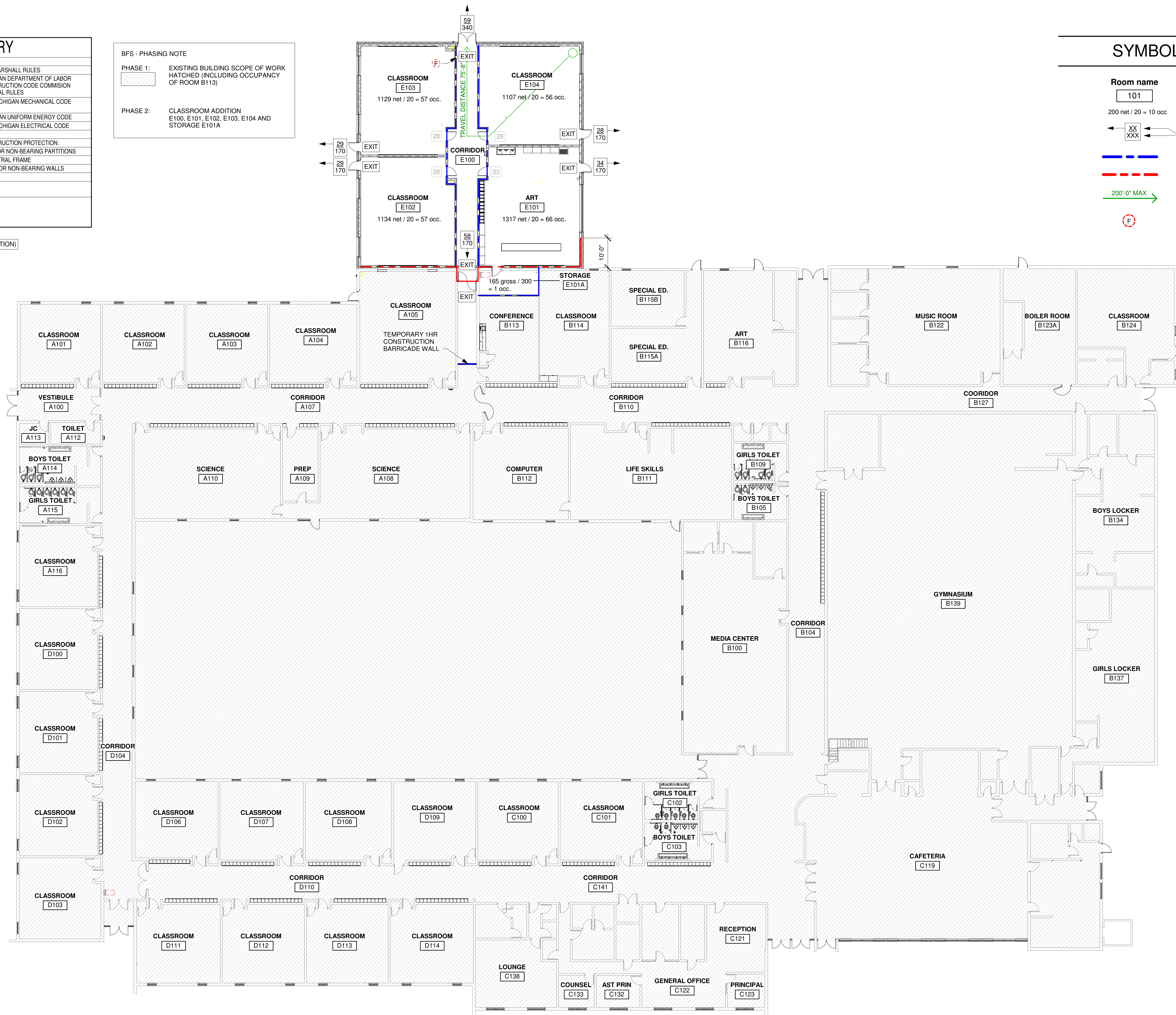
TOTAL ADDED SF: 5,826 (SEPARATION VIA 2HR PARTITION)

BFS - PHASING NOTE

- PHASE 1:** EXISTING BUILDING SCOPE OF WORK HATCHED (INCLUDING OCCUPANCY OF ROOM B113)
- PHASE 2:** CLASSROOM ADDITION E100, E101, E102, E103, E104 AND STORAGE E101A

SYMBOL LEGEND

- Room name**
101
200 net / 20 = 10 occ
- XX
XXX
- 1HR RATED PARTITION
- 2HR RATED PARTITION
- 200'-0" MAX
- RECESSED FIRE EXTINGUISHER CABINET, TRAVEL DISTANCE NOT TO EXCEED 75FT. REFER TO MOUNTING DETAIL 1/A9.0.



N
LIFE SAFETY PLAN
1/16" = 1'-0"

ARCHITECTURE
ENGINEERING
CONSULTING



INTEGRATED DESIGNS, INC.

BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/24
BY	DESIGN	
	DRAWN	
	CHECKED	
	APPROVED	

COMPOSITE & LIFE SAFETY
PLAN
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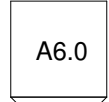
A0.1

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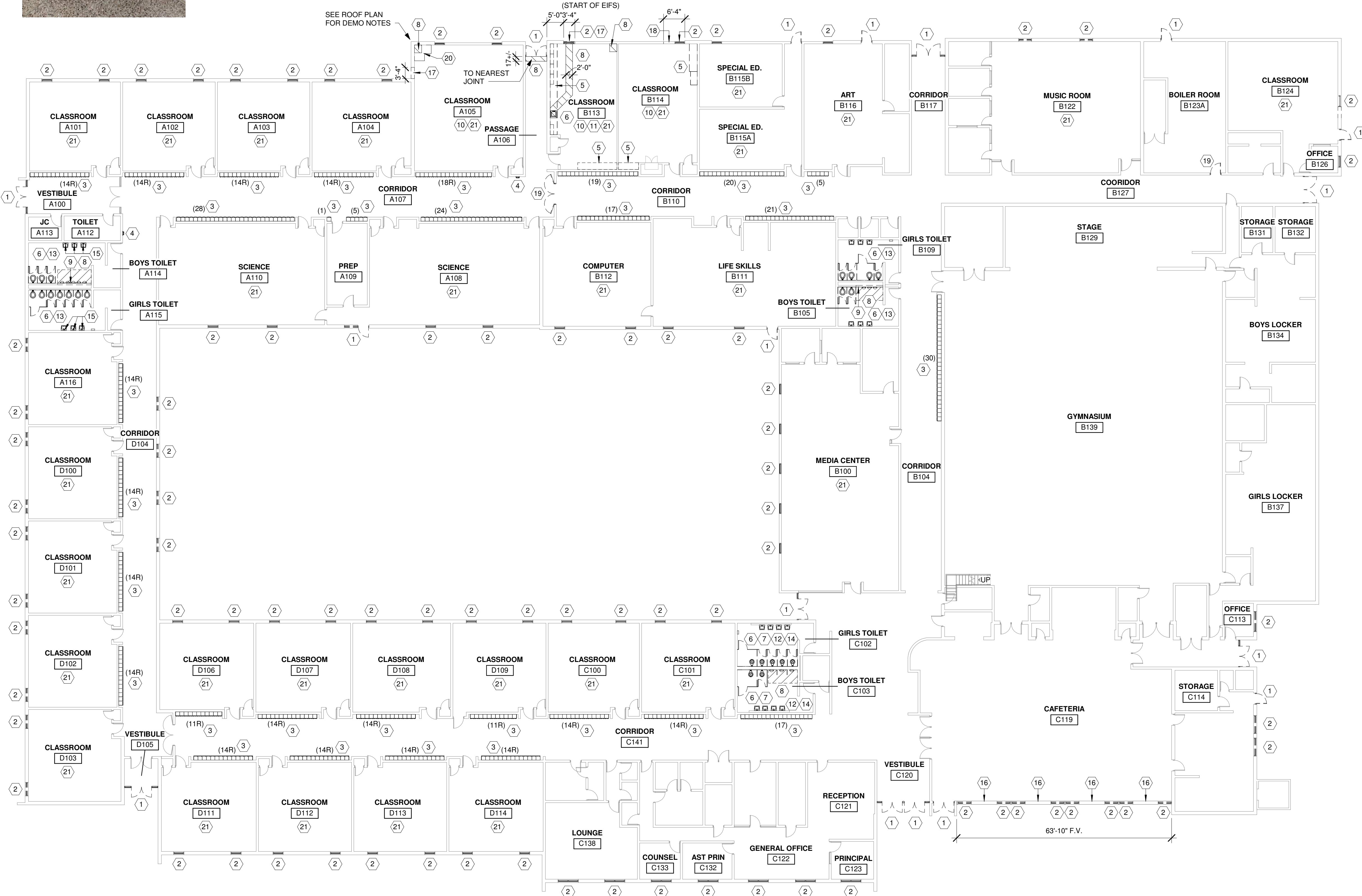
PROTRUDING ELEMENTS TO BE REMOVED IN RESTROOMS A114 & A115

(DEMO ELEVATION)



SEE ROOF PLAN FOR DEMO NOTES

(START OF EIFS)



KEYNOTES

- REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. REMOVE ALL ASSOCIATED FASTENERS AND ACCESSORIES. REMOVE AND SALVAGE GLASS GUARD FOR REINSTALLATION.
- REMOVE EXISTING WINDOW UNIT IN ITS ENTIRETY. REMOVE ALL ASSOCIATED FASTENERS AND ACCESSORIES.
- REMOVE EXISTING 15" WIDE x 15" DEEP METAL LOCKERS. REMOVE ALL ASSOCIATED FASTENERS, TRIM AND ACCESSORIES. EXISTING BASE TO REMAIN. (NUMBER) REFERS TO NUMBER OF LOCKERS. CONFIRM ALL COUNTS IN FIELD.
- REMOVE EXISTING DRINKING FOUNTAIN. REFER TO PLUMBING PLANS.
- REMOVE EXISTING CASEWORK. REMOVE ALL ADHESIVES, FASTENERS AND ACCESSORIES.
- REMOVE EXISTING PLUMBING FIXTURES AND ANY ASSOCIATED PIPING. COORDINATE WITH NEW WORK PLUMBING LOCATIONS. REFER TO PLUMBING.
- REMOVE TOILET PARTITIONS IN ITS ENTIRETY. REMOVE ALL ASSOCIATED FASTENERS AND ACCESSORIES. REMOVE EXISTING TOILET ROOM ACCESSORIES (GRAB BARS, TISSUE DISPENSERS, MIRRORS, ETC.).
- TRENCH AS REQUIRED TO ACCOMMODATE NEW PLUMBING LAYOUT.
- REMOVE PORTION OF MASONRY WALL AS SHOWN. REFER TO NEW WORK PLAN FOR EXTENTS.
- REMOVE EXISTING FLOORING AND BASE (ABATEMENT BY OWNER). REMOVE ALL ASSOCIATED ADHESIVES. REPAIR AND CLEAN EXISTING FLOOR SLAB IN PREPARATION OF NEW FLOOR FINISH.
- REMOVE ACOUSTICAL CEILING TILE AND METAL GRID SYSTEM. REMOVE ALL FASTENERS AND ACCESSORIES. EXISTING METAL GRID TO REMAIN. REFER TO MECHANICAL AND ELECTRICAL FOR NEW WORK EXTENTS. OTHER CEILING MOUNTED OBJECTS TO REMAIN.
- REMOVE AND SALVAGE EXISTING TOILET PARTITIONS FOR REINSTALLATION. REMOVE EXISTING TOILET ROOM ACCESSORIES (GRAB BARS, TISSUE DISPENSERS, MIRRORS, ETC.).
- REMOVE EXISTING TILE BASE ONLY.
- CUT AND CAP PROTRUDING ELEMENT ABOVE SINKS IN PREPARATION OF NEW WALL TILE FINISH. SEE PHOTO THIS SHEET.
- REMOVE EXISTING EIFS WALL CONSTRUCTION. EXISTING COLUMNS AND BRICK/BLOCK BASE TO REMAIN.
- REMOVE PORTION OF MASONRY WALL AND LINTEL FOR NEW DOOR OPENING.
- REMOVE PORTION OF EXISTING EIFS METAL STUD WALL CONSTRUCTION. EXISTING BRICK/BLOCK BASE TO REMAIN. REFER TO DEMO EXTERIOR ELEVATIONS FOR EXTENTS.
- REMOVE EXISTING DOORS, FRAME AND HARDWARE.
- REMOVE EXISTING CASEWORK AS REQUIRED FOR STORM PIPE WORK. REFER TO PLUMBING DRAWINGS.
- REMOVE EXISTING WHITEBOARDS, TACKBOARDS AND CHALKBOARDS. REMOVE MASTIC, ADHESIVES AND FASTENERS FROM WALL. CONTRACTOR RESPONSIBLE TO FIELD VERIFY SCOPE OF EACH ROOM.

DEMOLITION LEGEND

- DEMOLISH CEILING IN ENTIRETY TO EXPOSE DECK. CEILING TYPES VARY, V.I.F. OWNER TO CONSULT WITH ABATEMENT CONTRACTOR AS REQUIRED.
- PARTITION TO BE DEMOLISHED
- PARTITION TO REMAIN

Room name

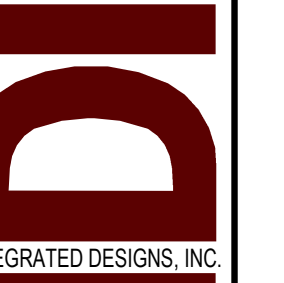
- ROOM NUMBER
- ROOM AREA, IF APPLICABLE (APPROXIMATE)
- KEYNOTE. REFER TO SCHEDULE, THIS SHEET
NOTE: KEYNOTE LOCATED WITH ROOM NAME INDICATES TYPICAL NOTE FOR ENTIRETY OF ROOM

GENERAL NOTES

- EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS REGARDING DEMOLITION AND NEW WORK BEFORE SUBMITTING A BID FOR THIS PROJECT. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER OR OWNERS REPRESENTATIVE.
- HALF-TONE LINES INDICATE EXISTING CONDITIONS. DASHED LINES INDICATE DEMOLITION WORK. BOLD LINES INDICATE NEW WORK. REFER TO KEYNOTES FOR DESCRIPTION.
- ANY EXISTING CONDITIONS TO REMAIN THAT ARE DISTURBED ARE TO BE PATCHED/REPAIRED TO MATCH ADJACENT CONDITIONS.
- WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS.
- REFER ALSO TO ELECTRICAL, MECHANICAL, STRUCTURAL, AND CIVIL DRAWINGS AS APPLICABLE FOR ADDITIONAL SCOPE OF WORK.
- INTERIOR/EXTERIOR DIMENSIONS ARE FROM FACE OF GYPSUM BOARD/C.M.U.
- ROOM NUMBERING SYSTEM USED IN THIS CONSTRUCTION DOCUMENT IS FOR ARCHITECTURAL PURPOSES. VERIFY ACTUAL ROOM NUMBERING/LAYOUT AS REQUIRED.
- PROVIDING AND INSTALLING THE REPLACEMENT OF ANY NEW FINISHES, DOOR ASSEMBLIES, ETC., SHALL INCLUDE THE REMOVAL AND DISPOSAL OF THE EXISTING AND PREPARATION FOR NEW WORK IN ANY LOCATION WHERE APPLICABLE. REFERENCE NEW WORK PLANS FOR FULL SCOPE OF WORK.
- CHECK EXISTING METAL DOOR FRAMES TO REMAIN AND REINFORCE/ANCHOR AS REQUIRED.
- ALL LOOSE FURNITURE TO BE REMOVED AND REINSTALLED BY OWNER.

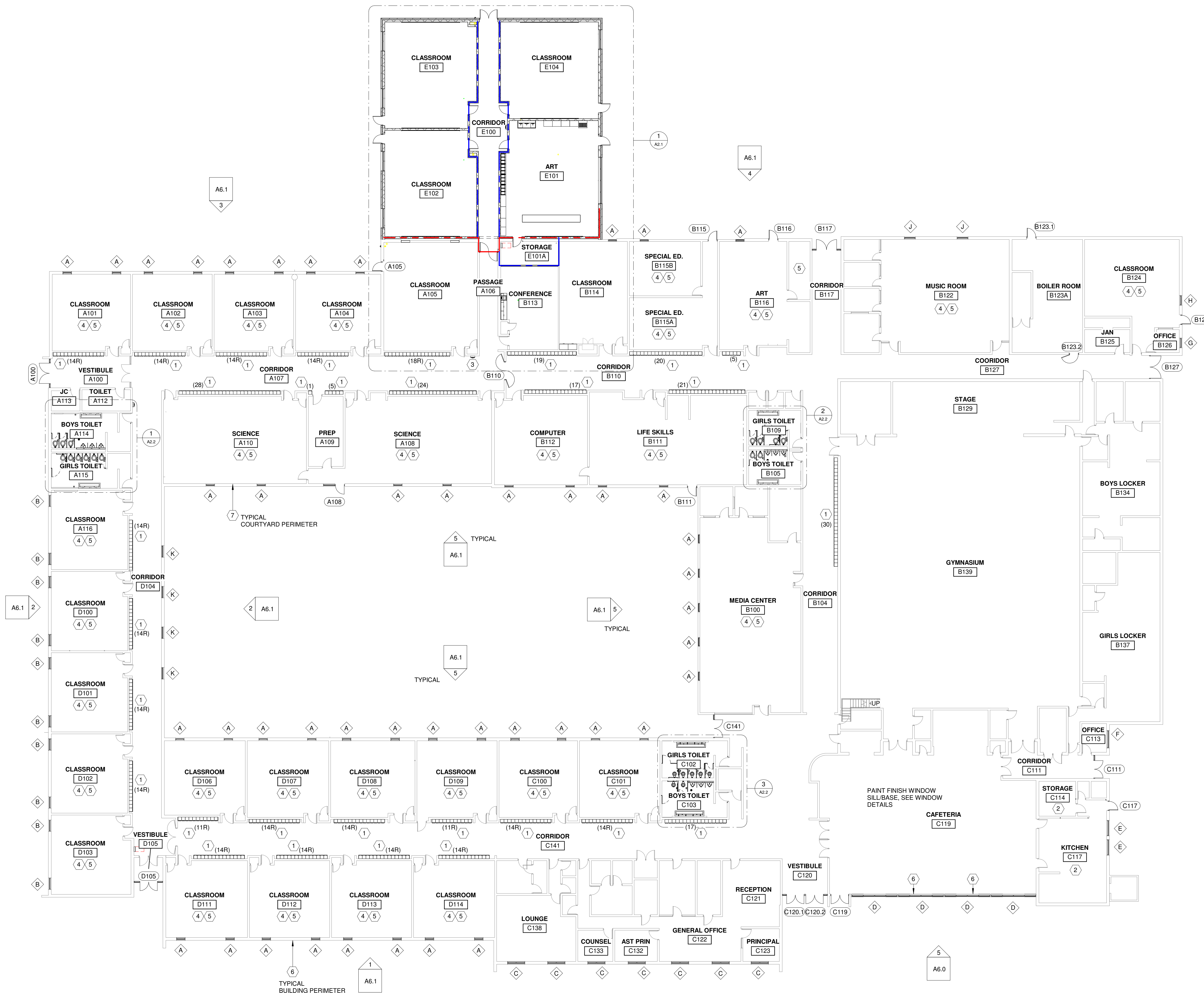
DEMOLITION FLOOR PLAN

1/16" = 1'-0"



NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/24

BY	DESIGN	DRAWN	CHECKED	APPROVED
.



N
NEW WORK FLOOR PLAN
1/16" = 1'-0"

KEYNOTES

- INSTALL NEW 15"x15"x6'-0" SINGLE TIER METAL LOCKERS ON EXISTING BASE. (NUMBER) REFERS TO NUMBER OF LOCKERS. CONFIRM ALL COUNTS AND SIZES IN FIELD.
- COORDINATE WITH LIGHTING MODIFICATIONS WORK TO PATCH/REPAIR AND PAINT FINISH EXISTING GWB CEILING AS REQUIRED.
- BOTTLE FILLER, REFER TO PLUMBING AND ELECTRICAL. INSTALL STAINLESS STEEL PANEL, BRUSHED FINISH, OVER DISTURBED WALL AREA.
- INSTALL NEW WHITEBOARDS / TACKBOARDS. 1:1 REPLACEMENT. ANY EXISTING CHALKBOARDS TO BE REPLACED WITH WHITEBOARDS. CONTRACTOR RESPONSIBLE TO FIELD VERIFY SCOPE OF EACH ROOM.
- PATCH/REPAIR AND PAINT FINISH ALL WALL SURFACES, SOFFITS, DOOR FRAMES (BOTH SIDES) AND WINDOW SILLS. COLOR AS SCHEDULED.
- PAINT FINISH WINDOW SILL / BASE, REFER TO WINDOW DETAILS.
- PREPARE SURFACE AND INSTALL STOCREATIVE BRICK PRODUCT AS SPECIFIED. TYPICAL FOR ALL EXISTING EIFS AT BUILDING PERIMETER.
- CLEAN, PREP, REPAIR AS NECESSARY, AND PAINT EXISTING EXTERIOR EIFS FACADE. REFER TO ELEVATIONS.

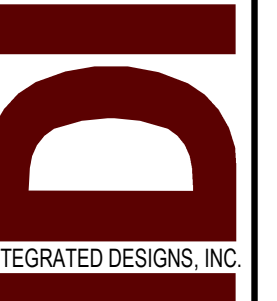
SYMBOL LEGEND

Room name → ROOM NAME
101 → ROOM NUMBER
150 SF → ROOM AREA, IF APPLICABLE
? → KEYNOTE, REFER TO SCHEDULE, THIS SHEET
 NOTE: KEYNOTE LOCATED WITH ROOM NAME INDICATES TYPICAL NOTE FOR ENTIRETY OF ROOM
NEW WINDOW → WINDOW TYPE TAG REFER TO SCHEDULE (SHEET A7.0)
NEW DOOR → DOOR TAG REFER TO SCHEDULE (SHEET A7.0)
 0' - 4" TO DOOR OPENING - TYP (UON)
11 → INTERIOR PARTITION TAG REFER TO LEGEND (SHEET A7.1)
 UNMARKED WALLS = 8A TYPICAL
--- → 1HR RATED PARTITION
--- → 2HR RATED PARTITION
1 Ref → ELEVATION TAG
101 → SHEET NUMBER
1 → SECTION TAG
1 / A101 → DETAIL NUMBER / SHEET NUMBER

GENERAL NOTES

- EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS REGARDING DEMOLITION AND NEW WORK BEFORE SUBMITTING A BID FOR THIS PROJECT. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER OR OWNERS REPRESENTATIVE.
- HALF-TONE LINES INDICATE EXISTING CONDITIONS. DASHED LINES INDICATE DEMOLITION WORK. BOLD LINES INDICATE NEW WORK. REFER TO KEYNOTES FOR DESCRIPTION.
- ANY EXISTING CONDITIONS TO REMAIN THAT ARE DISTURBED ARE TO BE PATCHED/REPAIRED TO MATCH ADJACENT CONDITIONS.
- WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS.
- REFER ALSO TO ELECTRICAL, MECHANICAL, STRUCTURAL, AND CIVIL DRAWINGS AS APPLICABLE FOR ADDITIONAL SCOPE OF WORK.
- REFER TO WALL TYPES FOR WALL CONSTRUCTION, MATERIALS, HEIGHTS, ETC.
- INTERIOR/EXTERIOR DIMENSIONS ARE FROM FACE OF GYPSUM BOARD/C.M.U.
- ROOM NUMBERING SYSTEM USED IN THIS CONSTRUCTION DOCUMENT IS FOR ARCHITECTURAL PURPOSES. VERIFY ACTUAL ROOM NUMBERING/LAYOUT AS REQUIRED.
- PROVIDING AND INSTALLING THE REPLACEMENT OF ANY NEW FINISHES, DOOR ASSEMBLIES, ETC., SHALL INCLUDE THE REMOVAL AND DISPOSAL OF THE EXISTING AND PREPARATION FOR NEW WORK IN ANY LOCATION WHERE APPLICABLE. REFERENCE NEW WORK PLANS FOR FULL SCOPE OF WORK.
- ALL NEW WORK SHALL MEET BARRIER FREE REQUIREMENTS (I.E. GRAB BARS, DOOR HARDWARE, CASEWORK HEIGHTS, ETC.)

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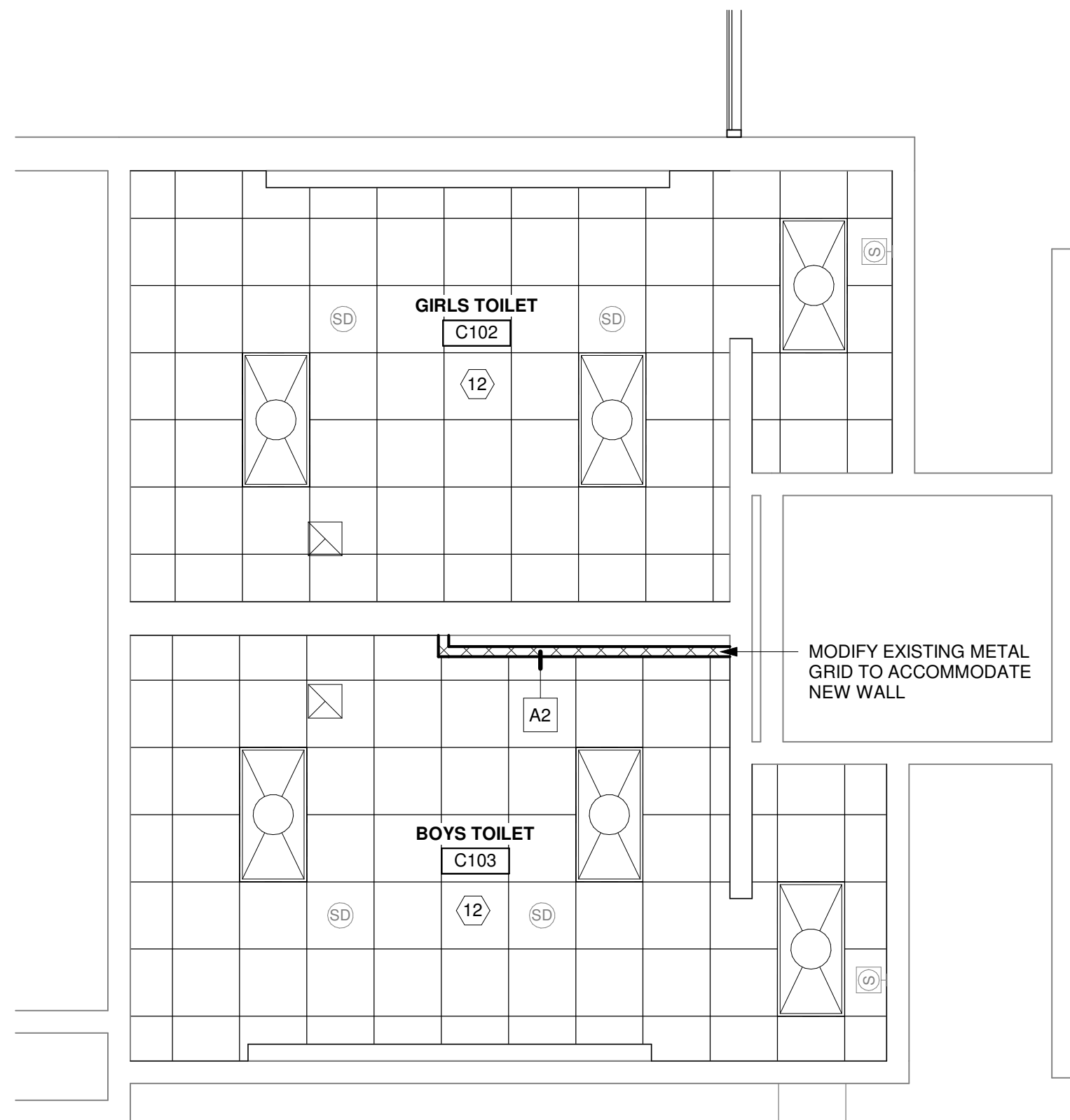
BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/2024

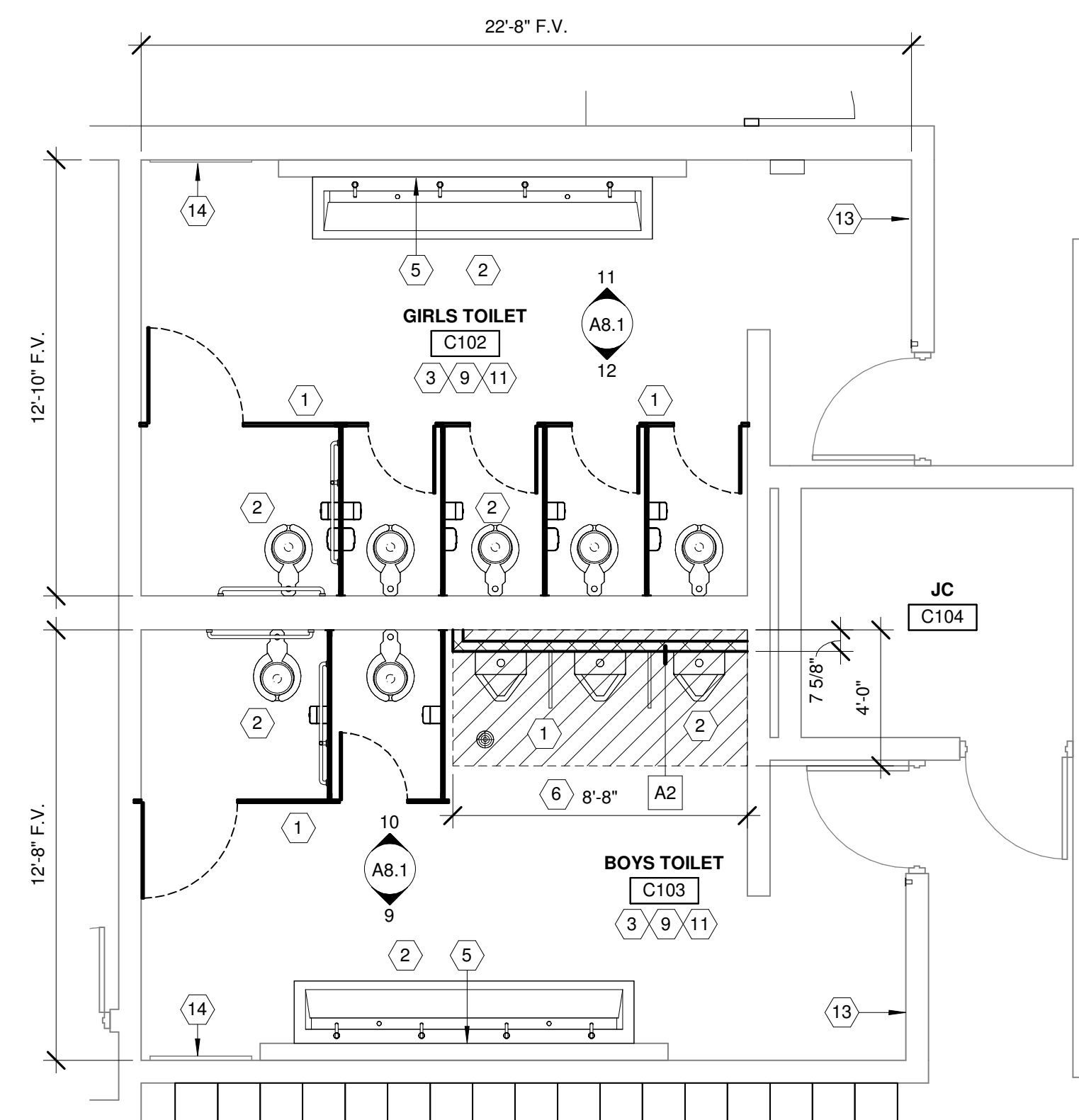
DESIGN
DRAWN
CHECKED
APPROVED

NEW WORK FLOOR PLAN
A2.0

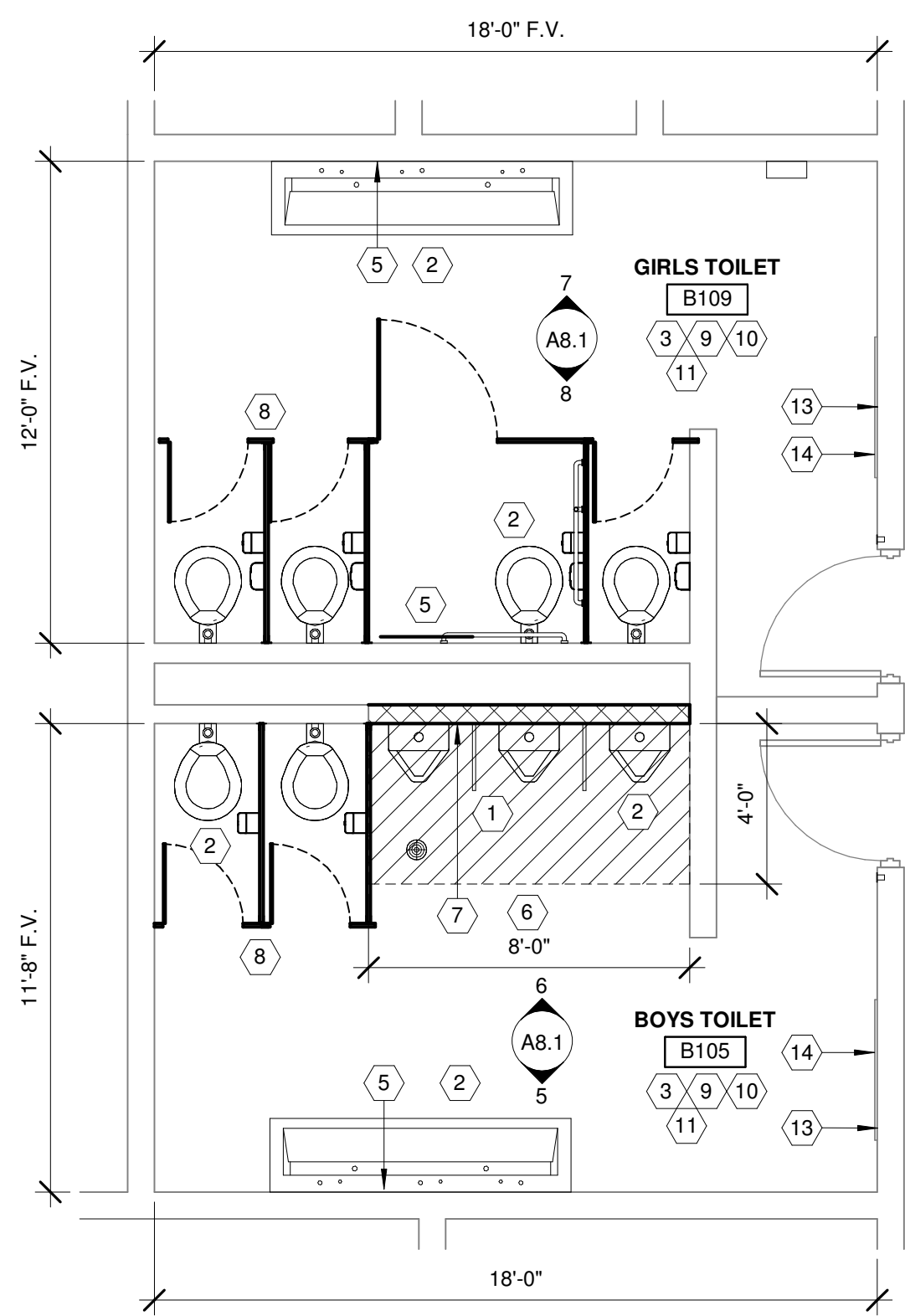
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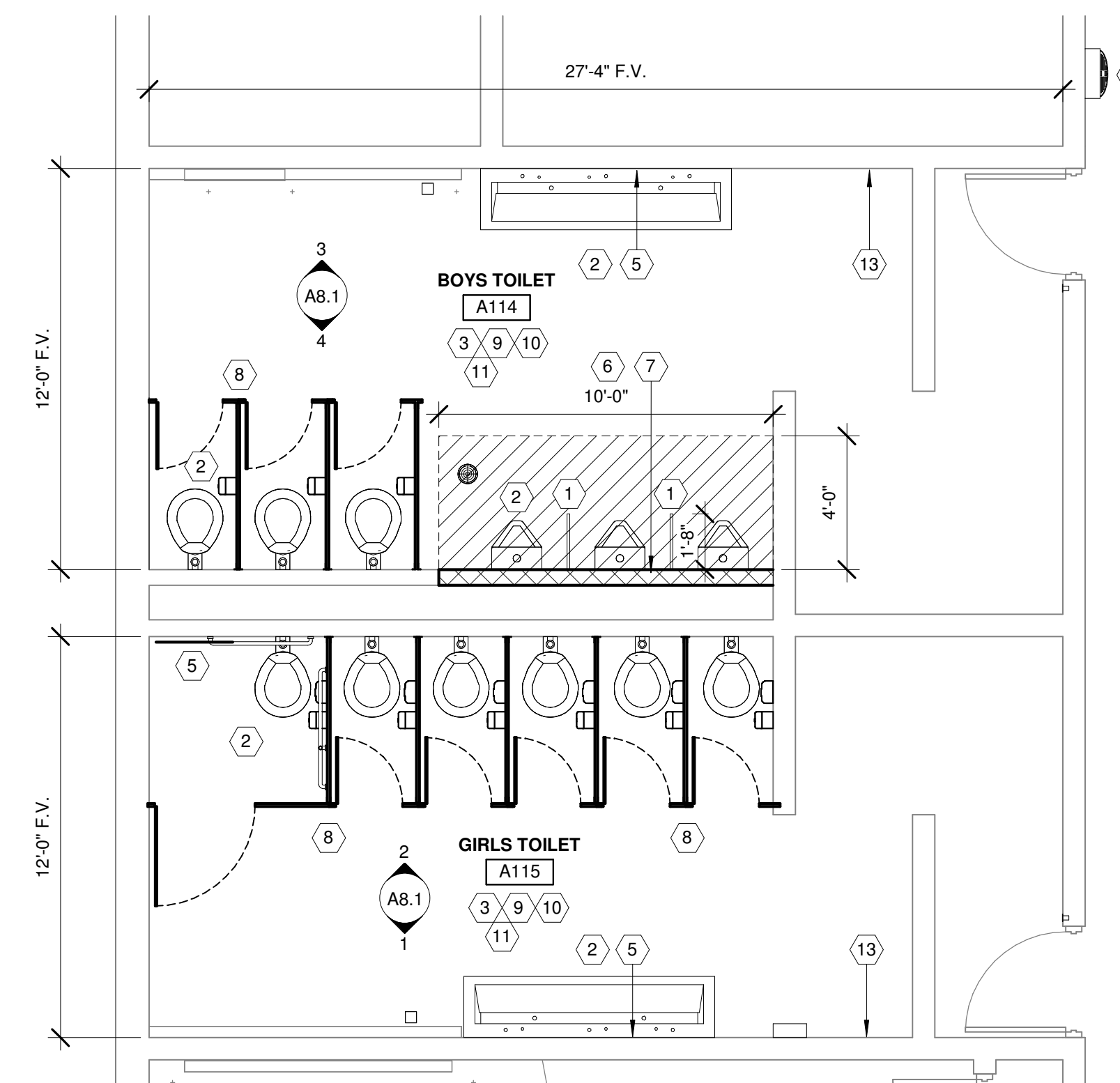
4 RESTROOMS AREA C - CEILING PLAN
1/4" = 1'-0"



3 RESTROOMS AREA C
1/4" = 1'-0"



2 RESTROOMS AREA B
1/4" = 1'-0"



1 RESTROOM AREA A
1/4" = 1'-0"

KEYNOTES

- 1 NEW TOILET / URINAL PARTITIONS AS SPECIFIED.
- 2 PLUMBING FIXTURES AS SPECIFIED. REFER TO ADA MOUNTING DETAILS FOR PLACEMENT REQUIREMENTS. REFER TO PLUMBING.
- 3 TOILET ROOM ACCESSORIES AS SPECIFIED. REFER TO ADA MOUNTING HEIGHTS FOR PLACEMENT REQUIREMENTS.
- 4 BOTTLE FILLER, REFER TO PLUMBING AND ELECTRICAL. INSTALL STAINLESS STEEL PANEL, BRUSHED FINISH, OVER DISTURBED WALL AREA.
- 5 PATCH AND REPAIR EXISTING CMU WALL WHERE PLUMBING FIXTURES WERE REMOVED.
- 6 HATCHED AREA INDICATES INFILL OF CONCRETE FLOOR SLAB WHERE FLOOR TRENCHING/FLOOR MOUNTED URINALS OCCURED. PATCH WORK TO BE FLUSH WITH ADJACENT SLAB AND SLOPE TO NEW DRAIN.
- 7 TOOTH IN NEW CMU AS REQUIRED TO ACCOMMODATE NEW PLUMBING/URNAL LAYOUT. VERIFY EXISTING WALL THICKNESS AND MATCH EXISTING BLOCK COURSING.
- 8 REINSTALL EXISTING TOILET PARTITIONS. EXISTING PLUMBING LOCATIONS TO REMAIN. FIELD VERIFY DIMENSIONS.
- 9 EPOXY FLOORING WITH INTEGRAL COVE BASE AS SPECIFIED.
- 10 PREP AND PREPARE EXISTING GYPSUM CEILING FOR NEW PAINT FINISH.
- 11 INSTALL NEW WALL TILE, REFER TO ELEVATIONS AND FINISH SCHEDULE.
- 12 INSTALL NEW 2X2 CEILING TILE IN EXISTING METAL GRID SYSTEM AS SPECIFIED.
- 13 PATCH AND REPAIR CMU WALL WHERE SPEAKER WAS REMOVED. REFER TO ELEVATION.
- 14 REMOVE AND REINSTALL MECHANICAL UNIT COVER TO PAINT PT.1.

SYMBOL LEGEND

- Room name → ROOM NAME
- 101 → ROOM NUMBER
- 150 SF → ROOM AREA, IF APPLICABLE
- 7 → KEYNOTE. REFER TO SCHEDULE, THIS SHEET
NOTE: KEYNOTE LOCATED WITH ROOM NAME INDICATES TYPICAL NOTE FOR ENTIRETY OF ROOM
- NEW WINDOW → WINDOW TYPE TAG
REFER TO SCHEDULE (SHEET A7.0)
- DOOR TAG → DOOR TAG
REFER TO SCHEDULE (SHEET A7.0)
- NEW DOOR → NEW DOOR
0' - 4" TO DOOR OPENING - TYP (UON)
- 11 → INTERIOR PARTITION TAG
REFER TO LEGEND (SHEET A7.1)
UNMARKED WALLS = 8A TYPICAL
- 1HR RATED PARTITION
- 2HR RATED PARTITION
- ELEVATION TAG
- A101 → SHEET NUMBER
- A102 → SECTION TAG
- 1 / A101 → DETAIL NUMBER / SHEET NUMBER

GENERAL NOTES

1. EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS REGARDING DEMOLITION AND NEW WORK BEFORE SUBMITTING A BID FOR THIS PROJECT. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER OR OWNERS REPRESENTATIVE.
2. HALF-TONE LINES INDICATE EXISTING CONDITIONS. DASHED LINES INDICATE DEMOLITION WORK. BOLD LINES INDICATE NEW WORK. REFER TO KEYNOTES FOR DESCRIPTION.
3. ANY EXISTING CONDITIONS TO REMAIN THAT ARE DISTURBED ARE TO BE PATCHED/REPAIRED TO MATCH ADJACENT CONDITIONS.
4. WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS.
5. REFER ALSO TO ELECTRICAL, MECHANICAL, STRUCTURAL, AND CIVIL DRAWINGS AS APPLICABLE FOR ADDITIONAL SCOPE OF WORK.
6. REFER TO WALL TYPES FOR WALL CONSTRUCTION, MATERIALS, HEIGHTS, ETC.
7. INTERIOR/EXTERIOR DIMENSIONS ARE FROM FACE OF GYPSUM BOARD/C.M.U.
8. ROOM NUMBERING SYSTEM USED IN THIS CONSTRUCTION DOCUMENT IS FOR ARCHITECTURAL PURPOSES. VERIFY ACTUAL ROOM NUMBERING/ LAYOUT AS REQUIRED.
9. PROVIDING AND INSTALLING THE REPLACEMENT OF ANY NEW FINISHES, DOOR ASSEMBLIES, ETC., SHALL INCLUDE THE REMOVAL AND DISPOSAL OF THE EXISTING AND PREPARATION FOR NEW WORK IN ANY LOCATION WHERE APPLICABLE. REFERENCE NEW WORK PLANS FOR FULL SCOPE OF WORK.
10. ALL NEW WORK SHALL MEET BARRIER FREE REQUIREMENTS (I.E. GRAB BARS, DOOR HARDWARE, CASEWORK HEIGHTS, ETC.)

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BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
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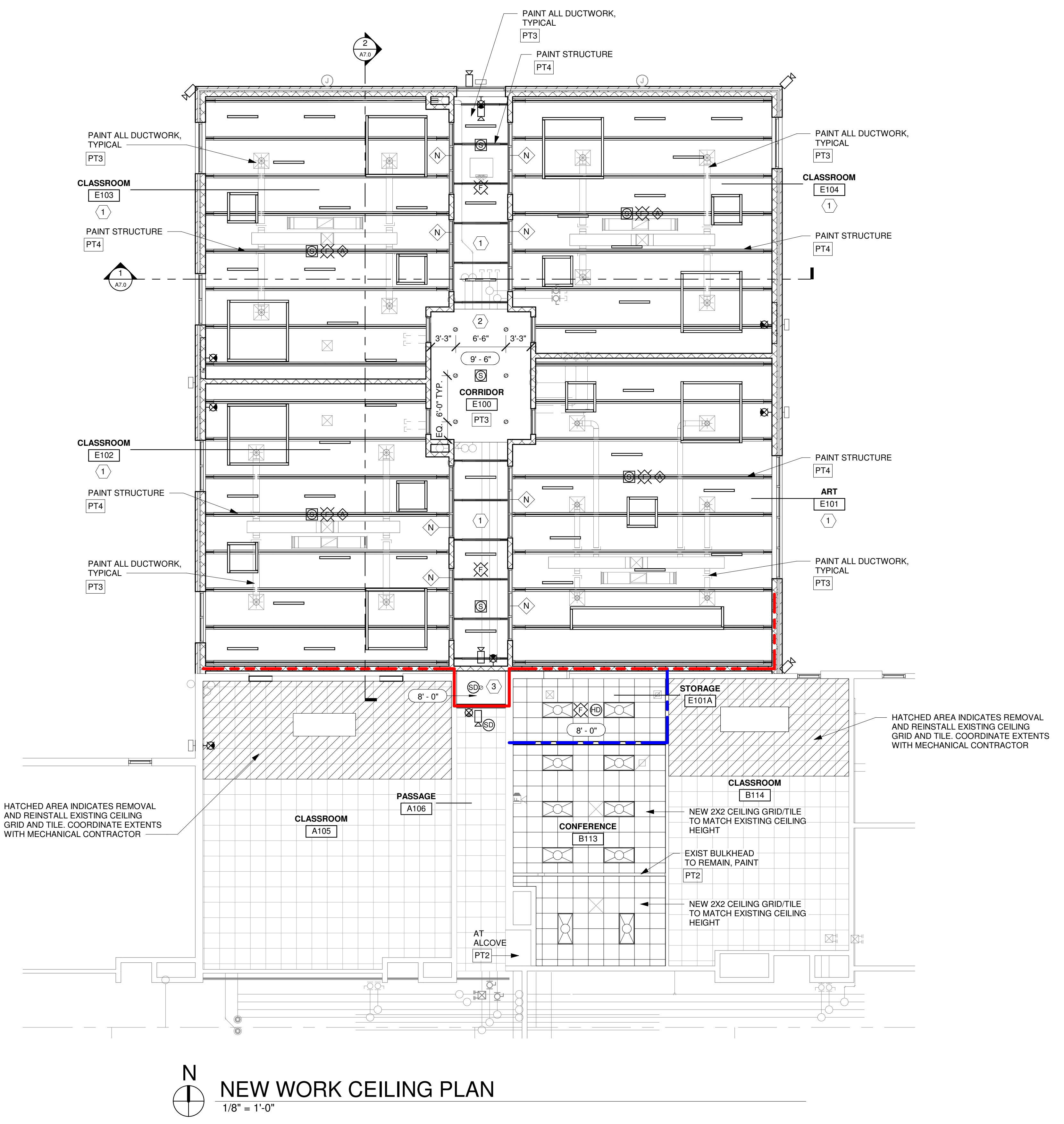
NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/2024

BY	DESIGN	DRAWN	CHECKED	APPROVED
.

ENLARGED RESTROOM
PLANS
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A2.2

U:\projects\2024\3281 Kiesel Rd, Bay City, MI\48706_School\Drawings\REFLECTED CEILING PLAN.dwg



N
NEW WORK CEILING PLAN
1/8" = 1'-0"

KEYNOTES

- 1 ABSORPTIVE FINISH 1-1/2" K13 ON METAL DECK.
- 2 GWB BULKHEAD, PAINT FINISH AS SCHEDULED.
- 3 GWB BULKHEAD, UL FIRE RATED 2-HR CEILING.

SYMBOL LEGEND

- 2x2 LAY-IN ACOUSTICAL CEILING.
- GYPSUM BOARD CEILING/SOFFIT.
- VENTED ALUMINUM SOFFIT.
- MECHANICAL DIFFUSER.
- LIGHT FIXTURE.
- CEILING MOUNTED EXIT LIGHT.
- RECESSED CAN LIGHT.
- CEILING HEIGHT.

GENERAL NOTES

1. EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE EXISTING CONDITIONS REGARDING DEMOLITION AND NEW WORK BEFORE SUBMITTING A BID FOR THIS PROJECT. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER OR OWNERS REPRESENTATIVE.
2. HALF-TONE LINES INDICATE EXISTING CONDITIONS. DASHED LINES INDICATE DEMOLITION WORK. BOLD LINES INDICATE NEW WORK. REFER TO KEYNOTES FOR DESCRIPTION.
3. ANY EXISTING CONDITIONS TO REMAIN THAT ARE DISTURBED ARE TO BE PATCHED/REPAIRED TO MATCH ADJACENT CONDITIONS.
4. WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, LAWS, AND REGULATIONS.
5. REFER ALSO TO ELECTRICAL, MECHANICAL, STRUCTURAL, AND CIVIL DRAWINGS AS APPLICABLE FOR ADDITIONAL SCOPE OF WORK.
6. ROOM NUMBERING SYSTEM USED IN THIS CONSTRUCTION DOCUMENT IS FOR ARCHITECTURAL PURPOSES. VERIFY ACTUAL ROOM NUMBERING/ LAYOUT AS REQUIRED.
7. PROVIDING AND INSTALLING THE REPLACEMENT OF ANY NEW FINISHES, DOOR ASSEMBLIES, ETC., SHALL INCLUDE THE REMOVAL AND DISPOSAL OF THE EXISTING AND PREPARATION FOR NEW WORK IN ANY LOCATION WHERE APPLICABLE. REFERENCE NEW WORK PLANS FOR FULL SCOPE OF WORK.
8. COORDINATE NEW CEILING WORK AS REQUIRED FOR NEW MECHANICAL AND ELECTRICAL LIGHTING WORK IN EXISTING BUILDING.
9. RE: MECHANICAL AND ELECTRICAL DWGS.
10. CENTER ACOUSTICAL TILE/METAL CEILING GRID SYSTEM WITHIN EACH ROOM, UNLESS NOTED OTHERWISE.
11. VERIFY CEILING HEIGHTS IN EXISTING BUILDING AND MATCH EXISTING CEILING HEIGHT AT NEW CEILING WORK OR AS DIRECTED ON PLANS.

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BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/24

REFLECTED CEILING PLAN
DESIGN DRAWN
CHECKED
APPROVED

DOOR NUMBER	FRAME		DOOR			DETAIL REFERENCE					REMARKS			
	MATERIAL	TYPE	MATERIAL	TYPE	FIRE RATING	WIDTH	SIZE	HEIGHT	HARDWARE SET	HEAD		JAMB	THRESHOLD	SIGN TYPE
A100	AL	K	FRP	2		7'-0"	7'-0"	7'-0"	01					2
A105	AL	B	FRP	2		3'-0"	6'-8"	6'-8"	03	1/A7.3	1/A7.3		B	2
A108	AL	L	FRP	2		3'-0"	6'-8"	6'-8"	09					2
B110	HM	A	HM	1	90 MIN	6'-0"	7'-0"	7'-0"	12					1,2
B111	AL	B	FRP	2		3'-0"	6'-8"	6'-8"	09					2
B115	AL	B	FRP	2		3'-0"	6'-8"	6'-8"	03					2
B116	AL	B	FRP	2		3'-0"	6'-8"	6'-8"	03					2
B117	AL	J	FRP	2		7'-0"	7'-0"	7'-0"	01					2
B123.1	AL	B	FRP	1		3'-0"	6'-8"	6'-8"	08					2
B123.2	HM	B	HM	1	90 MIN	3'-0"	6'-8"	6'-8"						1,2
B124	AL	B	FRP	2		3'-0"	6'-8"	6'-8"	03					2
B127	AL	G	FRP	2		7'-8"	8'-0"	8'-0"	02					2
C111	AL	F	FRP	2		6'-0"	7'-0"	7'-0"	02					2
C117	AL	B	FRP	1		3'-0"	6'-8"	6'-8"	07					2
C119	AL	E	FRP	3		6'-0"	7'-0"	7'-0"	02					2
C120.1	AL	D1	FRP	3		6'-0"	7'-0"	7'-0"	06					2
C120.2	AL	D2	FRP	3		6'-0"	7'-0"	7'-0"	04					2
C141	AL	M	FRP	2		6'-0"	7'-0"	7'-0"	05					2
D105	AL	H	FRP	2		6'-0"	7'-0"	7'-0"	01				B	2
E100.1	HM	B	HM	1	90 MIN	6'-0"	7'-0"	7'-0"	12	4/A7.3				1
E100.2	AL	C	FRP	2		6'-0"	7'-2"	7'-2"	01	2/A7.3 SIM	2/A7.3 SIM	2/A7.3 SIM	C	
E101.1	HM	N	WD	2	20 MIN	3'-0"	7'-0"	7'-0"	10	14/A7.2 SIM	3/A7.3		A	
E101.2	AL	B	FRP	1		3'-0"	7'-2"	7'-2"	03	2/A7.3	2/A7.3	2/A7.3	B	
E101.3	HM	A	WD	1	90 MIN	3'-0"	7'-0"	7'-0"	11	5/A7.3	5/A7.3		A (ON DOOR)	
E102.1	HM	C	WD	2	20 MIN	3'-0"	7'-0"	7'-0"	10	14/A7.2 SIM	3/A7.3		A	
E102.2	AL	B	FRP	1		3'-0"	7'-2"	7'-2"	03	2/A7.3	2/A7.3	2/A7.3	B	
E103.1	HM	C	WD	2	20 MIN	3'-0"	7'-0"	7'-0"	10	14/A7.2 SIM	3/A7.3		A	
E103.2	AL	B	FRP	1		3'-0"	7'-2"	7'-2"	03	2/A7.3	2/A7.3	2/A7.3	B	
E104.1	HM	C	WD	2	20 MIN	3'-0"	7'-0"	7'-0"	10	14/A7.2 SIM	3/A7.3		A	
E104.2	AL	B	FRP	1		3'-0"	7'-2"	7'-2"	03	2/A7.3	2/A7.3	2/A7.3	B	

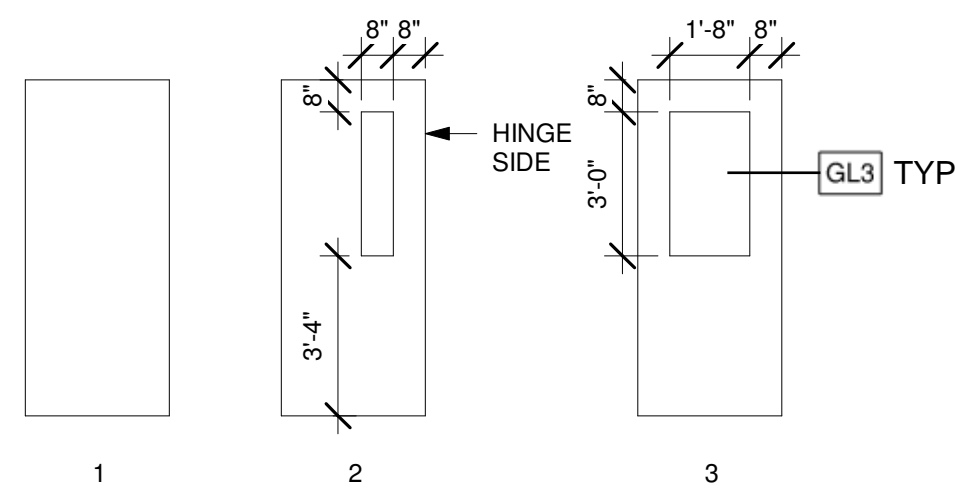
REMARKS TO DOOR SCHEDULE

- PAINT FINISH NEW HOLLOW METAL DOOR FRAME / DOOR (BOTH SIDES) PT3.
- FIELD VERIFY ALL EXISTING DOOR/FRAME OPENINGS BEING REPLACED.

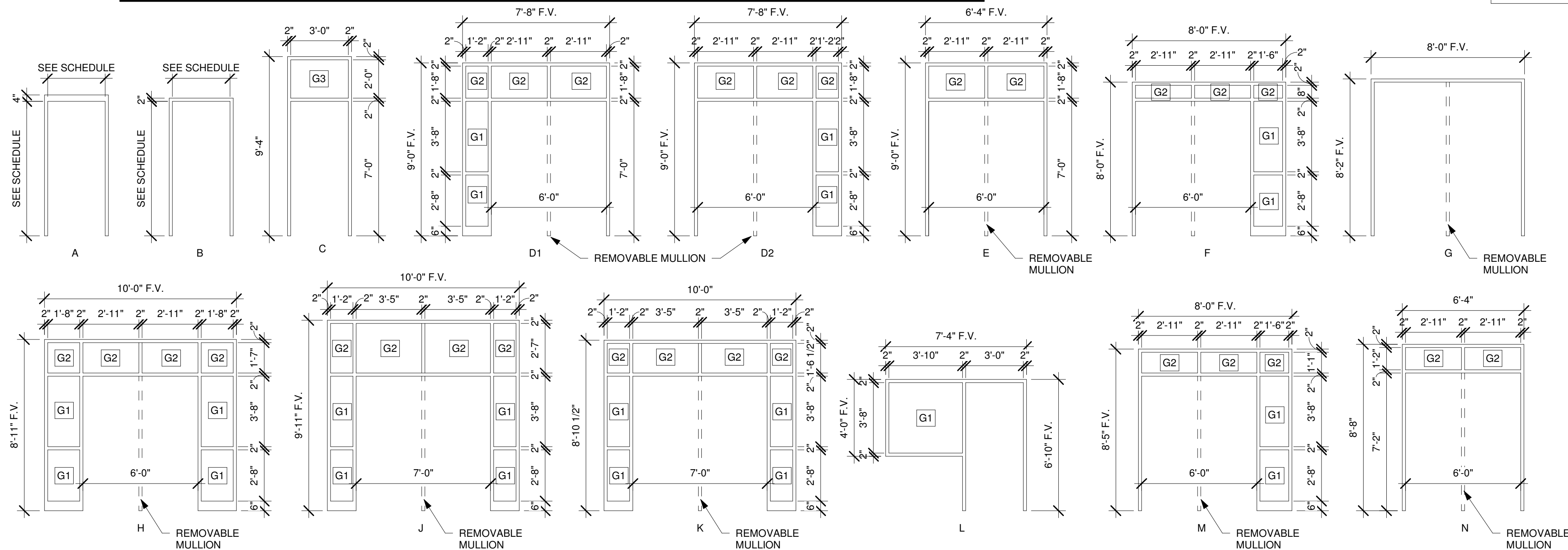
GENERAL NOTES TO DOOR SCHEDULE

- DOOR NUMBER: SEE FLOOR PLAN(S) FOR LOCATION OF DOORS.
- FRAME: SEE CODE TO "DOOR/WINDOW SCHEDULE" FOR DEFINITION OF DESIGNATIONS IN MATERIAL COLUMN. SEE "DOOR FRAMES" FOR DESCRIPTION OF DESIGNATIONS IN FRAME TYPE COLUMN.
- DOOR: SEE CODE TO "DOOR/WINDOW SCHEDULE" FOR DEFINITION OF DESIGNATIONS IN MATERIAL COLUMN. SEE "DOOR TYPES" FOR DESCRIPTION OF DESIGNATIONS IN DOOR TYPE COLUMN.
- FIRE RATING: LABELING INDICATED IS PER NFPA 80. LABELS SHALL BE APPROVED AND PERMANENTLY AFFIXED.
- SIZE: SIZE IS GIVEN AS WIDTH x HEIGHT.
- HARDWARE SET: SEE HARDWARE SPECIFICATIONS FOR DESCRIPTIONS.
- ALL INTERIOR AND EXTERIOR WINDOWS WITHIN 24" TO THE VERTICAL EDGE OF AN INTERIOR OR EXTERIOR DOOR MUST CONTAIN TEMPERED SAFETY GLASS.

DOOR TYPES



DOOR FRAMES



CODE TO DOOR & WINDOW SCHEDULE

- AL ALUMINUM
- HM HOLLOW METAL (PAINT FINISH)
- WD WOOD VENEER FINISH
- FRP FIBER REINFORCED PLASTIC
- GL1 CLEAR, INSULATED TEMPERED GLAZING
- GL2 CLEAR, INSULATED GLAZING
- GL3 CLEAR, INTERIOR GLAZING. 45 MIN FR RATING

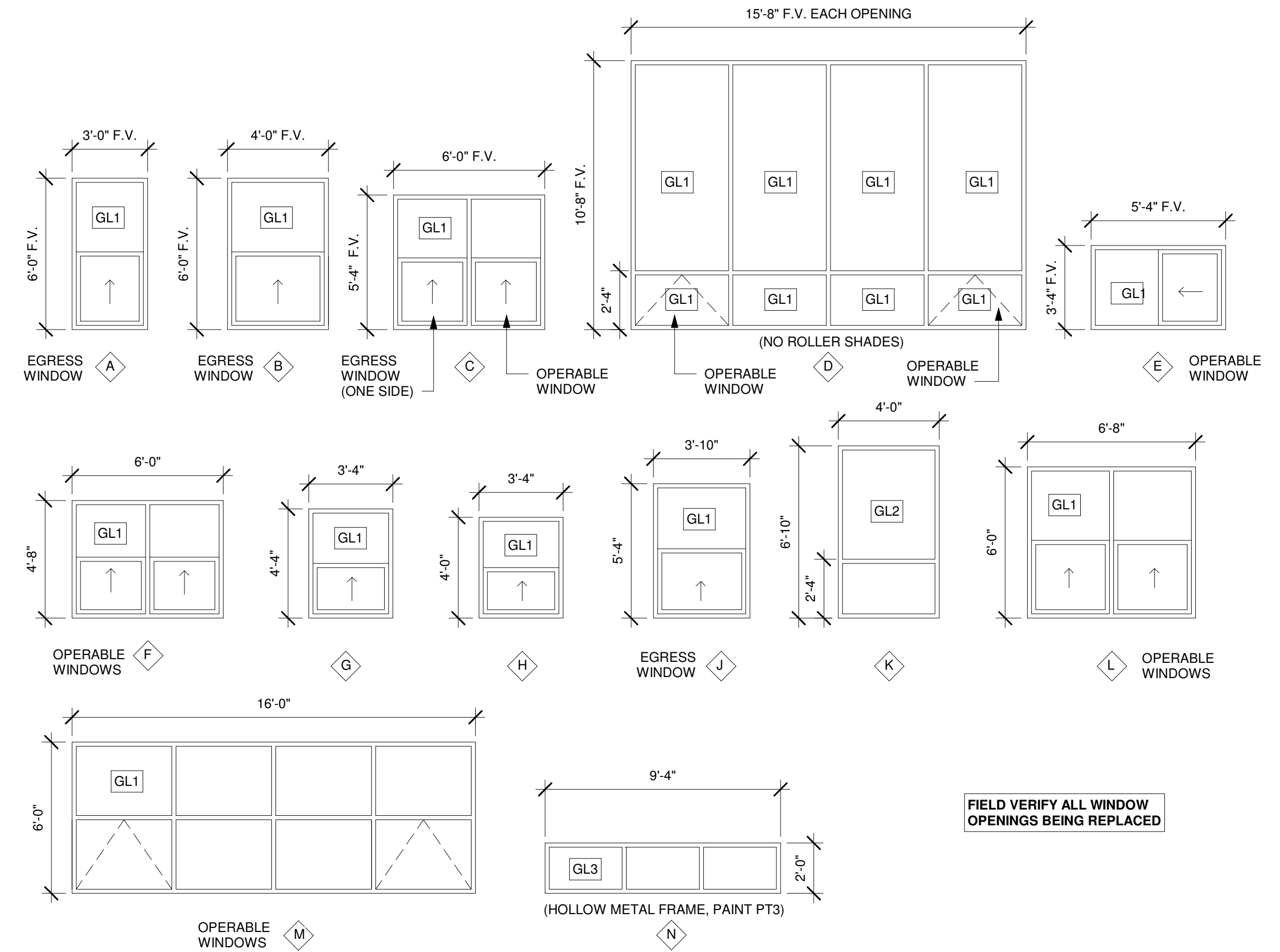
GENERAL NOTES TO WDW. SCHEDULE

- WINDOW DESIGNATION: SEE FLOOR PLAN(S) FOR LOCATION OF WINDOWS.
- FRAME: SEE CODE TO "DOOR/WINDOW SCHEDULE" FOR DEFINITION OF DESIGNATIONS IN MATERIAL COLUMN. SEE "WINDOW TYPES" FOR DESCRIPTION OF DESIGNATIONS IN FRAME TYPE COLUMN.
- WINDOW: SEE CODE TO "DOOR/WINDOW SCHEDULE" FOR DEFINITION OF DESIGNATIONS IN GLAZING COLUMN.
- SIZE: SIZE IS GIVEN AS WIDTH x HEIGHT OF ROUGH OPENING. ALL SIZES MUST BE VERIFIED IN FIELD.
- ALL INTERIOR AND EXTERIOR WINDOWS WITHIN 24" TO THE VERTICAL EDGE OF AN INTERIOR OR EXTERIOR DOOR OR OPERABLE WINDOW MUST CONTAIN TEMPERED SAFETY GLASS.
- ARROWS INDICATE OPERABLE WINDOW. EGRESS WINDOWS LOCATIONS ARE MARKED ON WINDOW LEGEND. INSTALL SCREENS AT OPERABLE WINDOWS. DO NOT INSTALL SCREENS AT EGRESS WINDOWS.

WINDOW SCHEDULE

WINDOW TYPE	MATERIAL	WIDTH	HEIGHT	HEAD	JAMB	SILL	REMARKS
A	AL	3'-0"	6'-0"	4/A7.2	2 & 3/A7.2	1/A7.2	
B	AL	4'-0"	6'-0"	5/A7.2	2/A7.2	1/A7.2	
C	AL	6'-0"	5'-4"	4/A7.2	2/A7.2	1/A7.2	
D	AL	15'-8"	10'-8"	8/A7.2	7/A7.2	6/A7.2	
E	AL	5'-4"	3'-4"	9/A7.2	11/A7.2	12/A7.2	
F	AL	6'-0"	4'-8"	5/A7.2 SIM	2/A7.2	1/A7.2	
G	AL	3'-4"	4'-4"	9/A7.2	11/A7.2	10/A7.2	
H	AL	3'-4"	4'-0"	9/A7.2	11/A7.2	10/A7.2	
J	AL	3'-10"	5'-4"	9/A7.2	11/A7.2	10/A7.2	
K	AL	4'-0"	6'-10"	5/A7.2 SIM	11/A7.2	10/A7.2	
L	AL	6'-8"	6'-0"	13/A7.2	13/A7.2	13/A7.2	
M	AL	16'-0"	6'-0"	13/A7.2	13/A7.2	13/A7.2	
N	HM	9'-4"	2'-0"	14/A7.2	14/A7.2	14/A7.2	

WINDOW TYPES

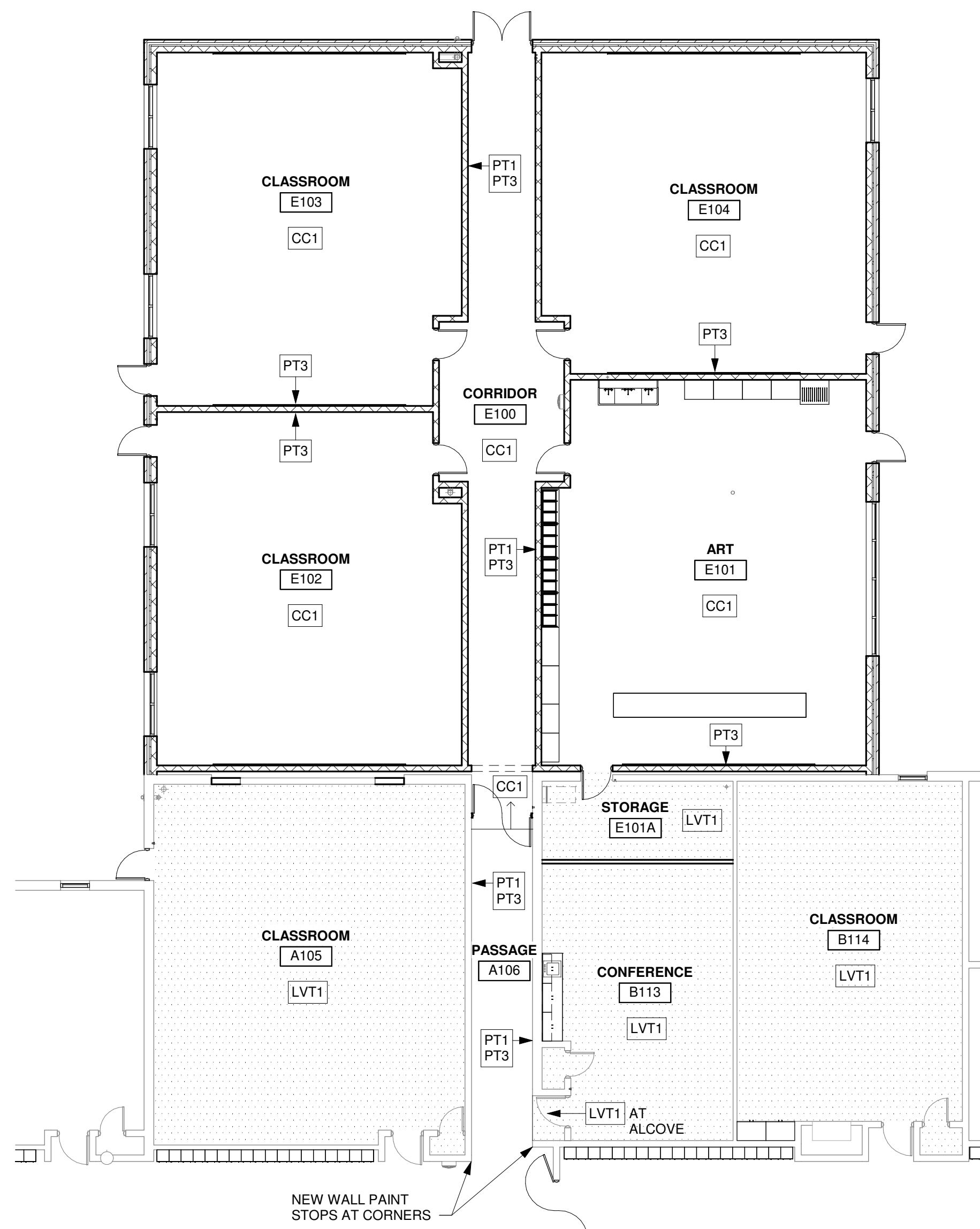


ADDITIONAL NOTES:
 -INCLUDE ROLLER SHADES AT ALL NEW EXTERIOR WINDOWS (NO ROLLER SHADES AT TYPE D)
 -INCLUDE IMPACT RESISTANT SECURITY FILM AT EXTERIOR PERIMETER WINDOWS AND DOOR GLAZING (NOT REQUIRED ON COURTYARD WINDOWS)
 -EGRESS WINDOWS REQUIRE 5.7 SF OF CLEAR OPENING. CONFIRM ALL CLEARANCES PRIOR TO FABRICATION.

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/24

DESIGN
 DRAWN
 CHECKED
 APPROVED

I:\Projects\2024\3281 Kiesel Rd, Bay City, MI\A4.1\Room Finish Schedule.dwg
 1/22/2024 10:00 AM
 1/22/2024 10:00 AM



FLOOR FINISH PLAN
 3/32" = 1'-0"

ROOM		CEILING TYPE	FLOOR	BASE	WALLS				REMARKS
NUMBER	NAME				TYPICAL	NORTH	EAST	SOUTH	
A101	CLASSROOM				PT1				1
A102	CLASSROOM				PT1				1
A103	CLASSROOM				PT1				1
A104	CLASSROOM				PT1				1
A105	CLASSROOM		LVT1	RB1	PT1				1
A106	PASSAGE				PT1/PT3				2
A108	SCIENCE				PT1				1
A110	SCIENCE				PT1				1
A114	BOYS TOILET	PT2	EP1	EP1	T1/T3				ACCENT TILE AT SINK, SEE ELEVATIONS
A115	GIRLS TOILET	PT2	EP1	EP1	T1/T3				ACCENT TILE AT SINK, SEE ELEVATIONS
A116	CLASSROOM				PT1				1
B105	BOYS TOILET	PT2	EP1	EP1	T1/T3				ACCENT TILE AT SINK, SEE ELEVATIONS
B109	GIRLS TOILET	PT2	EP1	EP1	T1/T3				ACCENT TILE AT SINK, SEE ELEVATIONS
B111	LIFE SKILLS				PT1				1
B112	COMPUTER				PT1				1
B113	CONFERENCE	ACT1	LVT1	RB1	PT1				1
B114	CLASSROOM		LVT1	RB1	PT1				1
B115A	SPECIAL ED.				PT1				1
B115B	SPECIAL ED.				PT1				1
B116	ART				PT1				1
B122	MUSIC ROOM				PT1				1
B124	CLASSROOM				PT1				1
C100	CLASSROOM				PT1				1
C101	CLASSROOM				PT1				1
C102	GIRLS TOILET	ACT2	EP1	EP1	T1/T3				ACCENT TILE AT SINK, SEE ELEVATIONS
C103	BOYS TOILET	ACT2	EP1	EP1	T1/T3				ACCENT TILE AT SINK, SEE ELEVATIONS
D100	CLASSROOM				PT1				1
D101	CLASSROOM				PT1				1
D102	CLASSROOM				PT1				1
D103	CLASSROOM				PT1				1
D106	CLASSROOM				PT1				1
D107	CLASSROOM				PT1				1
D108	CLASSROOM				PT1				1
D109	CLASSROOM				PT1				1
D111	CLASSROOM				PT1				1
D112	CLASSROOM				PT1				1
D113	CLASSROOM				PT1				1
D114	CLASSROOM				PT1				1
E100	CORRIDOR	K13	CC1	RB1	PT1/PT3				2
E101	ART	K13	CC1	RB1	PT1		PT3		
E101A	STORAGE	ACT1	LVT1	RB1	PT1				
E102	CLASSROOM	K13	CC1	RB1	PT1	PT3			
E103	CLASSROOM	K13	CC1	RB1	PT1		PT3		
E104	CLASSROOM	K13	CC1	RB1	PT1		PT3		

GENERAL NOTES TO FIN. SCHEDULE

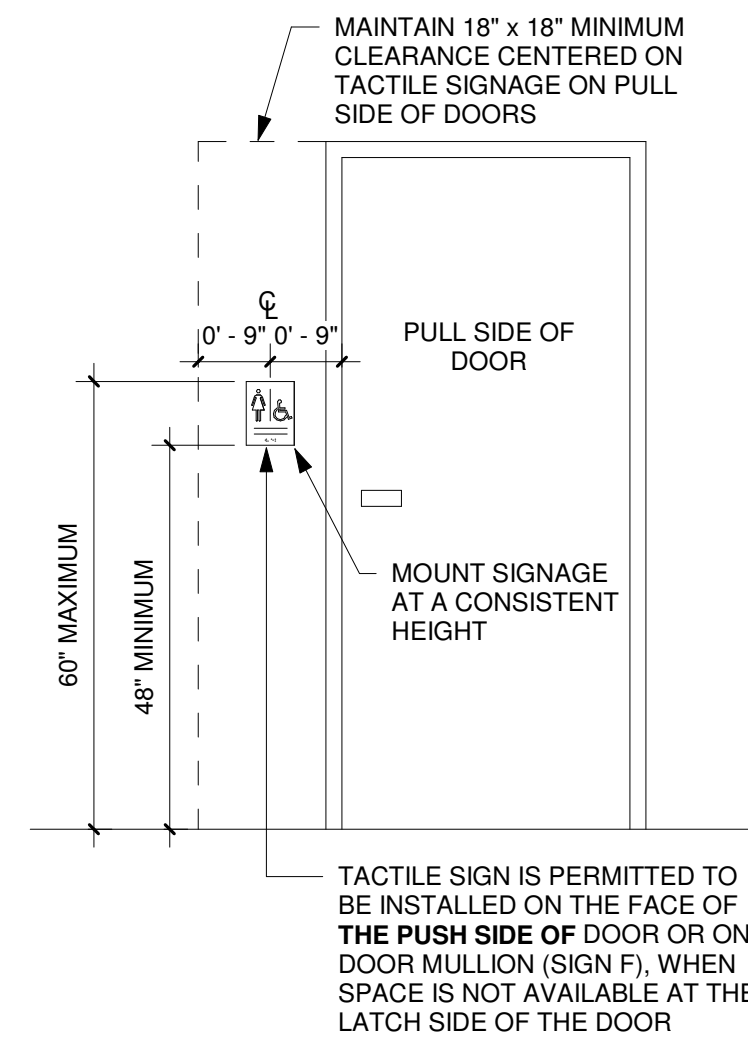
- ROOM: SEE FLOOR PLAN(S) FOR LOCATION OF ROOM NUMBERS AND NAMES.
- CEILING TYPE, FLOOR, AND BASE: SEE "CODE TO ROOM FINISH SCHEDULE" FOR DEFINITION OF DESIGNATIONS.
- WALLS: SEE "CODE TO ROOM FINISH SCHEDULE" FOR DEFINITION OF DESIGNATIONS IN TYPICAL, NORTH, SOUTH, EAST, AND WEST COLUMNS.
- WALL FINISH IN TYPICAL COLUMN APPLIES TO ALL ROOM WALLS.

REMARKS TO FINISH SCHEDULE

- ROOM TO HAVE ACCENT WALL PT3, COORDINATE WITH OWNER FOR WALL LOCATION.
- SEE FINISH PLAN AND ELEVATION / SECTION PAINTING CORRIDOR (BOTH SIDES) KEEPING SAME PATTERN.

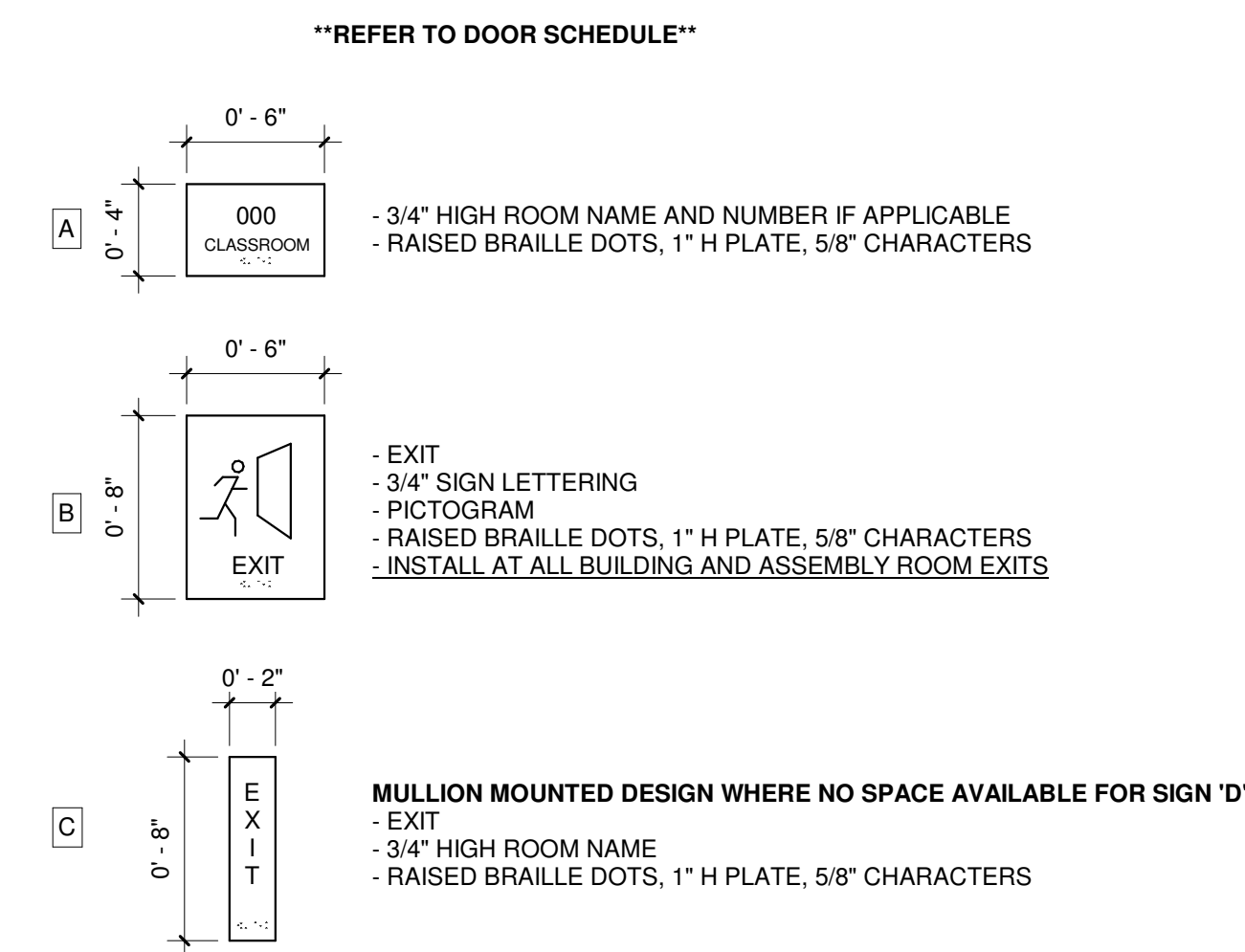
INTERIOR SIGNAGE MOUNTING HEIGHTS

1/2" = 1'-0"



INTERIOR SIGNAGE LEGEND

1 1/2" = 1'-0"



GENERAL NOTES

- SIGNAGE TEXT AND ROOM TO BE COORDINATED
- FINAL COLOR TBD

CODE TO ROOM FINISH SCHEDULE

--EXTERIOR FINISHES--

- MP1 METAL PANEL - CUSTOM COLOR, MATCH BANGOR BLUE
- ST01 STO BRICK.

--CEILING FINISHES--

- ACT1 2x2 LAY IN ACOUSTIC BOARD, SQUARE EDGE, IN PREFINISHED METAL 15/16" T GRID
- ACT2 2X2 LAY IN VINYL FACED WASHABLE TILE, SQUARE EDGE
- K13 SPRAY ON ACOUSTICAL INSULATION AS SPECIFIED. DO NOT PAINT.

--CONCRETE FINISHES--

- CC1 POLISHED CONCRETE

--RESILIENT PRODUCTS--

- RB1 4" RESILIENT BASE - COVED, TARKETT TH2 BLUE INTENSITY
- LVT1 GERFLOR - SAGA 2, GENTLEMAN GREY 0088

--TILE FINISH--

- T1 AMERICAN OLEAN - COLOR STORY - ICE WHITE 0025
- T2 AMERICAN OLEAN - COLOR STORY - NAVY 0117
- T3 AMERICAN OLEAN - COLOR STORY - STORM GRAY 0040

--PAINT FINISH--

- PT1 PAINT - MAIN FIELD COLOR - SCHOOL STD COLOR: ARIZONA WHITE
- PT2 PAINT - CEILING FLAT LATEX - SCHOOL STD COLOR: ARIZONA WHITE
- PT3 PAINT - ACCENT COLOR - SCHOOL STD COLOR: BANGOR BLUE
- PT4 PAINT - ACCENT COLOR - SCHOOL STD COLOR: BANGOR GREY
- PT5 PAINT - OAK CREEK SW7718

--PLASTIC LAMINATE--

- PL1 WILSONART - MANITOBA MAPLE, TEXTURED GLOSS FINISH 7911-07

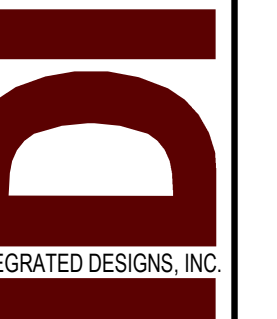
--SOLID SURFACE--

- SS1 WILSONART SOLID SURFACE - 9204CE MORNING ICE

--RESINOUS FLOORING--

- EP1 1/4" RESUFLO DECOR FLAKE BC, COLOR: TBD

ARCHITECTURE
ENGINEERING
CONSULTING



INTEGRATED DESIGNS, INC.

BANGOR TOWNSHIP SCHOOL DISTRICT
 PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
 3281 KIESEL RD, BAY CITY, MI 48706
 PROJECT NO. 22-011

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/2024

ROOM FINISH SCHEDULE
 DESIGN
 DRAWN
 CHECKED
 APPROVED

KEYNOTES

- 1 SINGLE PLY EPDM ROOF SYSTEM AS SPECIFIED. PROVIDE TAPERED INSULATION AS REQUIRED TO DRAIN.
- 2 ROOF DRAIN AND OVERFLOW. TAPER TO DRAIN.
- 3 TAPERED INSULATION SADDLES AS REQUIRED FOR DRAINAGE. COORDINATE WITH STRUCTURAL SLOPE.
- 4 NEW EPDM ROOFING MEMBRANE TO LAP OVER AND TRANSITION TO EXISTING ROOF. MAINTAIN EXISTING ROOF SLOPE.

MARQUETTE OFFICE:
 1021 W. BARGAIN AVENUE
 MARQUETTE, MI 49855
 PHONE: (616) 222-4400 FAX: (616) 222-7254
 BRIGHTON OFFICE:
 8501 W. GRAND SHORELINE, SUITE 600
 BRIGHTON, MI 48116
 PHONE: (810) 222-3701 FAX: (810) 222-5767

ARCHITECTURE
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CONSULTING

INTEGRATED DESIGNS, INC.

BANGOR TOWNSHIP SCHOOL DISTRICT
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 PROJECT NO. 22-011

NO.	REVISONS	DATE
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BY	DESIGN	DRAWN
BY	CHECKED	APPROVED

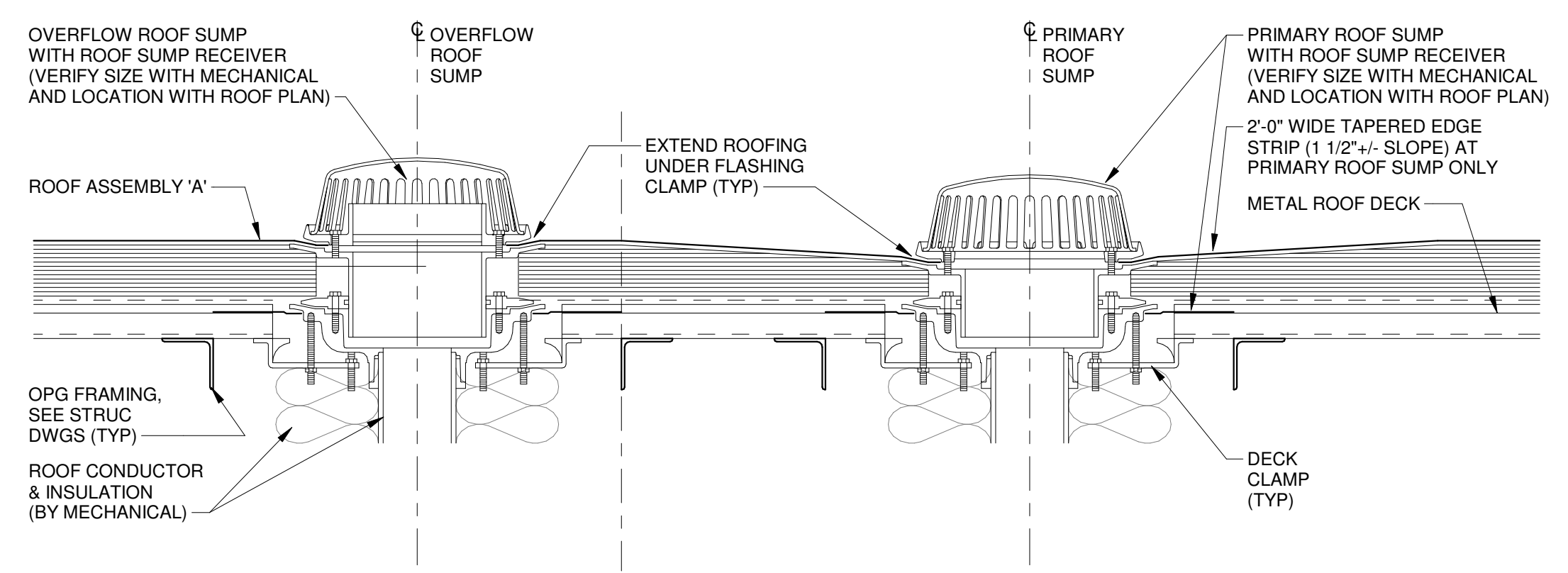
ROOF PLAN

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A5.0

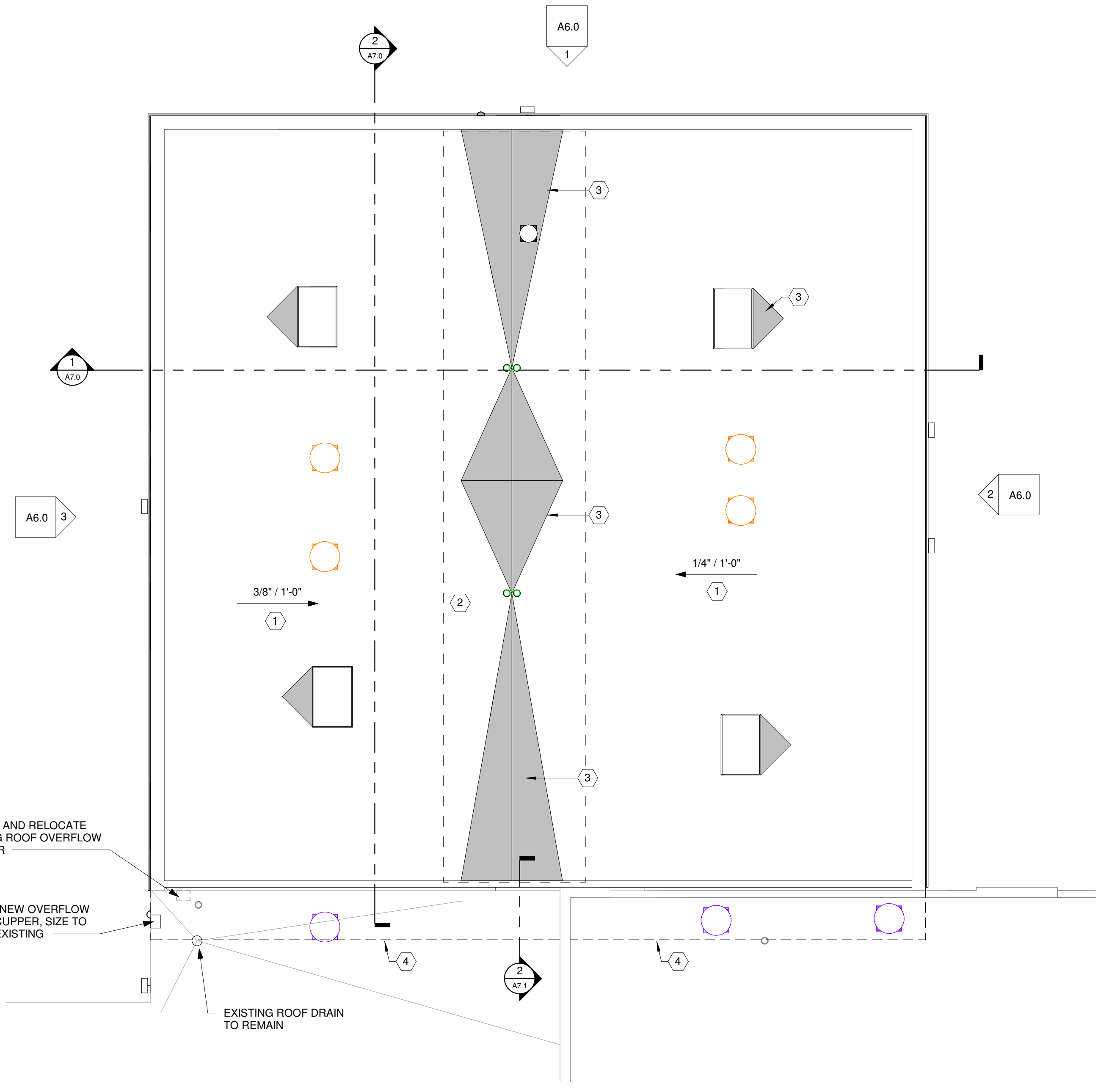
GENERAL NOTES

1. EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL VERIFY EXACT LOCATIONS. REPORT DISCREPANCIES TO OWNER OR OWNERS REPRESENTATIVE BEFORE DISTURBING INSTALLATIONS.
2. HALF-TONE LINES INDICATE EXISTING CONDITIONS. DASHED LINES INDICATE DEMOLITION. BOLD LINES INDICATE NEW WORK. REFER TO KEYNOTES FOR DESCRIPTION.
3. ANY EXISTING CONDITIONS THAT ARE DISTURBED BY THE INSTALLATION OF NEW WORK ARE TO BE PATCHED/REPAIRED TO MATCH ADJACENT CONDITIONS.
4. LINES INDICATING HIGH POINTS, CANTS, ETC. ARE FOR GENERAL LAYOUT ONLY. ALL ROOFS SHALL PITCH TO ROOF DRAINS.
5. ALL MECHANICAL ITEMS AND ARE SHOWN FOR GENERAL LAYOUT ONLY. FIELD VERIFY MECHANICAL DRAWINGS TO VERIFY EXACT SIZE AND LOCATION AND ANY ADDITIONAL SCOPE OF WORK NOT SHOWN ON THIS DRAWING.
6. PROVIDE MANUFACTURER'S STANDARD ROOF TERMINATION WHEN DETAIL IS NOT AVAILABLE IN THIS PLAN SET. ALL TERMINATIONS TO COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.
7. WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS.

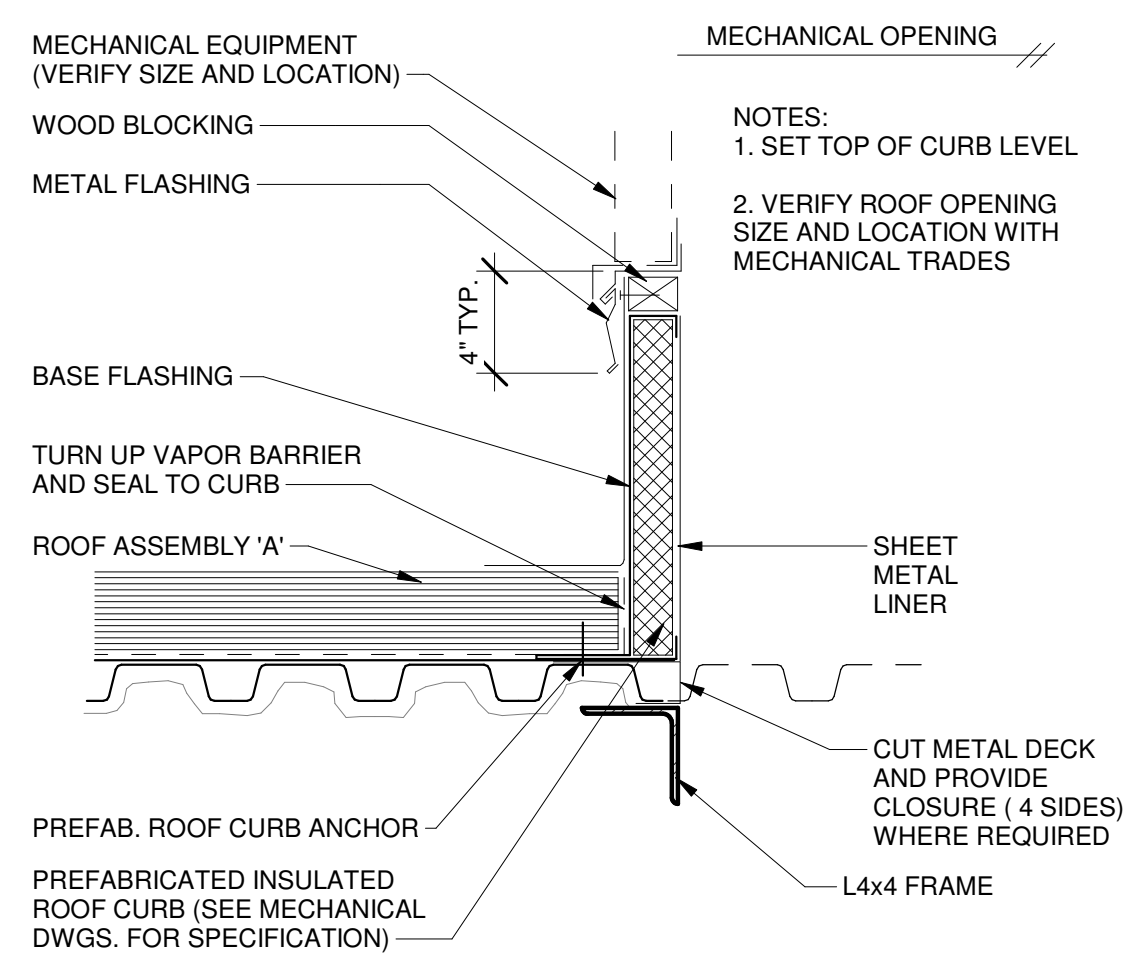


PRIMARY AND OVERFLOW ROOF SUMP
ROOF ASSEMBLY 'A'

1 1/2" = 1'-0"

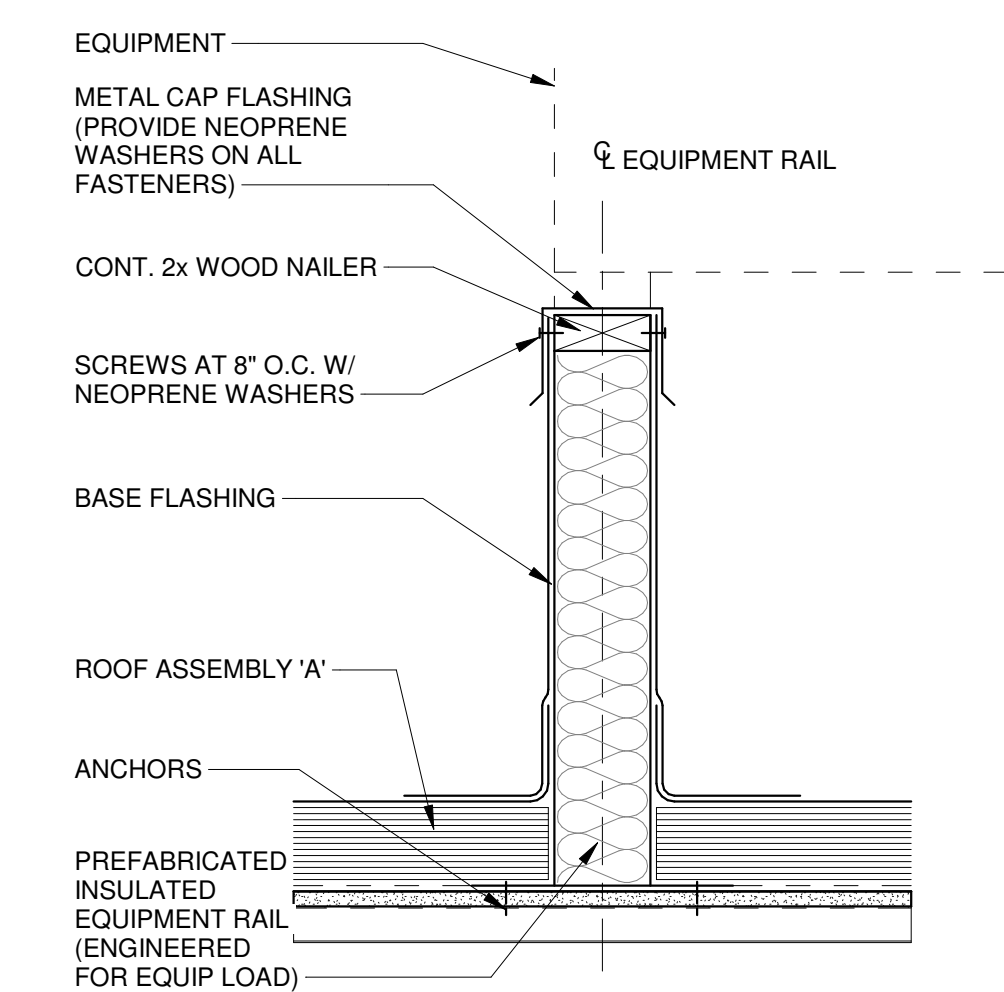


NEW WORK ROOF PLAN
 1/8" = 1'-0"



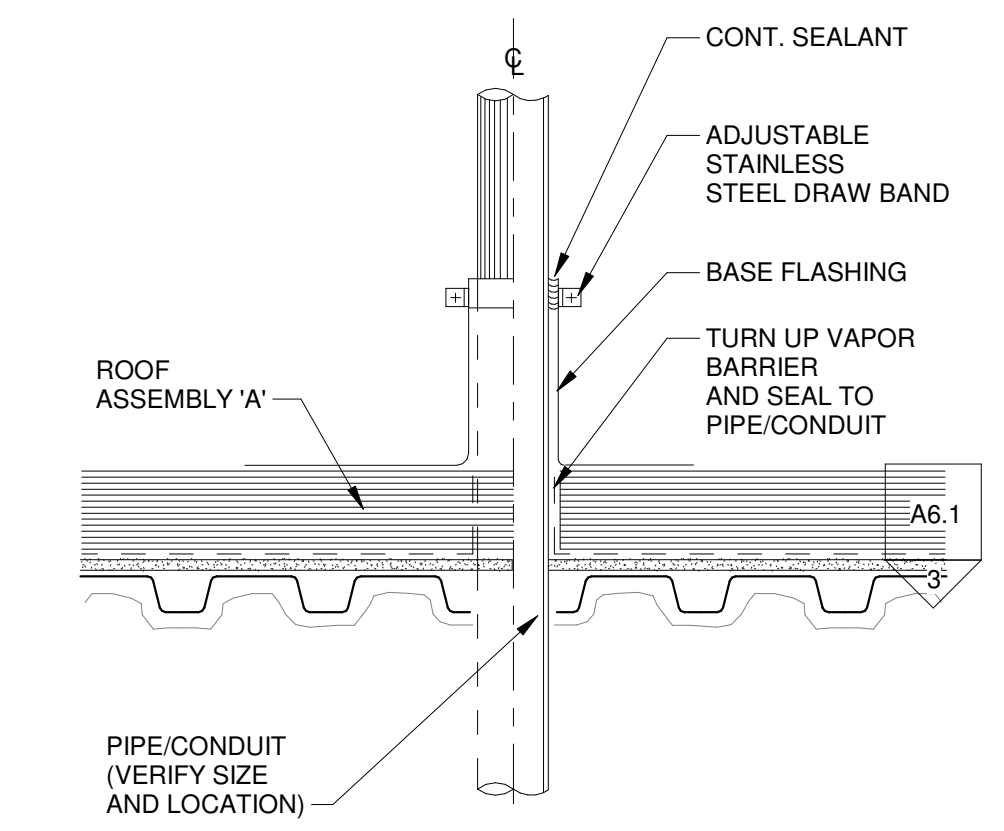
PRE-FAB ROOF CURB
(SINGLE-PLY ROOFING)

1 1/2" = 1'-0"



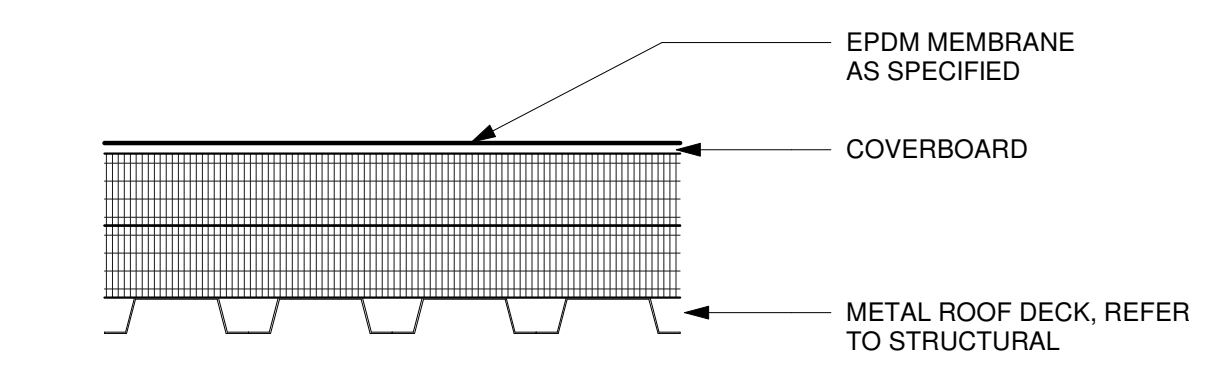
EQUIPMENT RAIL
(SINGLE-PLY ROOFING)

1 1/2" = 1'-0"



PIPE AND CONDUIT FLASHING
(SINGLE-PLY ROOFING)

1 1/2" = 1'-0"



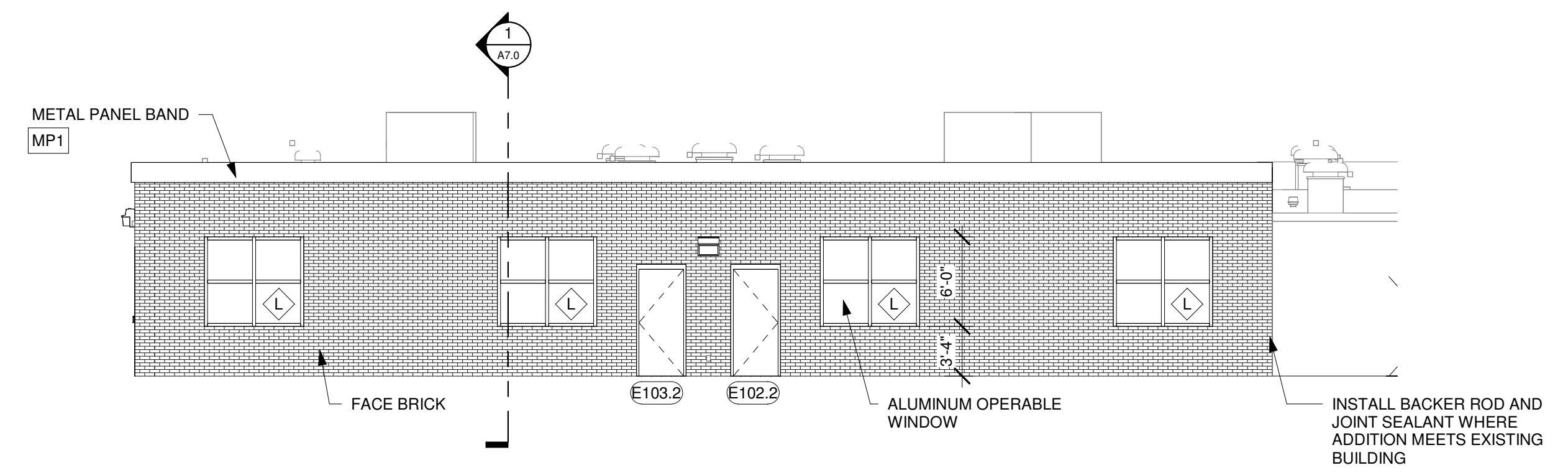
ROOF ASSEMBLY 'A' (TYPICAL)

1 1/2" = 1'-0"

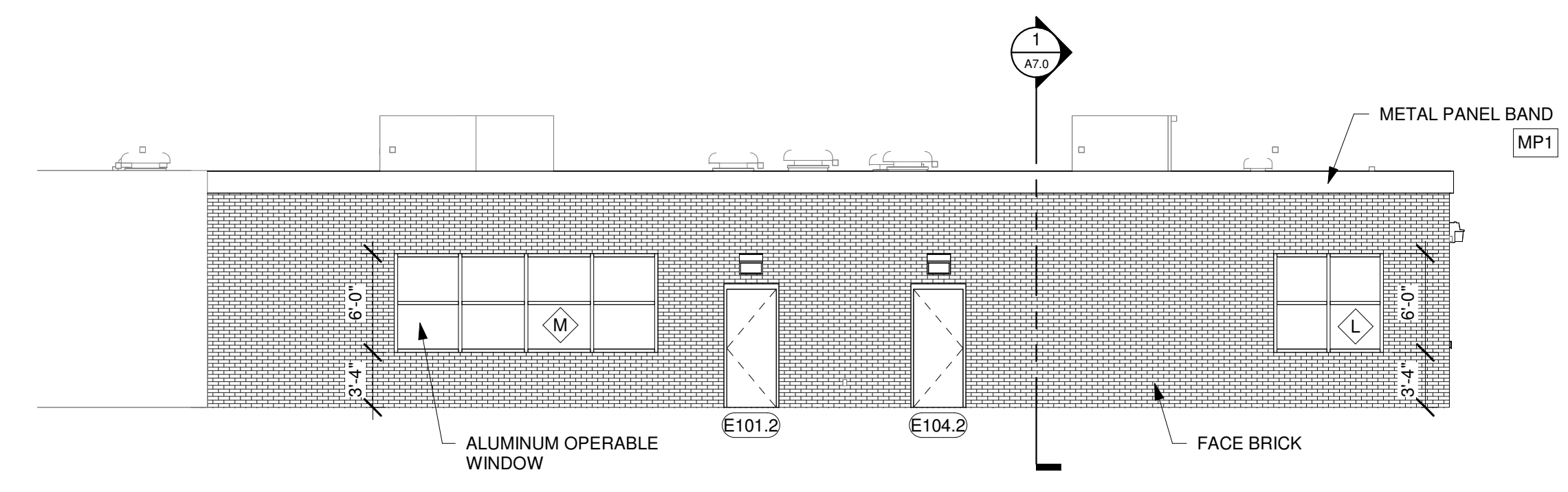
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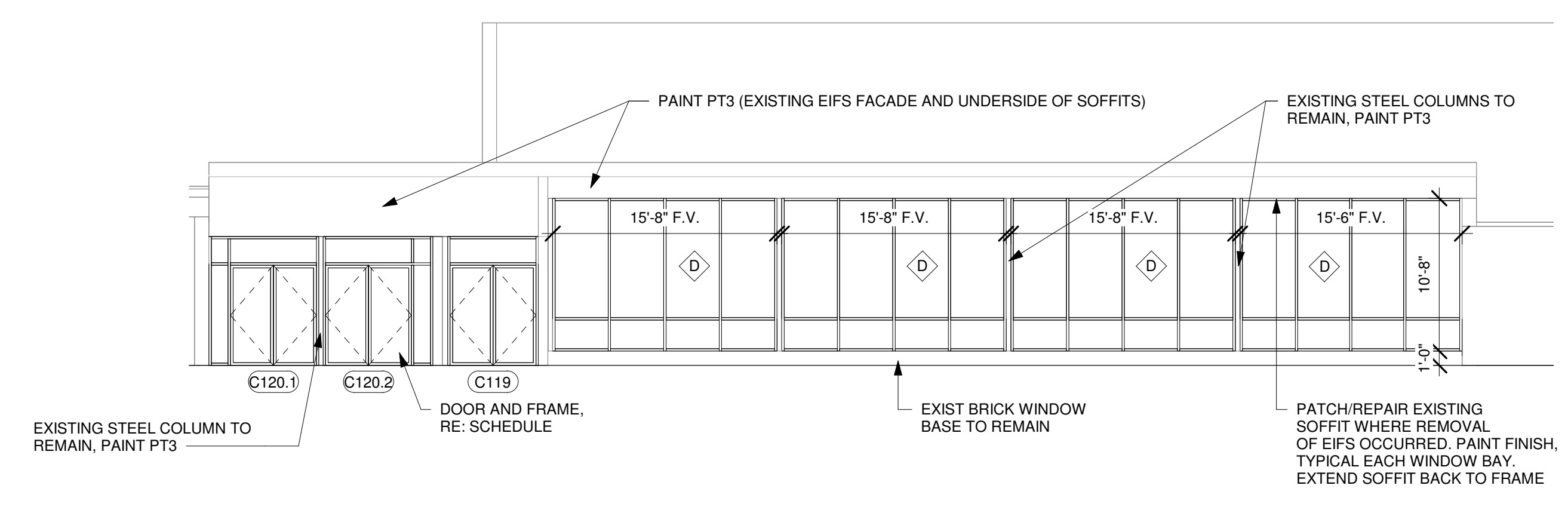
DESIGN	CHECKED	APPROVED



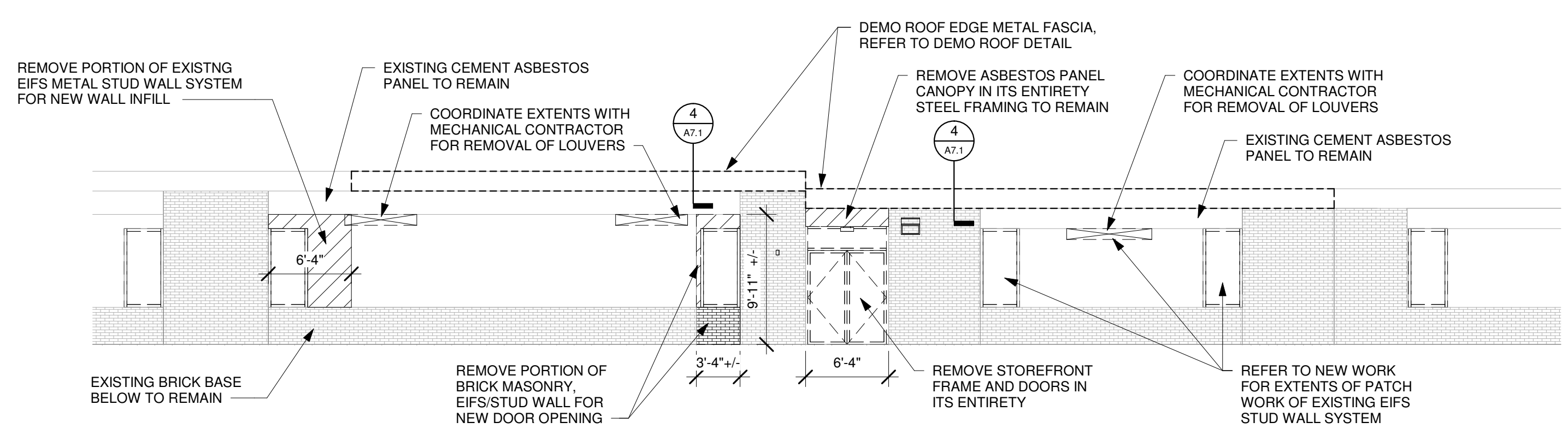
WEST EXTERIOR ELEVATION - ADDITION
 1/8" = 1'-0"



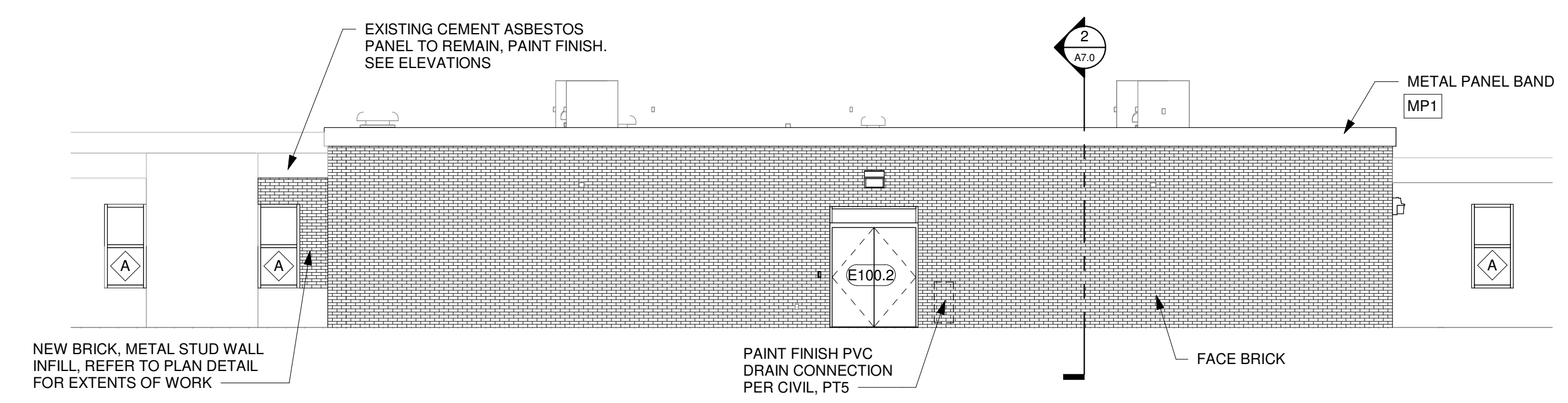
EAST EXTERIOR ELEVATION - ADDITION
 1/8" = 1'-0"



**SOUTH EXTERIOR ELEVATION
 CAFETERIA**
 1/8" = 1'-0"

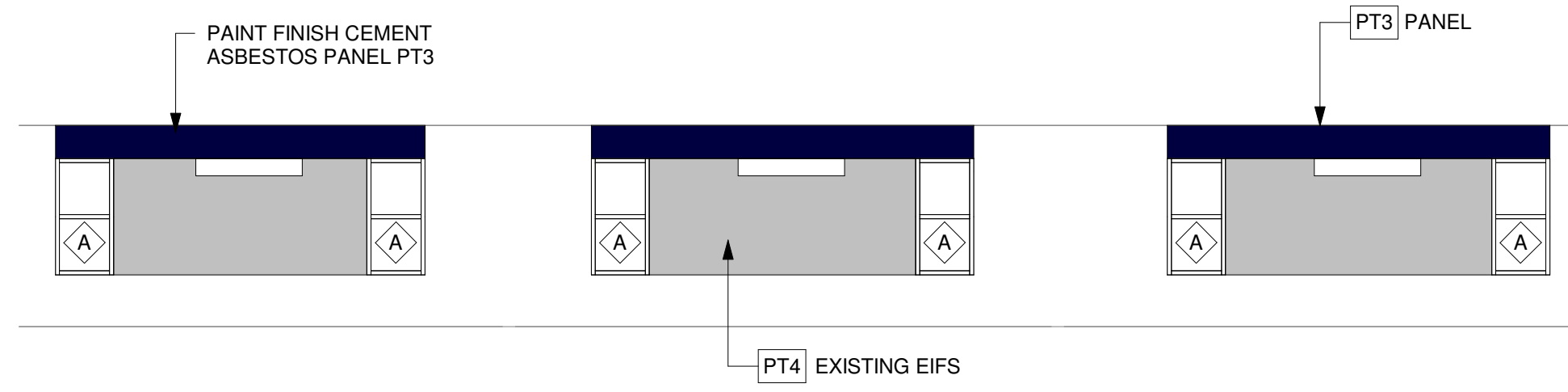


NORTH EXTERIOR ELEVATION DEMO
 1/8" = 1'-0"

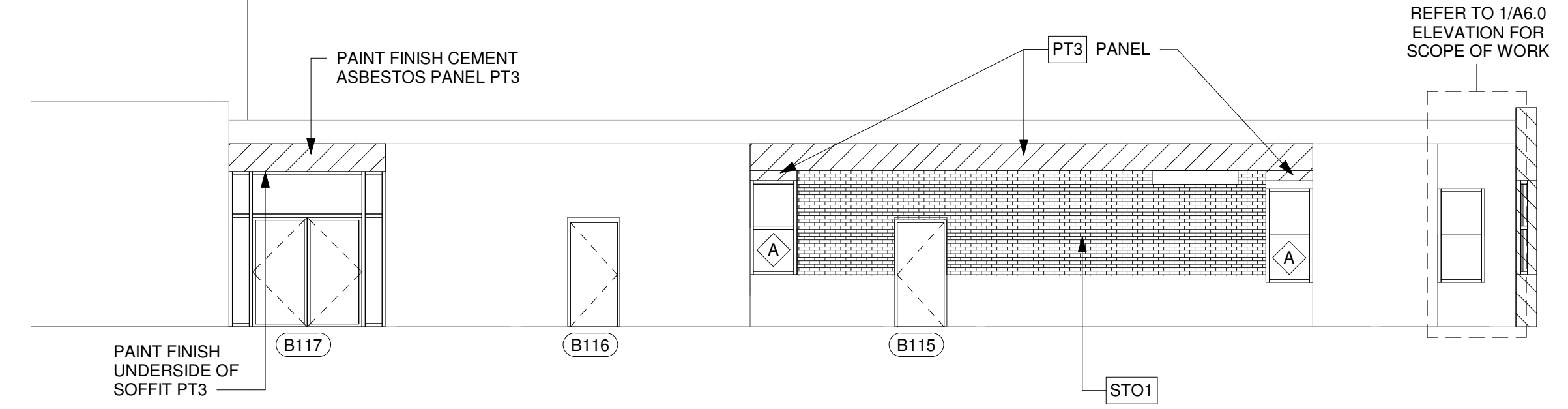


**NORTH EXTERIOR ELEVATION -
 ADDITION**
 1/8" = 1'-0"

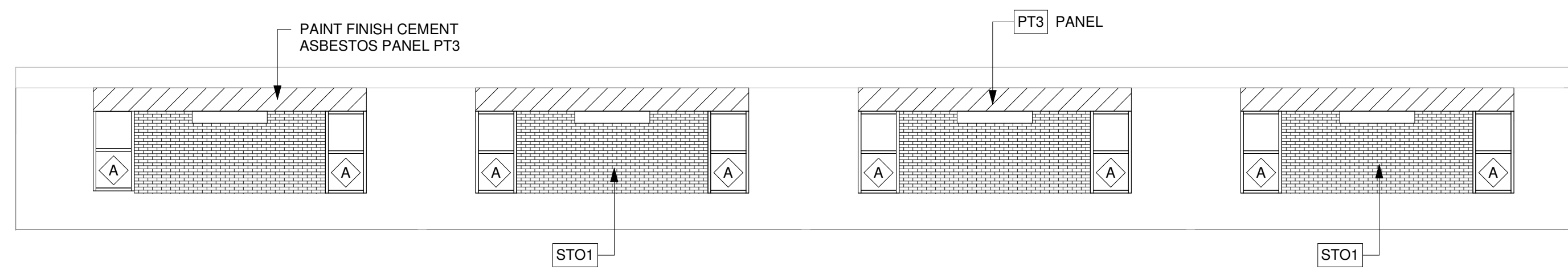
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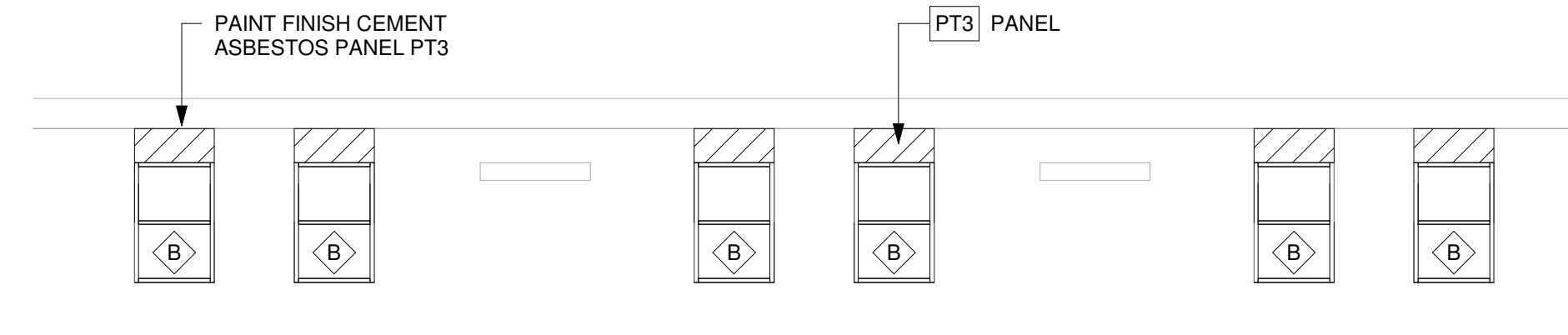
5 COURTYARD ELEVATION (TYP)
1/8" = 1'-0"



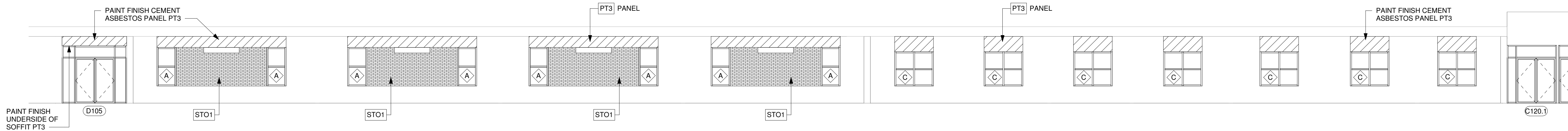
4 NORTH EXTERIOR ELEVATION (CONT.)
1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

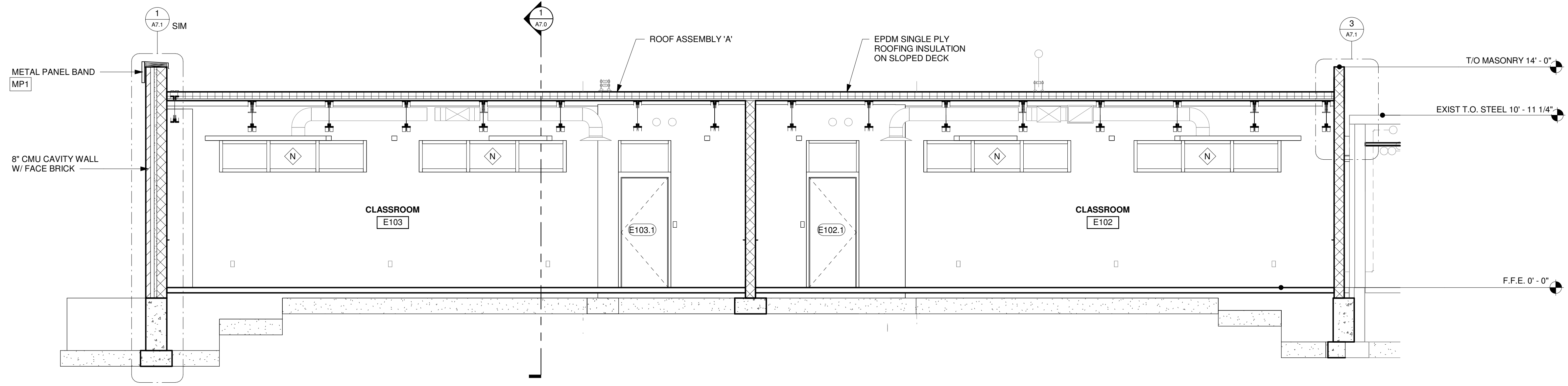


2 WEST EXTERIOR ELEVATION TYP
1/8" = 1'-0"

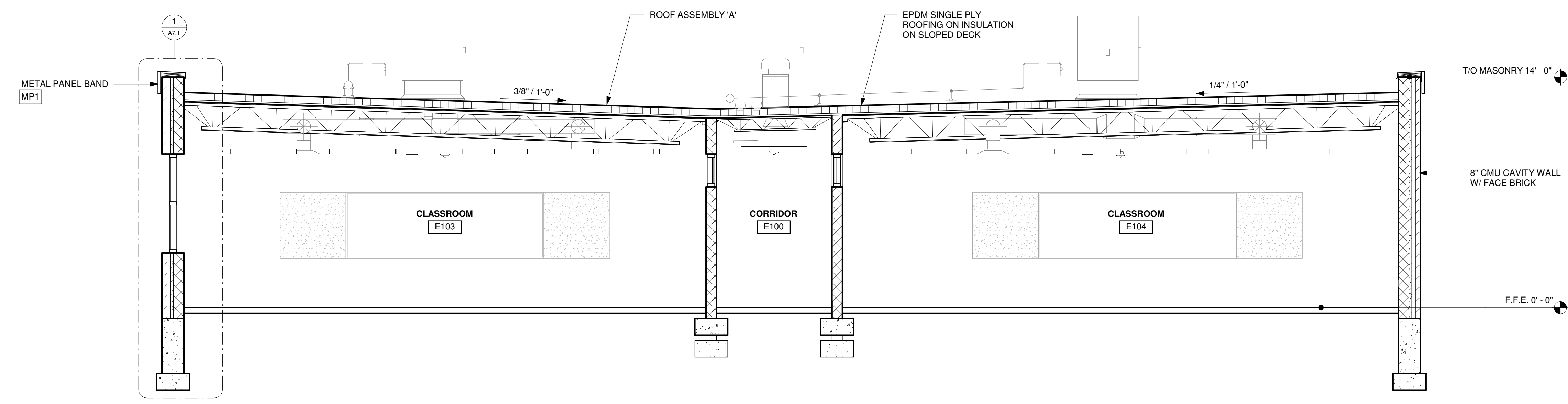


1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

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2 BUILDING SECTION
1/4" = 1'-0"

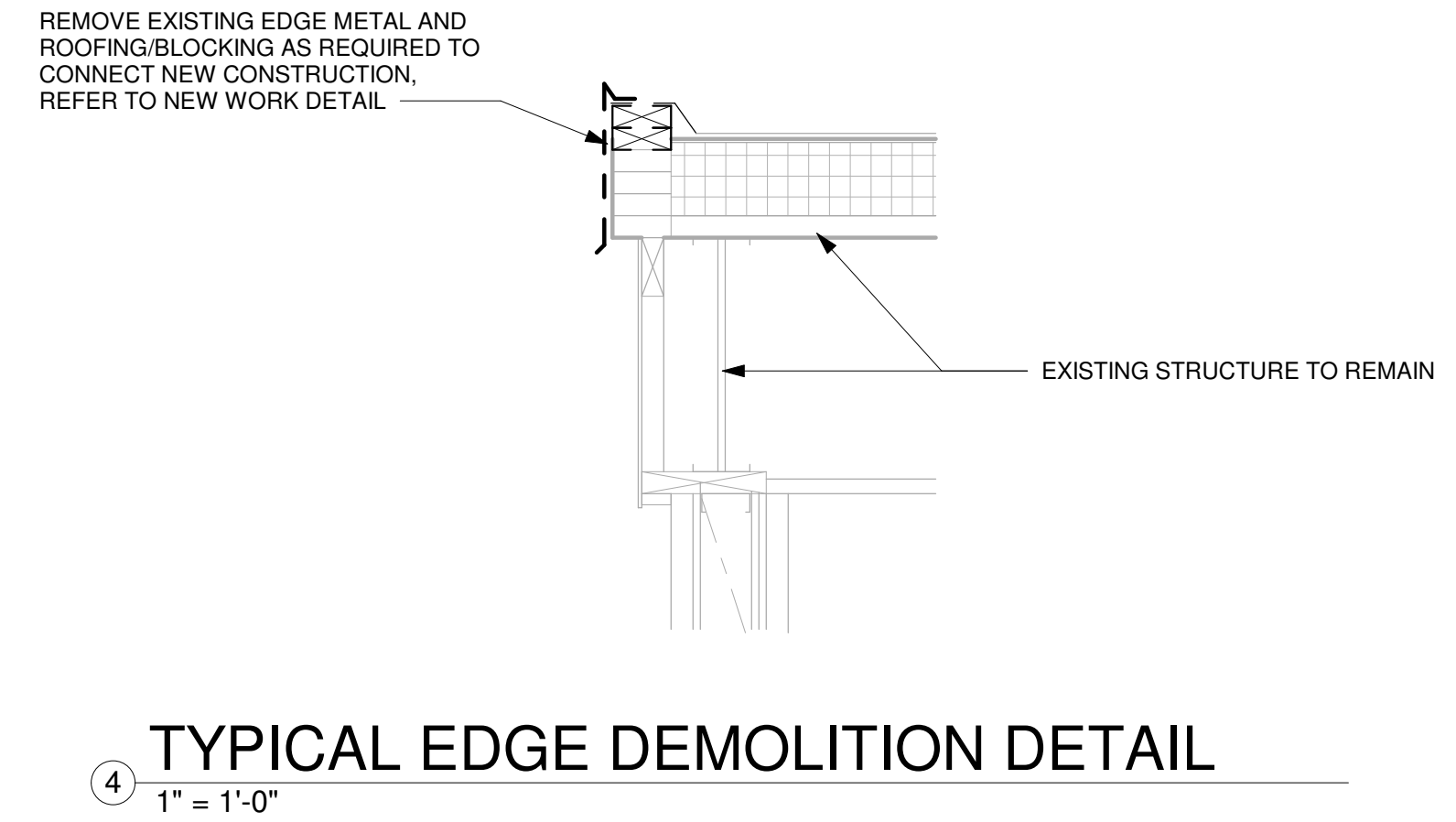


1 BUILDING SECTION
1/4" = 1'-0"

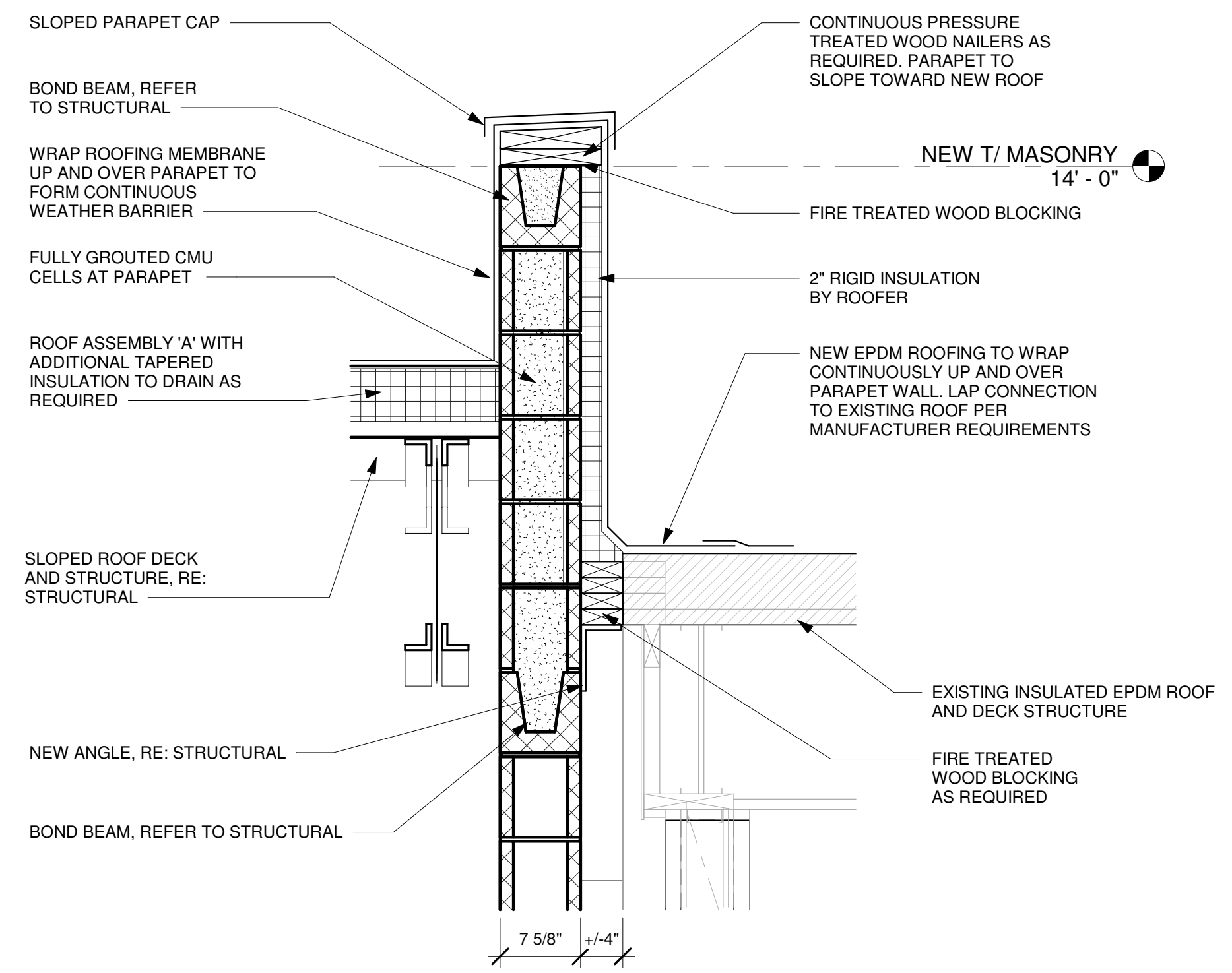


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0	FOR CONSTRUCTION	12/20/24

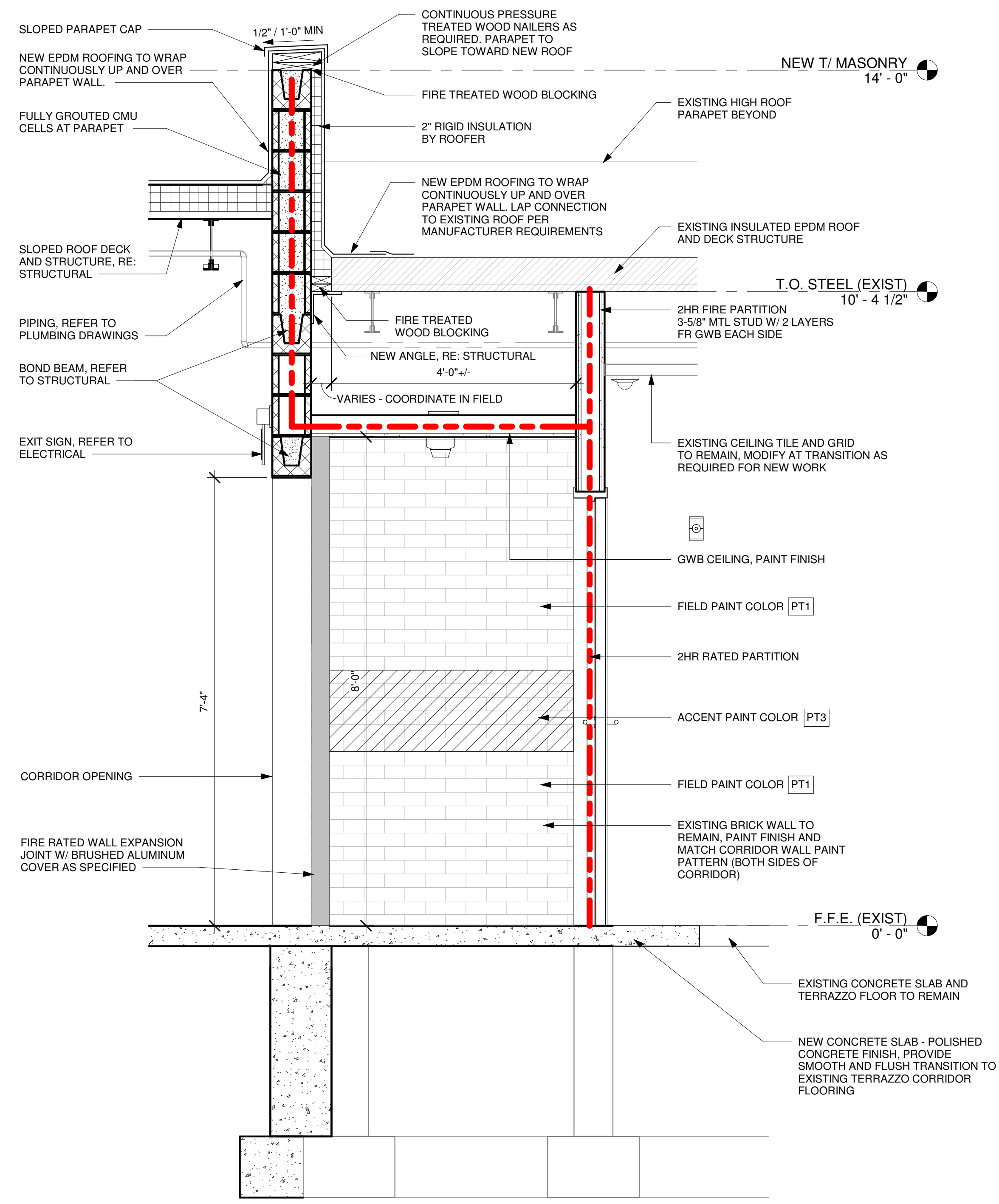
BUILDING SECTIONS
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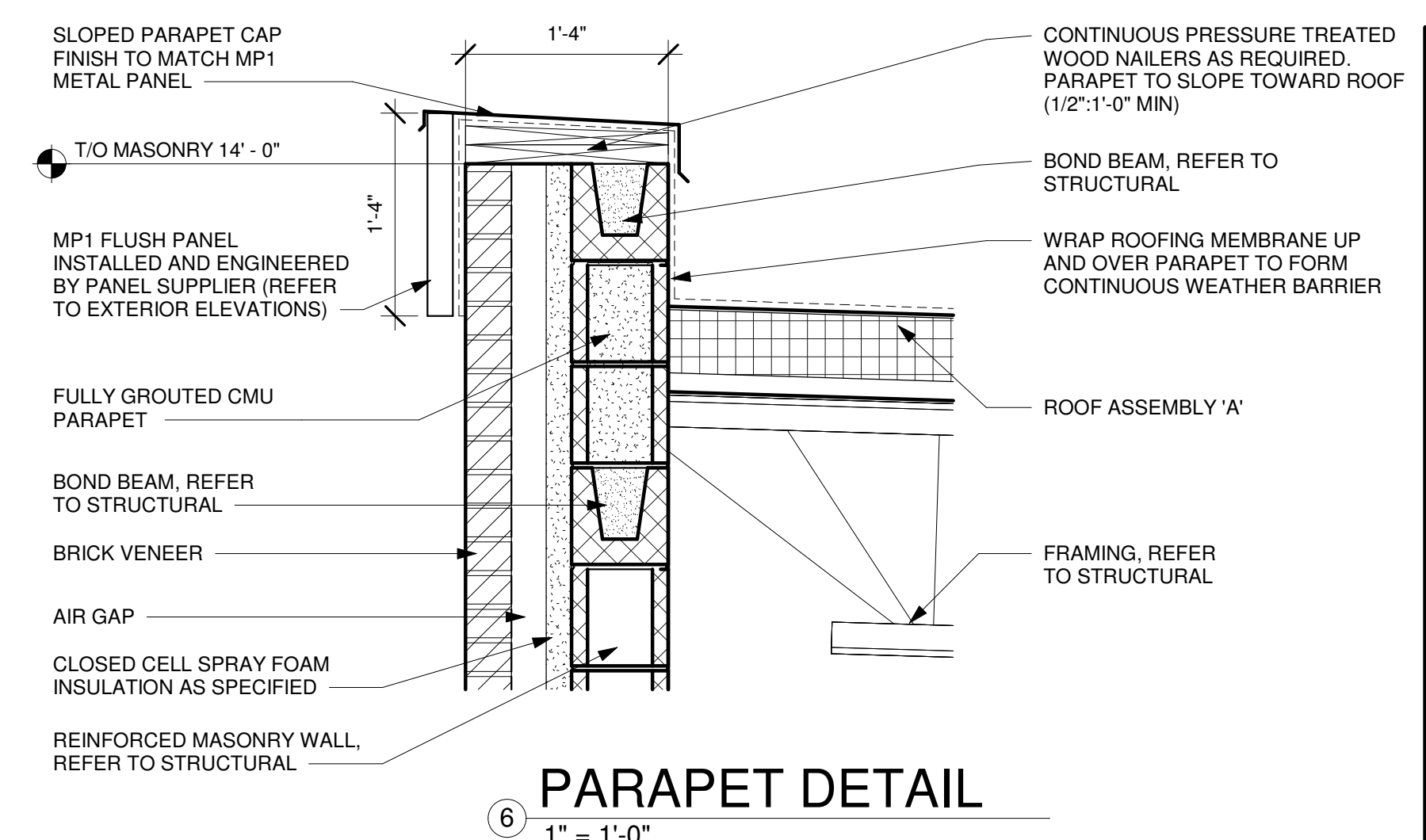
4 TYPICAL EDGE DEMOLITION DETAIL
1" = 1'-0"



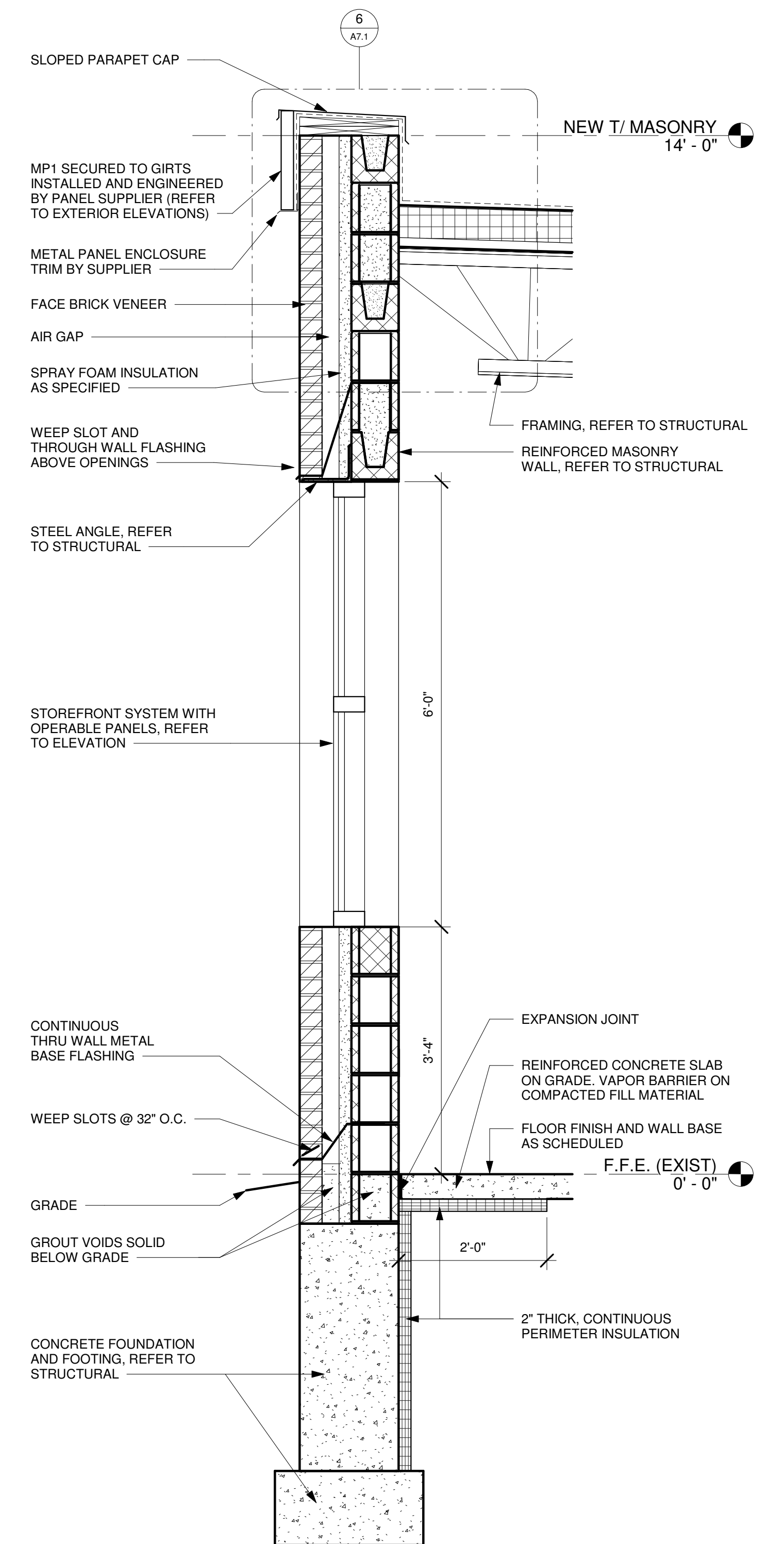
3 ROOF DETAIL
1" = 1'-0"



2 WALL SECTION
3/4" = 1'-0"



6 PARAPET DETAIL
1" = 1'-0"



1 WALL SECTION
3/4" = 1'-0"

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**ARCHITECTURE
ENGINEERING
CONSULTING**



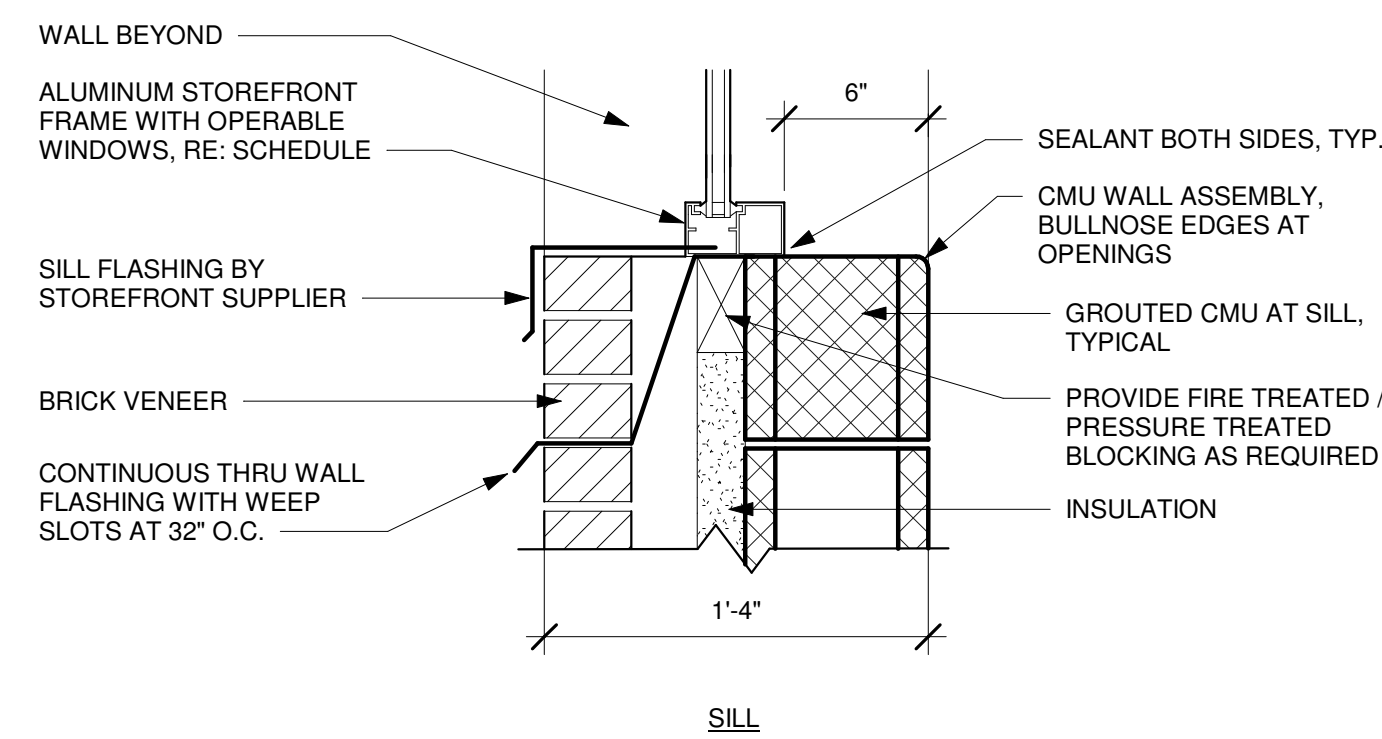
BANGOR TOWNSHIP SCHOOL DISTRICT
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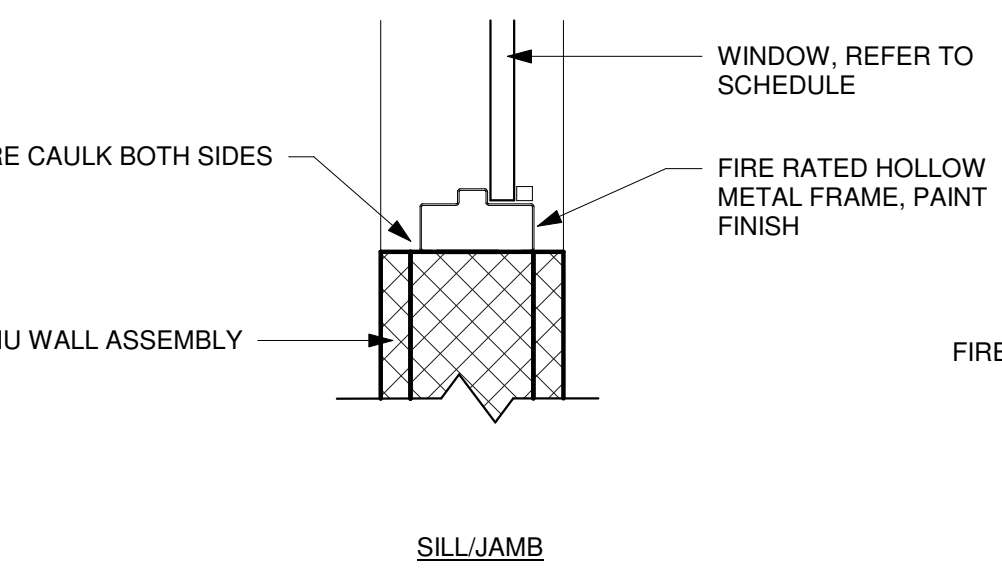
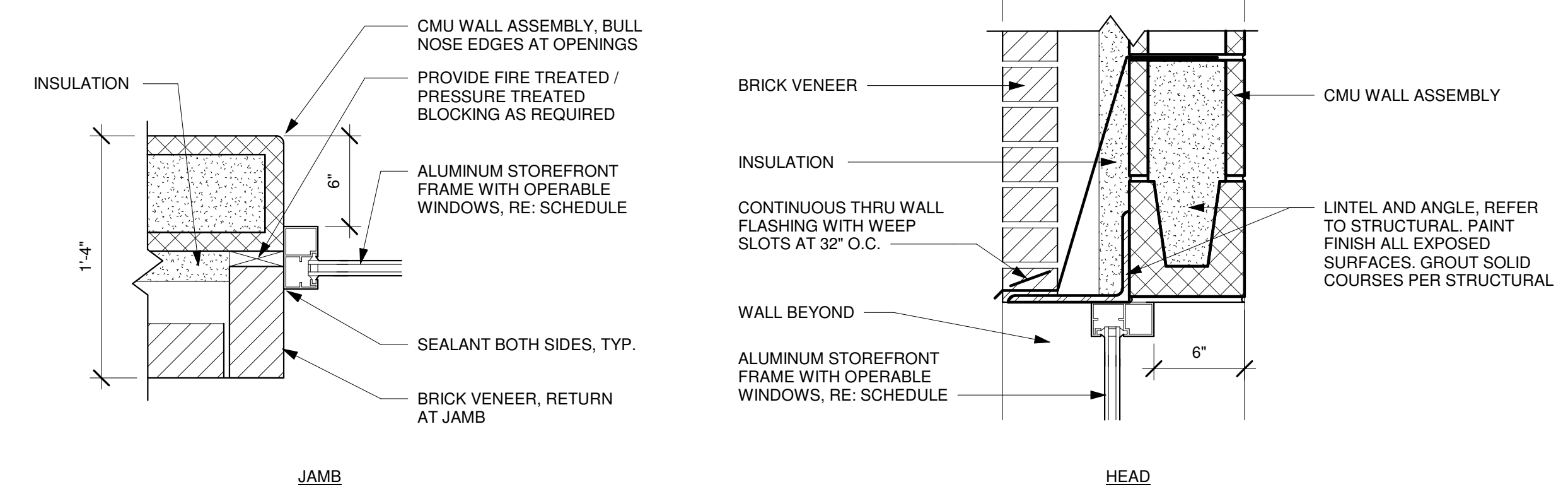
DESIGN
DRAWN
CHECKED
APPROVED

WALL SECTIONS
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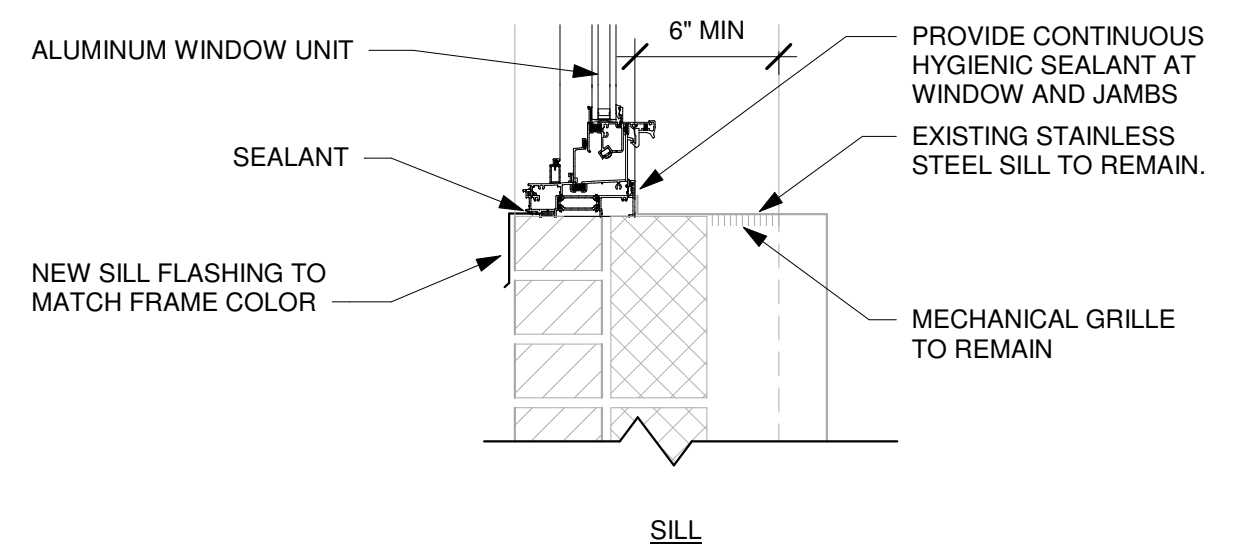
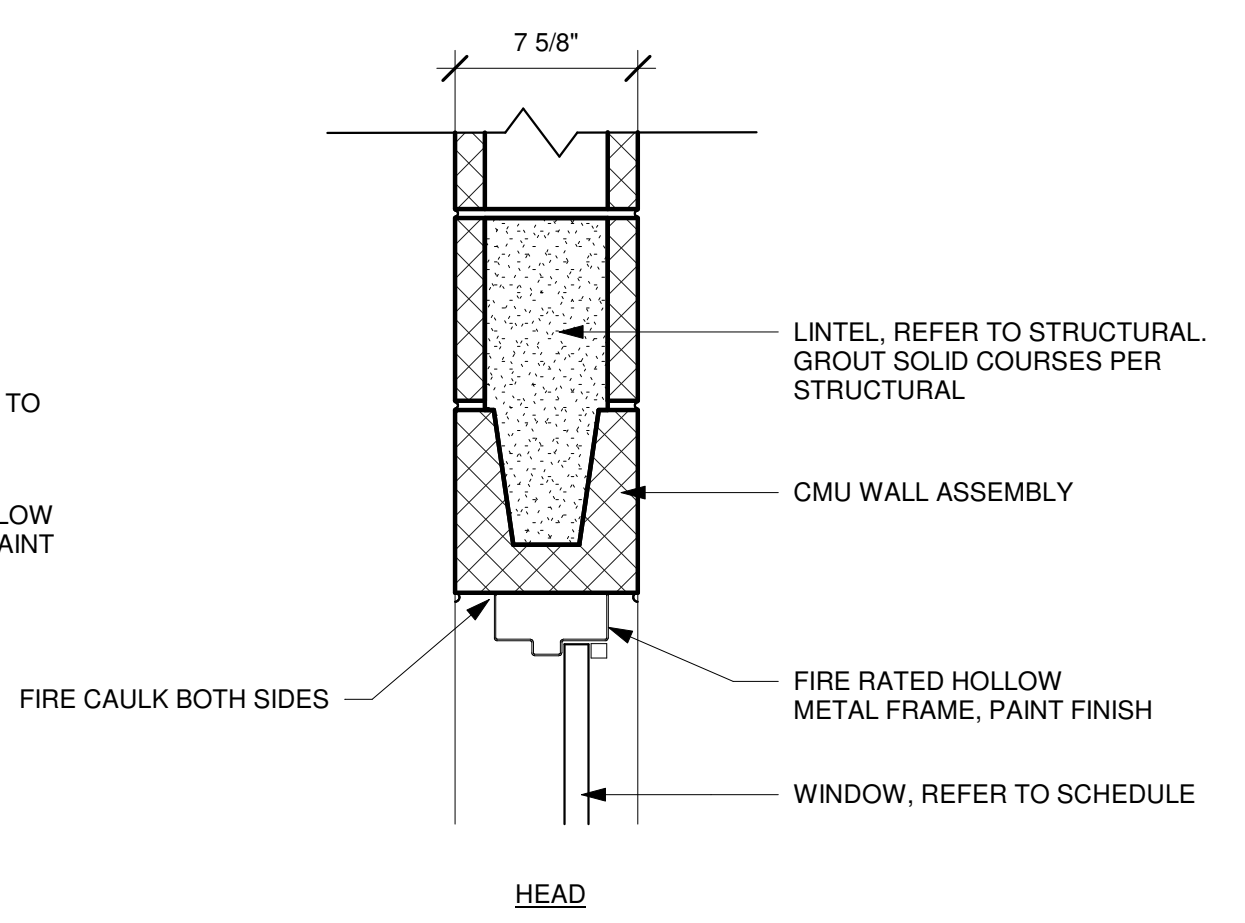
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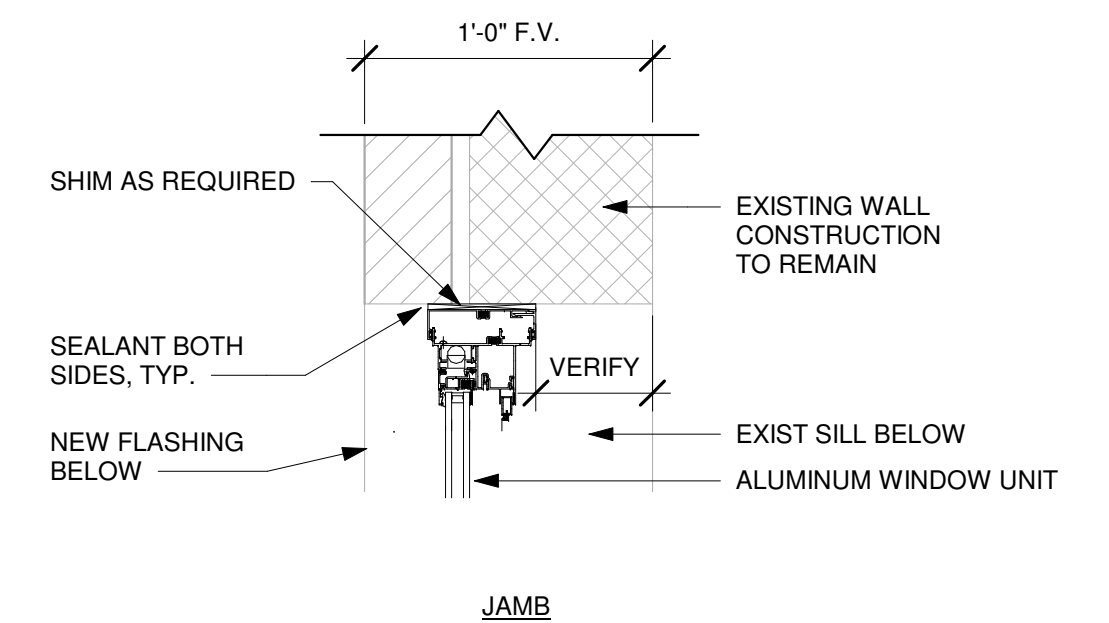
13 WINDOW DETAIL
1 1/2" = 1'-0"



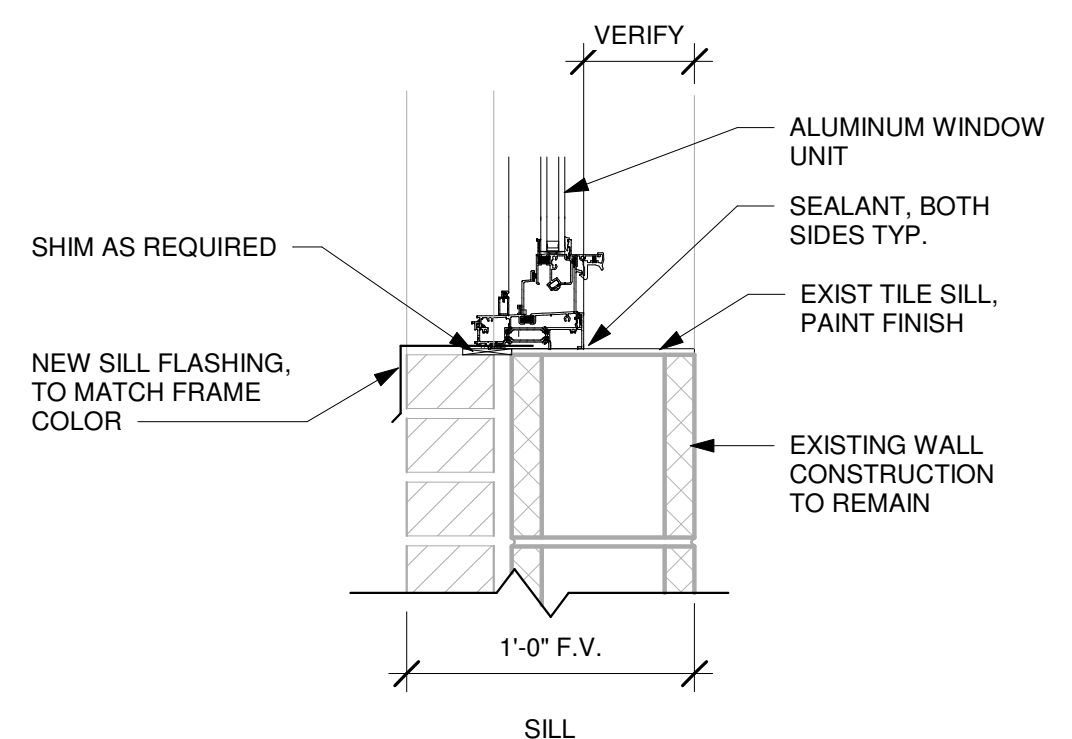
14 WINDOW DETAIL
1 1/2" = 1'-0"



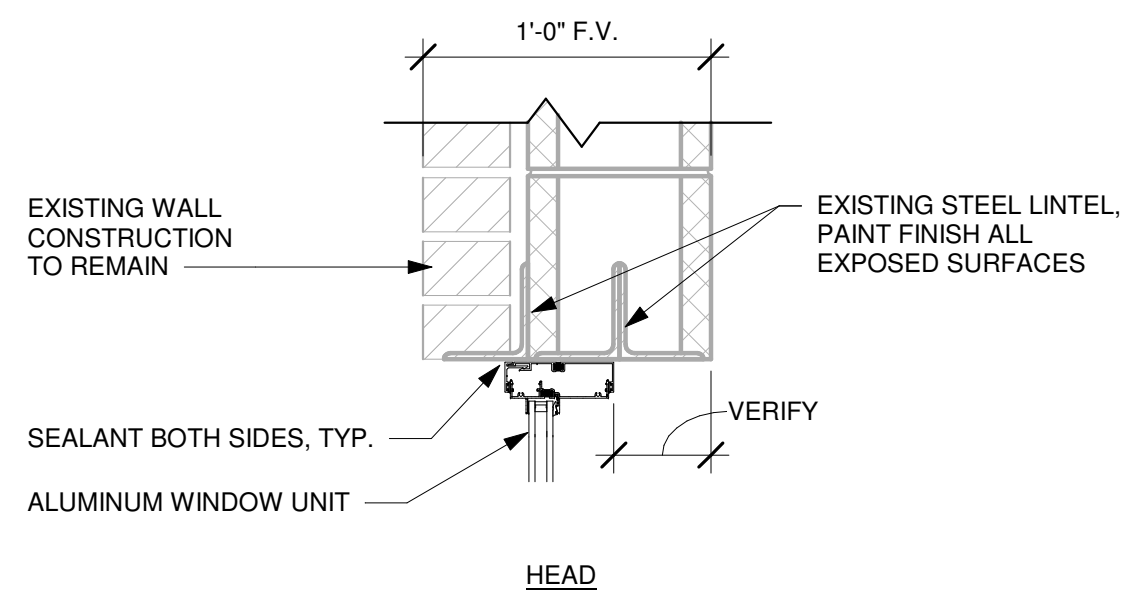
12 WINDOW DETAIL
1 1/2" = 1'-0"



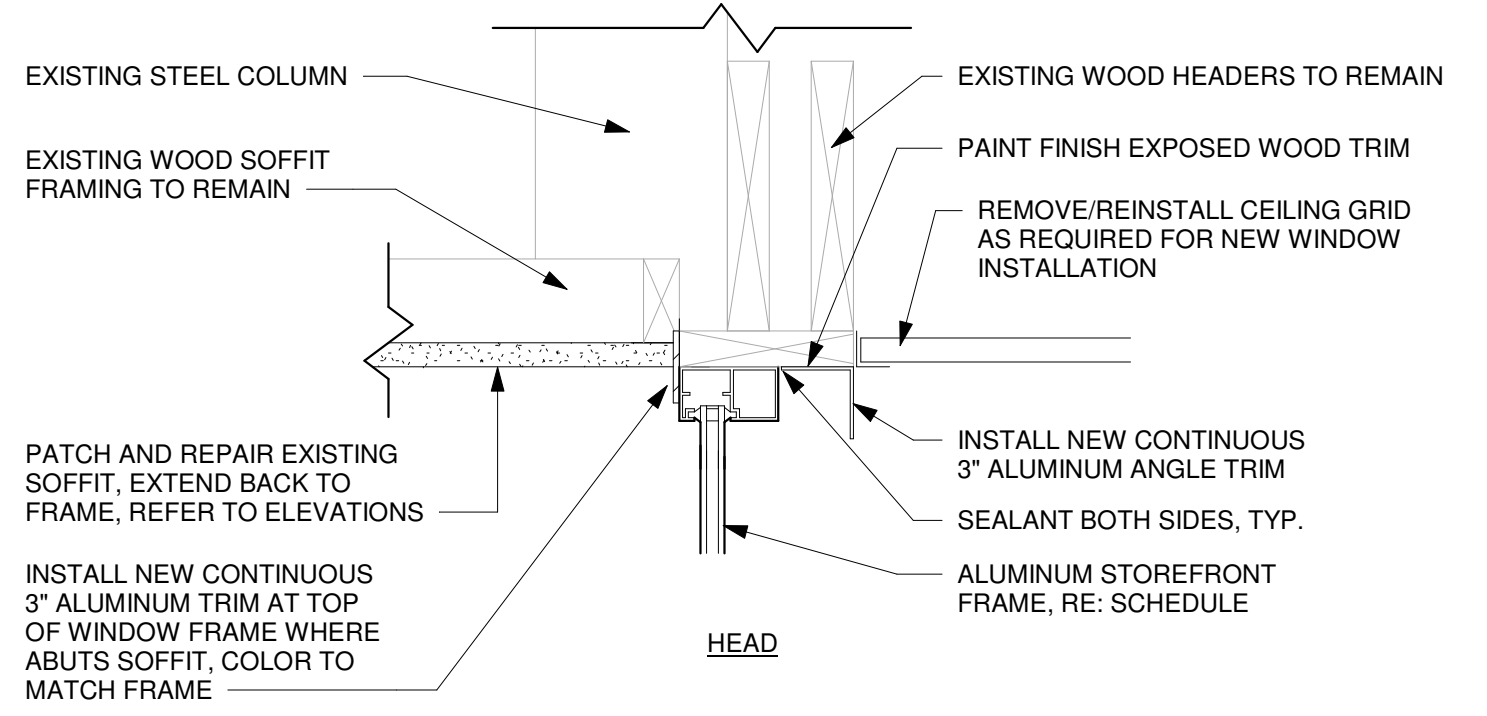
11 WINDOW DETAIL
1 1/2" = 1'-0"



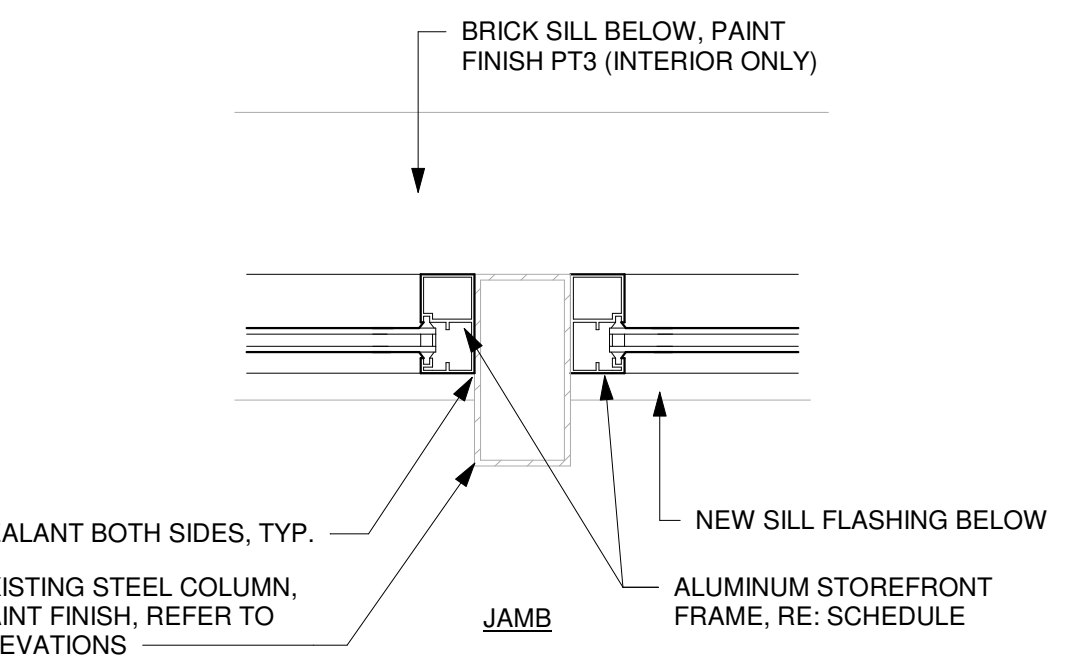
10 WINDOW DETAIL
1 1/2" = 1'-0"



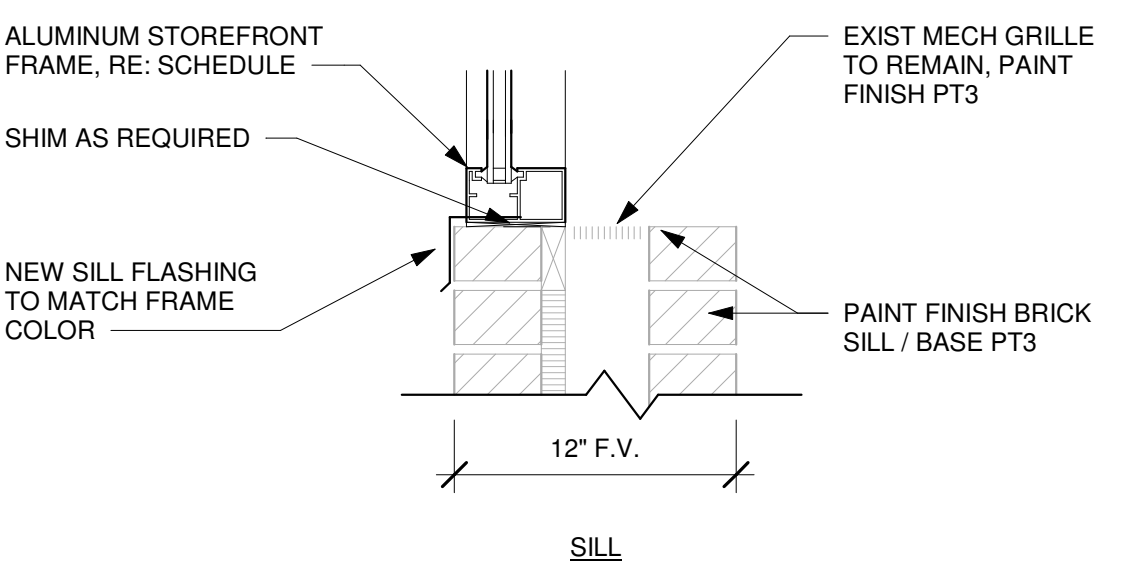
9 WINDOW DETAIL
1 1/2" = 1'-0"



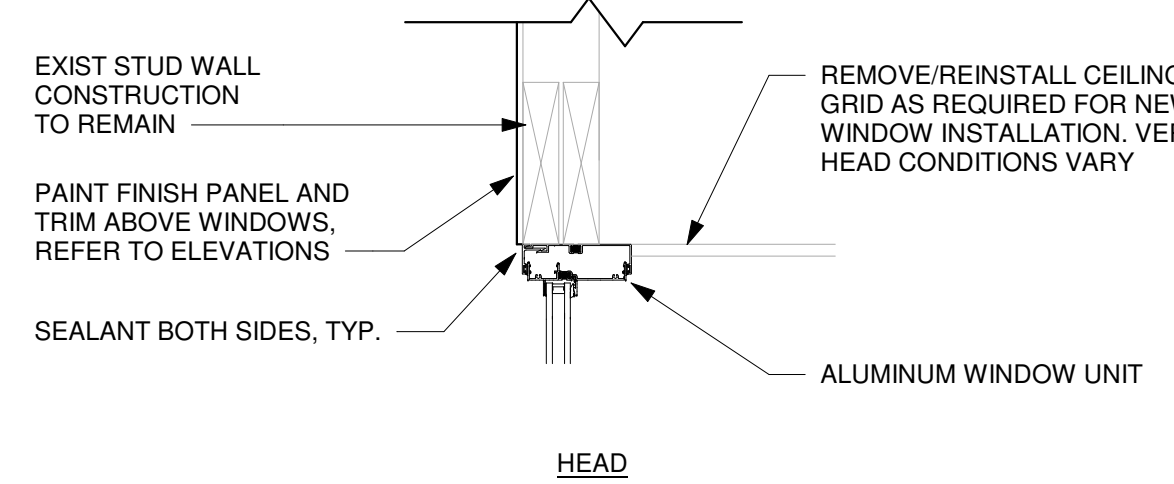
8 WINDOW DETAIL
1 1/2" = 1'-0"



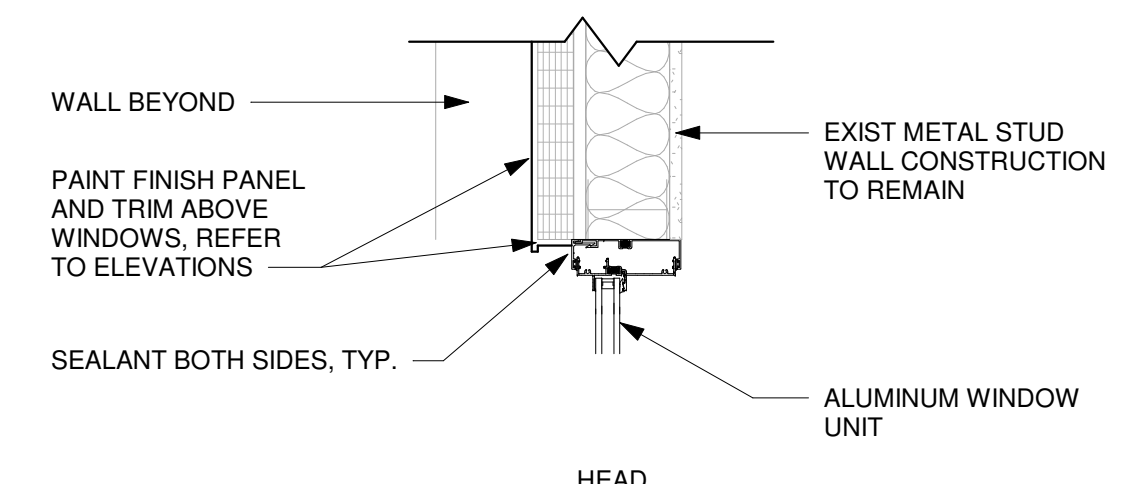
7 WINDOW DETAIL
1 1/2" = 1'-0"



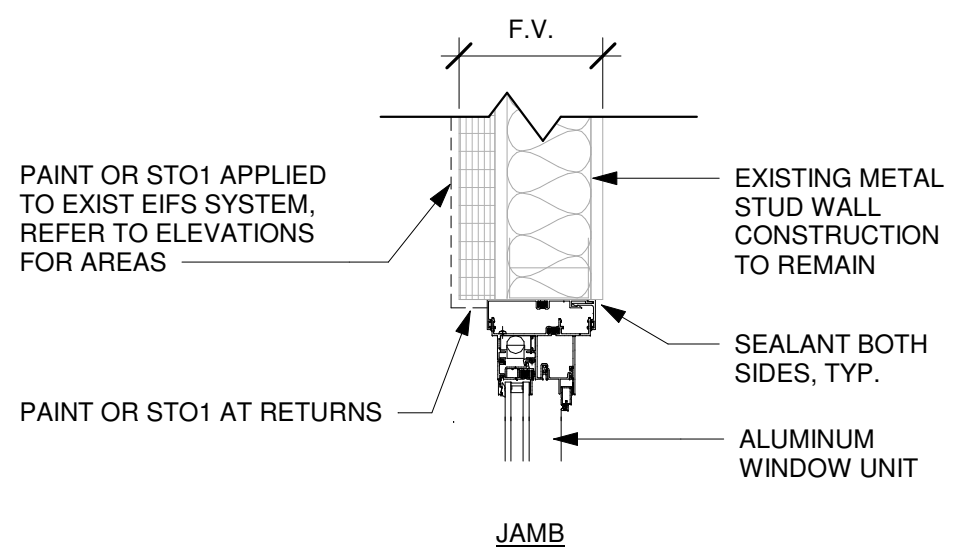
6 WINDOW DETAIL
1 1/2" = 1'-0"



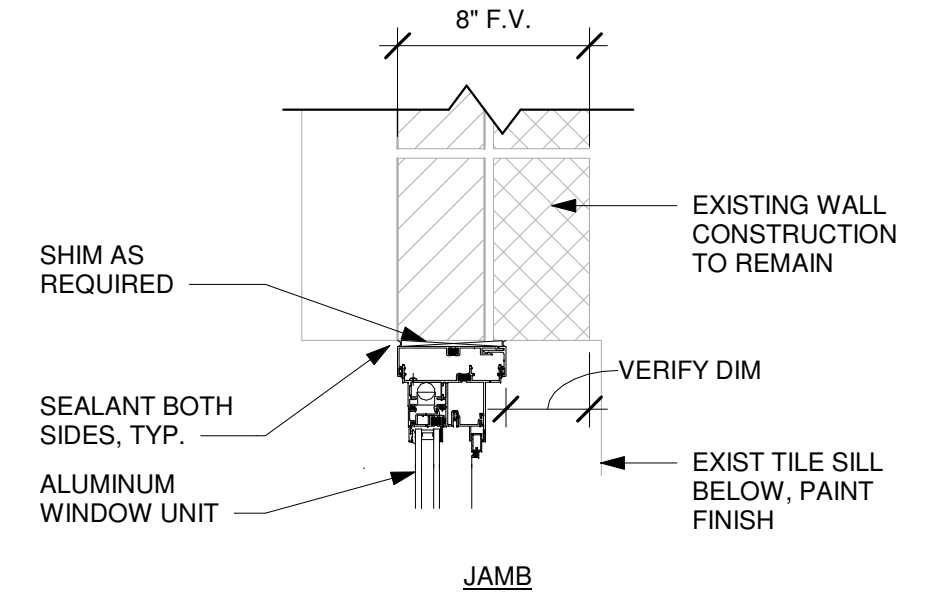
5 WINDOW DETAIL
1 1/2" = 1'-0"



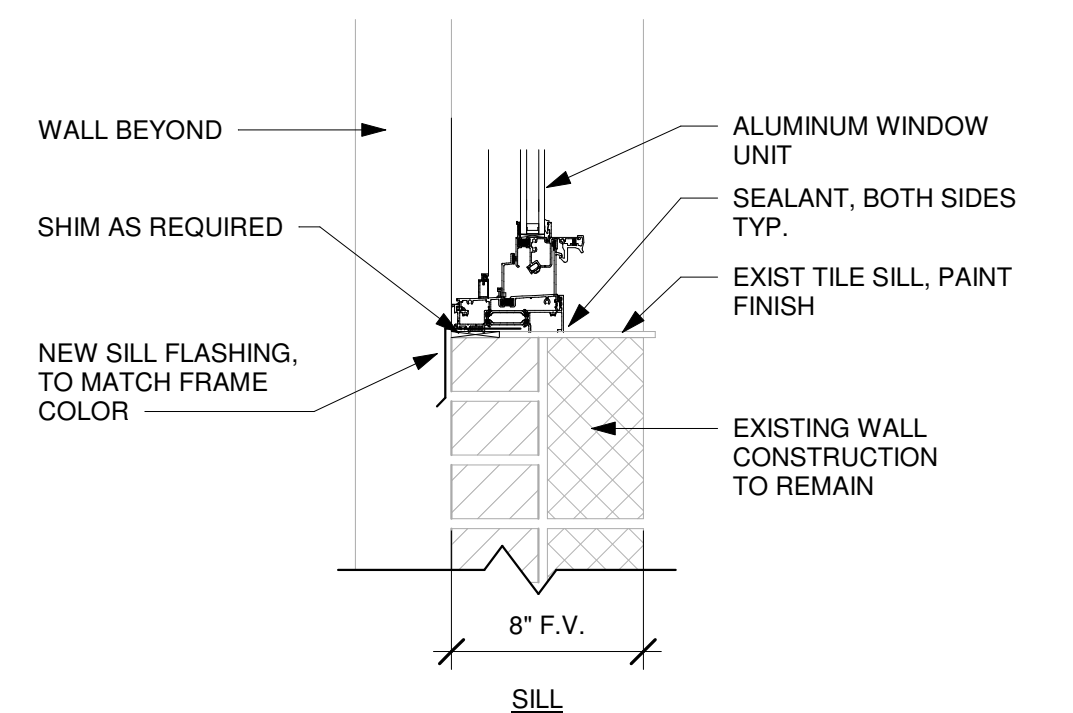
4 WINDOW DETAIL
1 1/2" = 1'-0"



3 WINDOW DETAIL
1 1/2" = 1'-0"



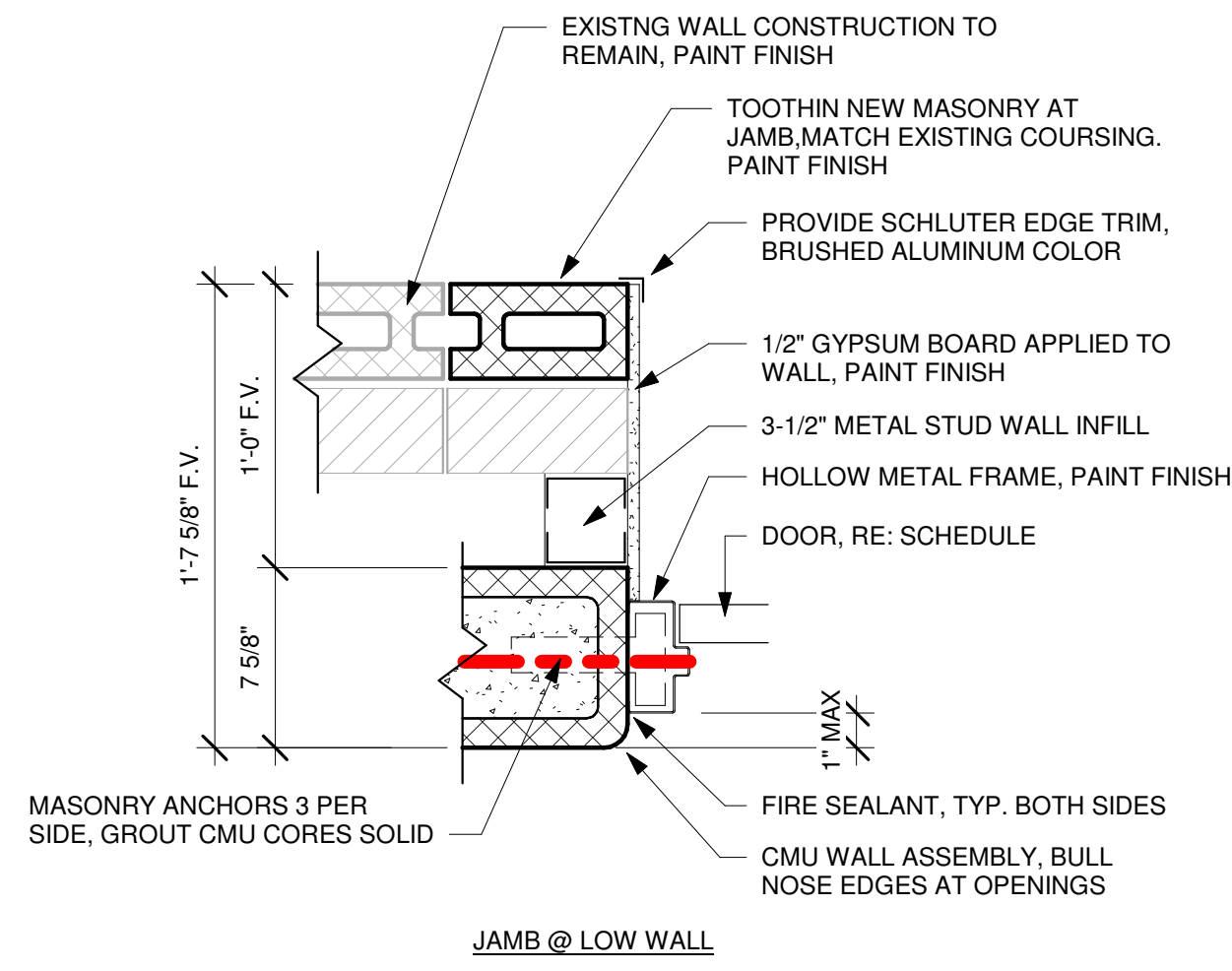
2 WINDOW DETAIL
1 1/2" = 1'-0"



1 WINDOW DETAIL
1 1/2" = 1'-0"

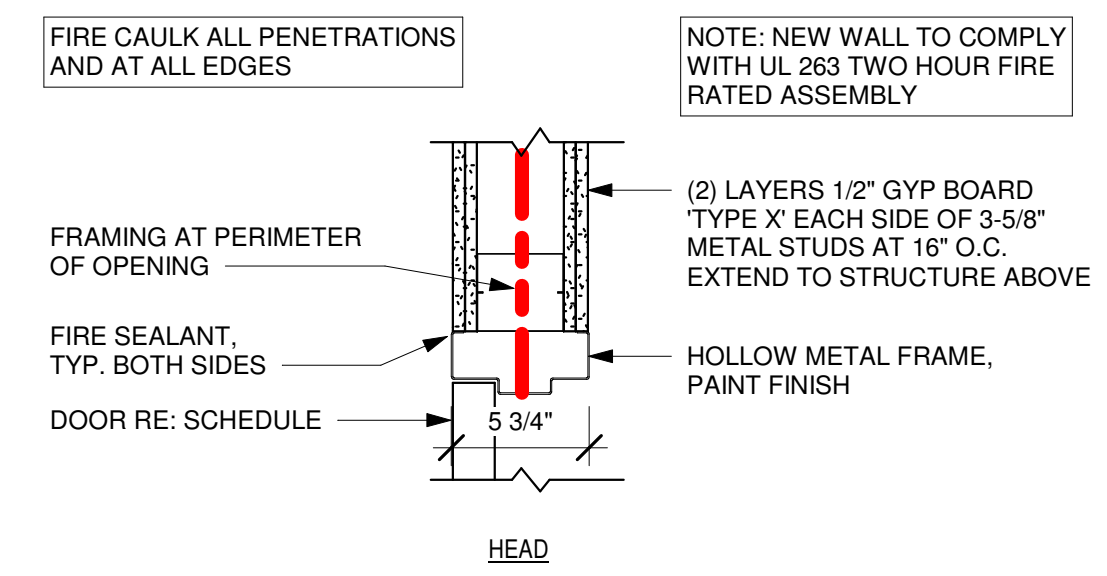
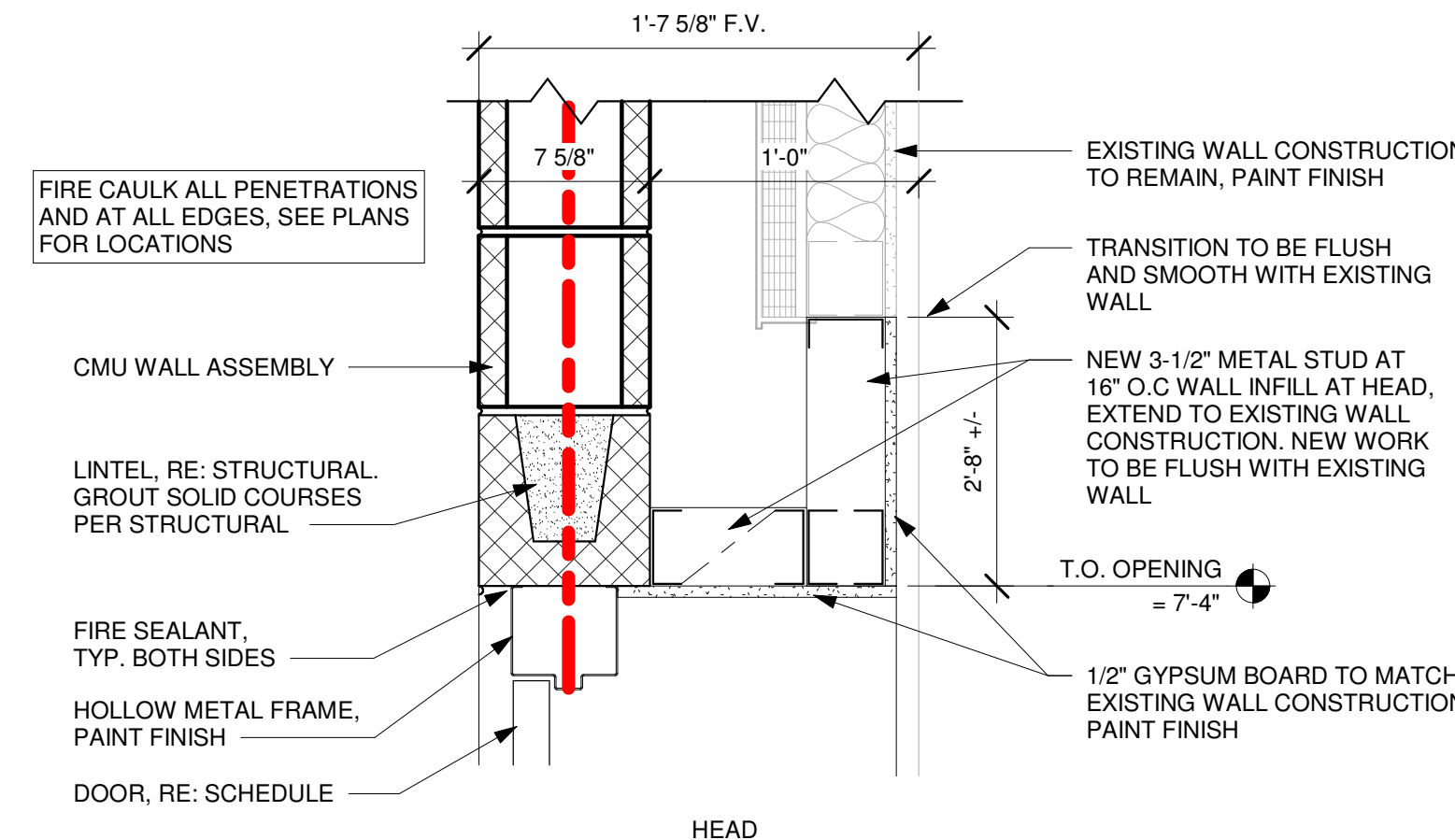
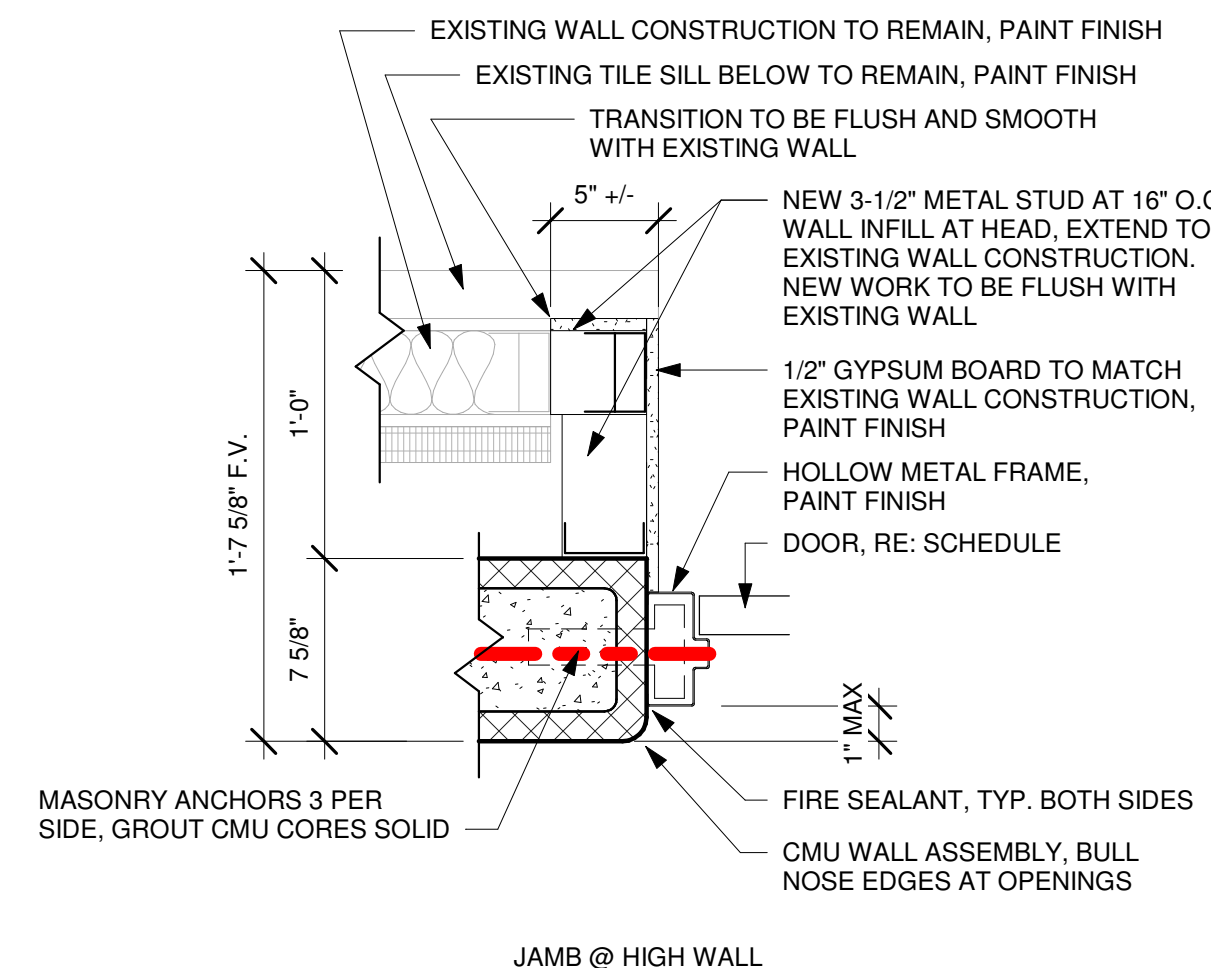
NO.	REVISIONS	DATE
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DESIGN	DRAWN	CHECKED	APPROVED



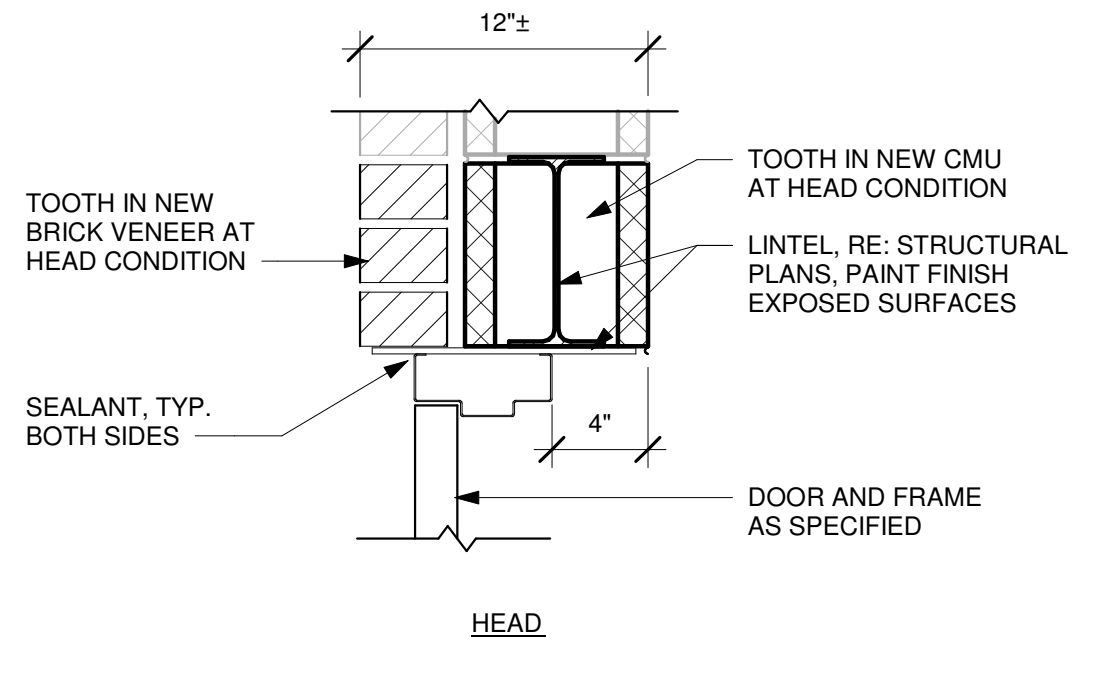
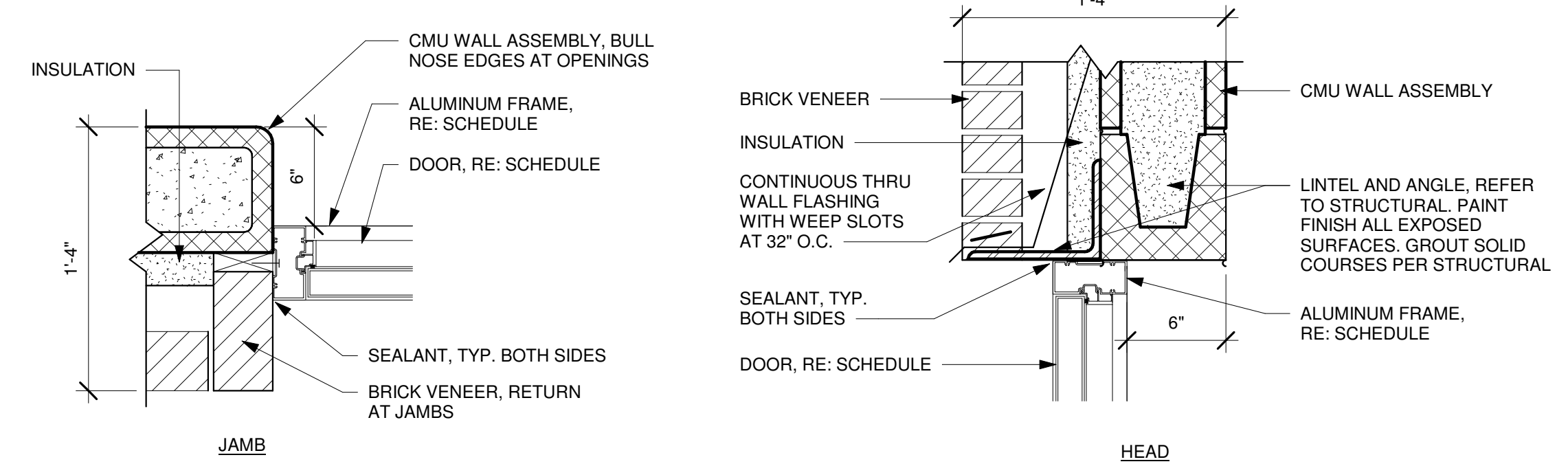
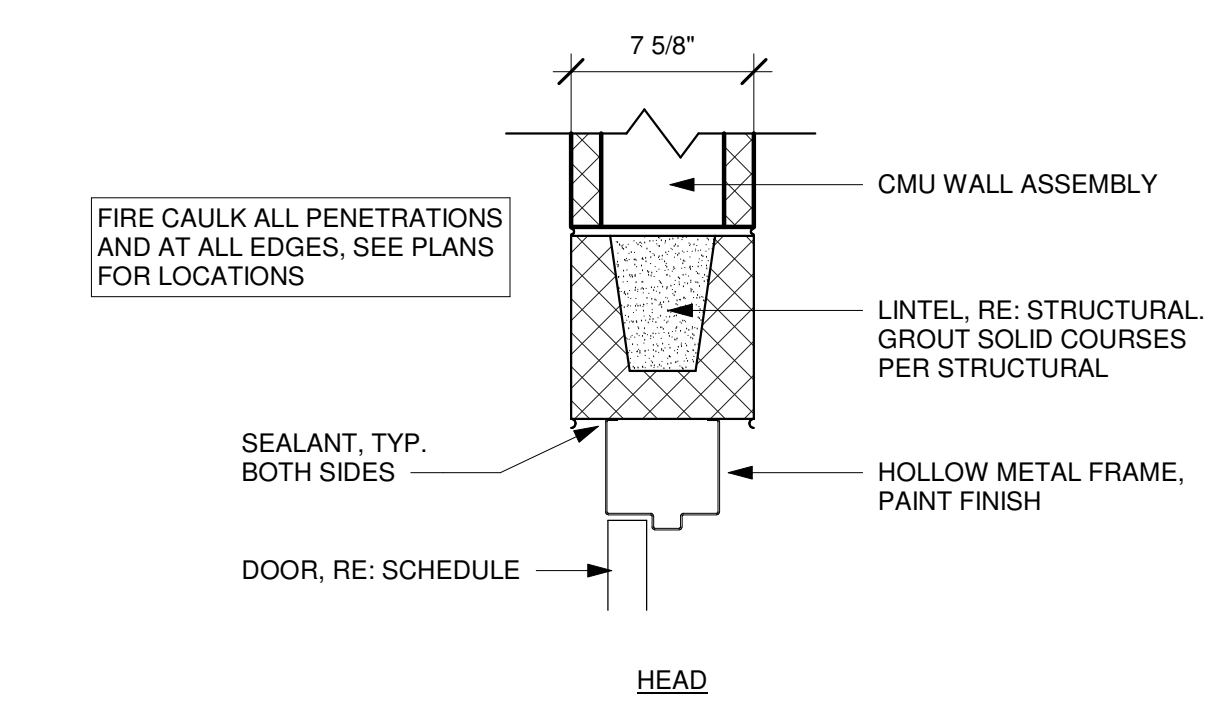
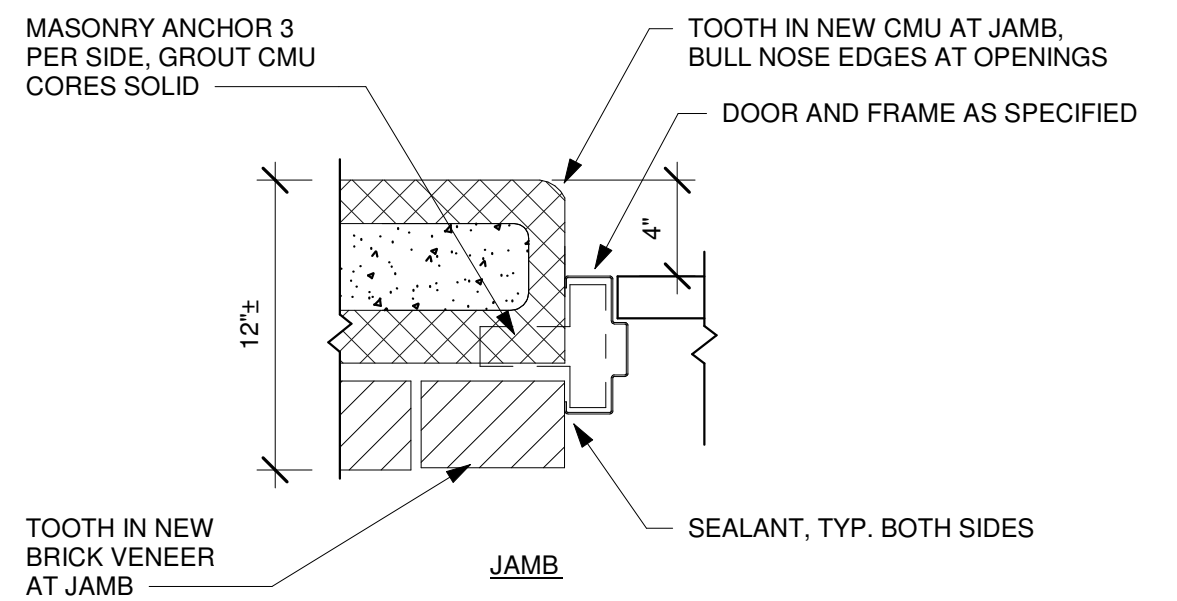
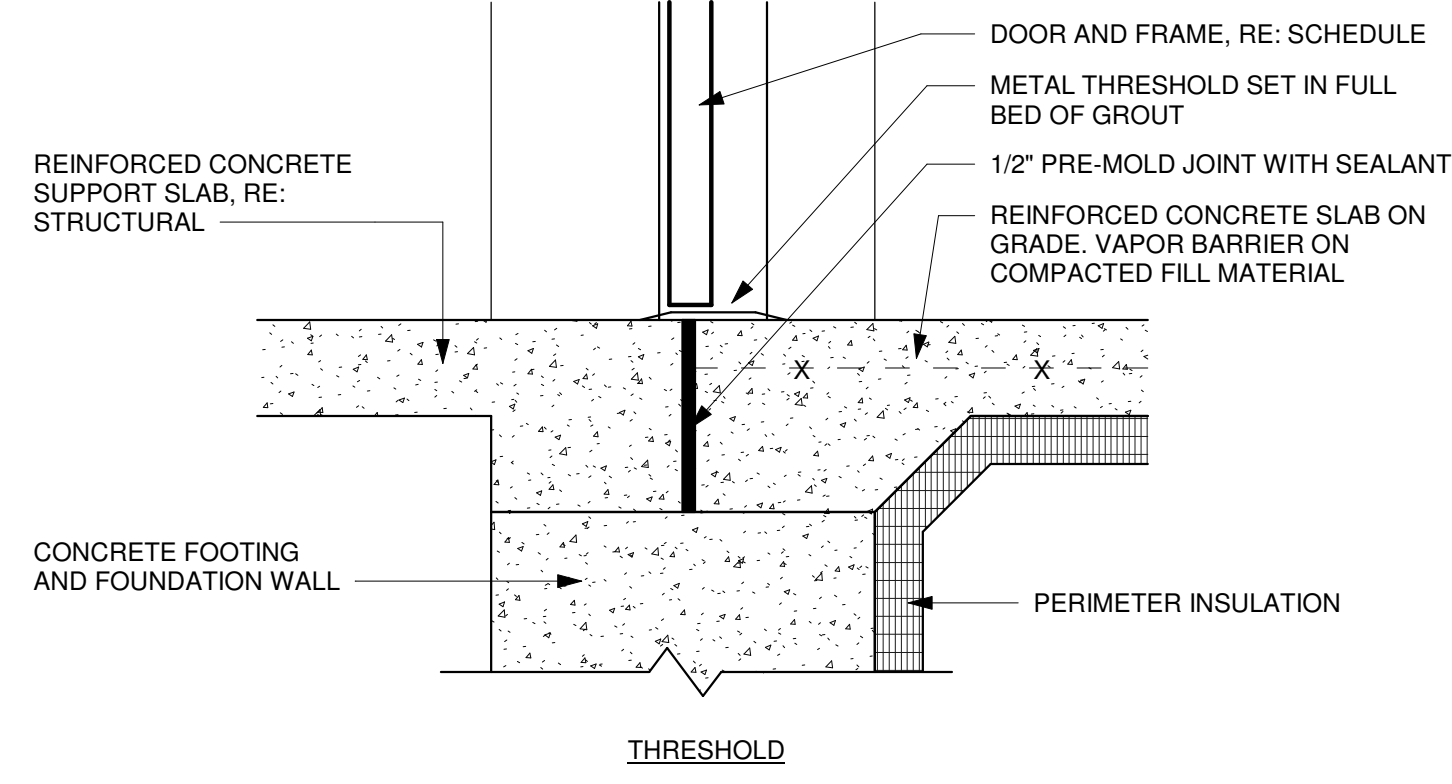
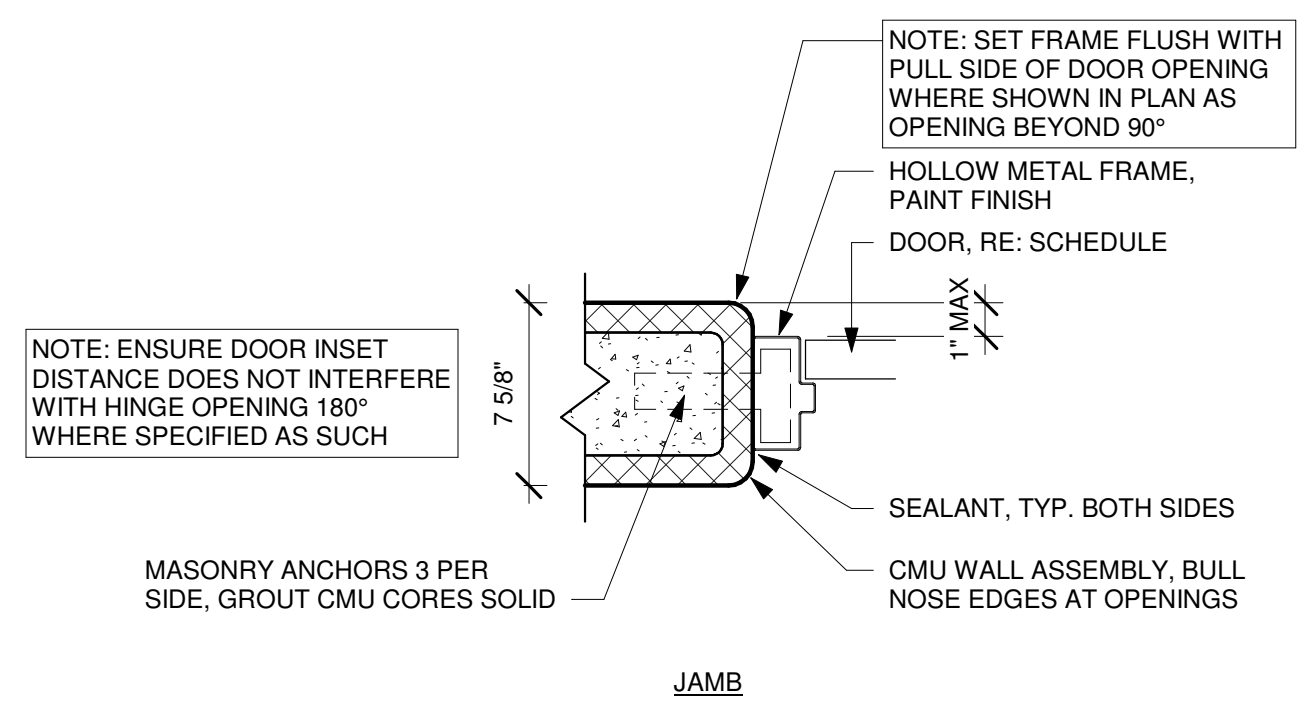
DOOR DETAILS

1 1/2" = 1'-0"



DOOR DETAILS

1 1/2" = 1'-0"



DOOR DETAILS

1 1/2" = 1'-0"

DOOR DETAILS

1 1/2" = 1'-0"

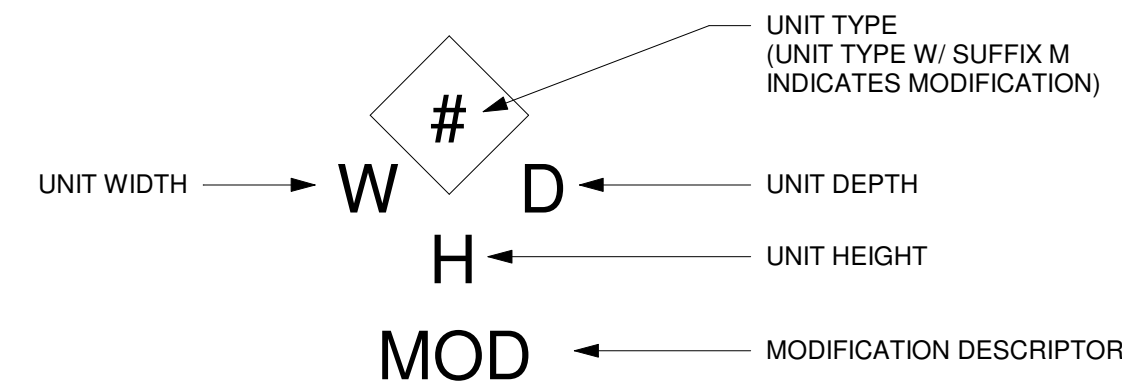
DOOR DETAILS

1 1/2" = 1'-0"

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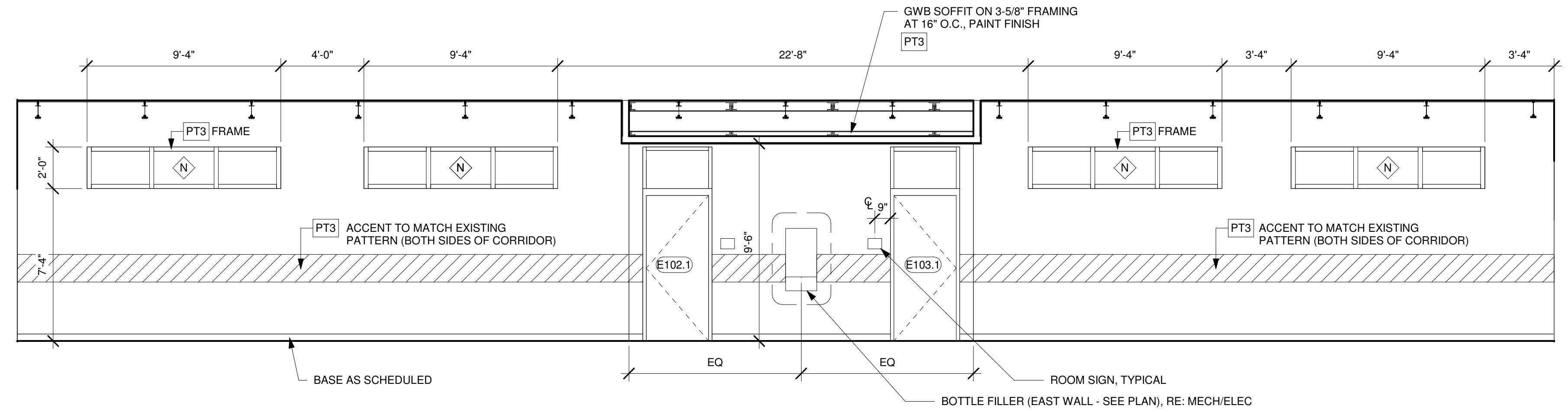
DESIGN DRAWN CHECKED APPROVED



UNIT TYPE AS DEFINED BY CDS
(AWI CABINET DESIGN SERIES NUMBER)

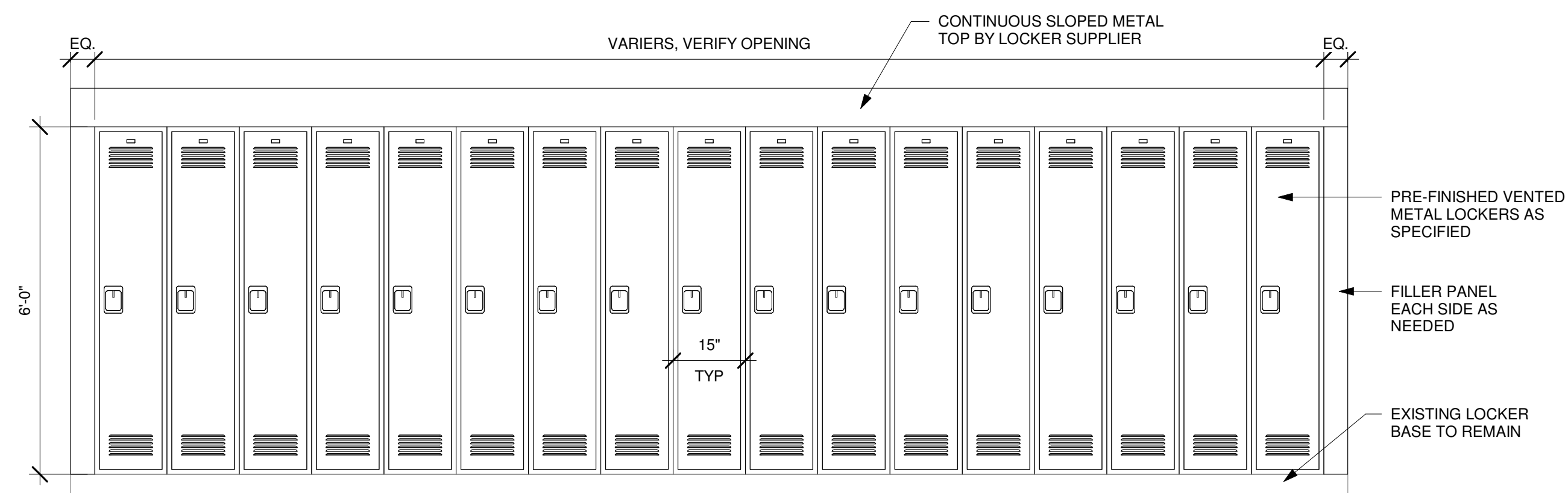
CASEWORK SYMBOL LEGEND

1/4" = 1'-0"



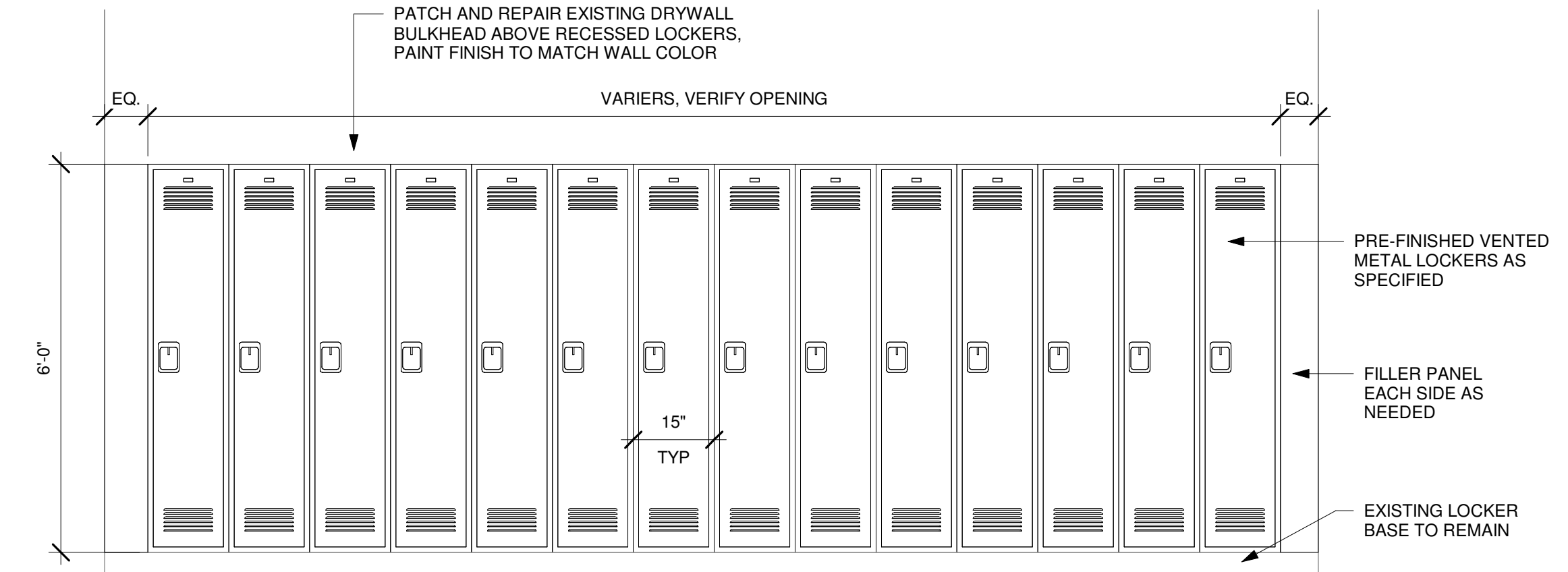
6 CORRIDOR ELEVATION

1/4" = 1'-0"



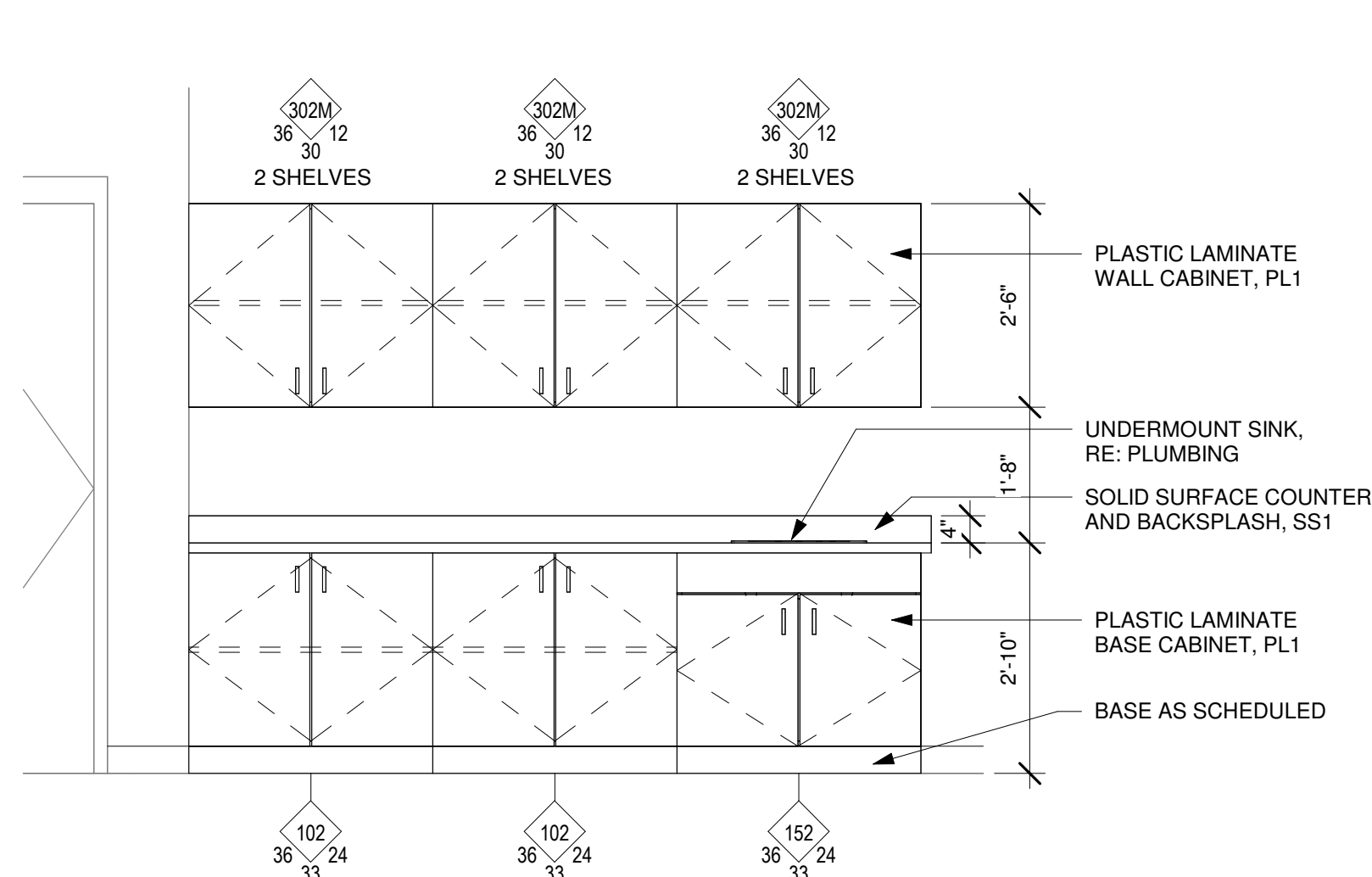
5 LOCKER ELEVATION (TYPICAL)

1/2" = 1'-0"



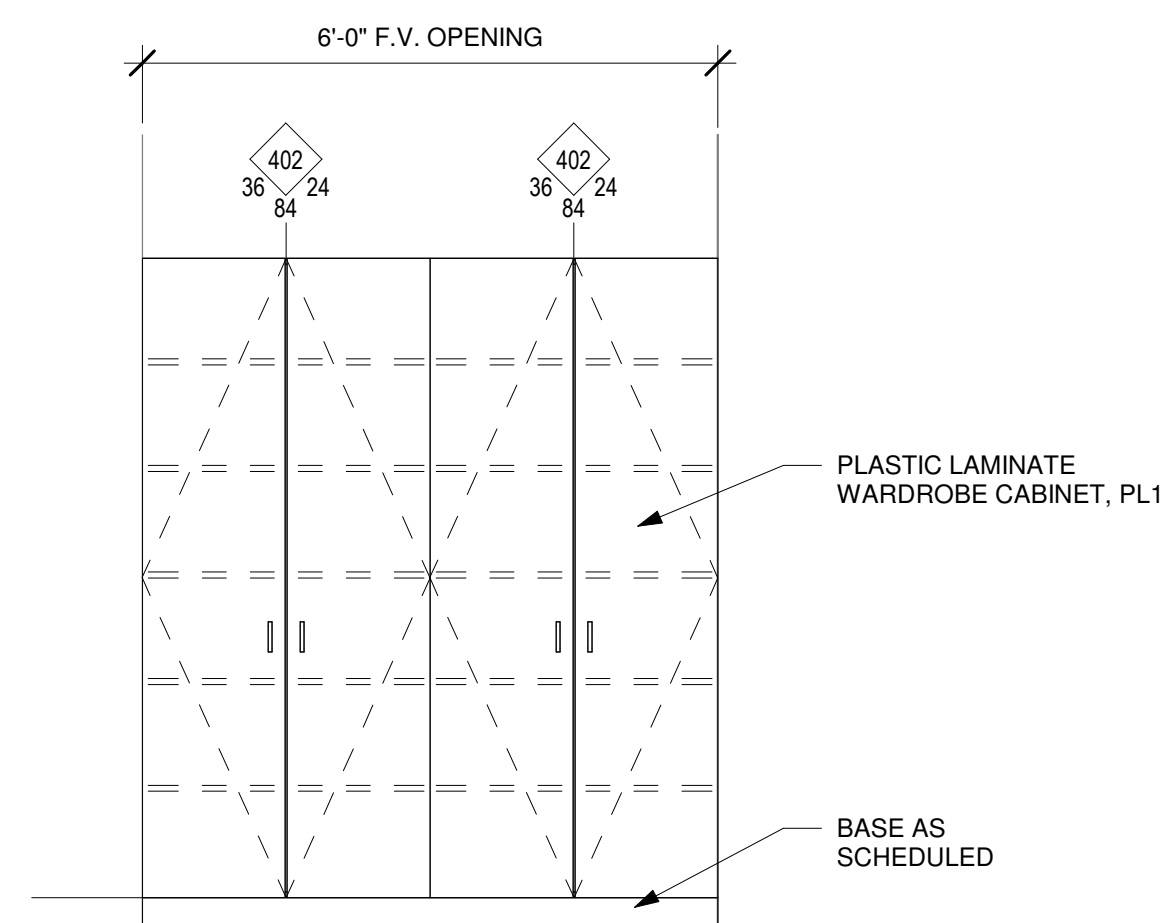
4 RECESSED LOCKER ELEVATION (TYPICAL)

1/2" = 1'-0"



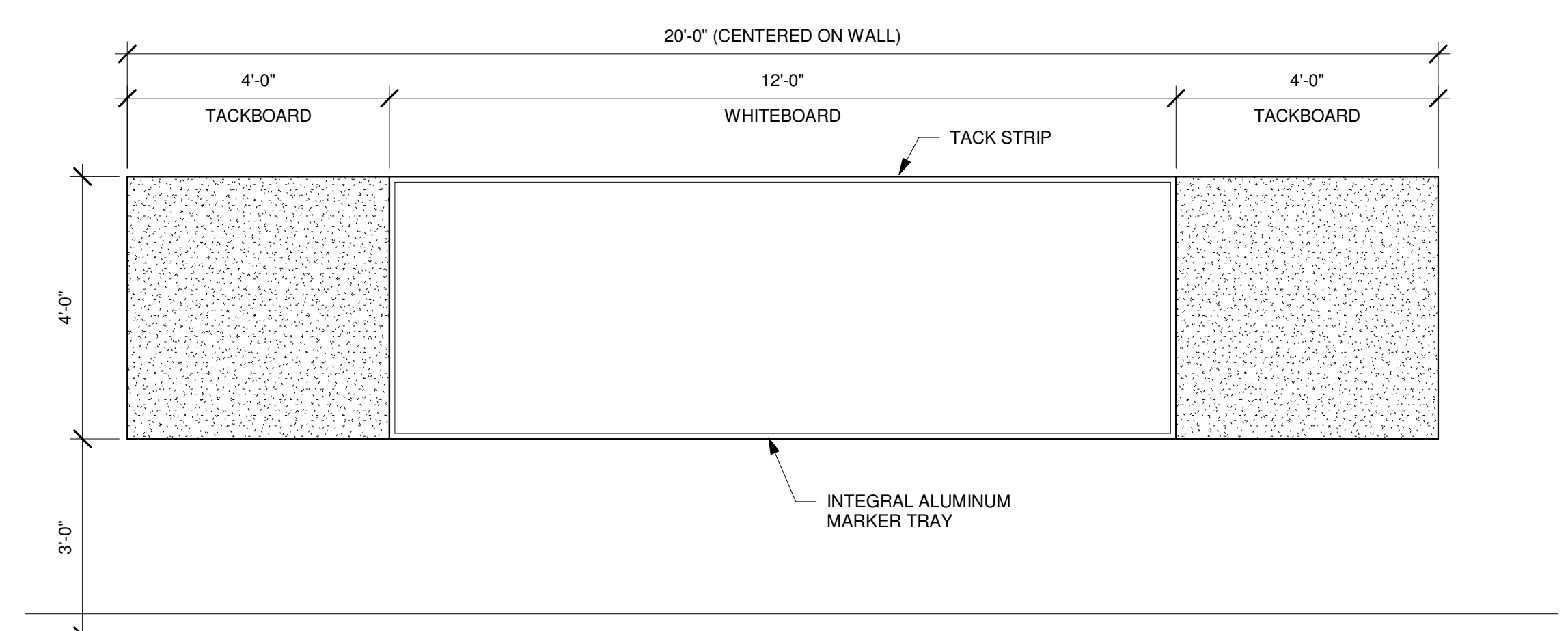
3 CONFERENCE B113 ELEVATION

1/2" = 1'-0"



2 CLASSROOM B114 ELEVATION

1/2" = 1'-0"

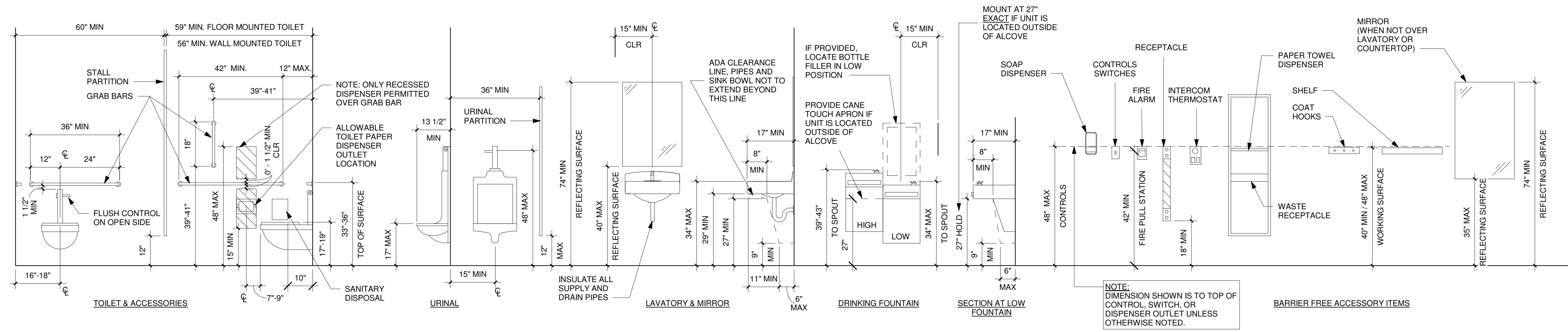


1 ADDITION CLASSROOM ELEVATION

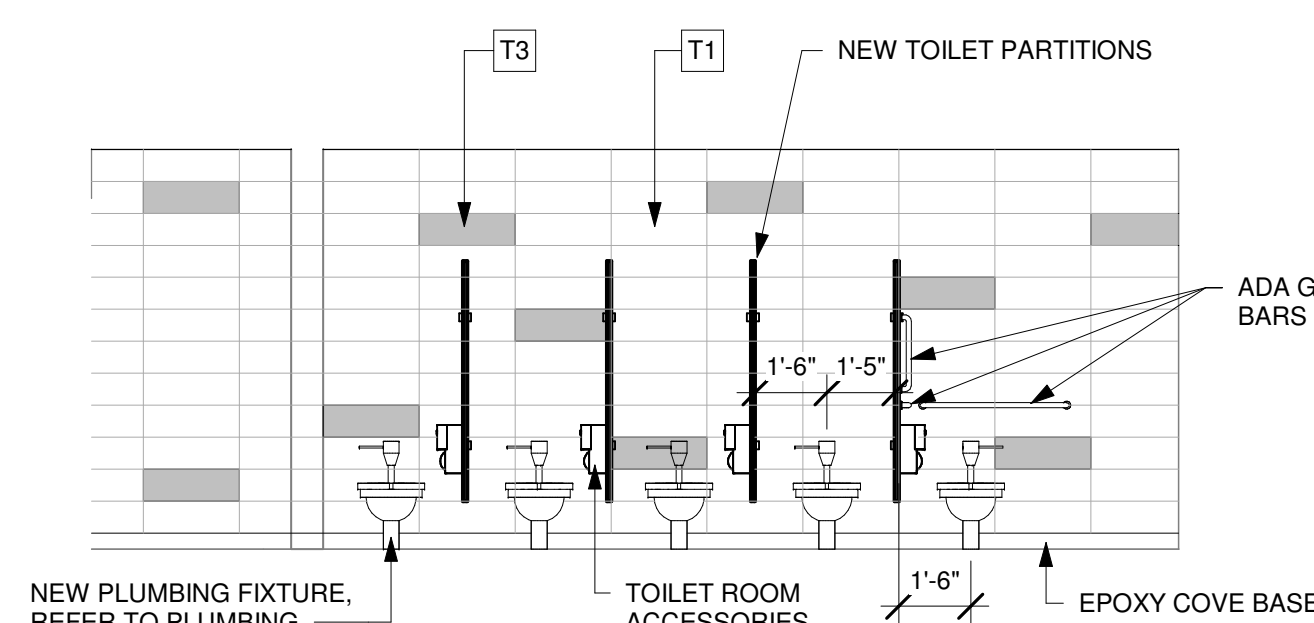
1/2" = 1'-0"

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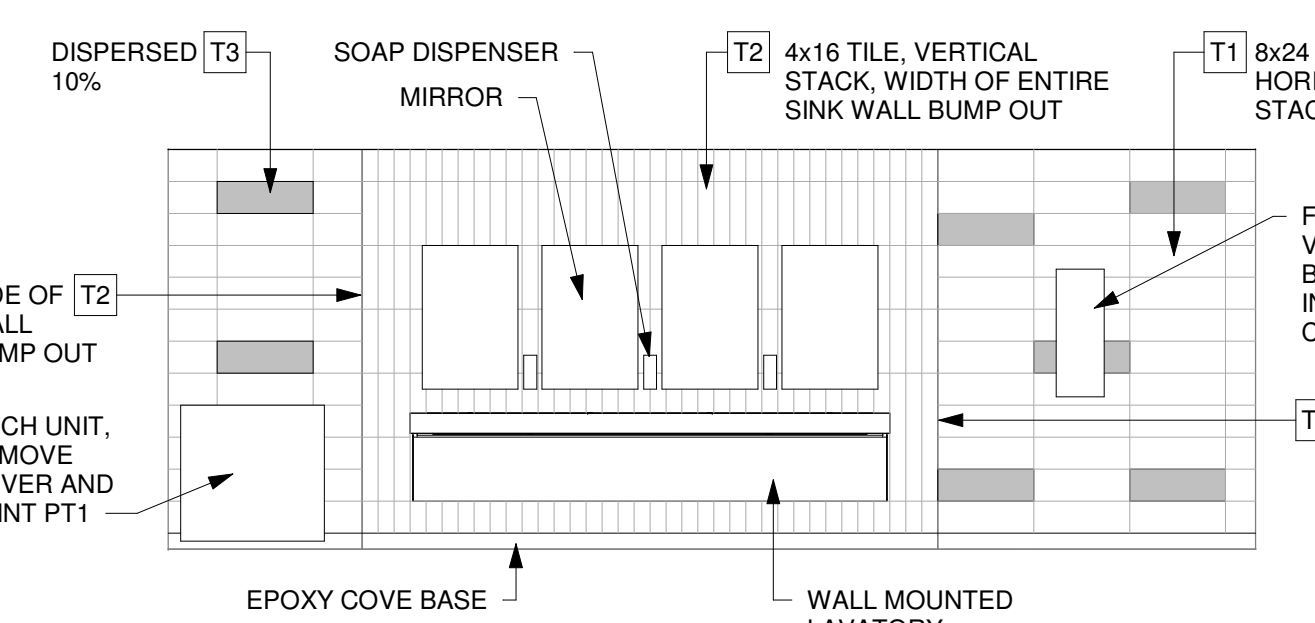
DESIGN	DRAWN	CHECKED	APPROVED



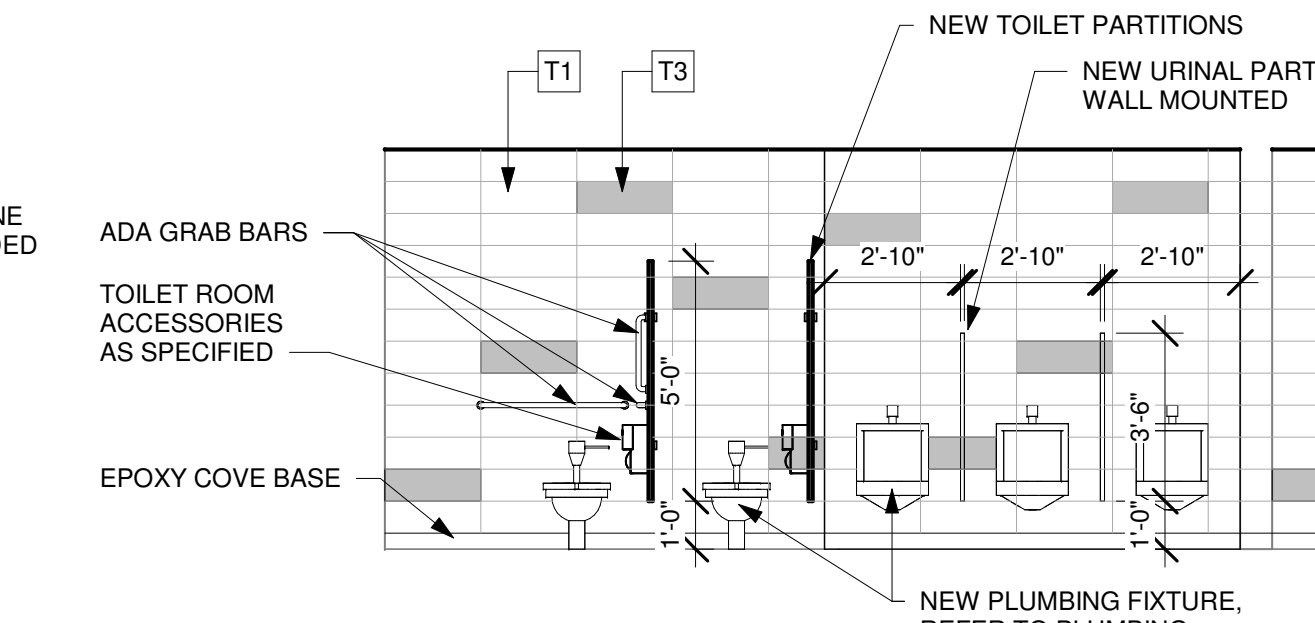
ACCESSIBLE MOUNTING HEIGHTS



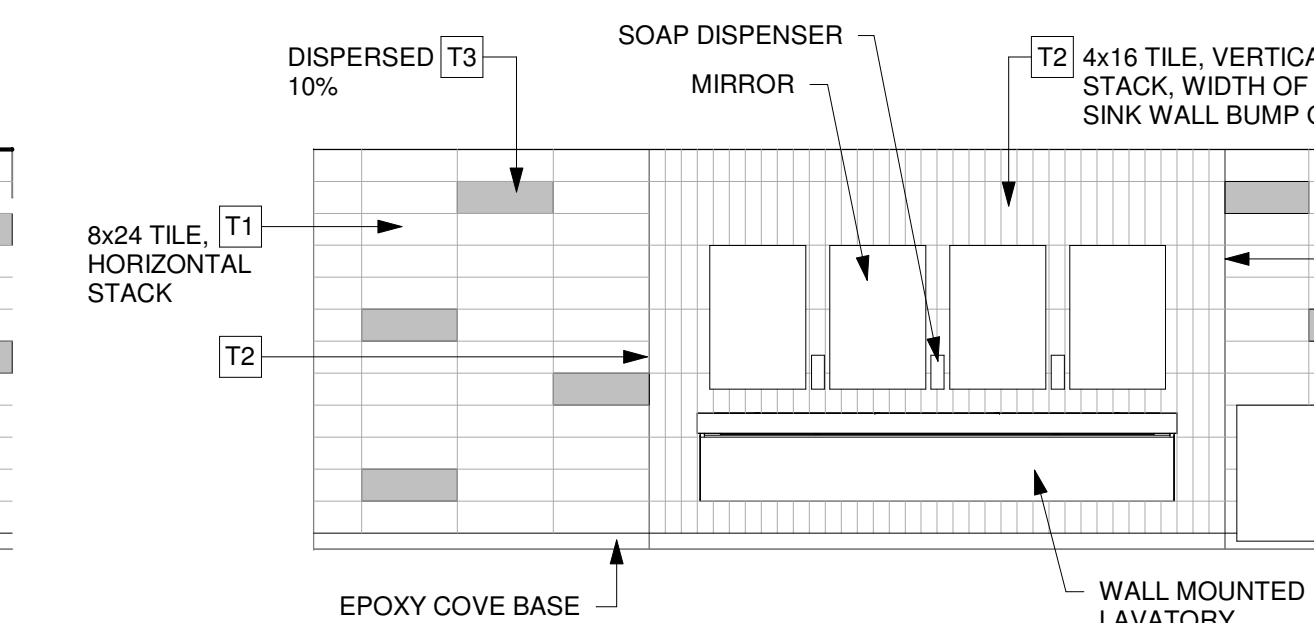
12 GIRLS ELEVATION - C102
1/4" = 1'-0"



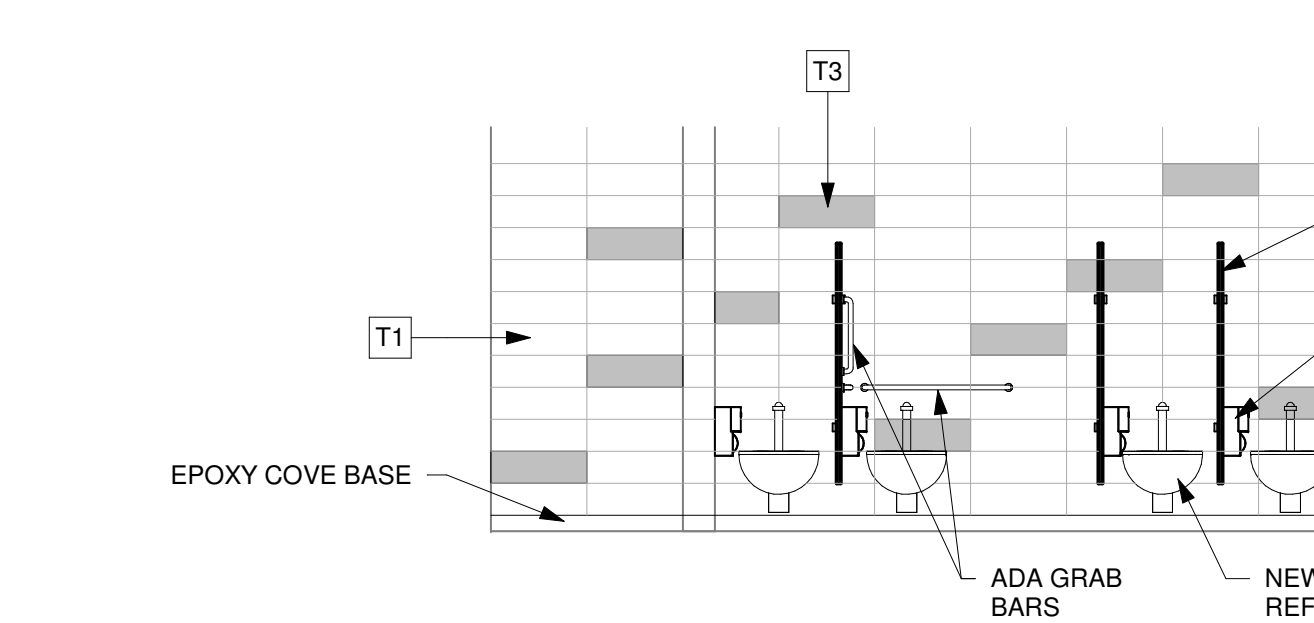
11 GIRLS ELEVATION - C102
1/4" = 1'-0"



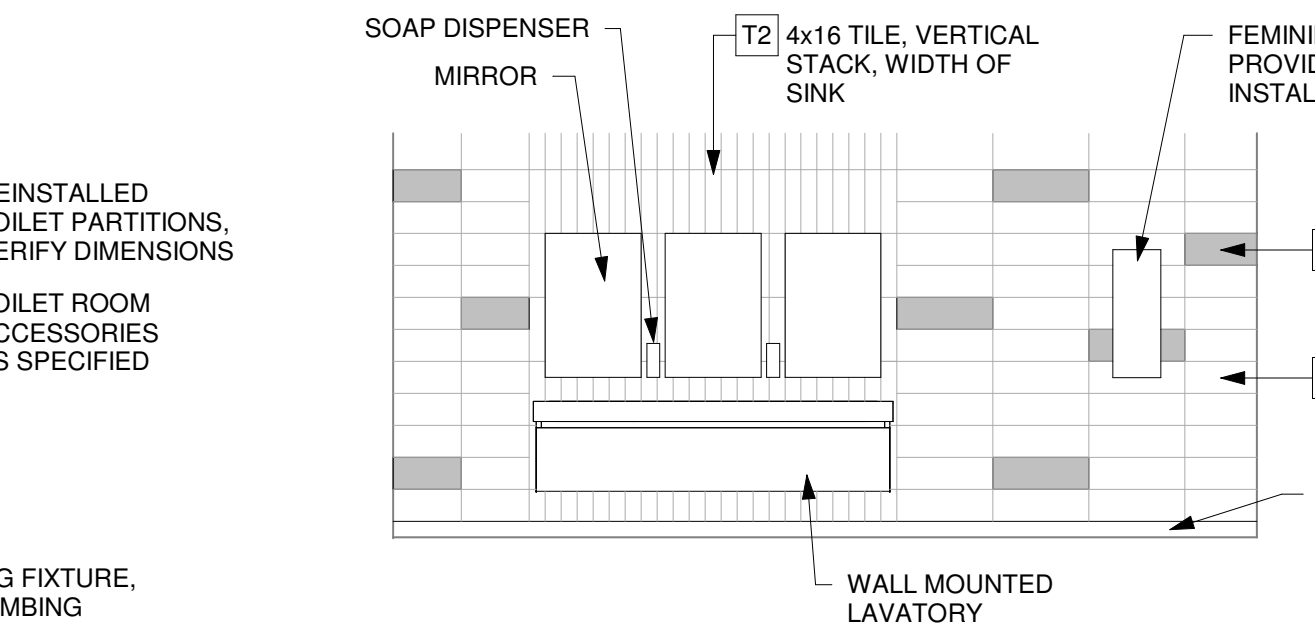
10 BOYS ELEVATION - C103
1/4" = 1'-0"



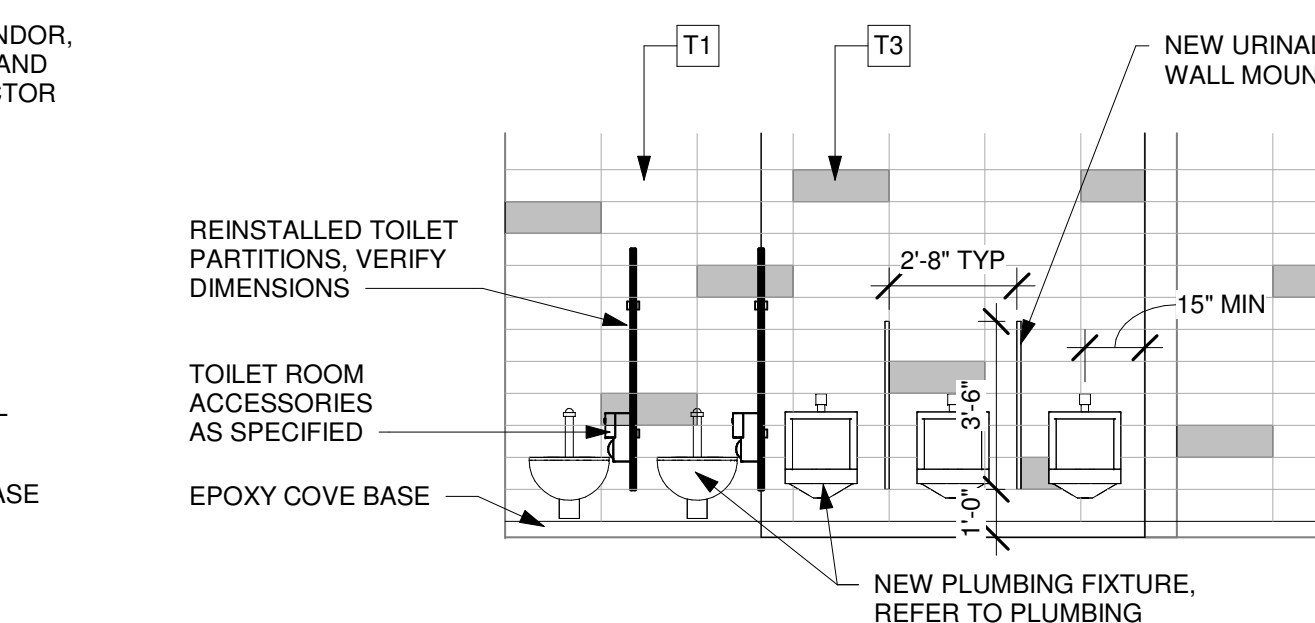
9 BOYS ELEVATION - C103
1/4" = 1'-0"



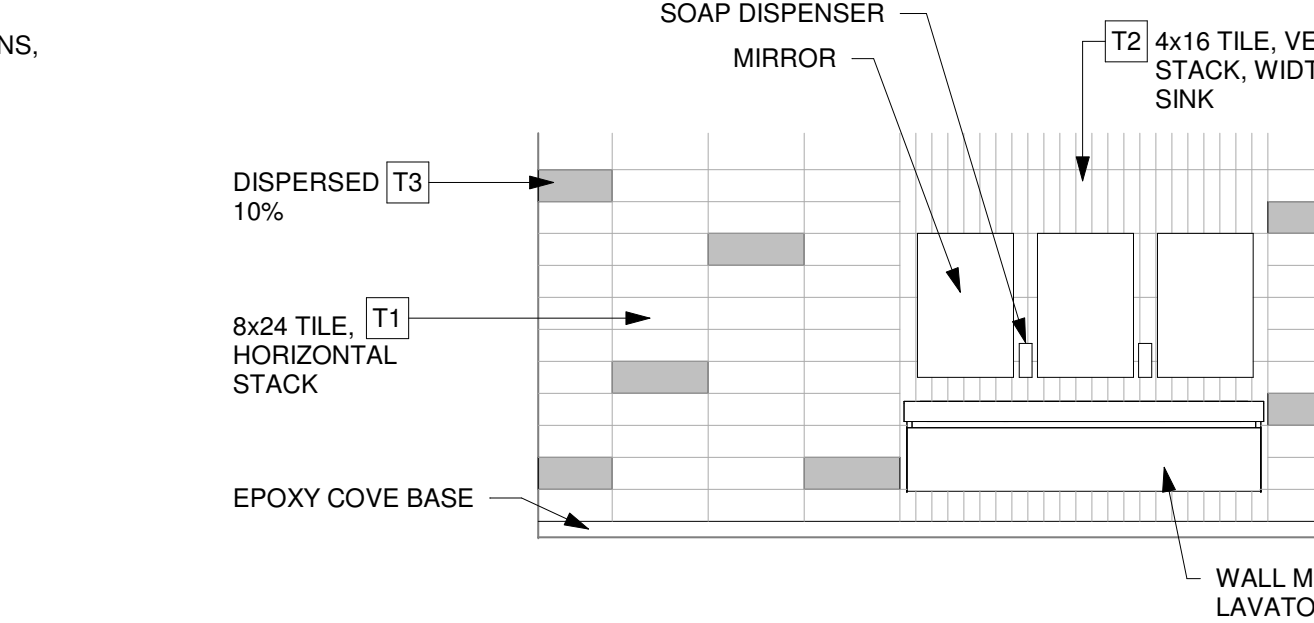
8 GIRLS ELEVATION - B109
1/4" = 1'-0"



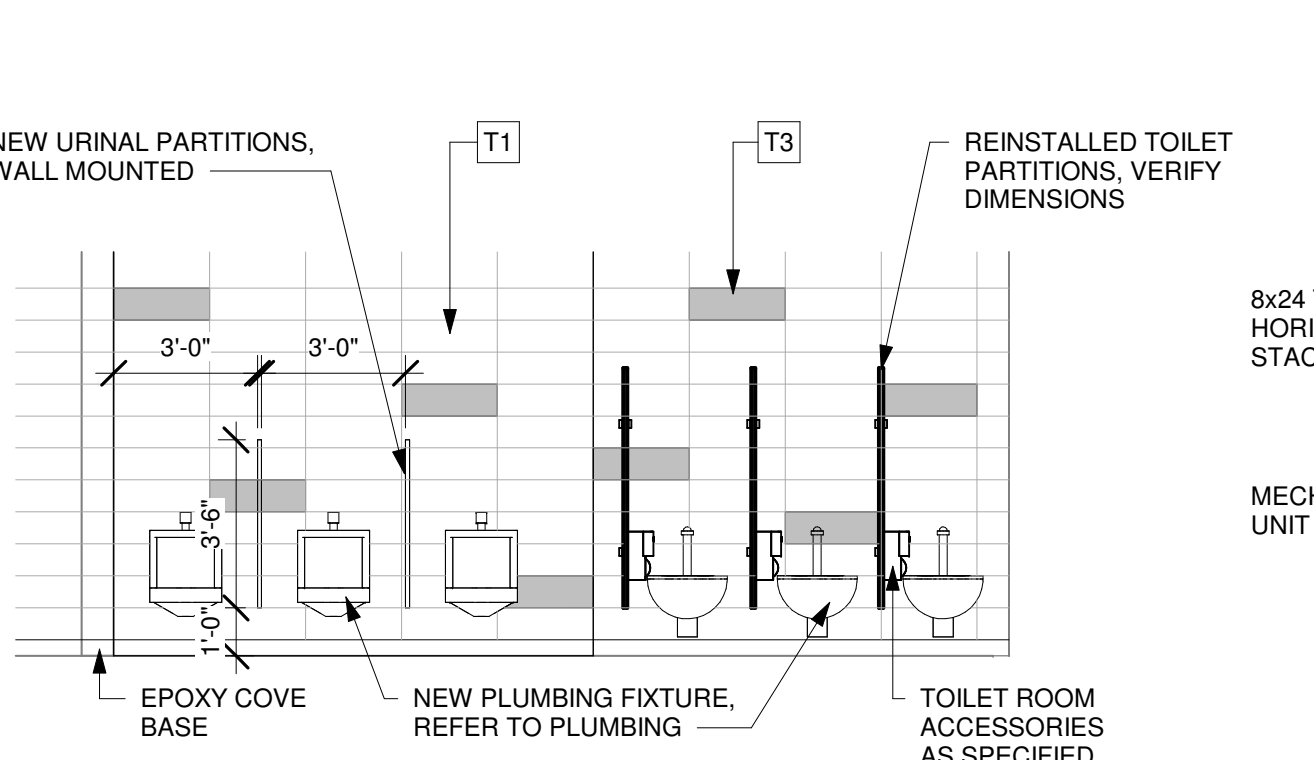
7 GIRLS ELEVATION - B109
1/4" = 1'-0"



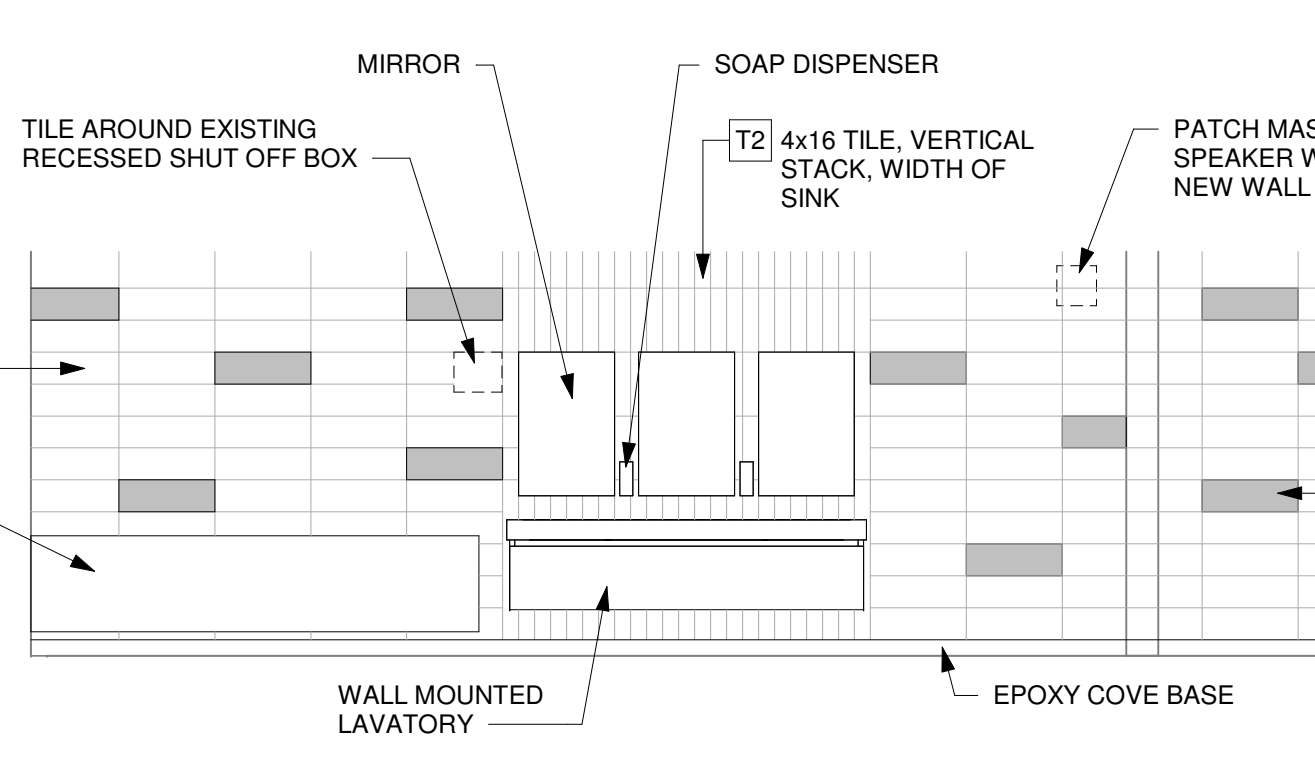
6 BOYS ELEVATION - B105
1/4" = 1'-0"



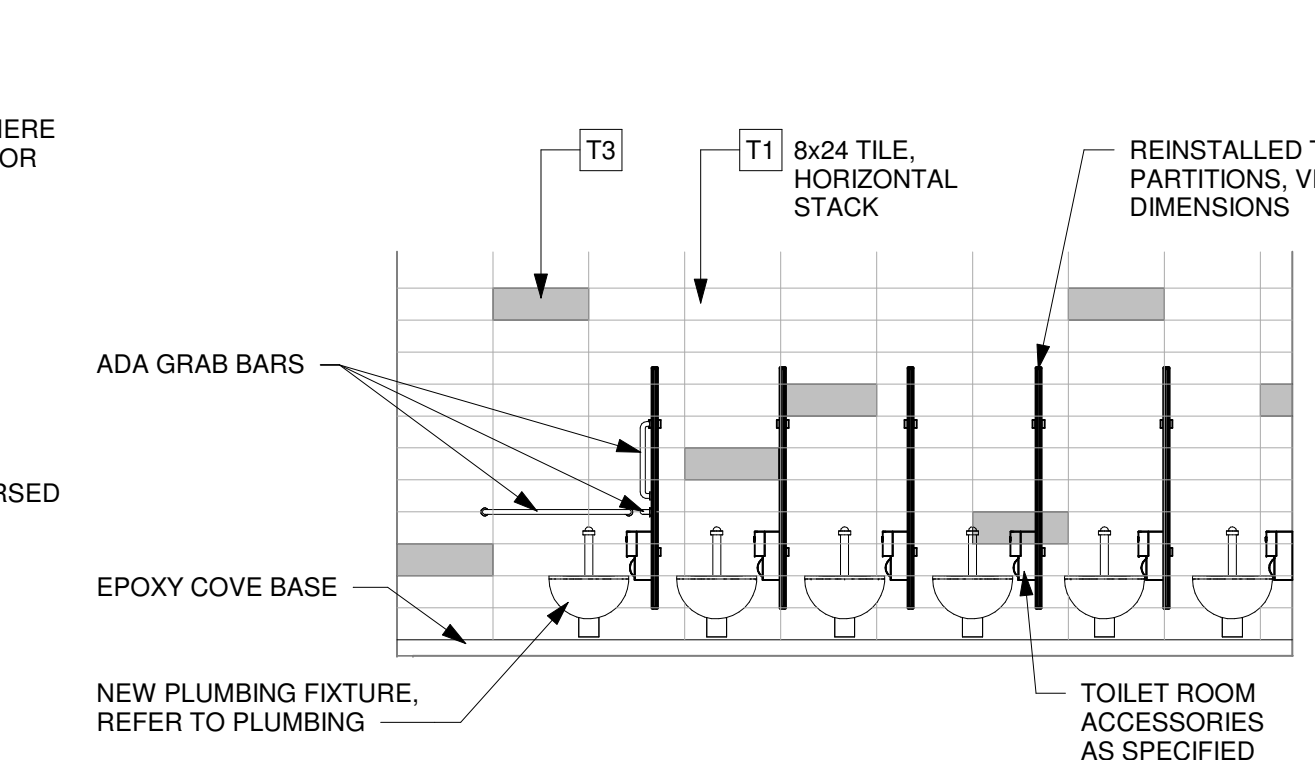
5 BOYS ELEVATION - B105
1/4" = 1'-0"



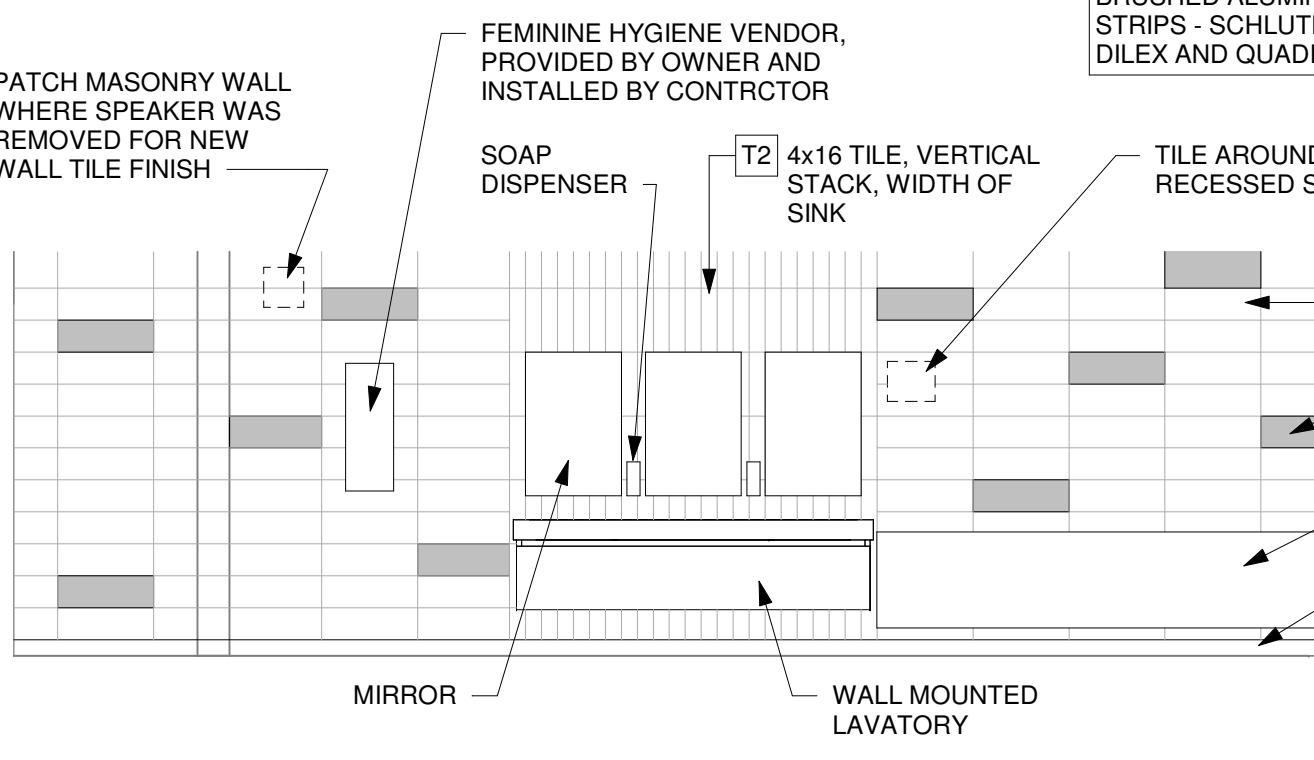
4 BOYS ELEVATION - A114
1/4" = 1'-0"



3 BOYS ELEVATION - A114
1/4" = 1'-0"



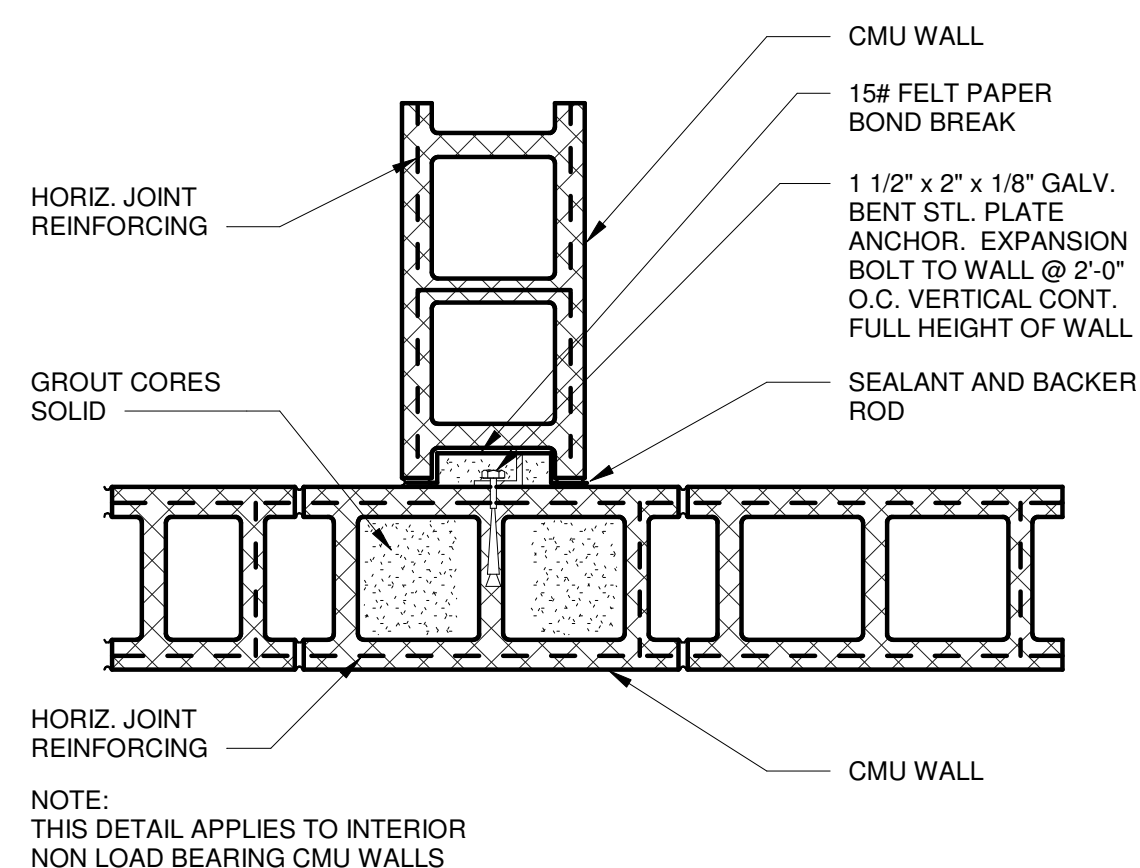
2 GIRLS ELEVATION - A115
1/4" = 1'-0"



1 GIRLS ELEVATION - A115
1/4" = 1'-0"

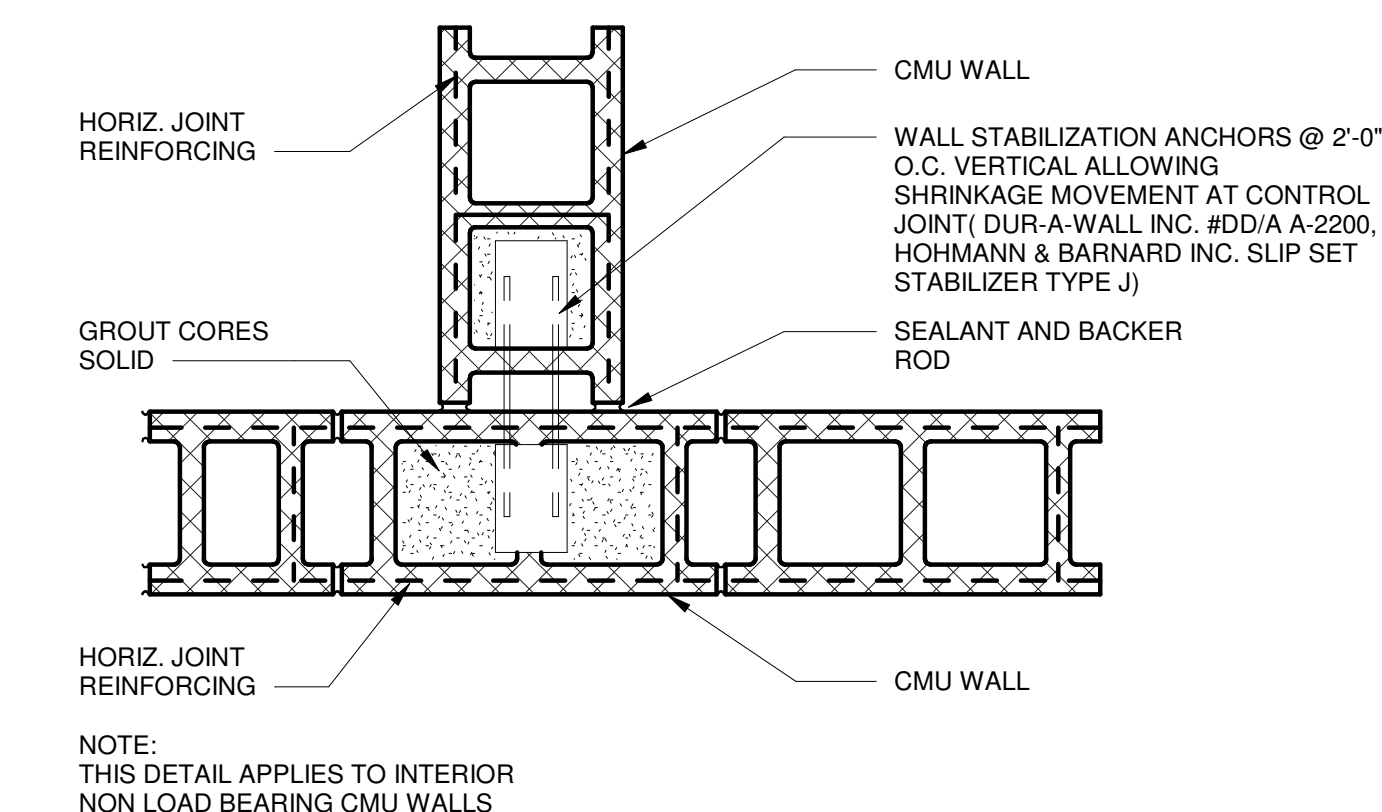
TYPICAL TILE NOTE:
AT ALL INSIDE CORNERS, OUTSIDE CORNERS, AND EDGES: PROVIDE BRUSHED ALUMINUM TRANSITION STRIPS - SCHLUTER SYSTEMS DILEX AND QUADEC

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	1/22/2024



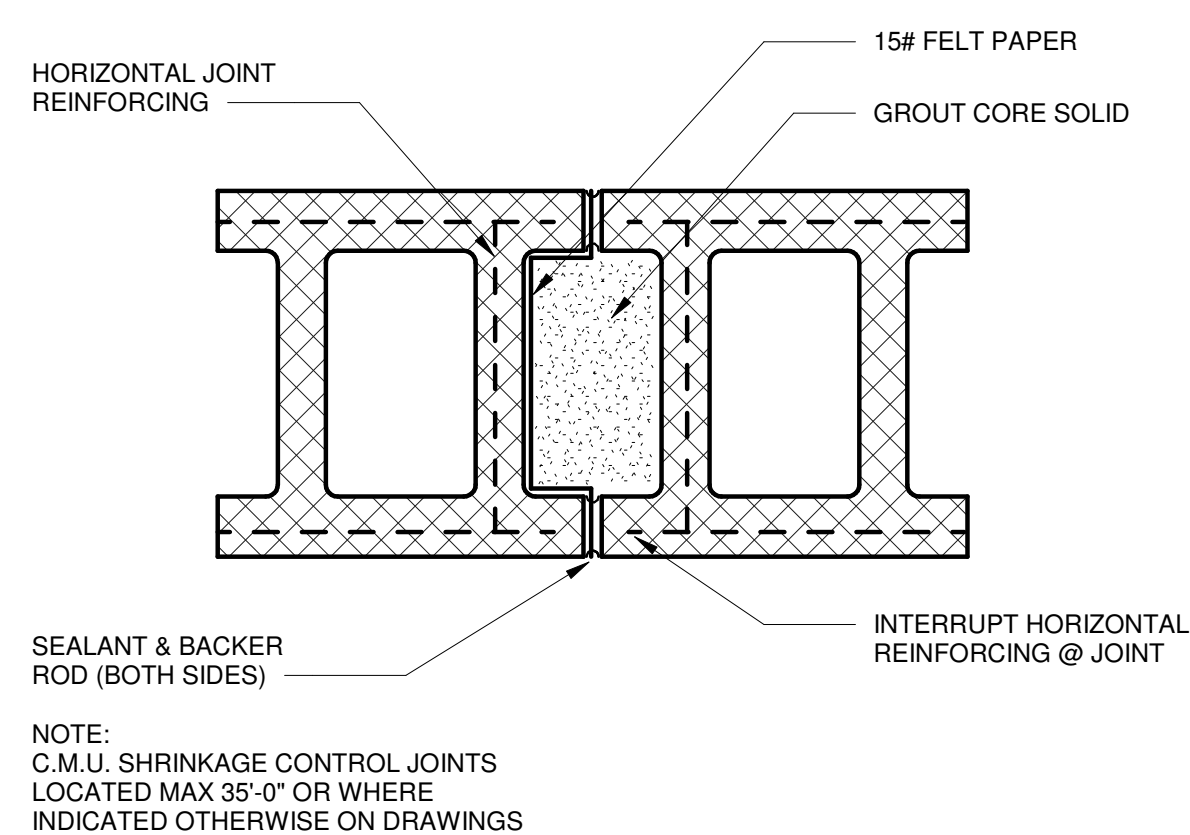
INTERIOR CMU WALL CONTROL JOINT @ PERPENDICULAR WALLS

1 1/2" = 1'-0"



INTERIOR CMU WALL CONTROL JOINT @ PERPENDICULAR WALLS

1 1/2" = 1'-0"

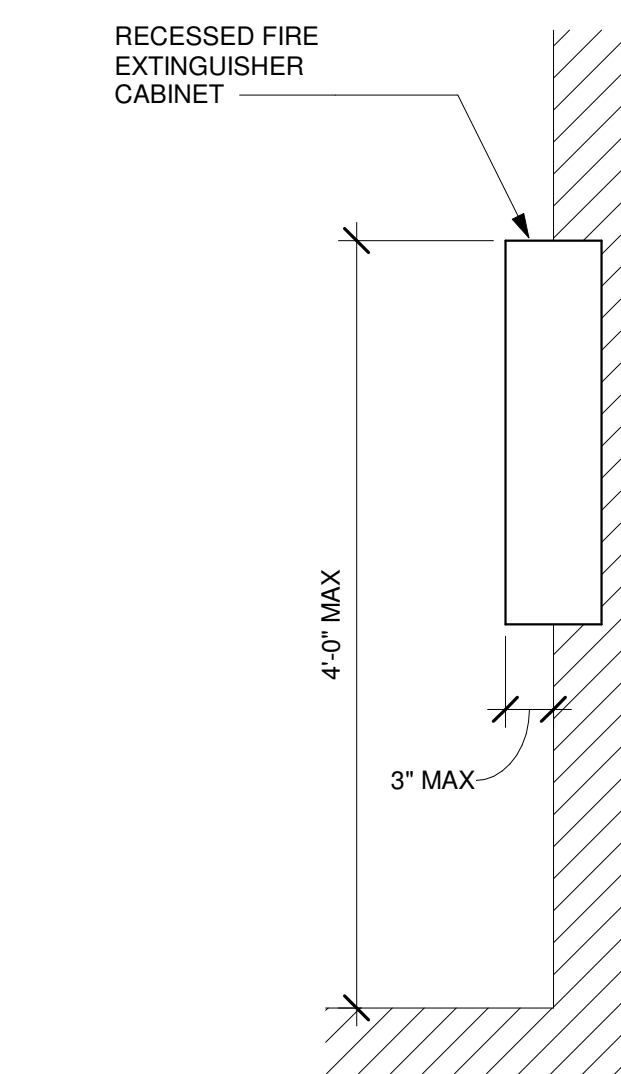
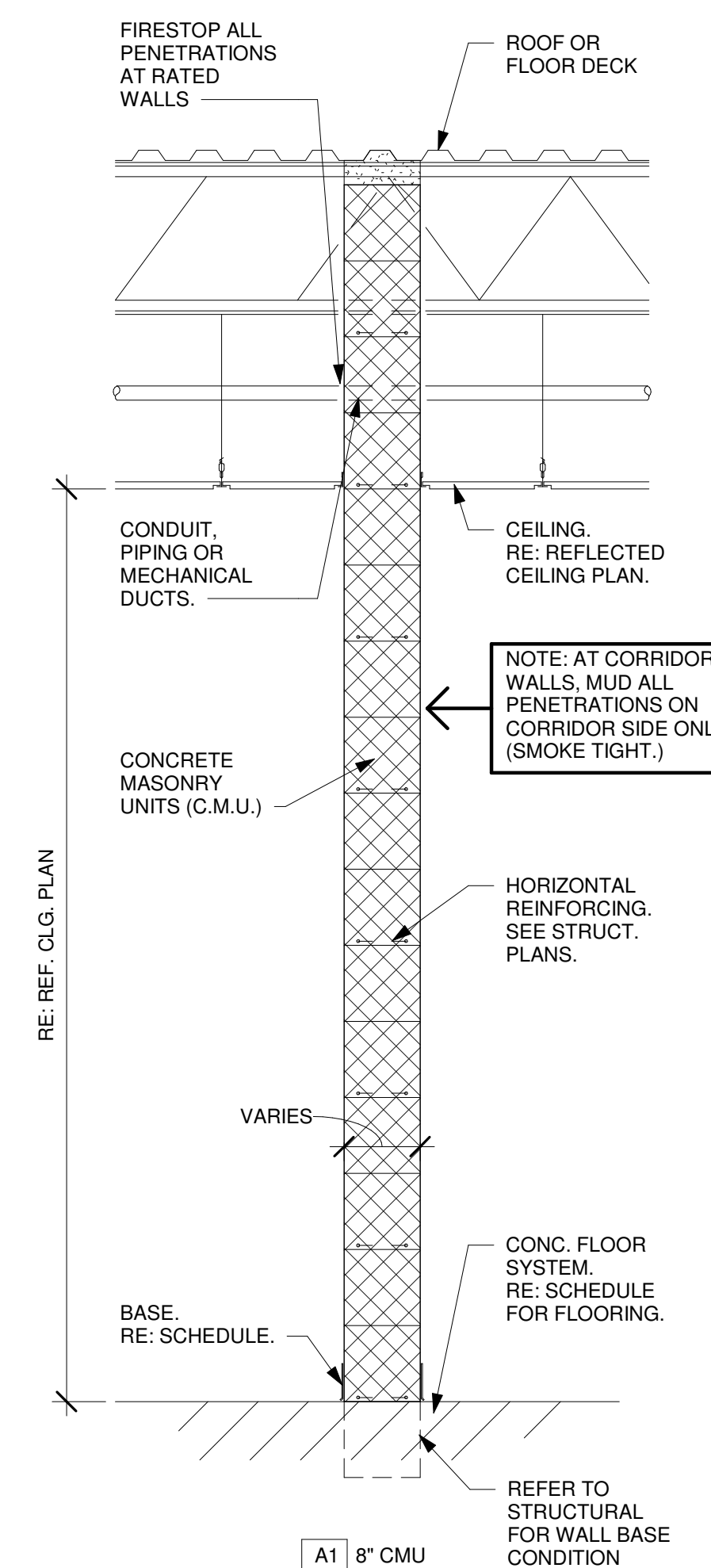
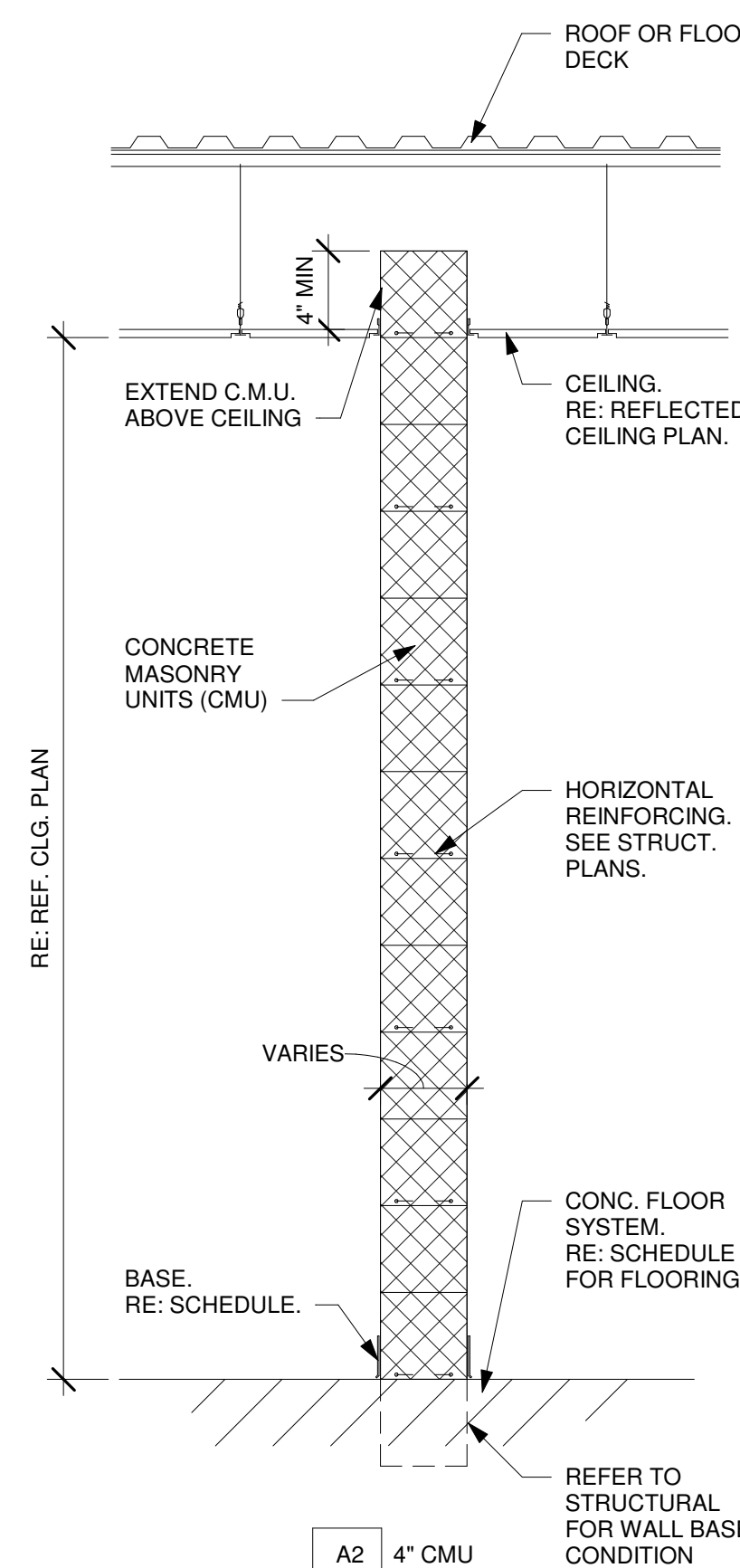
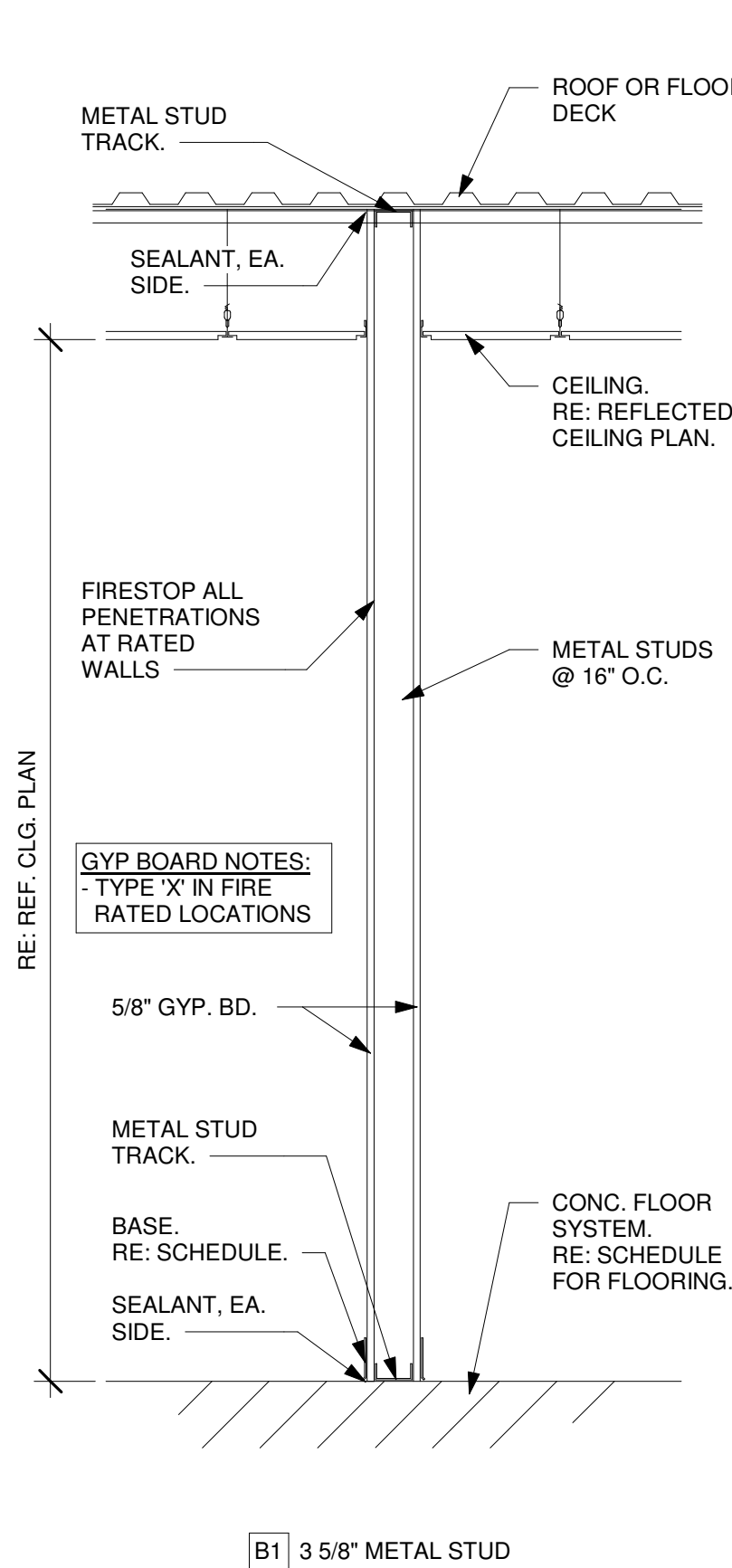


INTERIOR CMU WALL CONTROL JOINT

3" = 1'-0"

PARTITION LEGEND

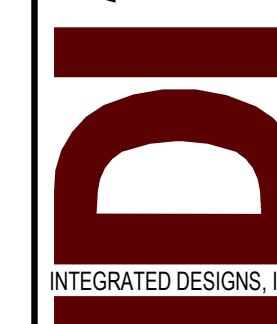
- A1 8" CMU BLOCK TO U/S OF DECK
- A2 4" CMU BLOCK TO MIN 4" ABOVE CLG
- B1 3-5/8" METAL STUD TO U/S OF DECK



① FIRE EXTINGUISHER DETAIL

1" = 1'-0"

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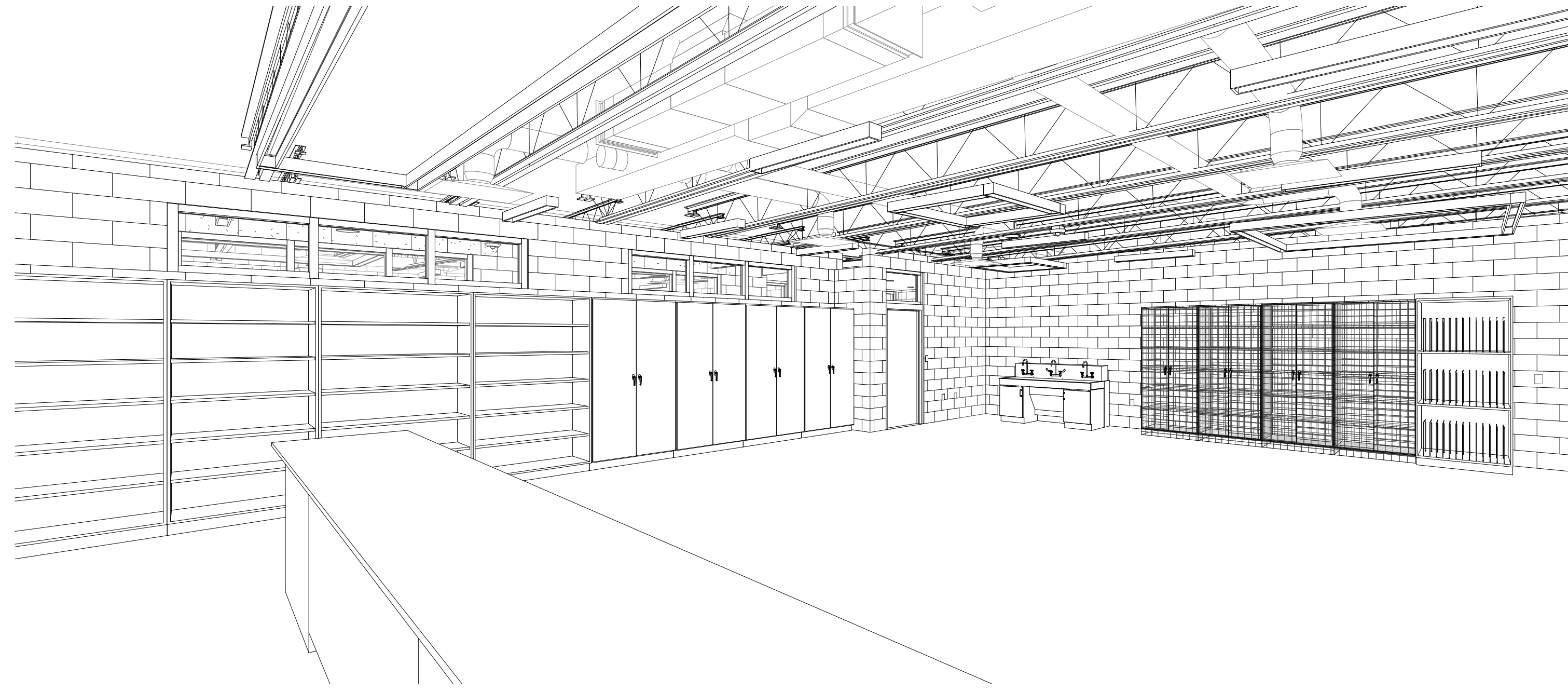
BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3A - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706

NO.	REVISIONS FOR CONSTRUCTION	DATE
0		12/20/24

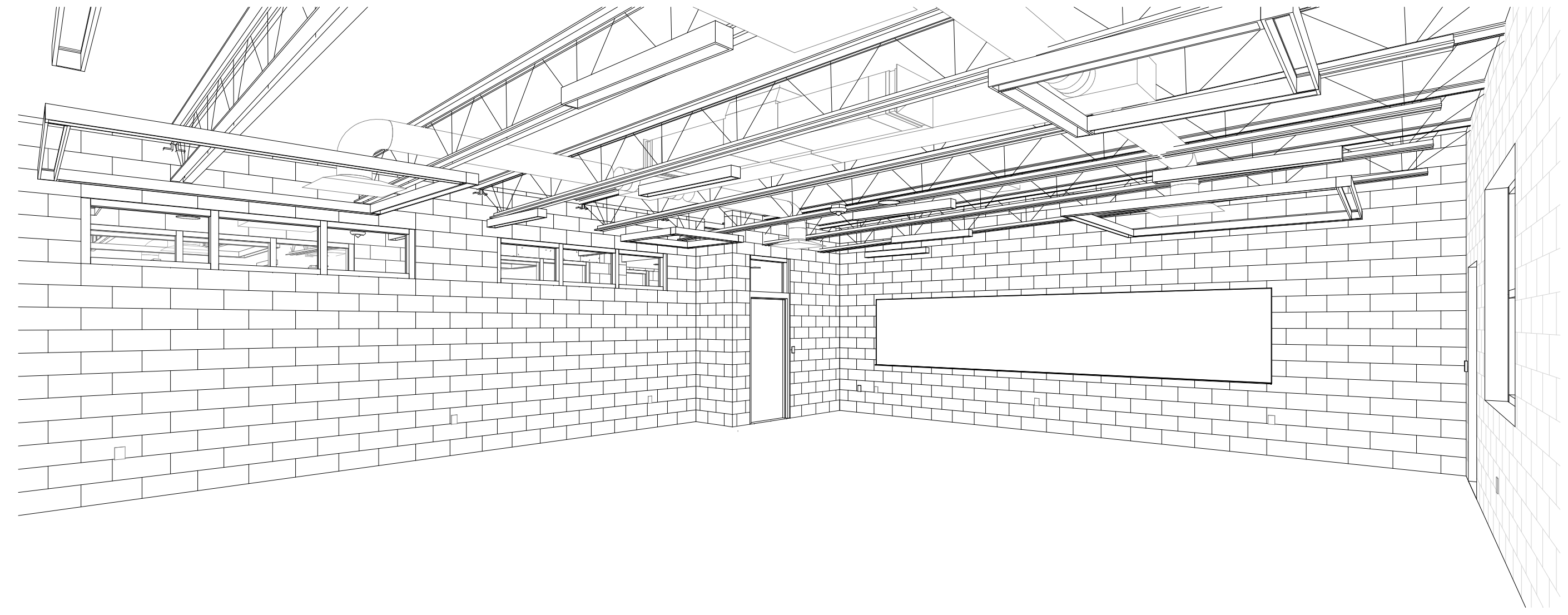
BY:
DESIGN
DRAWN
CHECKED
APPROVED

DETAILS
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A9.0

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12/20/24 10:00 AM
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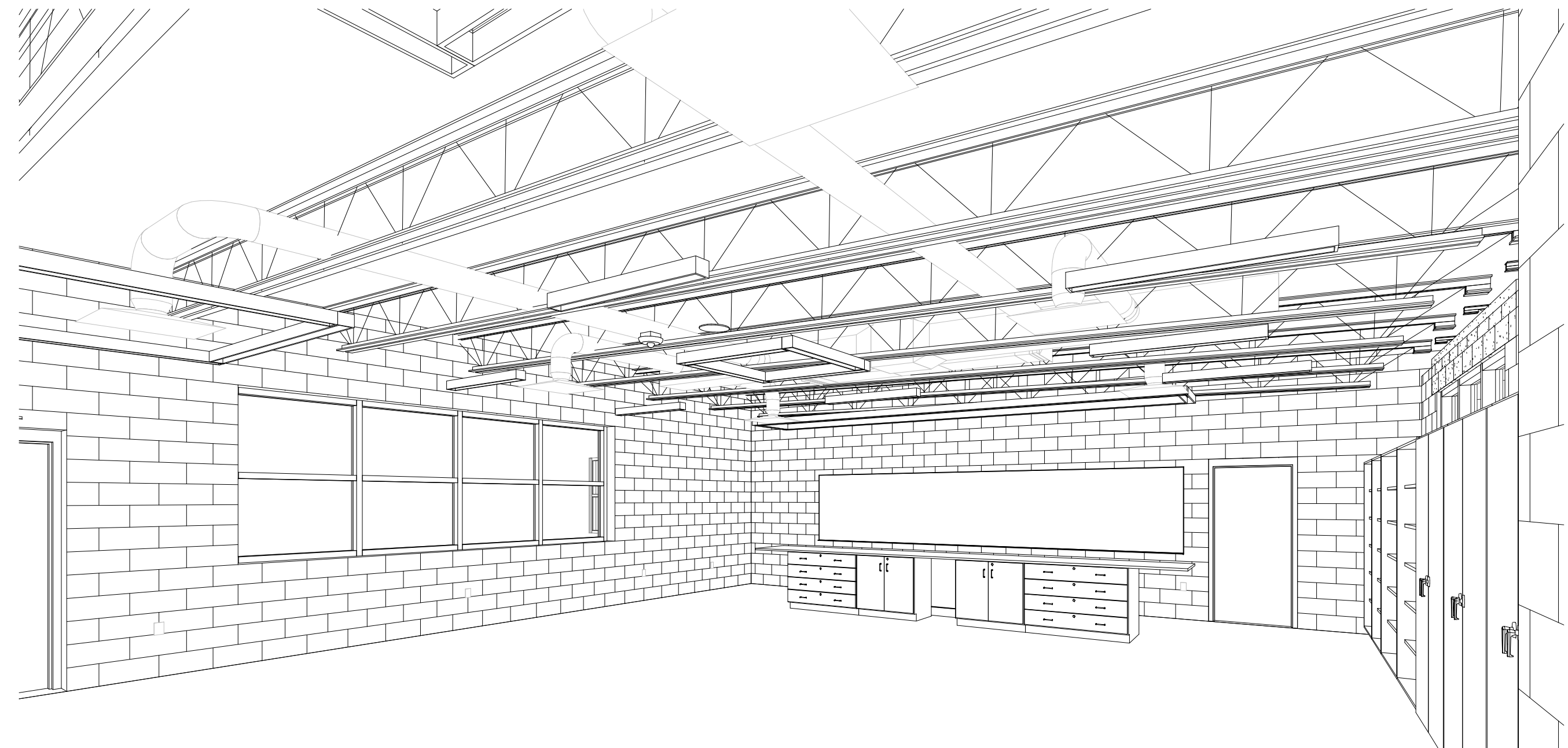


ART ROOM - BACK VIEW



CLASSROOM VIEW

FOR REFERENCE ONLY



ART ROOM - FRONT VIEW

NO.	REVISIONS	DATE
0	FOR CONSTRUCTION	12/20/24

DESIGN	CHECKED	APPROVED

ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
AAV	AUTOMATIC AIR VENT / AIR ADMITTANCE VALVE
AD	ACCESS DOOR
AE	AIR EXTRACTOR
AFB	ABOVE FINISHED FLOOR
APD	AIR PRESSURE DROP
ASR	AUTOMATIC SPRINKLER RISER
BD	BACKDRAFT DAMPER
BFP	BACKFLOW PREVENTER
BHP	BRAKE HORSEPOWER
BOD	BOTTOM OF DUCT
BTU	BRITISH THERMAL UNITS
BTUH	BRITISH THERMAL UNITS PER HOUR
BWV	BACKWATER VALVE
CAP	CAPACITY
CAV	CONSTANT AIR VOLUME
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CIRC	CIRCULATING
CLG	COOLING
CO	CLEANOUT
CONT	CONTINUATION / CONTINUED
CONV	CONVECTOR
CUH	CABINET UNIT HEATER
CV	CONTROL VALVE
DB	DRY BULB TEMPERATURE
DEG	DEGREE
DDC	DIRECT DIGITAL CONTROL
DN	DOWN
DTC	DRAIN TILE CONNECTION
DWH	DOMESTIC WATER HEATER
(E)	EXISTING
EA / EX	EXHAUST AIR
EA	ENTERING AIR
EDB	ENTERING DRY BULB
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EM	ENERGY MANAGEMENT
ESP	EXTERNAL STATIC PRESSURE
EWB	ENTERING WET BULB
EWH	ELECTRIC WATER HEATER
°F	DEGREES FAHRENHEIT
F	FIRE
FA	FREE AREA (LOUVER) / FACE AREA (COIL)
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FFD	FUNNEL FLOOR DRAIN
FLA	FULL LOAD AMPS
PPM	FEET PER MINUTE
FS	FLOOR SINK
FT	FEET
GAL	GALLONS
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HB	HOSE BIBB
HD	HUB DRAIN
HP	HORSEPOWER
HR	HOUR
HTG	HEATING
HYD	HYDRANT
HZ	HERTZ
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES

ABBREVIATIONS CONT.	
ABBREVIATION	DESCRIPTION
INV	INVERT
ISP	INTERNAL STATIC PRESSURE
IW	INDIRECT WASTE
KW	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LAV	LAVATORY
LBS / HR	POUNDS PER HOUR
LDB	LEAVING DRY BULB TEMPERATURE
LRA	LOCKED ROTOR AMPS
LWB	LEAVING WET BULB TEMPERATURE
MAV	MANUAL AIR VENT
MAX	MAXIMUM
MBH	1,000 BRITISH THERMAL UNITS PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MOD	MOTOR OPERATED DAMPER (AUTOMATIC)
MOP	MAXIMUM OVER-CURRENT PROTECTION
N.C.	NOISE CRITERIA
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NO	NORMALLY OPEN
NOM	NOMINAL
OA	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OED	OPEN ENDED DUCT
ORS	OVERFLOW ROOF SUMP
OS&Y	OUTSIDE SCREW AND YOKE
PD	PRESSURE DROP (FEET OF WATER)
PRV	PRESSURE REDUCING VALVE
PSIA	POUNDS PER SQUARE INCH - ABSOLUTE
PSIG	POUNDS PER SQUARE INCH - GAUGE
PT	PRESSURE / TEMPERATURE PORT
RA	RETURN AIR
RD	ROOF DRAIN
REL. A	RELIEF AIR
REQ	REQUIRE
RPM	REVOLUTIONS PER MINUTE
RPZ	REDUCED PRESSURE ZONE
SA	SUPPLY AIR
SH	SHOWER
SP	STATIC PRESSURE
SOFT / SF	SQUARE FOOT / SQUARE FEET
SS	SERVICE SINK
T	TEMPERATURE
T&P	TEMPERATURE AND PRESSURE
TS	TOTAL STATIC
TYP	TYPICAL
U	URINAL
UG	UNDERGROUND
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
VD	VOLUME DAMPER (MANUALLY ADJUSTABLE)
VFD	VARIABLE FREQUENCY DRIVE
VTR	VENT THRU ROOF
W	WASTE
WBV	WASTE & VENT
WB	WET BULB TEMPERATURE
WC	WATER CLOSET
WG	WATER GAUGE
WH	WATER HEATER

MECHANICAL SYMBOLS	
SYMBOL	DESCRIPTION
	RECTANGULAR TAKE-OFF
	ROUND TAKE-OFF
	RECTANGULAR ELBOW (WITH TURNING VANES)
	RECTANGULAR RADIUS ELBOW
	ROUND RADIUS ELBOW
	RECTANGULAR ELBOW UP
	RECTANGULAR ELBOW DOWN
	ROUND ELBOW DOWN
	CONCENTRIC TRANSITION
	ECCENTRIC TRANSITION
	INCLINED RISE IN DIRECTION OF AIRFLOW
	INCLINED DROP IN DIRECTION OF AIRFLOW
	FLEXIBLE CONNECTION
	FLEXIBLE DUCT CONNECTION
	SUPPLY DIFFUSER
	LINEAR SLOT DIFFUSER
	RETURN DIFFUSER
	EXHAUST DIFFUSER
	TRANSFER GRILLE
	SUPPLY DUCT CROSS SECTION
	RETURN DUCT CROSS SECTION
	FIRE DAMPER
	SMOKE DAMPER
	COMBINATION FIRE / SMOKE DAMPER
	VOLUME DAMPER (MANUALLY ADJUSTABLE)
	MOTORIZED DAMPER
	SMOKE DETECTOR
	CARBON DIOXIDE SENSOR
	THERMOSTAT OR TEMPERATURE SENSOR
	HUMIDISTAT OR HUMIDITY SENSOR
	SENSOR
	RETURN OR EXHAUST / SUPPLY AIR FLOW
	DOOR GRILLE
	UNDERCUT DOOR 1"

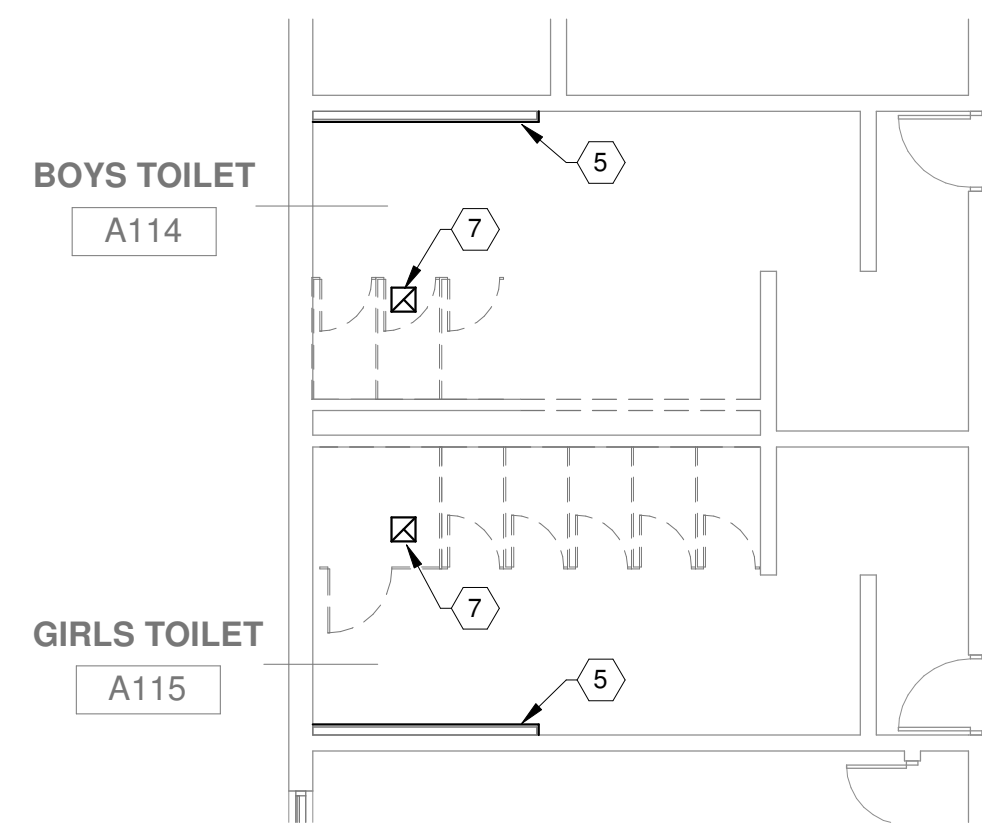
PIPING SYMBOLS	
SYMBOL	DESCRIPTION
	PIPE ELBOW UP
	PIPE ELBOW DOWN
	PIPE TEE TOWN
	DIRECTION OF FLOW
	UNION
	STRAINER
	REDUCER
	EXPANSION JOINT
	FLEXIBLE CONNECTION
	PIPE ANCHOR
	PIPE GUIDE
	PIPE CAP OR PLUG
	GATE VALVE
	PUMP
	GLOBE VALVE
	BALL VALVE
	BUTTERFLY VALVE
	ANGLE VALVE
	CHECK VALVE
	PLUG VALVE
	OUTSIDE SCREW AND YOKE VALVE (OS&Y)
	THERMOMETER
	PRESSURE REGULATING VALVE
	SOLENOID VALVE
	CONTROL VALVE (2 WAY / 3 WAY)
	CENTRIFUGAL FAN
	FLOOR DRAIN
	FLOOR DRAIN
	ROOF SUMP / DRAIN
	FLOOR CLEAN OUT
	CLEAN OUT (IN LINE)
	WALL CLEAN OUT
	WATER METER ASSEMBLY
	HOSE BIBB / WALL HYDRANT
	SPRINKLER HEAD (PENDANT)
	SPRINKLER HEAD (UPRIGHT)
	SPRINKLER HEAD (SIDE WALL)
	SLOPE
	FLOW SWITCH
	SIAMESE CONNECTION (YARD)
	SIAMESE CONNECTION (WALL MOUNTED)
	COMBINATION FLOW MEASURING AND BALANCING DEVICE
	AUTOMATIC AIR VENT
	MANUAL AIR VENT
	HOSE END VALVE
	SAFETY RELIEF VALVE
	PRESSURE GAUGE
	BALANCING COCK
	STRAINER W/ BLOW OFF VALVE

DRAWING NOTATION	
SYMBOL	DESCRIPTION
	KEY NOTE
	EQUIPMENT DESIGNATION AND NUMBER
	AIR TERMINAL TAG
	EXISTING DEVICES OR EQUIPMENT
	NEW OR MODIFIED DEVICES OR EQUIPMENT
	REVISIONS
	POINT OF NEW CONNECTION TO EXISTING
	SUPPLY DIFFUSER, DARKENED AREAS SIGNIFY BLANKED OFF SECTIONS
	ROOM NAME AND NUMBER
	SECTION CUT (NUMBER OF SECTION - TOP / CORRESPONDING VIEW - BOTTOM)
	DETAIL (NUMBER OF DETAIL - TOP / CORRESPONDING VIEW - BOTTOM)
	ENLARGED VIEW (NUMBER OF VIEW - TOP / CORRESPONDING VIEW - BOTTOM)

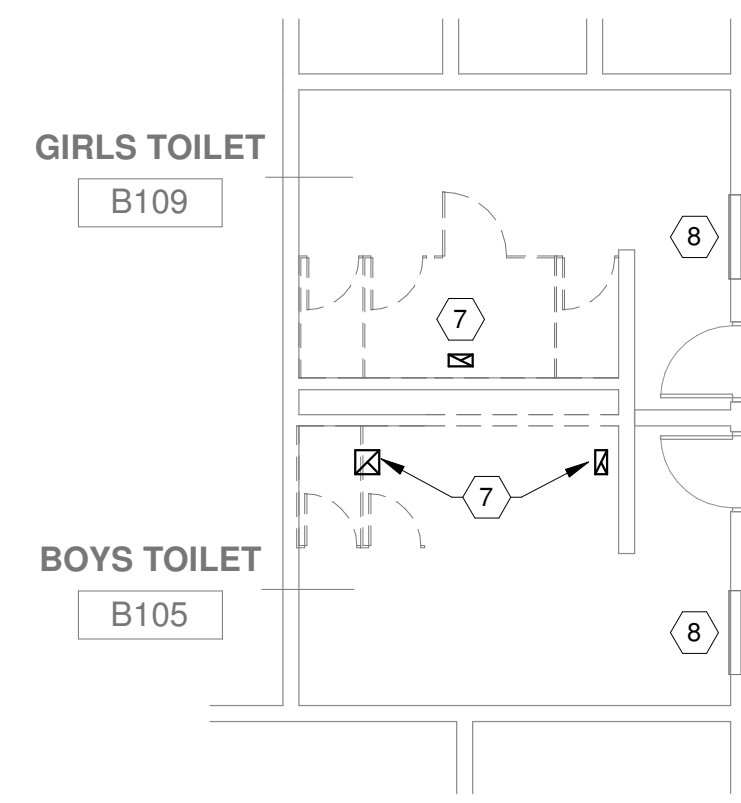
PIPING LEGEND	
SYMBOL	DESCRIPTION
	ACID WASTE
	CHILLED OR CONDENSER WATER RETURN
	CHILLED OR CONDENSER WATER RETURN
	COMPRESSED AIR
	CONDENSATE / EQUIPMENT DRAIN
	DOMESTIC COLD WATER
	DOMESTIC HOT WATER
	DOMESTIC HOT WATER REQIRC.
	DRAIN TILE
	FIRE PROTECTION
	HEATING HOT WATER OR HEAT PUMP RETURN
	HEATING HOT WATER OR HEAT PUMP SUPPLY
	HOT GAS BYPASS
	MEDICAL AIR
	NATURAL GAS
	NATURAL GAS
	OXYGEN GAS
	PROPANE
	REFRIGERANT LIQUID
	REFRIGERANT SUCTION
	SANITARY WASTE
	SANITARY WASTE UNDERGROUND
	STEAM
	STEAM CONDENSATE
	STORM SEWER
	STORM SEWER UNDERGROUND
	TEMPERED WATER
	VACUUM
	VENT

APPLICABLE CODES AND REGULATIONS	
YEAR	CODE
2018	MICHIGAN PLUMBING CODE
2015	MICHIGAN MECHANICAL CODE
2009	MICHIGAN UNIFORM ENERGY CODE
2015	INTERNATIONAL FIRE CODE
2015	INTERNATIONAL FUEL GAS CODE
2009	NFPA 90A
2014	NFPA 96
2013	NFPA 13, NFPA 14, NFPA 20

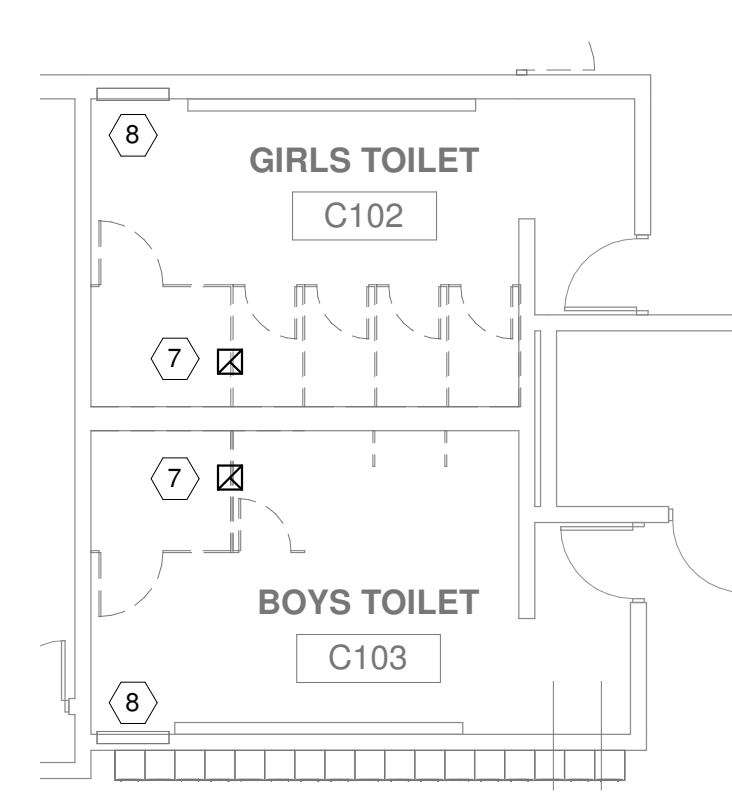
NO.	REVISIONS	DATE
A	SCHEMATIC DESIGN	09.30.24
B	OWNER REVIEW	12.09.24
0	FOR CONSTRUCTION	12.20.24



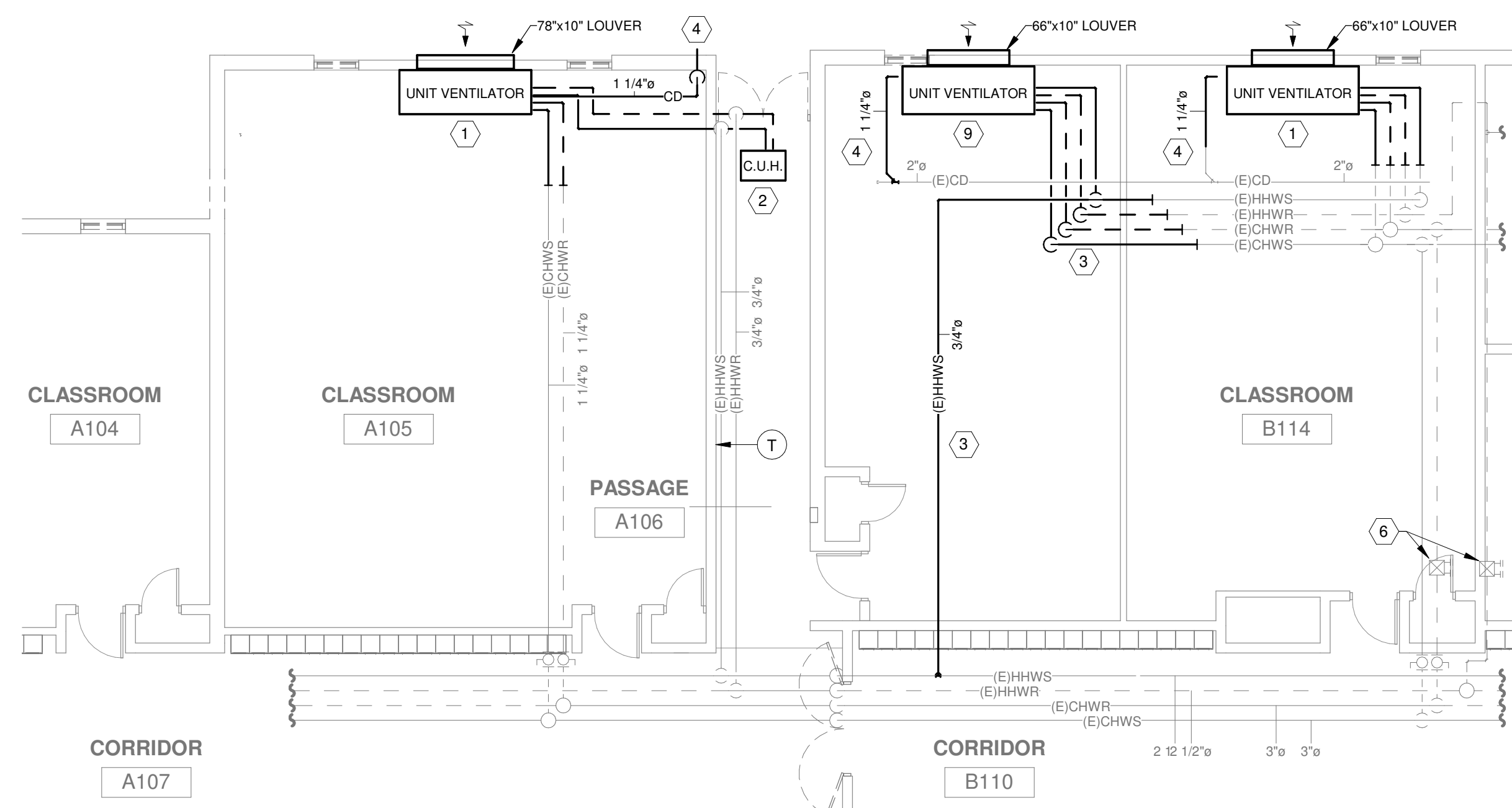
MECHANICAL DEMOLITION PLAN
AREA 'A' RESTROOM
② 1/8" = 1'-0"



MECHANICAL DEMOLITION PLAN
AREA 'B' RESTROOM
③ 1/8" = 1'-0"



MECHANICAL DEMOLITION PLAN
AREA 'C' RESTROOM
④ 1/8" = 1'-0"



MECHANICAL DEMOLITION PLAN
① 1/8" = 1'-0"

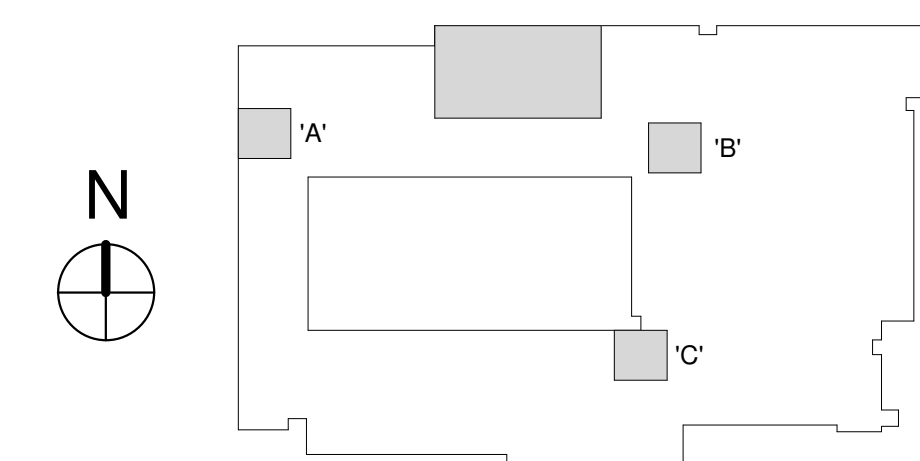
KEYNOTES

- REMOVE UNIT VENTILATORS AND SALVAGE FOR REINSTALLATION/RELOCATION.
 - PRIOR TO REMOVAL NOTE HEATING HOT WATER AND CHILLED WATER COIL FLOWS (GPM).
 - REMOVE OUTSIDE AIR DUCT AND OUTSIDE AIR LOUVER. WALL PATCHING BY ARCHITECTURAL TRADES.
 - REMOVE HEATING HOT WATER AND CHILLED WATER PIPING BACK TO POINT SHOWN. PREPARE FOR NEW CONNECTIONS. DISCONNECT CONTROL WIRING AND PREPARE FOR NEW CONNECTIONS.
- REMOVE CABINET UNIT HEATER.
 - REMOVE HEATING HOT WATER PIPING BACK TO POINT SHOWN.
 - DISCONNECT CONTROL WIRING.
 - REMOVE THERMOSTAT.
- REMOVE HYDRONIC PIPING BACK TO POINT SHOWN.
- REMOVE SECTION OF CONDENSATE DRAIN PIPE. REPLACE FINED TUBE CONVECTOR PIPE ENCLOSURE.
- CHECK BALANCING VALVE SETTING/RECORD EXISTING FLOW.
- REPLACE EXHAUST GRILLE.
- HEATER COVER TO BE PAINTED BY OTHERS.
- REMOVE UNIT VENTILATOR COMPLETE. REMOVE ASSOCIATED CONDENSATE PIPE BACK TO MAIN AND CAP. REMOVE CHILLED AND HOT WATER PIPING. REMOVE OUTSIDE AIR DUCTWORK AND LOUVER AND PATCH WALL.

GENERAL NOTES

- THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK.
- MECHANICAL DEMOLITION WORK REQUIRED TO COMPLETE THE INSTALLATION OF NEW SYSTEMS SHALL BE PERFORMED AS PART OF THE PROJECT BASE BID.
- INFORMATION SHOWN REFLECTS AVAILABLE RECORDS, ON-SITE OBSERVATIONS, AND INFORMATION PRESENTED BY OWNER. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID AND VERIFY LOCATIONS OF EXISTING EQUIPMENT, PIPING, AND SYSTEM COMPONENTS TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK.
- PRIOR TO DEMOLITION THE CONTRACTOR SHALL NOTE DIFFERENCES IN FIELD CONDITIONS AND WHAT IS SHOWN ON THE CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN THAT MAY BE DAMAGED BY THE PERFORMANCE OF THE DEMOLITION WORK. PROTECT PIPING, DUCTWORK, CONDUIT, ETC. FROM THE ENTRANCE OF FOREIGN MATERIALS.
- VERIFY AND PROTECT ANY EQUIPMENT, PIPING, COMPONENTS, CONTROLS TO REMAIN OR BE REUSED PRIOR TO DEMOLITION. ANY SUCH ITEMS THAT ARE DAMAGED DURING DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT. OWNER SHALL HAVE THE FIRST RIGHT OF REFUSAL OF ANY EQUIPMENT NOTED TO BE REMOVED.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF THE GRID CEILING SYSTEM AS REQUIRED FOR THE EXTENT OF DEMOLITION AND NEW WORK. PROVIDE NEW CEILINGS TO MATCH EXISTING AS REQUIRED FOR DAMAGED CEILINGS.
- UNLESS OTHERWISE NOTED, ALL WORK DENOTED WITH BOLD (DARK) LINES REPRESENT WORK TO BE PERFORMED. ALL WORK DENOTED WITH LIGHT (SCREENED) LINES REPRESENT EXISTING TO REMAIN AND BE MAINTAINED.

KEYPLAN



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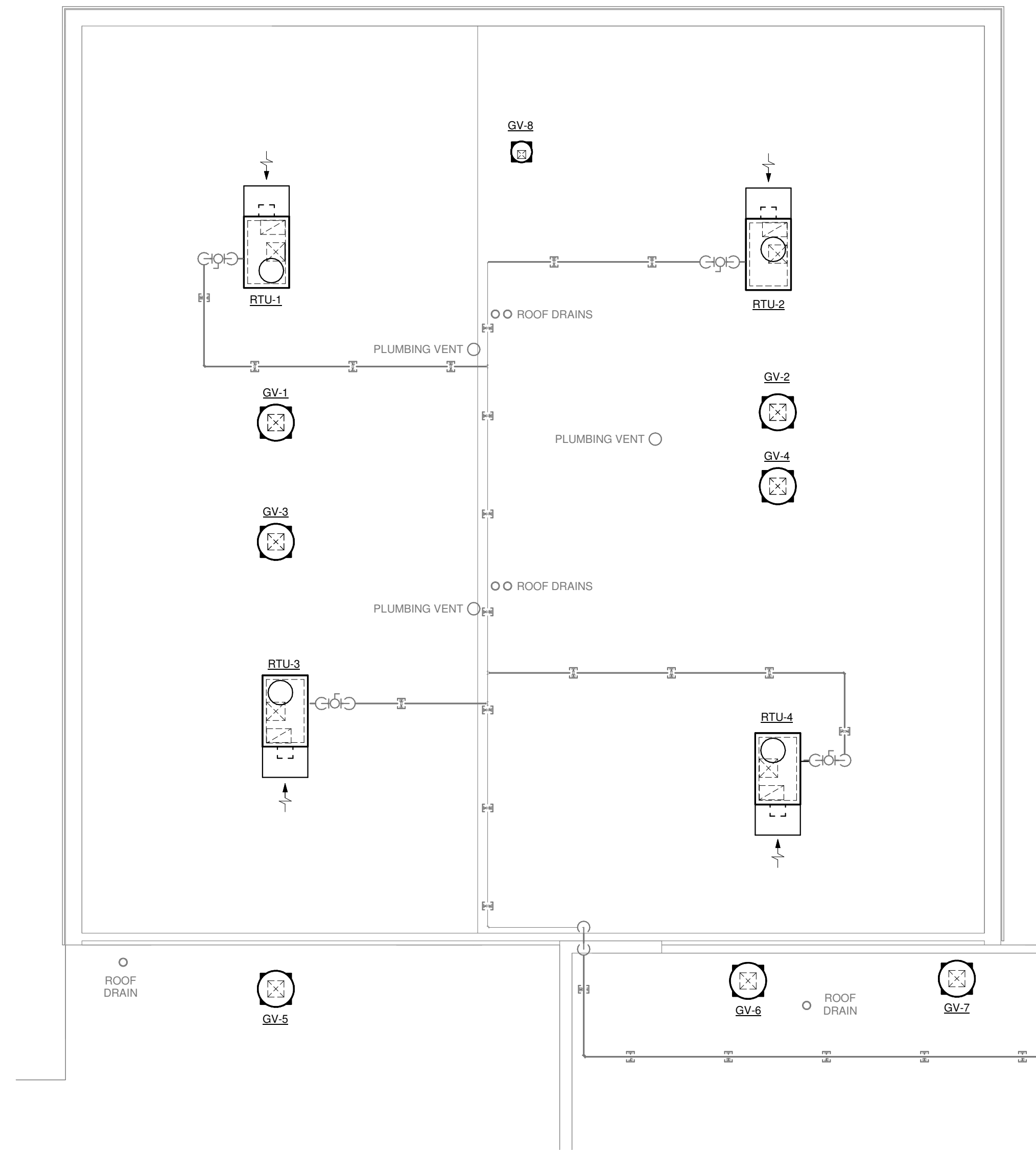
BANGOR TOWNSHIP S-SCHOOL DISTRICT
PHASE 3 - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

DESIGN	BY	DATE	NO.	REVISIONS	DATE
DESIGN	CRP	08.18.24	A	SCHEMATIC DESIGN	09.30.24
DRAWN	CRP	09.18.24	B	OWNER REVIEW	12.09.24
CHECKED	SLB		0	FOR CONSTRUCTION	12.20.24
APPROVED	SLB				

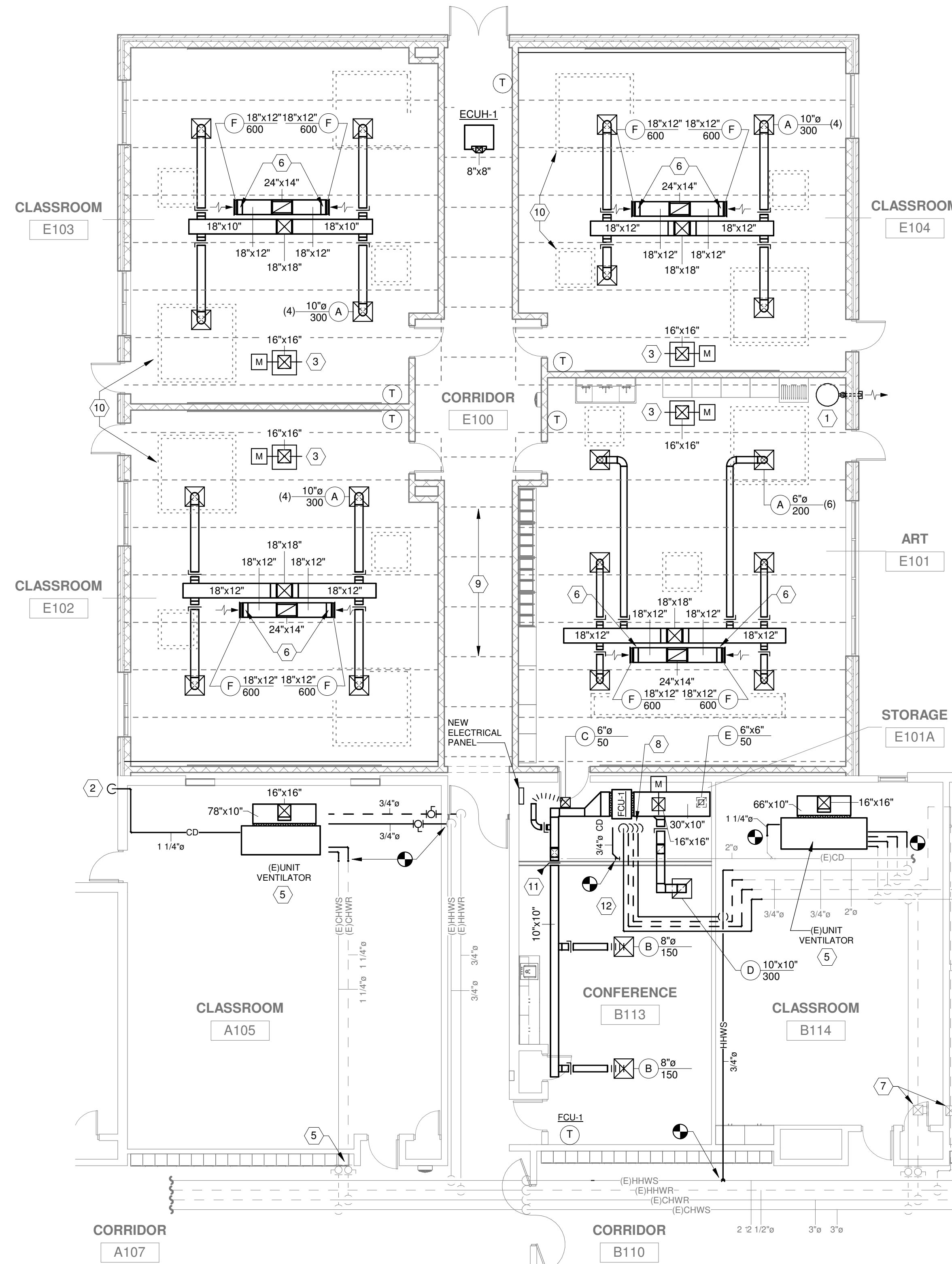
MECHANICAL DEMOLITION
PLAN
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M1.0

② MECHANICAL NEW WORK PLAN - ADDITION ROOF
1/8" = 1'-0"



① MECHANICAL NEW WORK PLAN - ADDITION
1/8" = 1'-0"



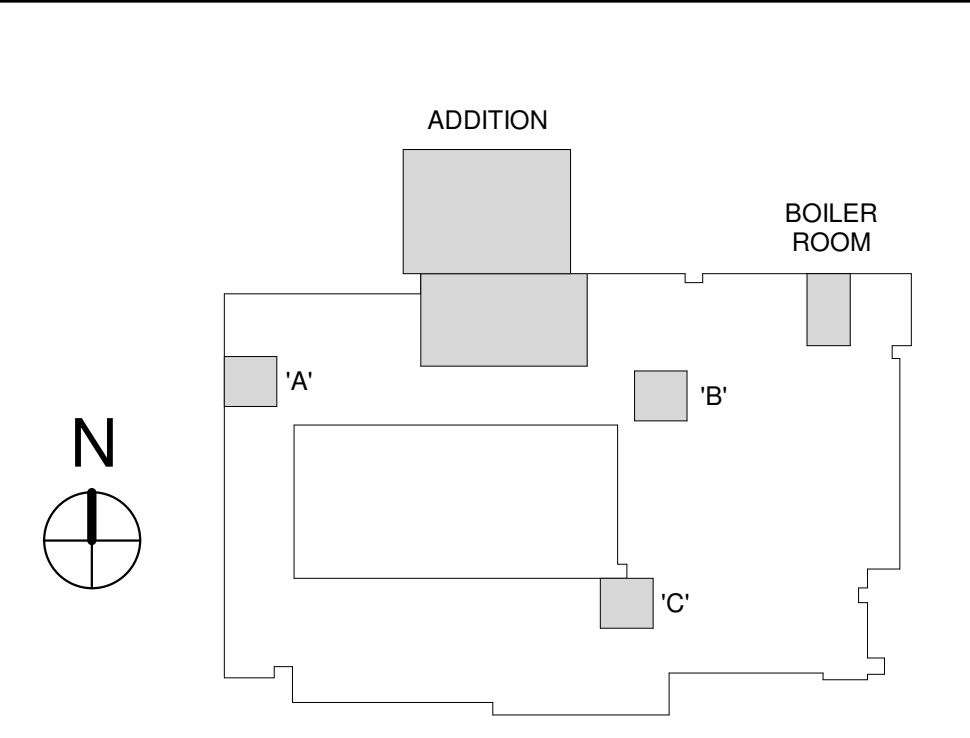
KEYNOTES

- EXISTING KILN FURNISHED BY OWNER.
- FURNISH AND INSTALL "ENVIROVENT 2" OR EQUIVALENT DOWNDRAFT VENT, CONSISTING OF PLENUM CUP, CUP STAND WITH SPRING, HOSE CLAMPS, 3" DIAMETER FLEX TUBE, BLOWER WITH MOTOR, 115 V CORDSET WITH SWITCH, DISCHARGE TUBE AND RAINHOOD. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- INSTALL CONDENSATE DRAIN PIPE DOWN INTERNAL CORNER OF WALL. COORDINATE WITH STORM PIPING. INSTALL WITH WHITE PVC JACKET. TERMINATE PIPE THROUGH WITH 45 DEGREE COPPER ELBOW DOWN. EXTEND A MINIMUM OF 1'-1/2" PAST EXTERIOR WALL. INTERLOCK MOTORIZED RELIEF AIR DAMPER WITH ROOFTOP UNIT OPERATION. INSTALL GALVANIZED STEEL DRAIN PAN BENEATH ROOF OPENING. REFER TO "RELIEF HOOD INSTALLATION DETAIL" #M3.0 FOR ADDITIONAL INFORMATION.
- 3-HR. COMBINATION FIRE/SMOKE DAMPER. GREENHECK "FSD-331" OR EQUIVALENT.
- INSTALL SALVAGED UNIT VENTILATOR. RESET BALANCING VALVES TO PRE-RECORDED FLOWS.
- RETURN AIR SILENCER, PRICE "RAS". REFER TO DETAIL FOR ADDITIONAL INFORMATION (TYP).
- RESET BALANCING VALVES TO PREVIOUSLY RECORDED FLOWS.
- REFER TO COIL PIPING DIAGRAM ON SHEET M3.0 FOR ADDITIONAL INFORMATION.
- STRUCTURAL STEEL SHOWN FOR COORDINATION PURPOSES (TYP). FINAL DUCT BRANCH LOCATION MAY VARY DUE TO SUPPLIED STEEL JOIST WEBBING. FINAL DIFFUSER LOCATION MAY VARY DUE TO SIMILAR CONDITIONS.
- LIGHT FIXTURES SHOWN FOR COORDINATION PURPOSES (TYP). FINAL DIFFUSER LOCATION MAY VARY DUE TO EXACT LIGHTING LOCATIONS.
- 1-1/2 HR FIRE DAMPER.
- 3/4" CHWS/R, 1/2" HHWS/R.

GENERAL NOTES

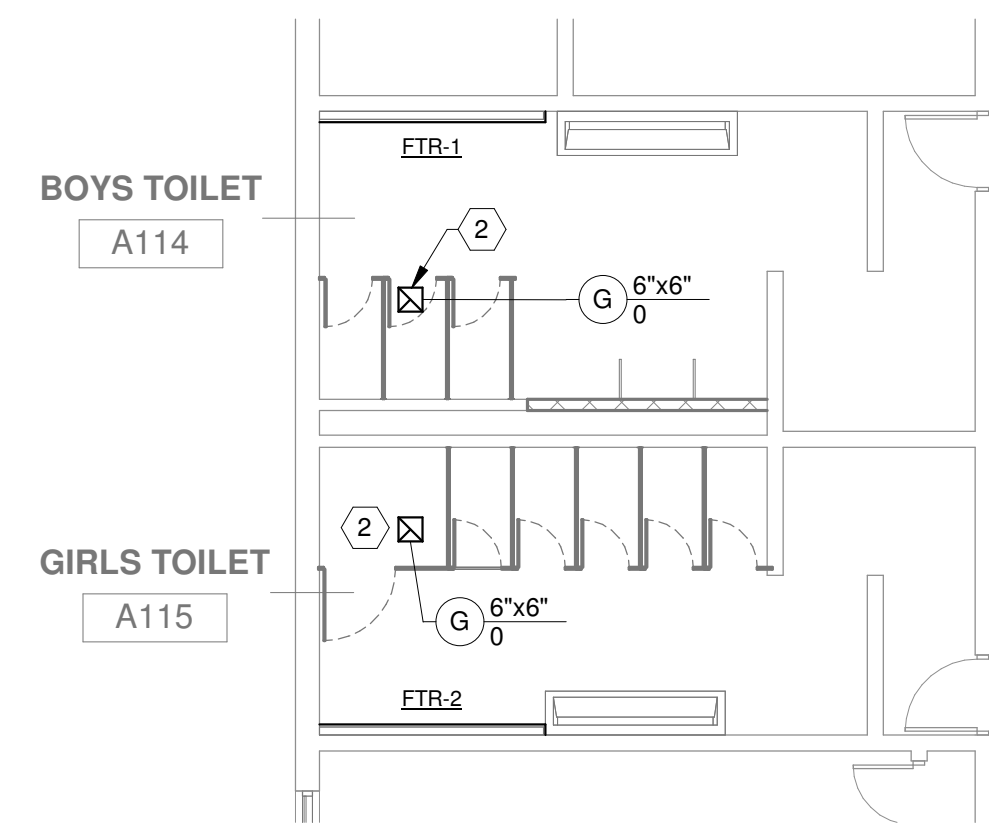
- THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK. PROVIDE MECHANICAL SYSTEMS COMPLETE PER SPECIFICATIONS, SMACNA STANDARDS, AND PER APPLICABLE CODES.
- MECHANICAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF ALL OTHER TRADES. VERIFY ALL CLEARANCES PRIOR TO THE FABRICATION OF ANY WORK.
- DUCTWORK/PIPING SHALL NOT BE LOCATED OVER ELECTRICAL EQUIPMENT/PANELS. PROVIDE REQUIRED CLEARANCE IN FRONT OF OR ABOVE ELECTRICAL EQUIPMENT. DUCTWORK/PIPING SHALL NOT INTERFERE WITH ELECTRICAL EQUIPMENT CLEARANCE.
- THE CONTRACTOR SHALL PROVIDE SUPPLEMENTAL STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL MECHANICAL SYSTEMS.
- COORDINATE FLOOR, WALL, ROOF PENETRATIONS, LOUVER SIZES, PAD LOCATIONS, ETC. WITH ARCHITECTURAL TRADES.
- ALL THERMOSTATS OR TEMPERATURE SENSORS SHALL BE PROVIDED WITH INSULATED BASES.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF GRILLES, REGISTERS, AND DIFFUSERS.
- PIPING SHALL NOT BE INSTALLED IN A LOCATION THAT RESTRICTS THE ACCESS TO MECHANICAL DEVICES REQUIRING ACCESS.
- PIPING RUN-OUTS TO UNIT HEATERS, CABINET UNIT HEATERS AND FINNED TUBE ARE THE LARGER OF 3/4" NPS OR THE EQUIPMENT CONNECTION SIZE WHERE NO PIPE IS INDICATED.
- PROVIDE CODE REQUIRED CLEARANCE/ACCESS DOORS FOR DAMPERS, VALVES, AND CLEANOUTS LOCATED IN WALLS OR ABOVE HARD CEILINGS. COORDINATE LOCATIONS WITH ARCHITECT. REFER TO ARCHITECTURAL PLANS FOR CEILING TYPES.
- FOR EQUIPMENT VALVING, COMPONENT, AND PIPING ARRANGEMENT REFER TO PIPING DIAGRAMS AND DETAILS.
- BRANCH DUCTWORK TO GRILLES, REGISTERS, AND DIFFUSERS SHALL BE THE SAME SIZE AS THE GRILLE, REGISTER, OR DIFFUSER NECK SIZE WHERE NO DUCT SIZE IS INDICATED ON PLAN.
- MAXIMUM LENGTH OF FLEXIBLE DUCT SHALL BE 5'-0".
- OPENINGS THROUGH ROOF DECK SHALL BE COORDINATED WITH FRAMING PLANS. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND PROVIDE FOR OPENINGS AND FRAMES/REINFORCING AS FOLLOWS:
 - OPENINGS UP TO 18"x18"-PROVIDE L2x2x3/16 ANGLES PERPENDICULAR TO DECK FLUTES, ON BOTH SIDES OF OPENING. EXTEND ANGLES A MINIMUM OF 2 FLUTES BEYOND EDGE OF OPENING. FASTEN ANGLES TO EACH ANGLE WITH # 10 TEK SCREWS.
 - OPENINGS LARGER THAN 18"x18"-PROVIDE A WELDED L4x4x1/4 FRAME SUPPORTED BY STEEL JOISTS OR BEAMS AS SHOWN ON STRUCTURAL PLANS.
- PRIME & PAINT ALL EXPOSED DUCTWORK. COORDINATE COLOR WITH G.C./ARCHITECT.
- FIRE STOP INSULATION FOR ALL COPPER, IRON, AND STEEL PIPE WHERE PASSING THROUGH FIRE WALLS SHALL BE CERAMIC FIRE BLANKET, 6 L.B. DENSITY. REFER TO ARCHITECTURAL PLANS FOR FIRE RATING OF WALLS.

KEYPLAN

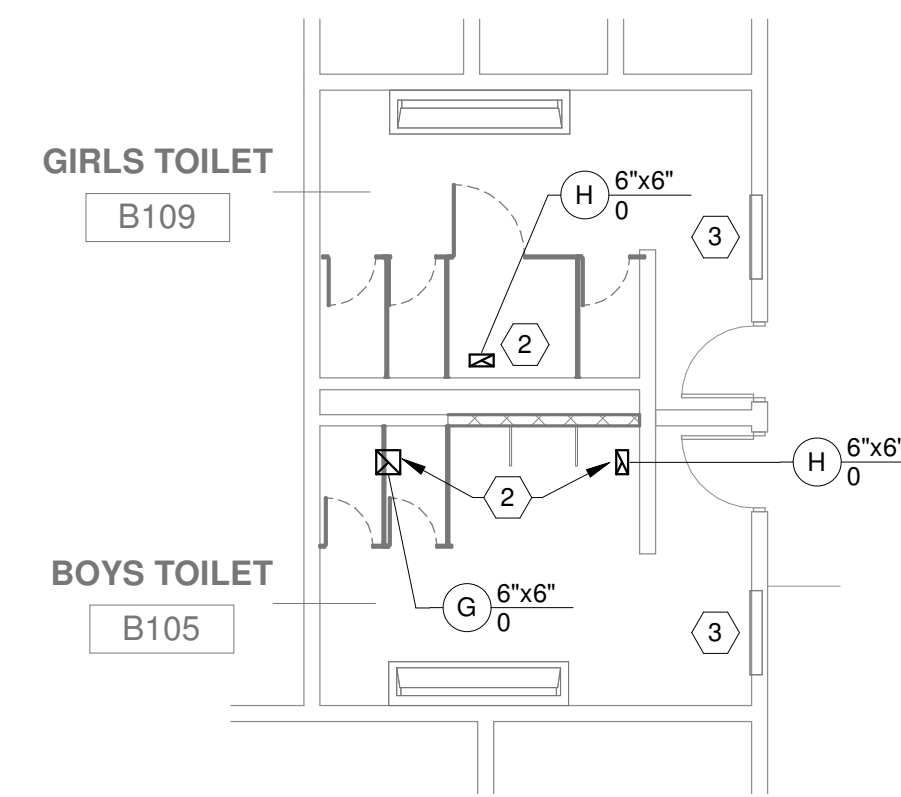


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2	B	12.09.24
3	C	12.20.24

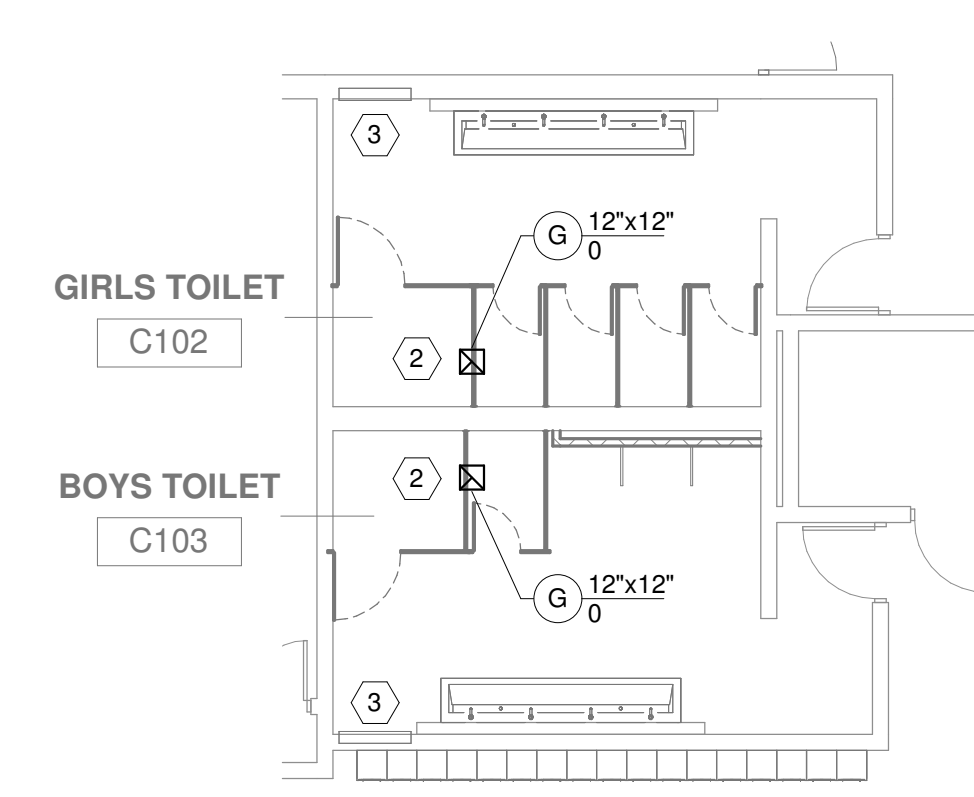
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CRP	09.18.24	B	OWNER REVIEW	12.09.24
SLB		0	FOR CONSTRUCTION	12.20.24



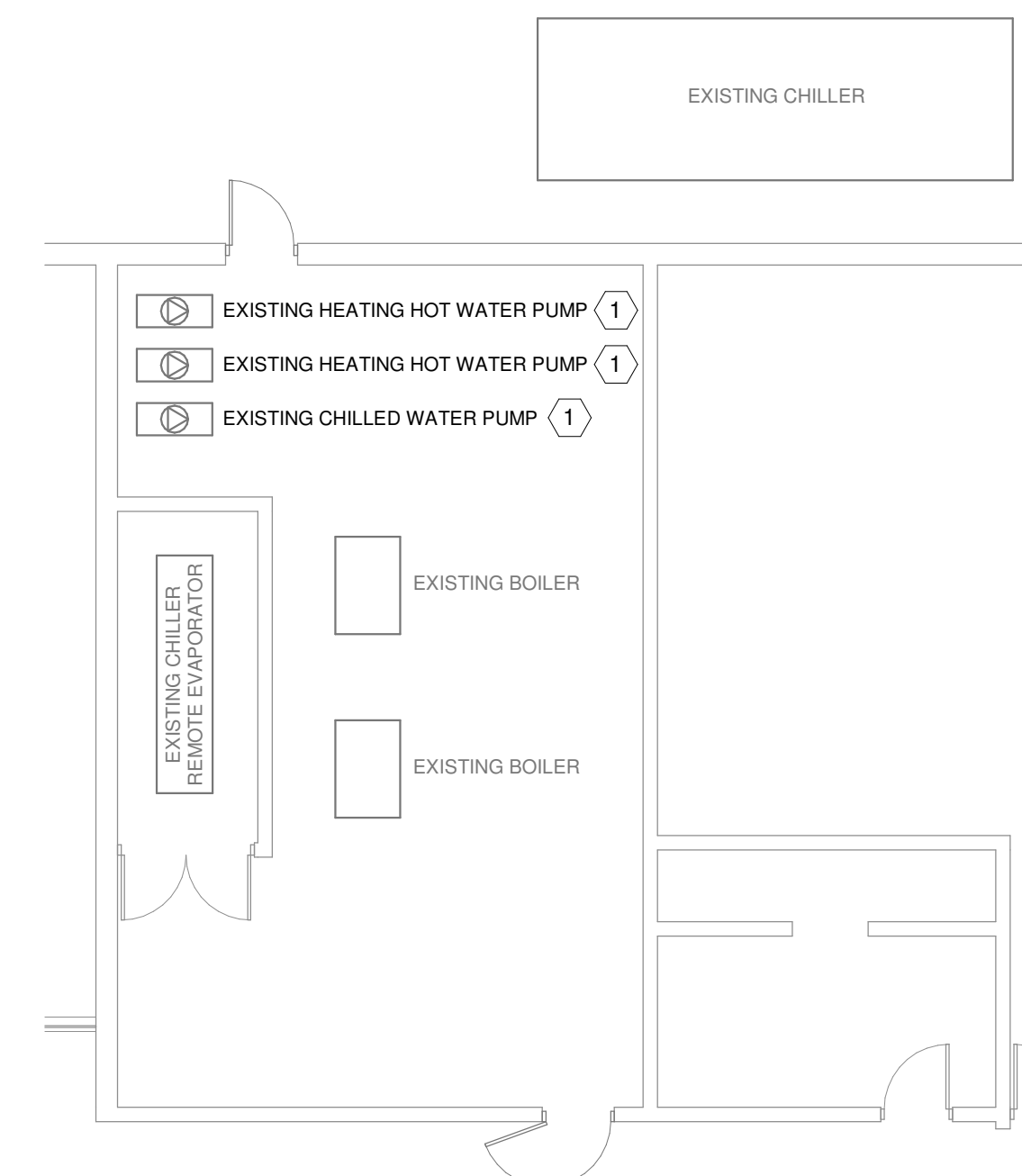
**MECHANICAL
NEW WORK PLAN
AREA 'A' RESTROOM**
① 1/8" = 1'-0"



**MECHANICAL
NEW WORK PLAN
AREA 'B' RESTROOM**
② 1/8" = 1'-0"



**MECHANICAL
NEW WORK PLAN
AREA 'C' RESTROOM**
③ 1/8" = 1'-0"



**MECHANICAL NEW WORK PLAN
BOILER ROOM**
④ 1/8" = 1'-0"

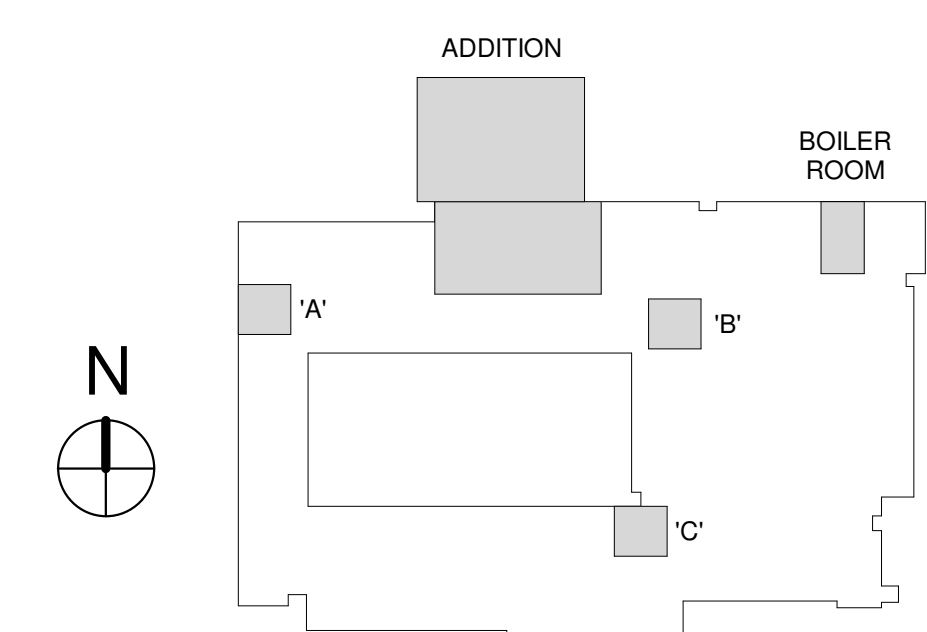
KEYNOTES

- REBALANCE HEATING HOT WATER AND CHILLED WATER SYSTEM BASE MOUNTED PUMPS AS NEEDED FOR UNIT VENTILATOR RELOCATIONS.
- REPLACE EXHAUST GRILLE. FIELD VERIFY EXISTING DUCT SIZE. HEATER COVER TO BE PAINTED BY OTHERS.
-

GENERAL NOTES

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 - OPENINGS LARGER THAN 18"x18" PROVIDE A WELDED L4x4x1/4 FRAME SUPPORTED BY STEEL JOISTS OR BEAMS AS SHOWN ON STRUCTURAL PLANS.
- PRIME & PAINT ALL EXPOSED DUCTWORK. COORDINATE COLOR WITH G.C./ARCHITECT.
- INSTALL NEW CARBON MONOXIDE SENSOR WITH AUDIBLE ALARM IN ANY ROOM WITH A GAS-FIRED APPLIANCE.

KEYPLAN



MAQUETTE OFFICE
1211 W. BARGA AVENUE
MAQUETTE, MI 49855
PHONE: (616) 226-4460 FAX: (616) 226-7524

BRIGHTON OFFICE
8511 V. GRAND STREVE, SUITE 800
BRIGHTON, MI 48116
PHONE: (810) 226-2701 FAX: (810) 226-8787

**ARCHITECTURE
ENGINEERING
CONSULTING**



INTEGRATED DESIGNS, INC.

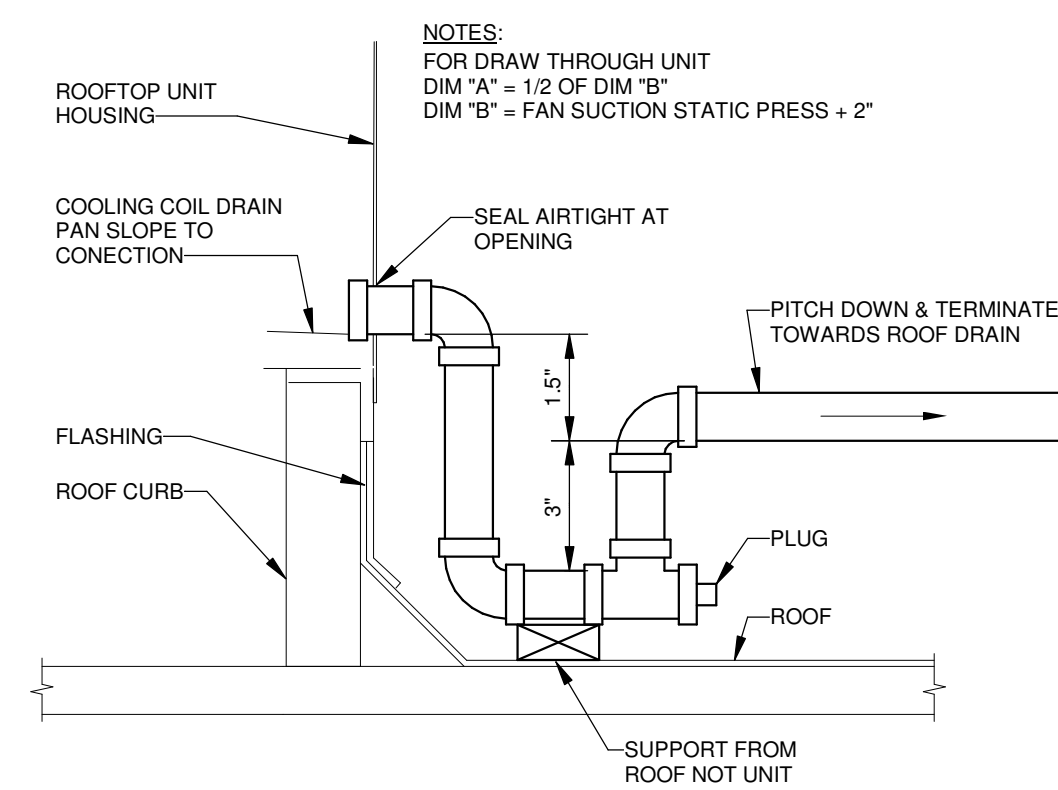
BANGOR TOWNSHIP SSSCHOOL DISTRICT
PHASE 3 - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
A	SCHEMATIC DESIGN	09.30.24
B	OWNER REVIEW	12.09.24
0	FOR CONSTRUCTION	12.20.24

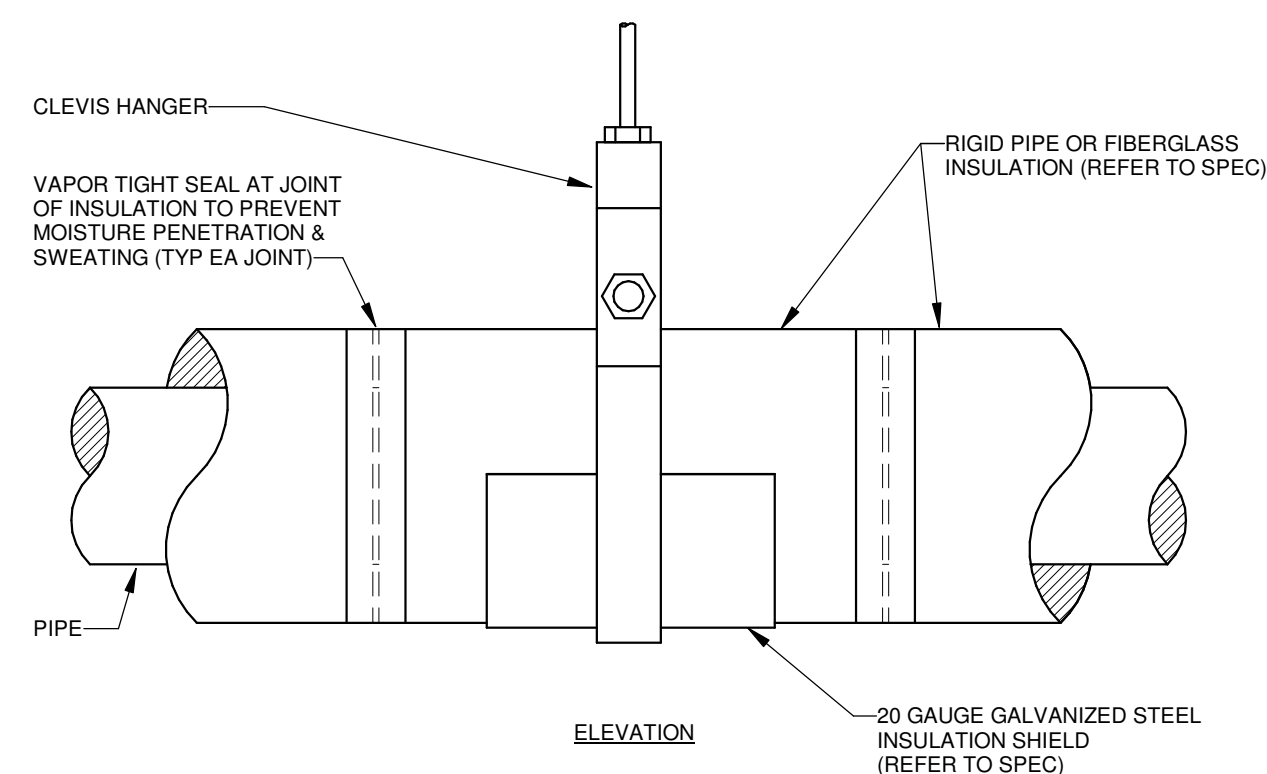
BY	DATE	DESIGN
CRP	08.19.24	DESIGN
CRP	09.19.24	DRAWN
SLB		CHECKED
SLB		APPROVED

**MECHANICAL NEW WORK
PLANS**
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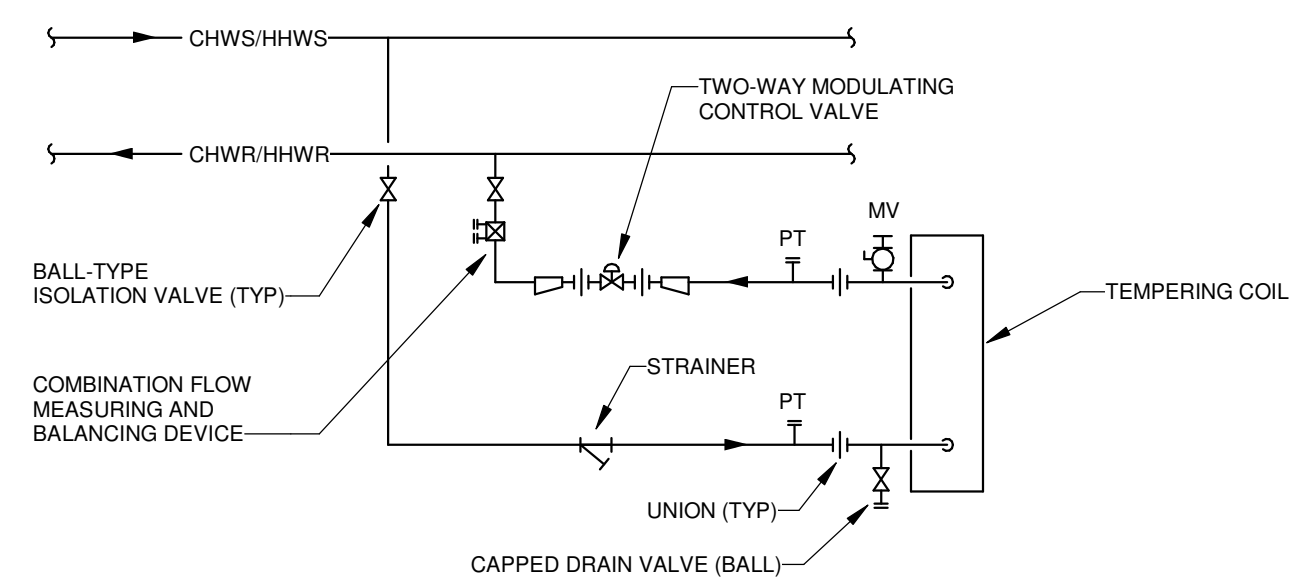
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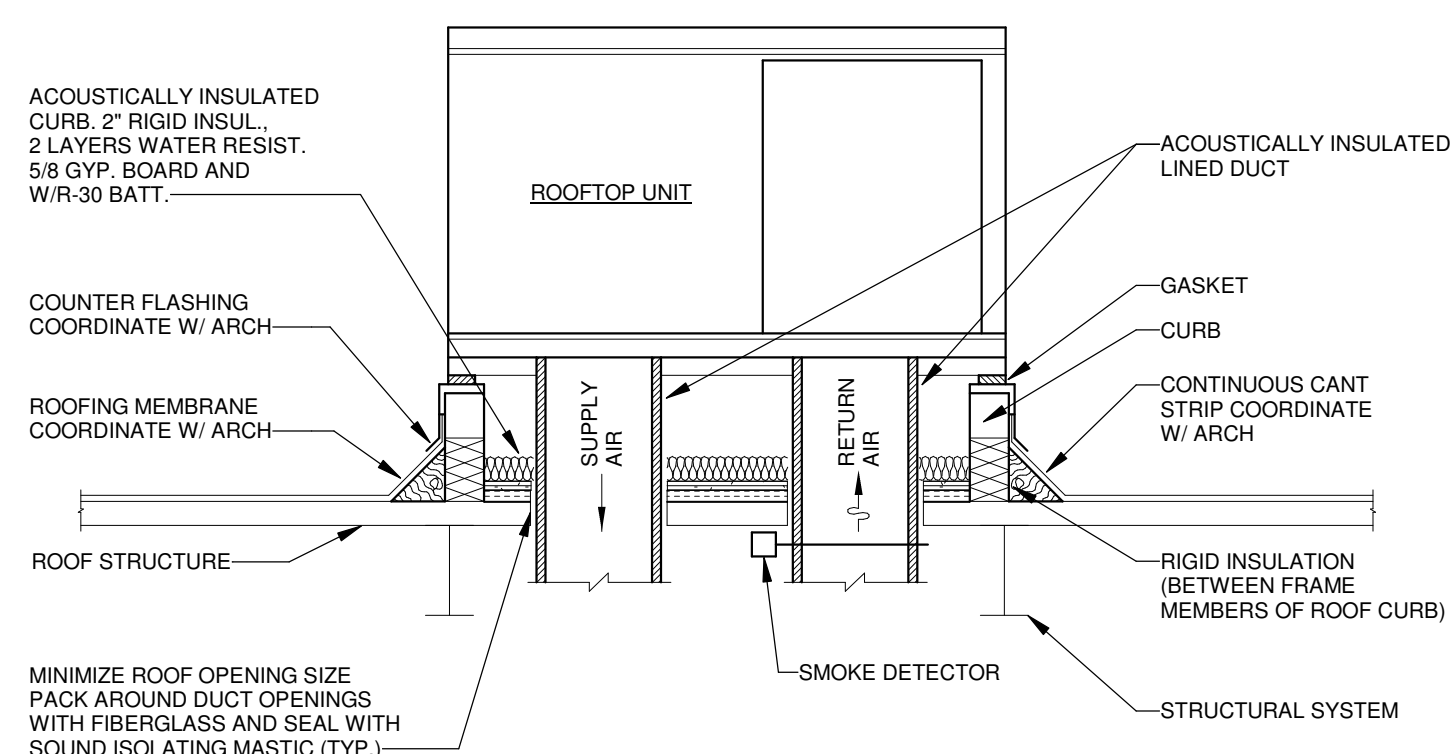
6 RTU DRAIN PAN TRAP DETAIL
N.T.S.



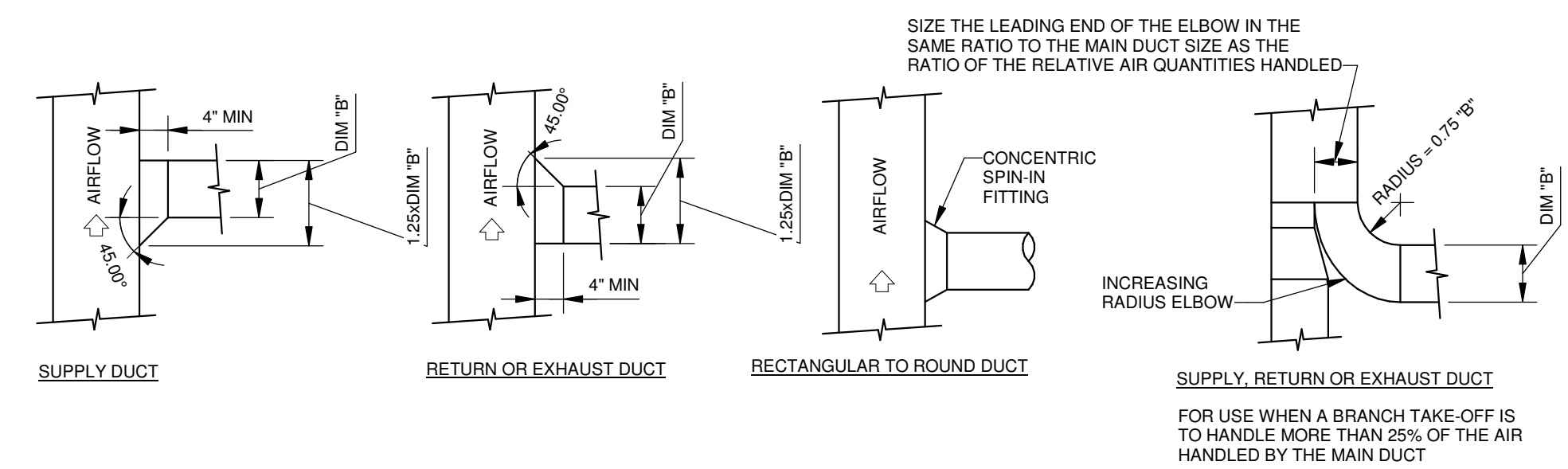
5 INSULATED PIPE HANGER DETAIL
N.T.S.



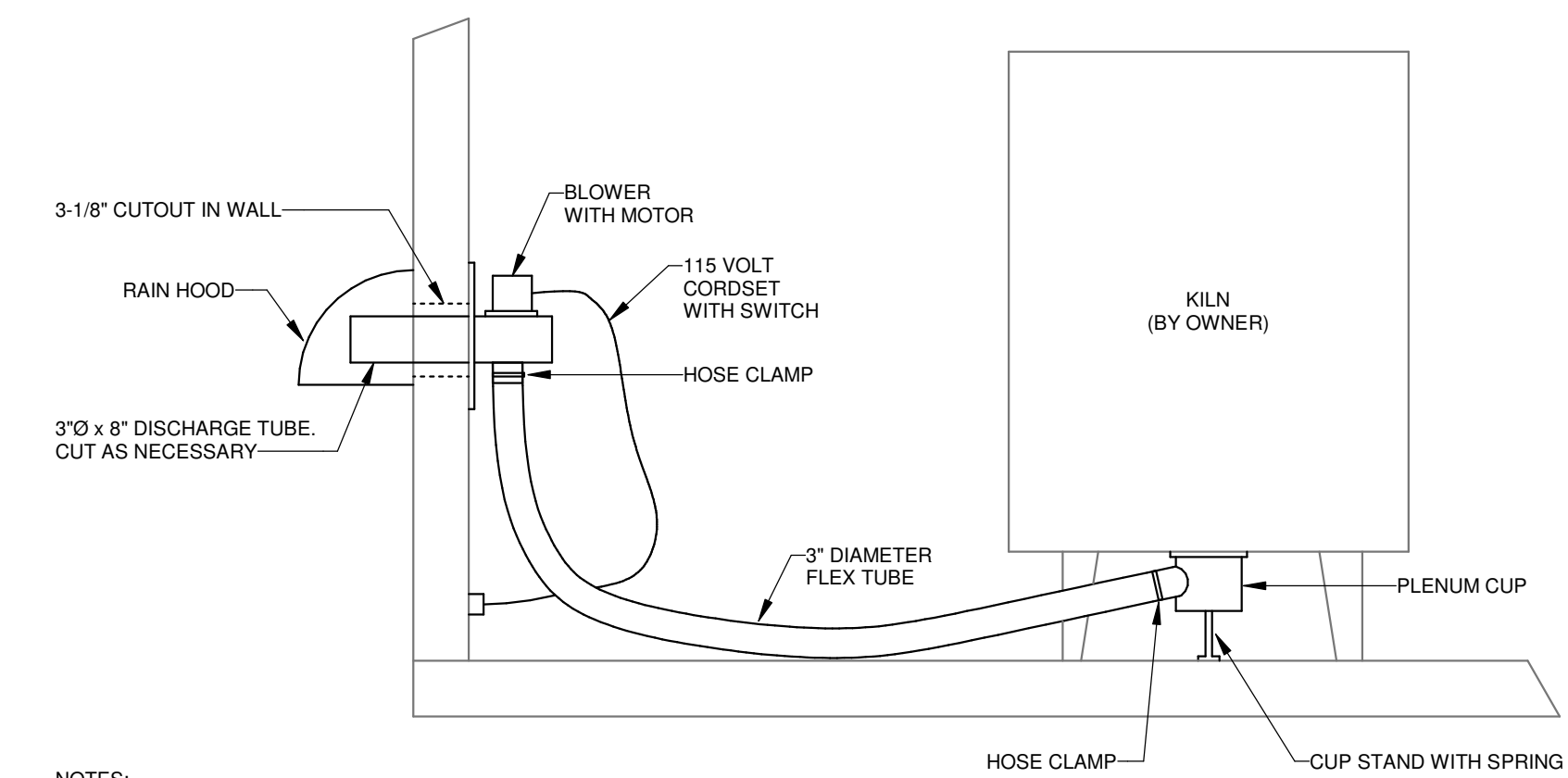
7 COIL PIPING DIAGRAM (2-WAY VALVE)
N.T.S.



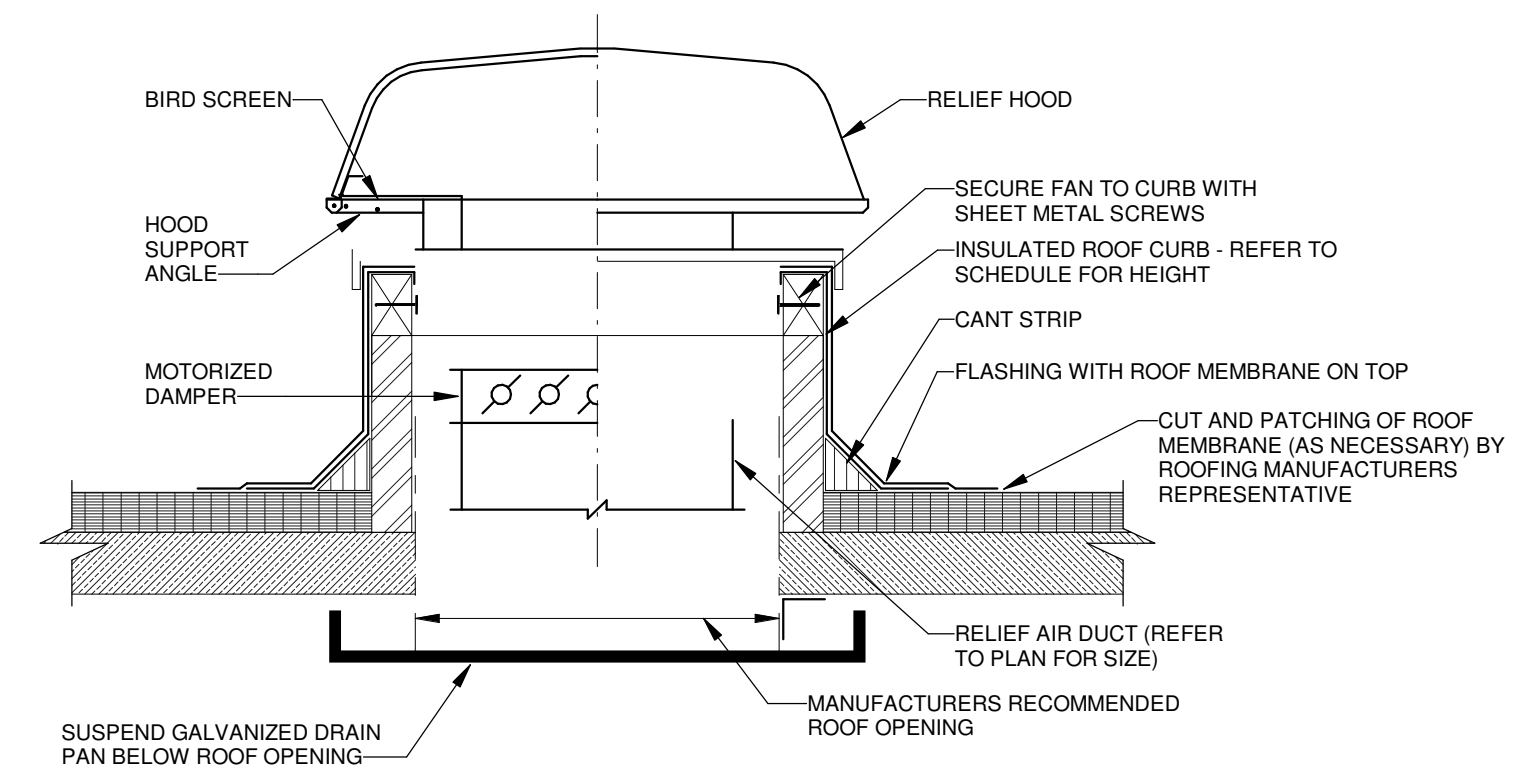
4 RTU CURB MOUNTING DETAIL
N.T.S.



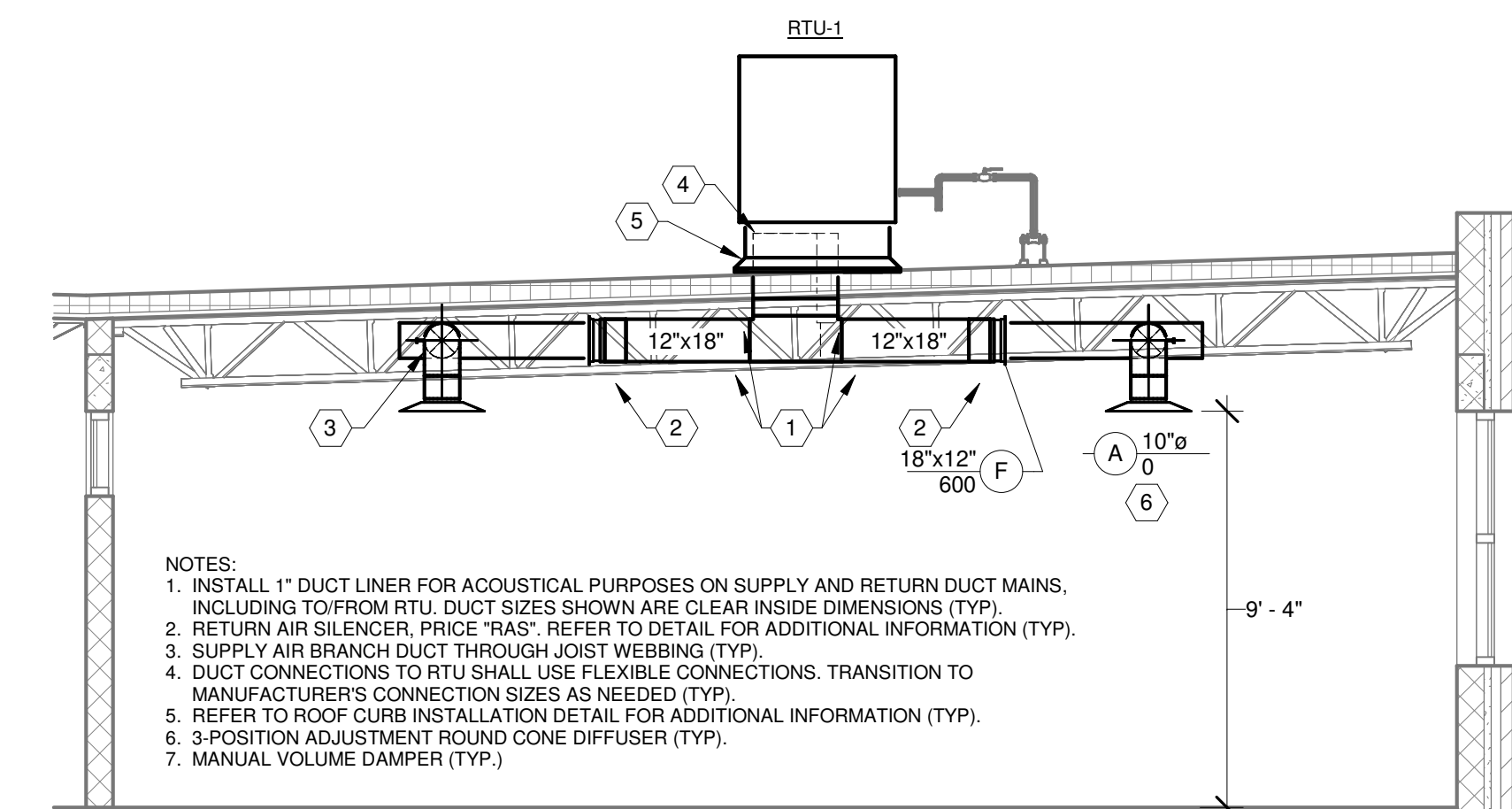
9 RECTANGULAR DUCT BRANCH TAKE-OFF DETAILS
N.T.S.



3 KILN DOWNDRAFT VENT DETAIL
N.T.S.



2 RELIEF HOOD INSTALLATION DETAIL
N.T.S.



1 CLASSROOM SECTION (TYP)
N.T.S.

NO.	REVISIONS	DATE
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0	FOR CONSTRUCTION	12.20.24

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SLB		0	FOR CONSTRUCTION

PACKAGED COMMERCIAL ROOFTOP UNIT SCHEDULE - (DX - GAS)

Table with columns for UNIT ID, SERVICE, TOTAL SUPPLY (CFM), MINIMUM OA (CFM), ESP (IN WG), SUPPLY FAN, DX COOLING COIL, NATURAL GAS HEATING SECTION, ELECTRICAL, DISCONNECT, and MANUFACTURER / MODEL NO.

NOTES:

- 1. LOW LEAK ECONOMIZER (0-100% OUTDOOR AIR SUPPLY, FULL MODULATION DAMPERS) WITH HOOD.
2. VARIABLE SPEED COMPRESSOR WITH VARIABLE FREQUENCY DRIVE.
3. FACTORY FURNISHED REFRIGERANT LEAK DETECTION SYSTEM.
4. CONDENSER COIL HALL GUARDS.
5. EVAPORATOR COIL FREEZE STAT.
6. DOWNFLOW SUPPLY AND RETURN.
7. FACTORY FURNISHED KNOCK-DOWN, FIELD ASSEMBLED ROOF CURB.
8. DEMAND CONTROL VENTILATION (DCV).
9. BACNET COMPATIBLE CONTROLLER.

FAN COIL UNIT SCHEDULE

Table with columns for UNIT ID, NOMINAL AIRFLOW (CFM), ESP (IN WG), COOLING COIL, HEATING COIL, UNIT DIMENSIONS, ELECTRICAL, DISCONNECT, and MANUFACTURER / MODEL NO.

NOTES:

- 1. BACNET COMPATIBLE CONTROLLER.
2. CONTROL VALVES SHALL BE SELECTED FOR A PRESSURE DROP EQUAL TO TWO TIMES THE PRESSURE DROP OF THE ASSOCIATED HEAT TRANSFER DEVICE.
3. PRESSURE DROP OF THE SELECTED VALVE SHALL NOT EXCEED A MAXIMUM OF 15 FEET OF HEAD OR A MINIMUM OF 2.3 FEET OF HEAD.

CABINET UNIT HEATER (ELECTRIC) SCHEDULE

Table with columns for UNIT ID, MBH, KW, CFM, ELECTRICAL, PHYSICAL SIZE (IN), MOUNTING, and MANUFACTURER / MODEL NO.

NOTES:

- 1. FACTORY MOUNTED STARTER AND DISCONNECT.
2. BOTTOM FACE STAMPED LOUVER INLET AND OUTLET, FRESH AIR TOP.
3. FACTORY FURNISHED LOW VOLTAGE WALL MOUNTED THERMOSTAT.

GRAVITY VENTILATOR SCHEDULE

Table with columns for UNIT ID, FLOW, SYSTEM SERVED, AIRFLOW (CFM), HOOD SIZE, STATIC PRESSURE DROP (IN WG), HOOD CONSTRUCTION, and MANUFACTURER / MODEL NO.

GRILLE, REGISTER AND DIFFUSER SCHEDULE

Table with columns for UNIT ID, FLOW, FACE SIZE, NECK SIZE, MOUNTING, FINISH, MATERIAL, TYPE, MODEL NO., and REMARKS.

NOTES:

- 1. MODEL NUMBERS ARE PRICE UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL CEILING PLAN AND COORDINATE FRAME TYPE ACCORDINGLY.

OUTSIDE AIR VENTILATION SCHEDULE

Table with columns for ROOM, OCCUPANCY CLASSIFICATION, SF, OCCUPANTS, OUTSIDE AIR FLOWRATE, and OA REQUIRED (CFM).

FINNED TUBE RADIANT (HOT WATER) SCHEDULE

Table with columns for UNIT ID, ENCLOSURE, HEIGHT (IN), DEPTH (IN), LENGTH (IN), and MANUFACTURER / MODEL NO.

NOTES:

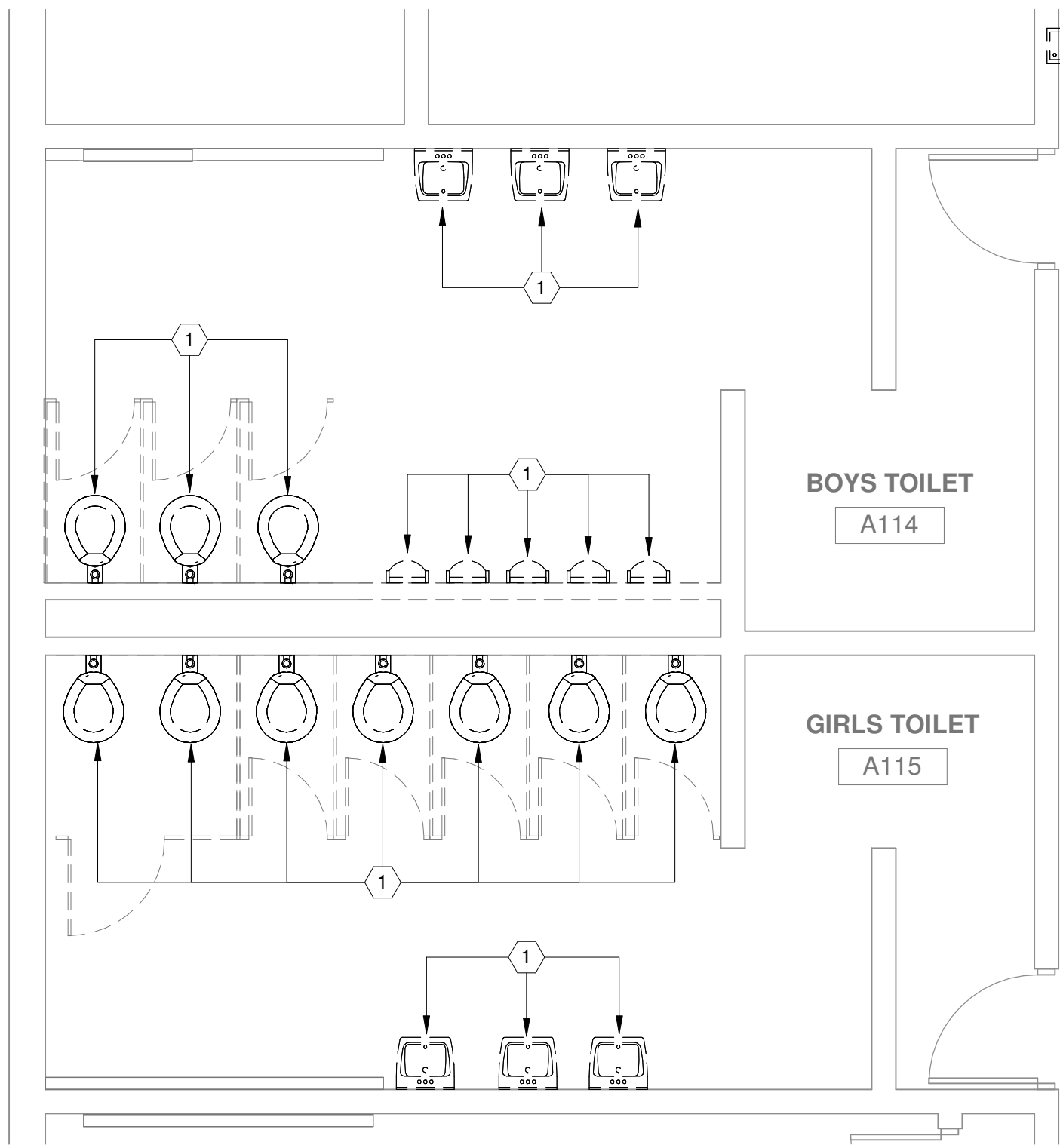
- * FIELD MEASURE FOR EXACT DIMENSIONS.
1. PROVIDE WITH ACCESS PANEL SECTION WITH ACCESS DOOR AND ALLEN KEY LOCK FOR SECTIONS WITH VALVES

PROJECT: BANGOR TOWNSHIP SCHOOLS CHRISTA MCAULIFFE MIDDLE SCHOOL		BAS INPUT/OUTPUT SUMMARY FORM																								NOTES										
		HARDWARE POINTS												APPLICATION SOFTWARE																						
		DIGITAL						ANALOG						DIGITAL						ANALOG							PROPORTIONAL P					P + I + D				
		AUX CONTACTS	PI	SWITCH	STATUS	INTEGRATION	TEMPERATURE	HUMIDITY	CO2 LEVEL	POSITION	CURRENT	PRESSURE	START/STOP	HILLOW	OPEN/CLOSE	OFF/AUTO	DAMPER POSITION	VALVE POSITION	CONTROL	VS/DVANE DAMPER	P	PI	DERIVATIVE PID	ENHANCED PID	ADAPTIVE CONTROL		SETPOINT DISP & ADJ	HIGH/LOW ALARM	FLOATING ALARM	ABNORMAL ALARM	RUNTIME TOTALS	TOTALIZATION				
SYSTEM DESCRIPTION: ROOFTOP UNITS (RTU-1, RTU-2, RTU-3, RTU-4)																																				
RTU-1	SUPPLY FAN S/S											X																								
RTU-2	SUPPLY FAN STATUS			X																																
RTU-3	OUTSIDE AIR DAMPER															X												X								
RTU-4	EXHAUST/RELIEF AIR DAMPER															X																				
	COOLING COIL INITIATE										X																									
	HEATING STAGE 1												X																							
	HEATING STAGE 2						X							X																						
	CARBON DIOXIDE						X																						X							
	DISCHARGE AIR TEMPERATURE						X																						X							
	SPACE TEMPERATURE						X																						X							
	LOW LIMIT/FREEZE STAT						X																	X					X							
	MIXED AIR TEMPERATURE						X																						X							
	FILTER DIFFERENTIAL PRESSURE										X																									
	BAS INTERFACE								X																											
	SMOKE DETECTOR			X																						X										
ECUH-1	FAN S/S											X																								
	SPACE TEMPERATURE						X																													
	HEATING ENABLE													X																						

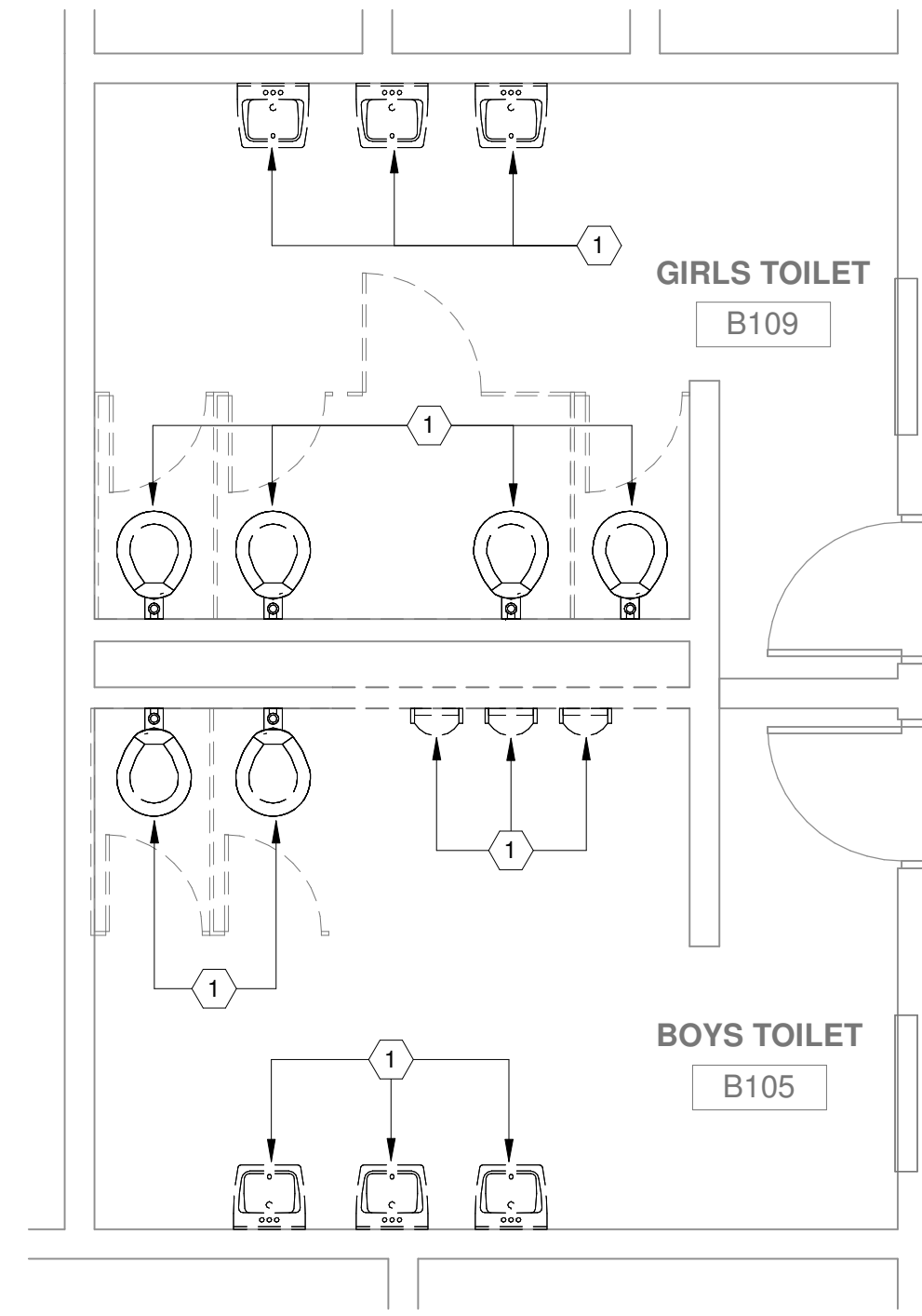
SEQUENCE OF OPERATION:

- A. THERMOSTAT SET-POINT ADJUSTMENT LIMITATION
 - 1. THE BUILDING AUTOMATION SYSTEM (BAS) SHALL INCLUDE THE ABILITY TO LIMIT THE RANGE OCCUPANTS CAN ADJUST SET-POINTS FROM ANY OF THE THERMOSTATS.
- B. ROOFTOP UNIT, RTU-1
 - 1. WITH THE SUPPLY FAN'S HAND/OFF/AUTO SWITCH IN THE "AUTO" POSITION, THE SUPPLY FAN SHALL BE AUTOMATICALLY STARTED AND STOPPED WITH THE DDC SYSTEM OCCUPANCY SCHEDULE. THE UNIT SHALL USE AN OPTIMAL START ALGORITHM FOR MORNING START-UP. THIS ALGORITHM SHALL MINIMIZE THE UNOCCUPIED WARM-UP OR COOL-DOWN PERIOD WHILE STILL ACHIEVING COMFORT CONDITIONS BY THE START OF SCHEDULED OCCUPIED PERIOD.
 - 2. OCCUPIED MODE: WHEN THE DDC SYSTEM ENERGIZES THE SUPPLY FAN IT SHALL RUN CONTINUOUSLY. THE RETURN, RELIEF AND OUTSIDE AIR DAMPERS WILL MODULATE TO MAINTAIN MINIMUM OUTSIDE AIRFLOW AS DETERMINED BY THE OUTSIDE AIR DAMPER'S MINIMUM POSITION.
 - 3. THE SUPPLY FAN WILL PROVE FLOW TO THE DDC SYSTEM WITH ITS CURRENT SENSING SWITCH. IF THE FAN FAILS, THE SYSTEM WILL BE DE-ENERGIZED AND AN ALARM WILL BE SENT TO THE DDC SYSTEM.
 - 4. THE DISCHARGE AIR TEMPERATURE SENSOR SHALL MODULATE THE DX STAGES OF COOLING, MIXED AIR DAMPERS, AND THE STAGED HEATING COIL TO MAINTAIN THE DISCHARGE AIR TEMPERATURE.
 - 5. ECONOMIZER MODE: WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN THE RETURN AIR TEMPERATURE, DDC SHALL MODULATE THE MIXED AIR DAMPERS AND DX STAGES OF COOLING TO MAINTAIN THE DISCHARGE AIR TEMPERATURE WHILE MAINTAINING THE MINIMUM OUTSIDE AIRFLOW. WHEN THE OUTSIDE AIR TEMPERATURE IS GREATER THAN THE RETURN AIR TEMPERATURE, DDC SHALL MODULATE THE MIXED AIR DAMPERS TO MAINTAIN THE MINIMUM OUTSIDE AIRFLOW.
 - 6. UNOCCUPIED MODE: IF THE SPACE TEMPERATURE SENSORS DROPS BELOW 60°F, THE SUPPLY FAN SHALL BE ENERGIZED, THE OUTSIDE AND RELIEF DAMPERS SHALL REMAIN CLOSED, THE RETURN DAMPER SHALL BE FULLY OPENED AND THE HEATING COIL CONTROL VALVE SHALL OPEN. AFTER ALL OF THE SPACES HAVE REACHED 63°F (ADJ), THE UNIT SHALL BE DE-ENERGIZED.
 - 7. WHEN THE SUPPLY FAN IS DE-ENERGIZED, THE OUTSIDE AND RELIEF DAMPERS SHALL BE CLOSED. THE RETURN AIR DAMPER SHALL BE OPEN.
 - 8. THE SUPPLY FAN SHALL BE STARTED IF THE MANUAL OVERRIDE COMMAND IS EXECUTED AT THE CENTRAL BMS WORKSTATION. THE FAN SHALL RUN UNTIL PLACED BACK IN AUTOMATIC MODE FROM THE CONTROLLER OR CENTRAL WORKSTATION.
 - 9. AN ALARM SHALL SOUND THE DISCHARGE AIR TEMPERATURE RISES ABOVE OR FALLS BELOW THE DISCHARGE AIR TEMPERATURE COOLING HIGH OR COOLING LOW LIMITS FOR A DURATION OF 1 MINUTE.
- C. ELECTRIC CABINET UNIT HEATER, ECUH-1
 - 1. THROUGH THE UNIT'S REMOTE THERMOSTAT THE ELECTRIC HEATER SHALL BE ENABLED UPON A CALL FOR HEATING TO MAINTAIN THE DESIRED AREA TEMPERATURE WHEN OUTSIDE AIR TEMPERATURE IS LESS THAN 60°F (ADJ), AIRFLOW SHALL BE PROVEN BY A FLOW SWITCH PRIOR TO ENERGIZING HEATING COIL. WHEN THE AREA TEMPERATURE SETPOINT IS SATISFIED, THE ELECTRIC HEATER SHALL CYCLE OFF.
- D. FAN COIL UNIT, FCU-1
 - 1. WITH THE SUPPLY FAN'S HAND/OFF/AUTO SWITCH IN THE "AUTO" POSITION, THE SUPPLY FAN SHALL BE AUTOMATICALLY STARTED AND STOPPED WITH THE DDC SYSTEM OCCUPANCY SCHEDULE. THE UNIT SHALL USE AN OPTIMAL START ALGORITHM FOR MORNING START-UP. THIS ALGORITHM SHALL MINIMIZE THE UNOCCUPIED WARM-UP OR COOL-DOWN PERIOD WHILE STILL ACHIEVING COMFORT CONDITIONS BY THE START OF SCHEDULED OCCUPIED PERIOD.
 - 2. OCCUPIED MODE: WHEN THE DDC SYSTEM ENERGIZES THE SUPPLY FAN IT SHALL RUN CONTINUOUSLY. THE RETURN, RELIEF AND OUTSIDE AIR DAMPERS WILL MODULATE TO MAINTAIN MINIMUM OUTSIDE AIRFLOW AS DETERMINED BY THE OUTSIDE AIR DAMPER'S MINIMUM POSITION.
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 - 4. THE DISCHARGE AIR TEMPERATURE SENSOR SHALL MODULATE THE COOLING COIL CONTROL VALVE, MIXED AIR DAMPERS, AND THE HEATING COIL CONTROL VALVE TO MAINTAIN THE DISCHARGE AIR TEMPERATURE.
 - 5. ECONOMIZER MODE: WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN THE RETURN AIR TEMPERATURE, DDC SHALL MODULATE THE MIXED AIR DAMPERS AND COOLING COIL CONTROL VALVE TO MAINTAIN THE DISCHARGE AIR TEMPERATURE WHILE MAINTAINING THE MINIMUM OUTSIDE AIRFLOW. WHEN THE OUTSIDE AIR TEMPERATURE IS GREATER THAN THE RETURN AIR TEMPERATURE, DDC SHALL MODULATE THE MIXED AIR DAMPERS TO MAINTAIN THE MINIMUM OUTSIDE AIRFLOW.
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 - 8. THE SUPPLY FAN SHALL BE STARTED IF THE MANUAL OVERRIDE COMMAND IS EXECUTED AT THE CENTRAL BMS WORKSTATION. THE FAN SHALL RUN UNTIL PLACED BACK IN AUTOMATIC MODE FROM THE CONTROLLER OR CENTRAL WORKSTATION.
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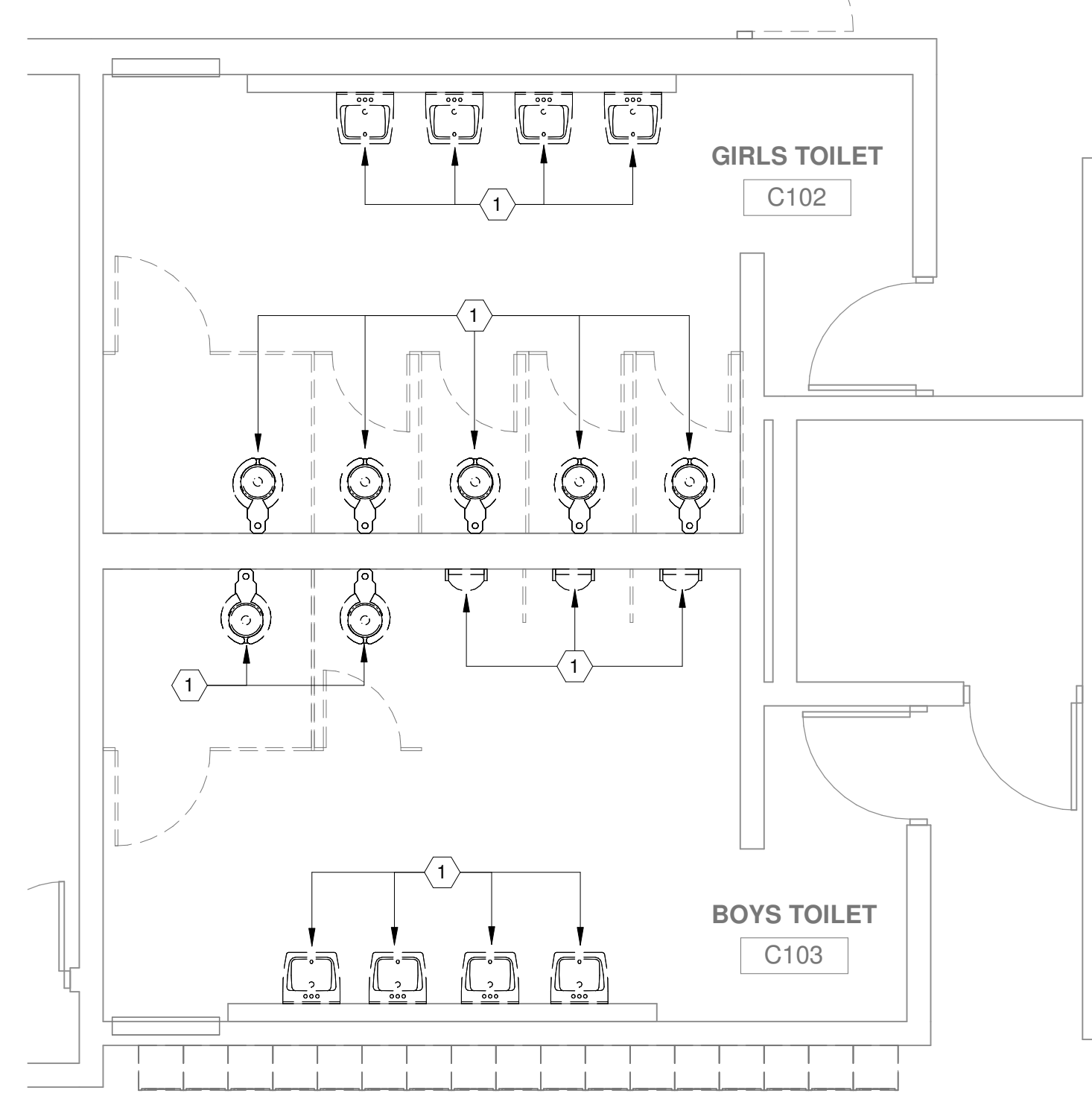
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CHECKED	SLB		0	CONSTRUCTION	
APPROVED	SLB				



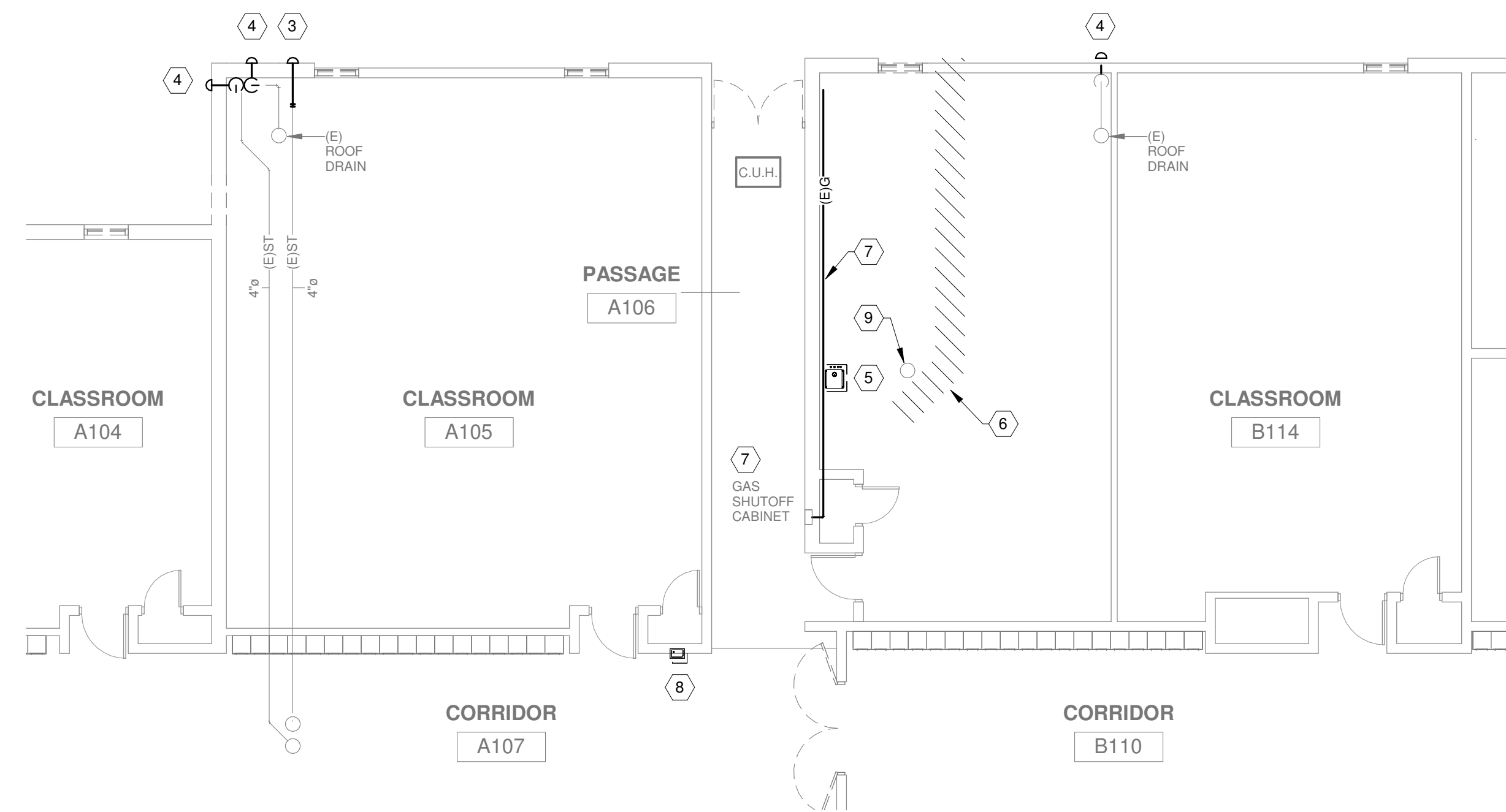
2 PLUMBING DEMOLITION PLAN - AREA 'A' RESTROOM
1/4" = 1'-0"



3 PLUMBING DEMOLITION PLAN
AREA 'B' RESTROOM
1/4" = 1'-0"



4 PLUMBING DEMOLITION PLAN - AREA 'C' RESTROOM
1/4" = 1'-0"



1 PLUMBING DEMOLITION PLAN
1/8" = 1'-0"

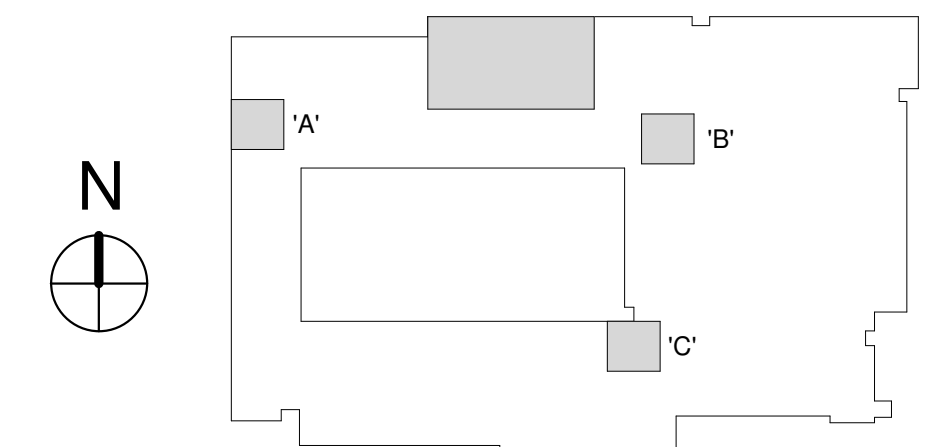
KEYNOTES

1. REPLACE PLUMBING FIXTURE.
2. REMOVE PLUMBING FIXTURE. REMOVE PIPING BACK TO SOURCE AND CAP. COORDINATE EXTENT OF REMOVAL AND PATCHING OF WALL/FLOOR MATERIALS WITH GENERAL TRADES.
3. REMOVE STORM DRAIN OVERFLOW COVER HIGH ON WALL AND SECTION OF PIPE AS SHOWN. PATCH WALL.
4. REMOVE STORM DRAIN COVER LOW ON WALL AND HORIZONTAL SECTION OF PIPE THROUGH WALL, INCLUDING ELBOW. PATCH WALL.
5. REMOVE SINK. REMOVE ASSOCIATED PLUMBING PIPING BACK TO FLOOR AND PREPARE FOR NEW CONNECTIONS.
6. FIELD VERIFICATION OF EXISTING UNDERGROUND SANITARY LINE REQUIRED FOR TIE-IN TO ADDITION. COORDINATE SAWCUTTING AND PATCHING OF FLOOR SLAB WITH ARCHITECTURAL TRADES.
7. REMOVE ALL GAS PIPE, INCLUDING VALVES, AND FITTINGS, BACK TO MAIN SHUTOFF CABINET. REMOVE MAIN SHUTOFF VALVE AND CAP.
8. REPLACE DRINKING FOUNTAIN.
9. REPLACE FLOOR CLEANOUT COVER.

GENERAL NOTES

1. THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK.
2. PLUMBING DEMOLITION WORK REQUIRED TO COMPLETE THE INSTALLATION OF NEW SYSTEMS SHALL BE PERFORMED AS PART OF THE PROJECT BASE BID.
3. INFORMATION SHOWN REFLECTS AVAILABLE RECORDS, ON-SITE OBSERVATIONS, AND INFORMATION PRESENTED BY OWNER. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID AND VERIFY LOCATIONS OF EXISTING EQUIPMENT, PIPING, AND SYSTEM COMPONENTS TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK.
5. PRIOR TO DEMOLITION THE CONTRACTOR SHALL NOTE DIFFERENCES IN FIELD CONDITIONS AND WHAT IS SHOWN ON THE CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
6. PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN THAT MAY BE DAMAGED BY THE PERFORMANCE OF THE DEMOLITION WORK. PROTECT PIPING, DUCTWORK, CONDUIT, ETC. FROM THE ENTRANCE OF FOREIGN MATERIALS.
8. VERIFY AND PROTECT ANY EQUIPMENT, PIPING, COMPONENTS, CONTROLS TO REMAIN OR BE REUSED PRIOR TO DEMOLITION. ANY SUCH ITEMS THAT ARE DAMAGED DURING DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.
9. OWNER SHALL HAVE THE FIRST RIGHT OF REFUSAL OF ANY EQUIPMENT NOTED TO BE REMOVED.
10. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF THE GRID CEILING SYSTEM AS REQUIRED FOR THE EXTENT OF DEMOLITION AND NEW WORK. PROVIDE NEW CEILINGS TO MATCH EXISTING AS REQUIRED FOR DAMAGED CEILINGS.
11. UNLESS OTHERWISE NOTED, ALL WORK DENOTED WITH BOLD (DARK) LINES REPRESENT WORK TO BE PERFORMED. ALL WORK DENOTED WITH LIGHT (SCREENED) LINES REPRESENT EXISTING TO REMAIN AND BE MAINTAINED.

KEYPLAN



BY	DATE	NO.	REVISIONS	DATE
CRP	08.18.24	A	SCHEMATIC DESIGN	09.30.24
CRP	09.18.24	B	OWNER REVIEW	12.09.24
SLB		0	FOR CONSTRUCTION	12.20.24



1 PLUMBING DEMOLITION PLAN OVERALL
1/16" = 1'-0"

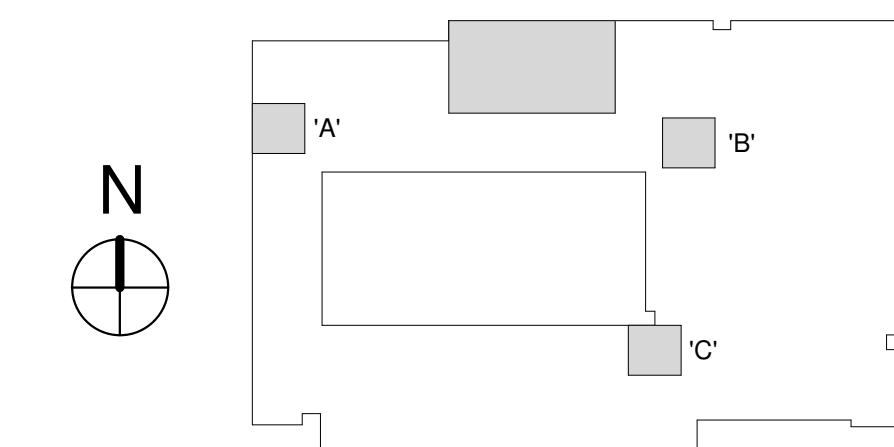
KEYNOTES

- ALTERNATE #3 - REPLACE DOMESTIC COLD WATER, HOT WATER, AND HOT WATER RECIRCULATION PIPES AS SHOWN IN BOLD BELOW. INCLUDE THE REPLACEMENT OF SHUTOFF VALVES WHERE SHOWN AND THOSE NOT SHOWN WHERE CONNECTED NEAR MAINS. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF THE GRID CEILING SYSTEM AS REQUIRED FOR THE EXTENT OF DEMOLITION AND NEW WORK. PROVIDE NEW CEILINGS TO MATCH EXISTING AS REQUIRED FOR DAMAGED CEILINGS. PIPING SHOWN REFLECTS EXISTING DOCUMENTATION. FIELD VERIFICATION OF PIPING SYSTEMS SHALL BE REQUIRED.

GENERAL NOTES

- THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK.
- PLUMBING DEMOLITION WORK REQUIRED TO COMPLETE THE INSTALLATION OF NEW SYSTEMS SHALL BE PERFORMED AS PART OF THE PROJECT BASE BID.
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- PRIOR TO DEMOLITION THE CONTRACTOR SHALL NOTE DIFFERENCES IN FIELD CONDITIONS AND WHAT IS SHOWN ON THE CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN THAT MAY BE DAMAGED BY THE PERFORMANCE OF THE DEMOLITION WORK. PROTECT PIPING, DUCTWORK, CONDUIT, ETC. FROM THE ENTRANCE OF FOREIGN MATERIALS.
- VERIFY AND PROTECT ANY EQUIPMENT, PIPING, COMPONENTS, CONTROLS TO REMAIN OR BE REUSED PRIOR TO DEMOLITION. ANY SUCH ITEMS THAT ARE DAMAGED DURING DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.
- OWNER SHALL HAVE THE FIRST RIGHT OF REFUSAL OF ANY EQUIPMENT NOTED TO BE REMOVED.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF THE GRID CEILING SYSTEM AS REQUIRED FOR THE EXTENT OF DEMOLITION AND NEW WORK. PROVIDE NEW CEILINGS TO MATCH EXISTING AS REQUIRED FOR DAMAGED CEILINGS.
- UNLESS OTHERWISE NOTED, ALL WORK DENOTED WITH BOLD (DARK) LINES REPRESENT WORK TO BE PERFORMED. ALL WORK DENOTED WITH LIGHT (SCREENED) LINES REPRESENT EXISTING TO REMAIN AND BE MAINTAINED.

KEYPLAN



ARCHITECTURE
ENGINEERING
CONSULTING

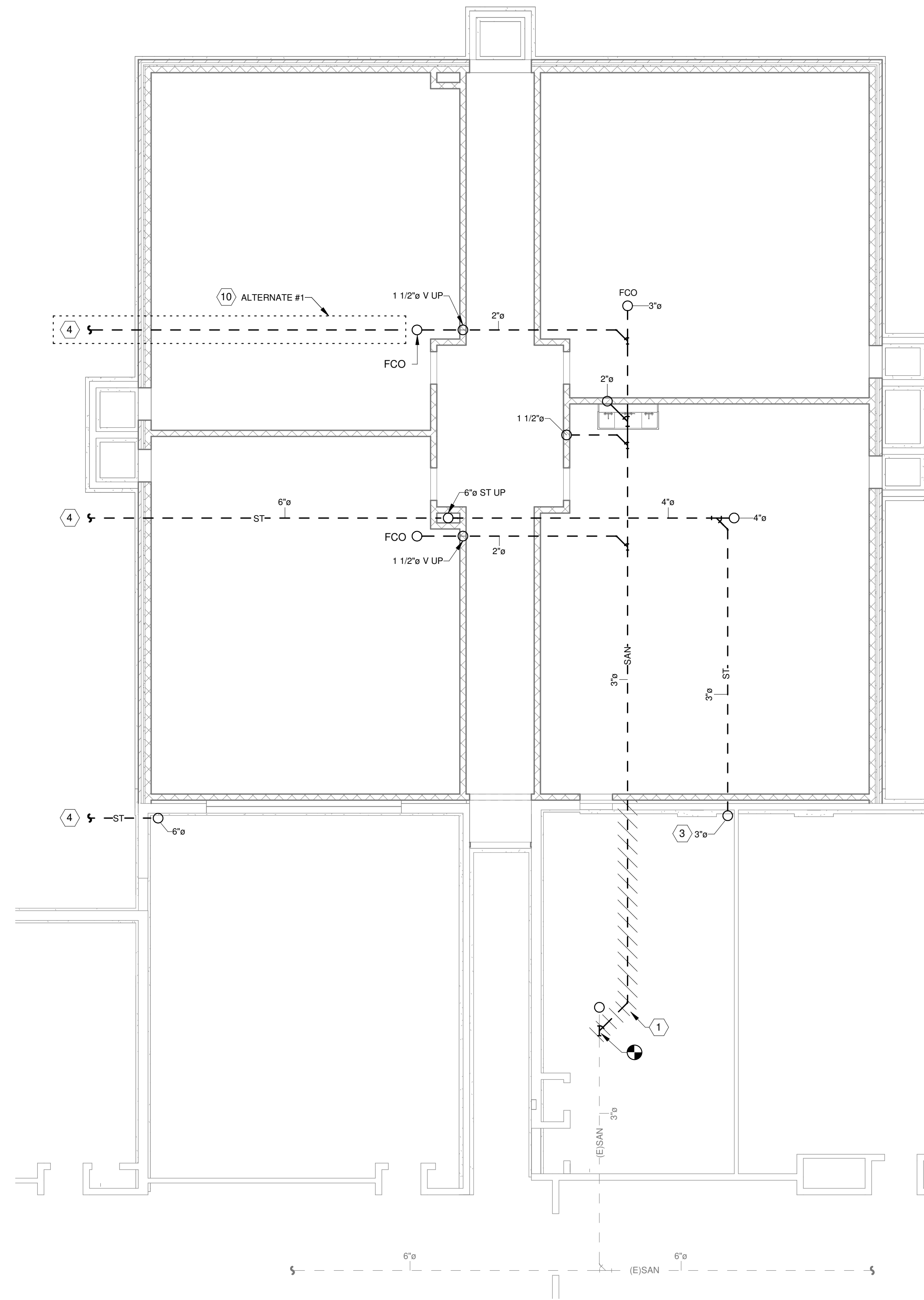


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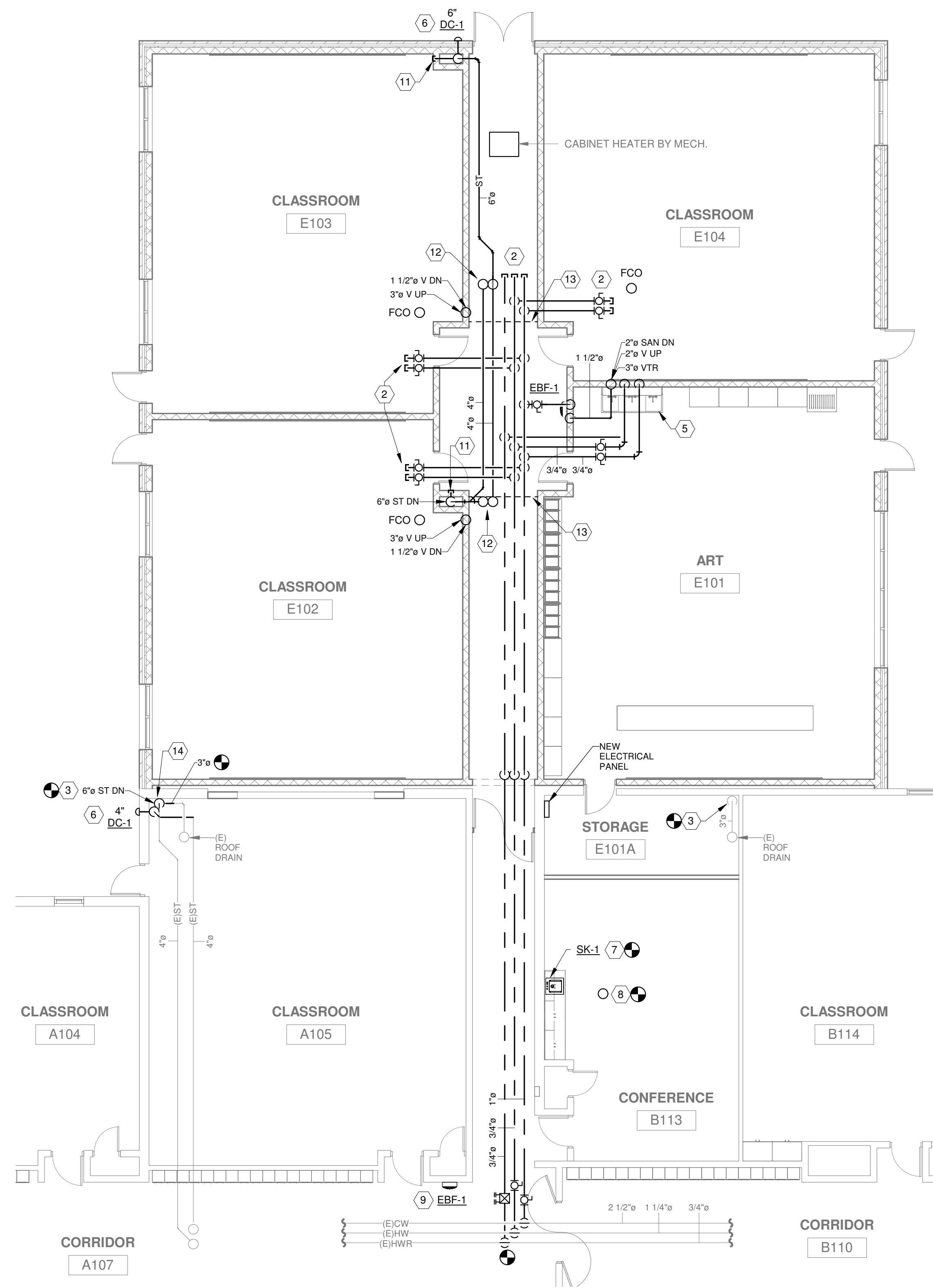
BANGOR TOWNSHIP SSSCHOOL DISTRICT
PHASE 3 - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
B	OWNER REVIEW	12.09.24
0	FOR CONSTRUCTION	12.20.24

PLUMBING DEMOLITION PLAN
APPROVED



② PLUMBING NEW WORK PLAN - ADDITION BELOW GROUND
1/8" = 1'-0"



① PLUMBING NEW WORK PLAN - ADDITION ABOVE GROUND
1/8" = 1'-0"

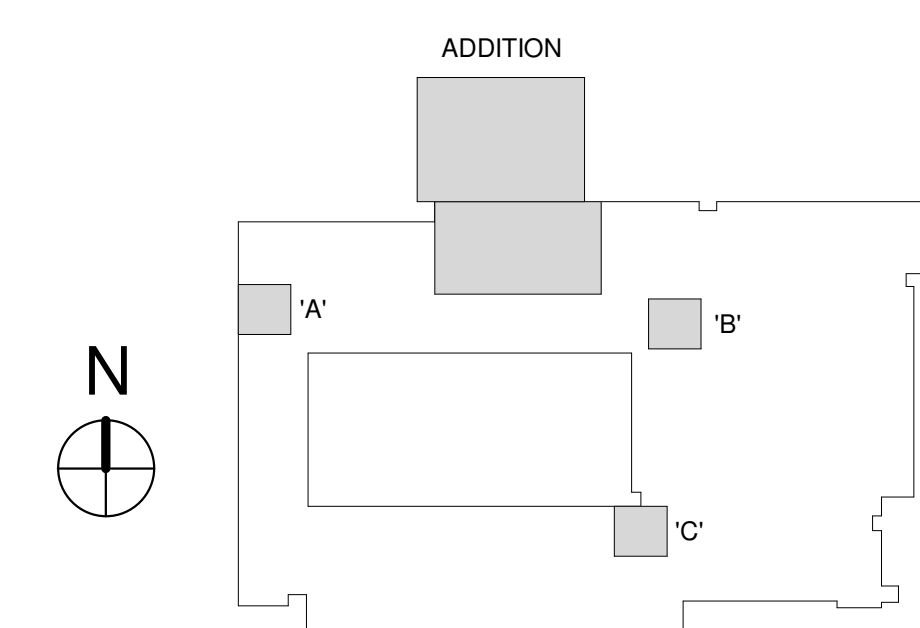
KEYNOTES

- FIELD VERIFICATION OF EXISTING UNDERGROUND SANITARY LINE REQUIRED FOR TIE-IN TO ADDITION. COORDINATE SAWCUTTING AND PATCHING OF FLOOR SLAB WITH ARCHITECTURAL TRADES.
- 1" COLD WATER, 3/4" HOT WATER, 3/4" HOT WATER RETURN VALVED AND CAPPED FOR FUTURE CONNECTION.
- CONTINUE STORM DRAIN PIPE BELOW GRADE. TURN HORIZONTALLY AT AN INVERSE ELEVATION SUITABLE TO TIE INTO STORM DRAIN PIPING DOWNSTREAM. COORDINATE WITH CIVIL FOR PIPING OVER 5' OUTSIDE OF BUILDING. CORE AND SLEEVE FOUNDATION WALL FOR PIPE PENETRATION AND PROVIDE SLEEVE SEAL SYSTEM FOR WATER TIGHT PENETRATION AS NEEDED.
- COORDINATE CONTINUATION WITH CIVIL.
- SINK BY OTHERS.
- INSTALL DOWNSPOUT COVER 18" ABOVE FINISHED FLOOR. REUSE EXISTING WALL PENETRATION WHERE FEASIBLE.
- EXTEND 1/2" CW, 1/2" HW, AND 1-1/2" SAN PIPING FROM EXISTING AT FLOOR TO SERVE NEW SINK. COORDINATE PIPING WITH NEW MILLWORK AND MODIFY AS NEEDED.
- INSTALL NEW FLOOR CLEANOUT COVER. FIELD-VERIFY EXISTING PIPE SIZE.
- MODIFY EXISTING IN-WALL PLUMBING PIPING AS NEEDED FOR NEW BOTTLE FILLER. COORDINATE WALL PATCHING WITH ARCHITECTURAL TRADES.
- IF ALTERNATE SANITARY PIPE ROUTING IS ACCEPTED, REVERSE WYE CONNECTIONS AND ELIMINATE CONNECTION TO EXISTING PIPE INSIDE BUILDING.
- INSTALL CLEANOUT AT BASE OF STACK.
- 4" STORM PIPE UP TO ROOF DRAINS. REFER TO ROOF PLAN SHEET P2.1.
- INSTALL ACCESS PANELS AS REQUIRED IN HARD LID CEILING.
- WRAP EXPOSED, INSULATED STORM PIPE IN WHITE PVC JACKET.

GENERAL NOTES

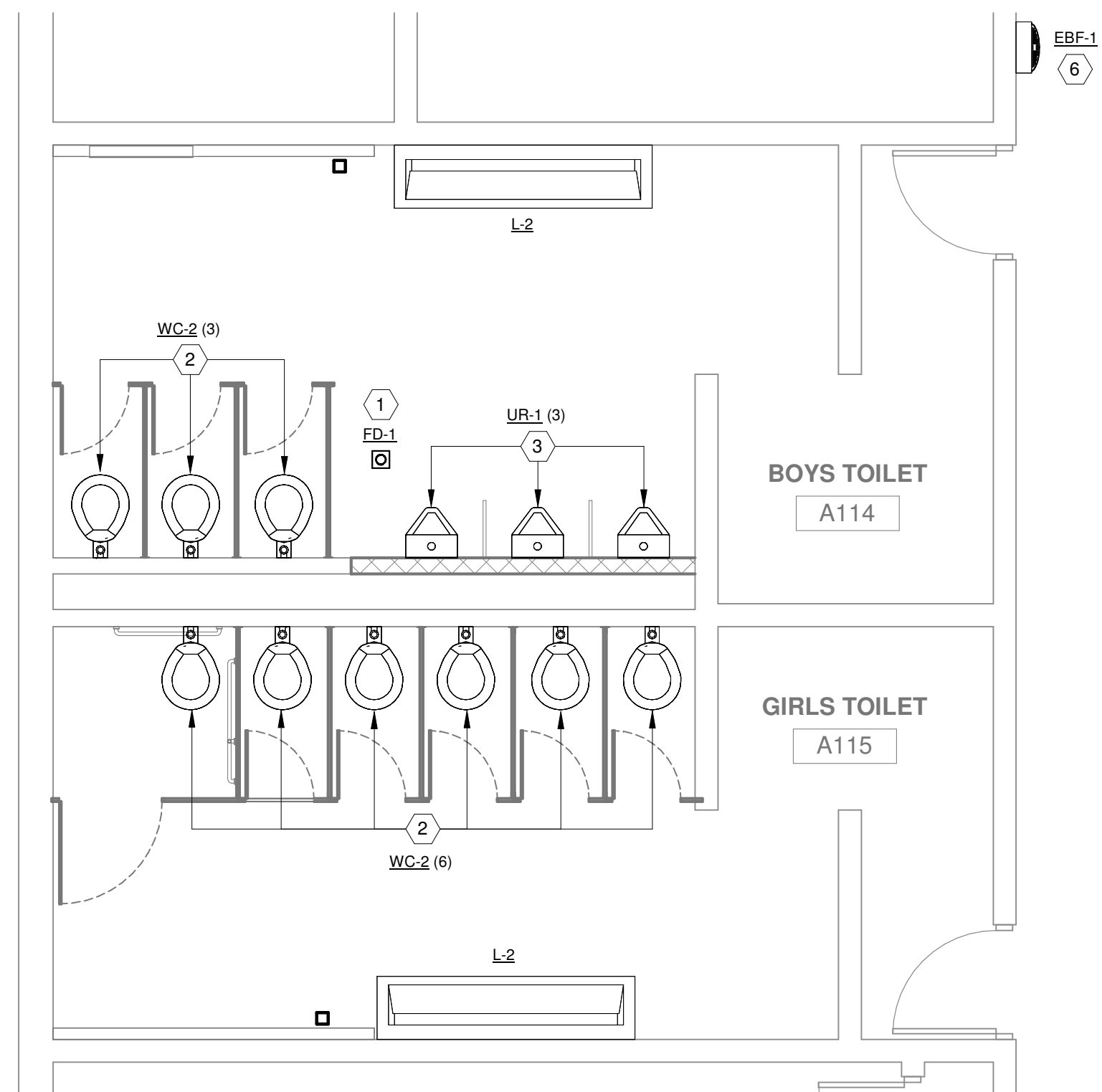
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- THE CONTRACTOR SHALL PROVIDE SUPPLEMENTAL STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL PLUMBING SYSTEMS. PIPING SHALL NOT BE INSTALLED IN A LOCATION THAT RESTRICTS THE ACCESS TO MECHANICAL DEVICES REQUIRING ACCESS. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS OF AND EXACT LOCATIONS OF FIXTURES (STANDARD AND BARRIER FREE), SINKS, ETC. REFER TO PLUMBING FIXTURE SCHEDULES FOR CONNECTION SIZES, ACCESSORIES, AND ADDITIONAL INFORMATION.
- VENT PIPE THROUGH ROOF SHALL BE LOCATED A MINIMUM 10'-0" FROM ANY FRESH AIR INTAKE LOCATION AND A MINIMUM OF 18" CLEAR FROM THE INSIDE FACE OF A PARAPET.
- PROVIDE ACCESS DOORS FOR CLEANOUTS OR VALVES LOCATED ABOVE HARD CEILINGS. COORDINATE CEILING TYPES WITH ARCHITECT.
- PROVIDE CODE REQUIRED CLEARANCE/ACCESS DOORS FOR ALL CLEANOUTS INSTALLED IN SANITARY WASTE AND VENT PIPING SYSTEMS.
- COORDINATE LOCATIONS AND SIZES OF ALL FLOOR OR WALL PENETRATIONS AND SLEEVES WITH STRUCTURAL AND ARCHITECTURAL.
- COORDINATE PAINTING OF SYSTEMS IN EXPOSED CEILINGS WITH ARCHITECT.

KEYPLAN

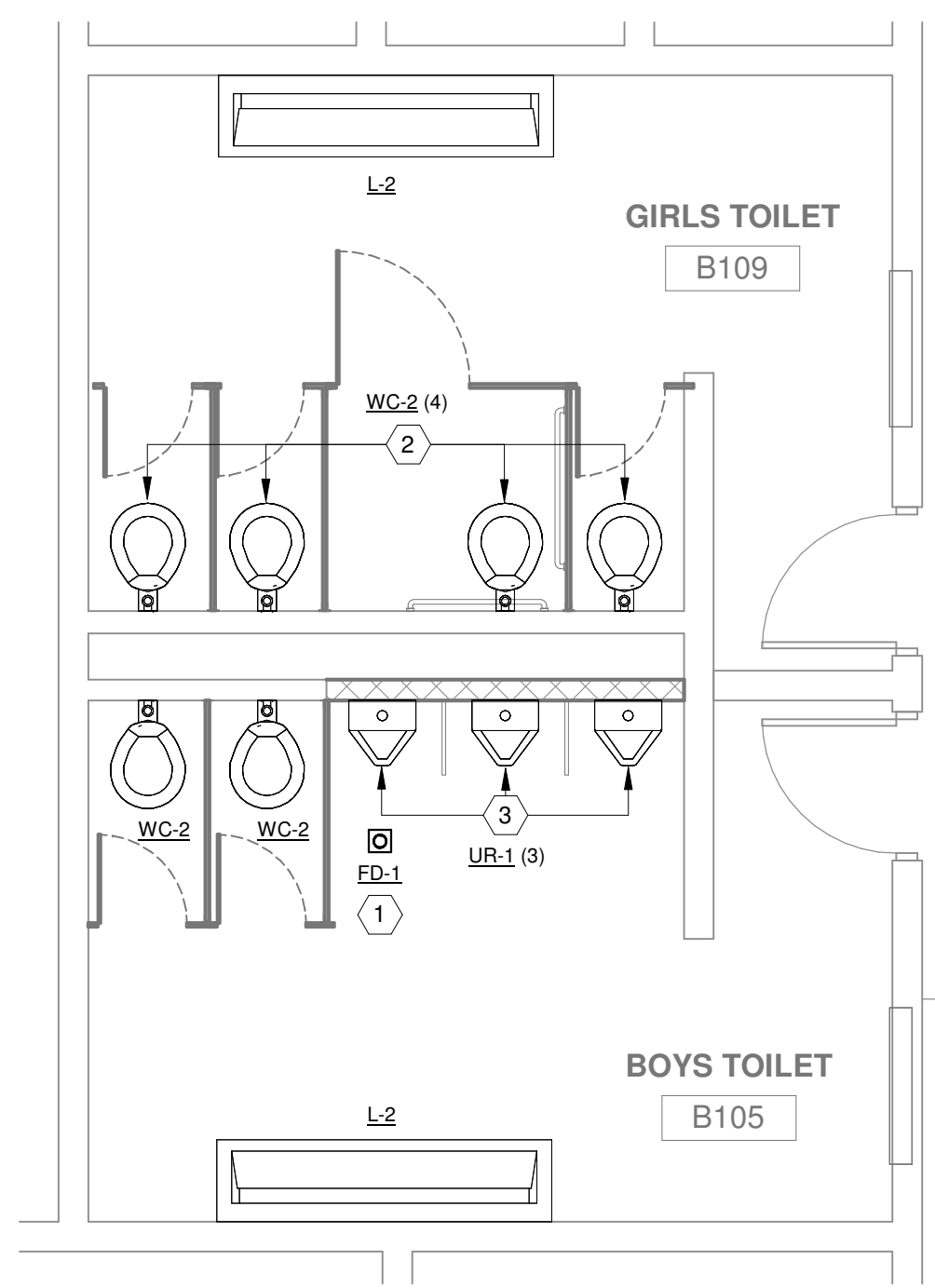


NO.	REVISIONS	DATE
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B	OWNER REVIEW	12.09.24
0	FOR CONSTRUCTION	12.20.24

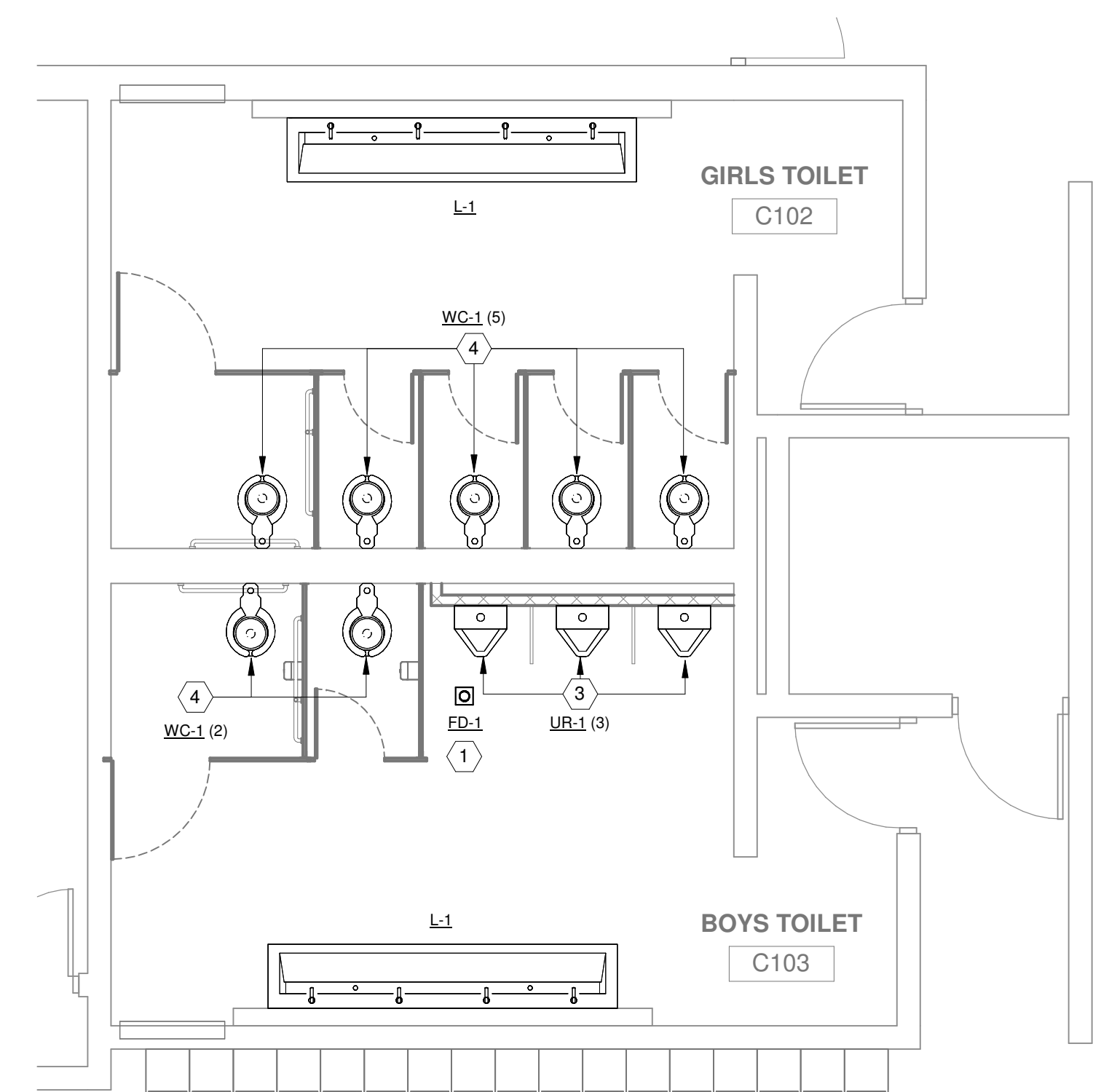
BY	DATE	NO.	REVISIONS
CRP	09.18.24	A	SCHEMATIC DESIGN
CRP	09.18.24	B	OWNER REVIEW
SLB		0	FOR CONSTRUCTION



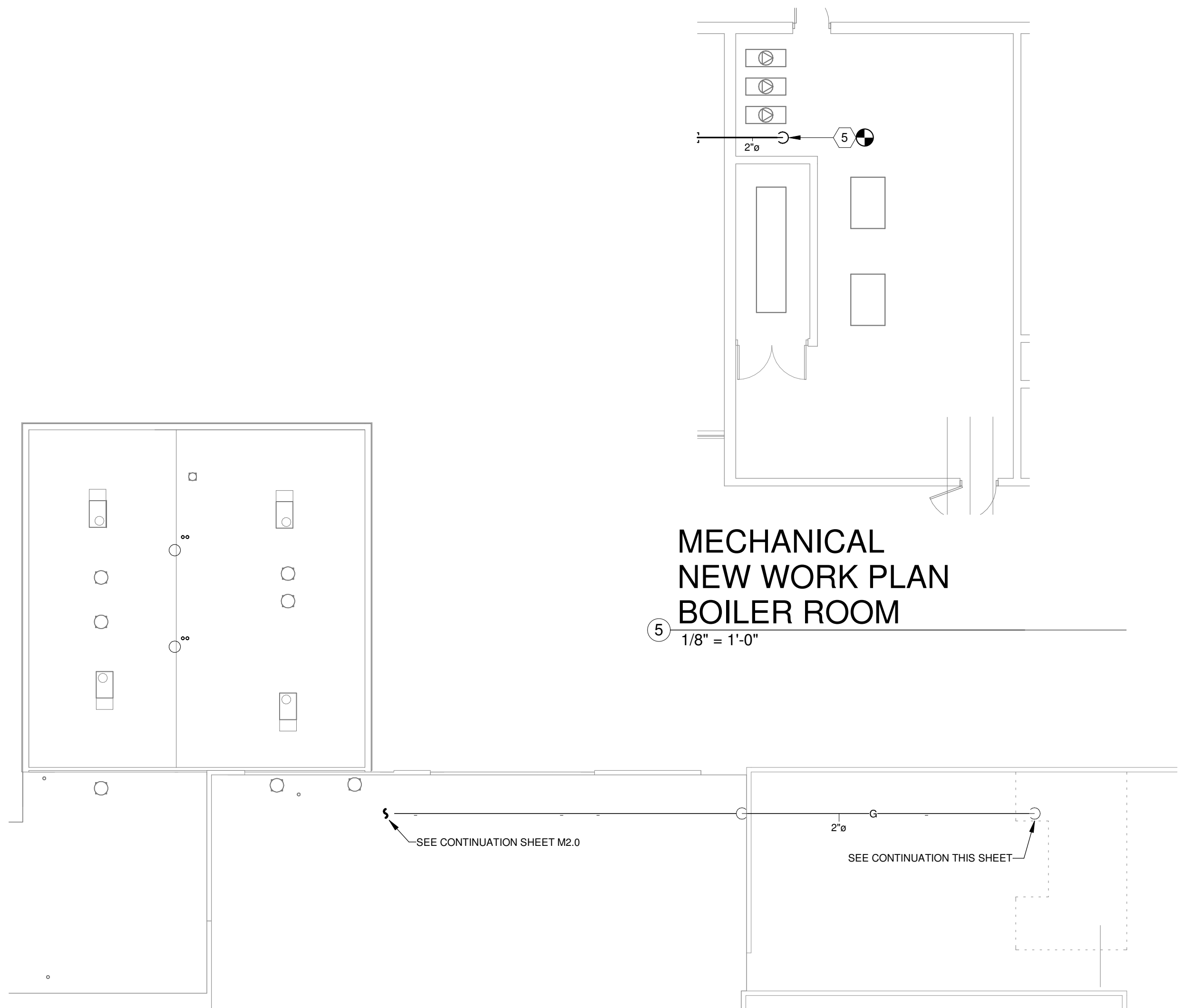
2 PLUMBING NEW WORK PLAN - AREA 'A' RESTROOM
1/4" = 1'-0"



3 PLUMBING NEW WORK PLAN AREA 'B' RESTROOM
1/4" = 1'-0"

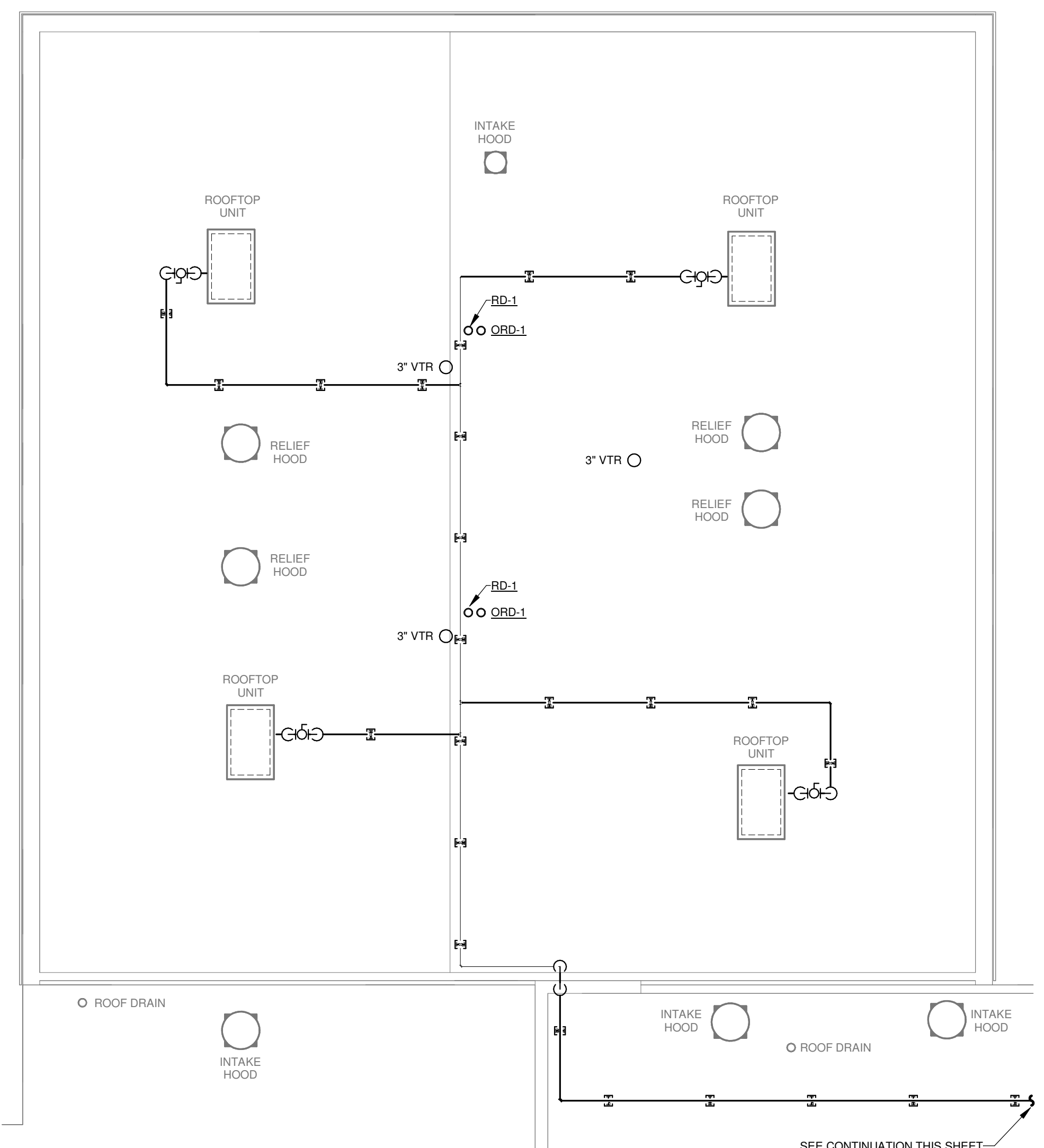


4 PLUMBING NEW WORK PLAN - AREA 'C' RESTROOM
1/4" = 1'-0"



5 MECHANICAL NEW WORK PLAN BOILER ROOM
1/8" = 1'-0"

6 PLUMBING NEW WORK PLAN COMPOSITE ROOF PLAN
1" = 20'-0"



1 PLUMBING NEW WORK PLAN - ADDITION ROOF
1/8" = 1'-0"

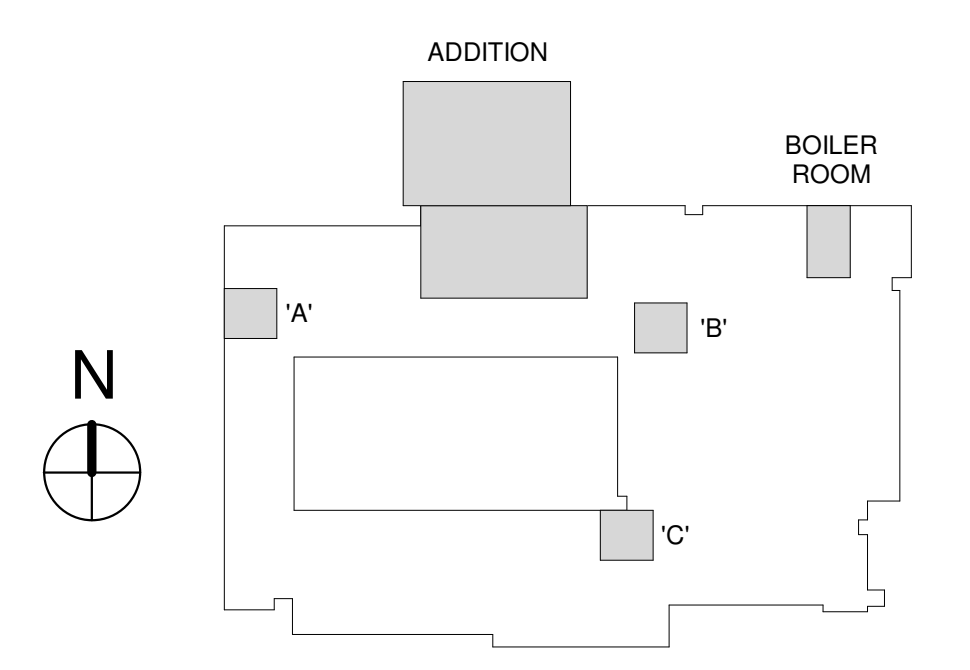
KEYNOTES

- FLOOR DRAIN LOCATION SHALL BE COORDINATED WITH AREA OF FLOOR FLAB REWORK SHOWN ON ARCHITECTURAL PLANS. SET FLOOR DRAIN ELEVATION TO ACCOUNT FOR APPROPRIATE FLOOR SLOPE TO DRAIN.
- INSTALL NEW WALL-MOUNTED WATER CLOSET IN SAME LOCATION AS EXISTING. REUSE EXISTING WALL HANGER AND PIPING CONNECTIONS. INSTALL ADA FLUSH VALVES ON APPROACH SIDE OF WATER CLOSET.
- INSTALL NEW WALL-MOUNTED URINAL IN LOCATION SHOWN. PROVIDE NEW WALL CARRIER. REUSE EXISTING PIPING CONNECTIONS AND EXTEND AS REQUIRED. INSTALL ADA FLUSH VALVES ON APPROACH SIDE OF URINAL.
- INSTALL NEW FLOOR-MOUNTED WATER CLOSET IN SAME LOCATION AS EXISTING. INSTALL NEW FLOOR FLANGE AS NEEDED. REUSE EXISTING PIPING CONNECTIONS. INSTALL ADA FLUSH VALVES ON APPROACH SIDE OF WATER CLOSET.
- CONNECT NEW GAS PIPE TO EXISTING MAIN IN BOILER ROOM.
- MODIFY EXISTING IN-WALL PLUMBING PIPING AS NEEDED FOR NEW BOTTLE FILLER. COORDINATE WALL PATCHING WITH ARCHITECTURAL TRADES.

GENERAL NOTES

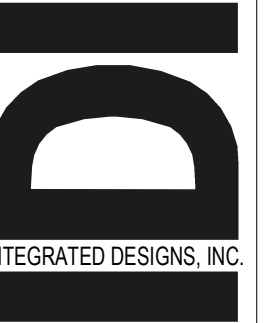
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KEYPLAN



MAQUETTE OFFICE
1211 W. BARGA AVENUE
MAQUETTE, MI 49855
PHONE: (616) 226-2524
FAX: (616) 226-2524

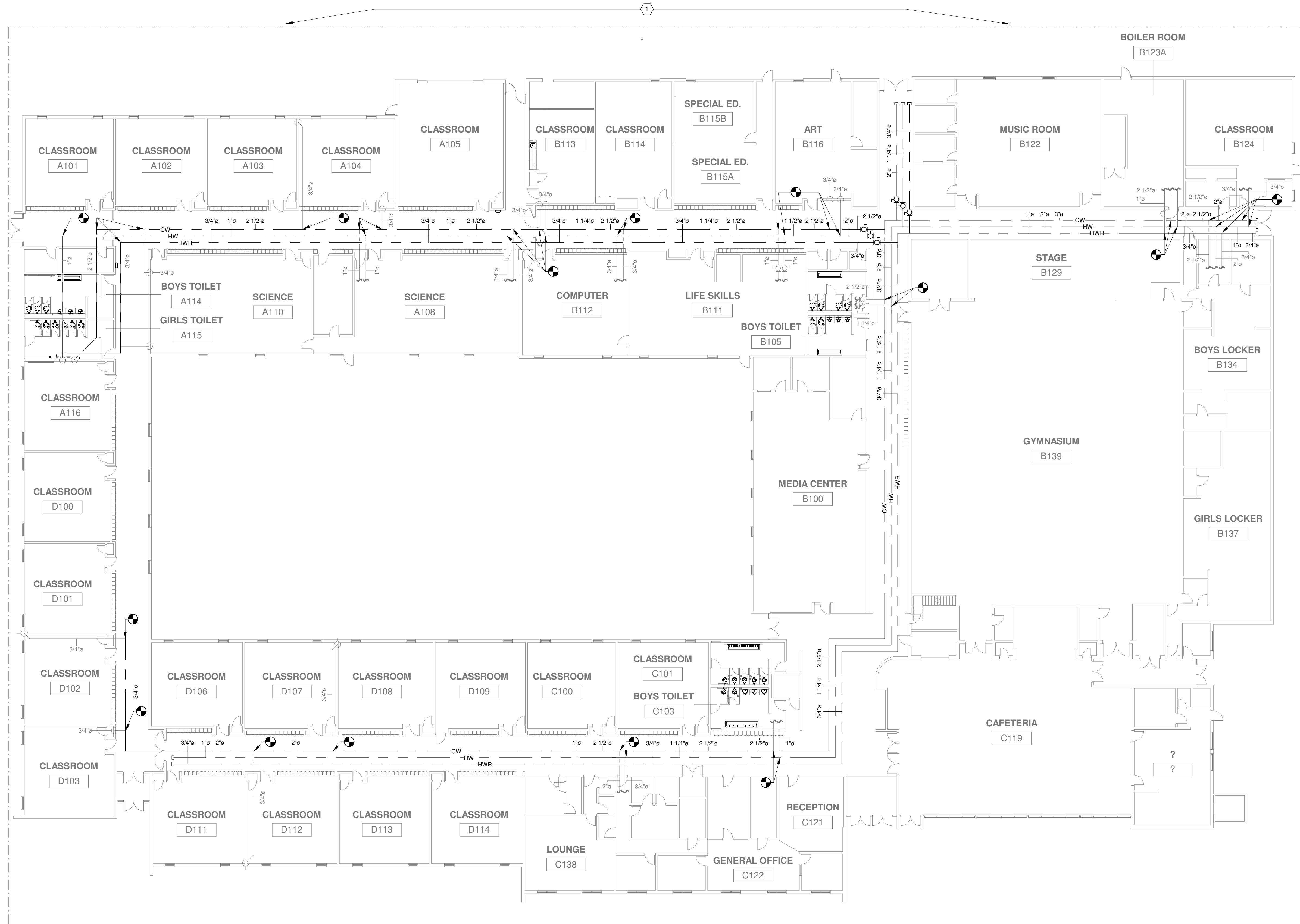
ARCHITECTURE
ENGINEERING
CONSULTING



BANGOR TOWNSHIP SSSCHOOL DISTRICT
PHASE 3 - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

NO.	REVISIONS	DATE
A	SCHEMATIC DESIGN	09.30.24
B	OWNER REVIEW	12.09.24
0	FOR CONSTRUCTION	12.20.24

PLUMBING NEW WORK PLANS
APPROVED



1 PLUMBING NEW WORK PLAN OVERALL
1/16" = 1'-0"

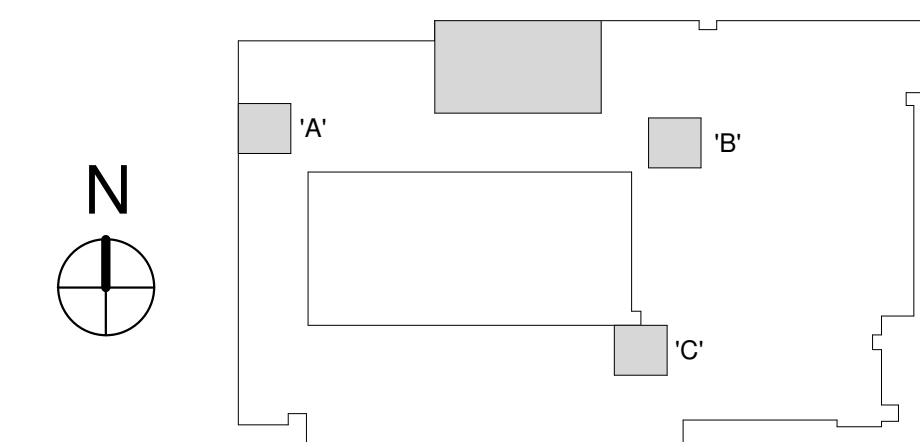
KEYNOTES

- ALTERNATE #3 - REPLACE DOMESTIC COLD WATER, HOT WATER, AND HOT WATER RECIRCULATION PIPES AS SHOWN IN BOLD BELOW. INCLUDE THE REPLACEMENT OF SHUTOFF VALVES WHERE SHOWN. ADD SHUTOFF VALVES JUST OFF PIPING MAINS (ACCESSIBLE WITHIN HALLWAY) IF THEY DO NOT EXIST DOWNSTREAM OF BRANCH PIPING. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF THE GRID CEILING SYSTEM AS REQUIRED FOR THE EXTENT OF DEMOLITION AND NEW WORK. PROVIDE NEW CEILINGS TO MATCH EXISTING AS REQUIRED FOR DAMAGED CEILINGS. PIPING SHOWN REFLECTS EXISTING DOCUMENTATION. FIELD VERIFICATION OF PIPING SYSTEMS SHALL BE REQUIRED.

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- REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS OF AND EXACT LOCATIONS OF FIXTURES (STANDARD AND BARRIER FREE), SINKS, ETC. REFER TO PLUMBING FIXTURE SCHEDULES FOR CONNECTION SIZES, ACCESSORIES, AND ADDITIONAL INFORMATION.
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KEYPLAN



MAQUETTE OFFICE
1211 W. BARGA AVENUE
MAQUETTE, MI 49855
PHONE: (616) 226-2540 FAX: (616) 226-2544
BRIGHTON OFFICE
6811 V. GRAND STREETS, SUITE 800
BRIGHTON, MI 48111
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BANGOR TOWNSHIP SSSCHOOL DISTRICT
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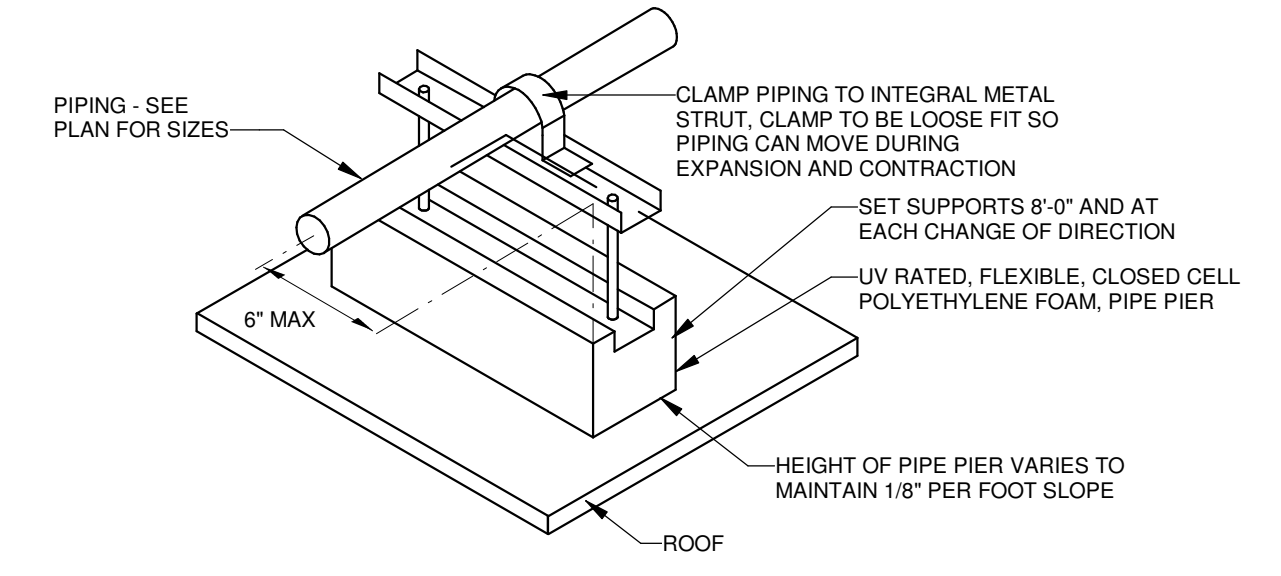
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BY	DATE	CRP	SLB
DESIGN		CRP	SLB
DRAWN		CHECKED	APPROVED

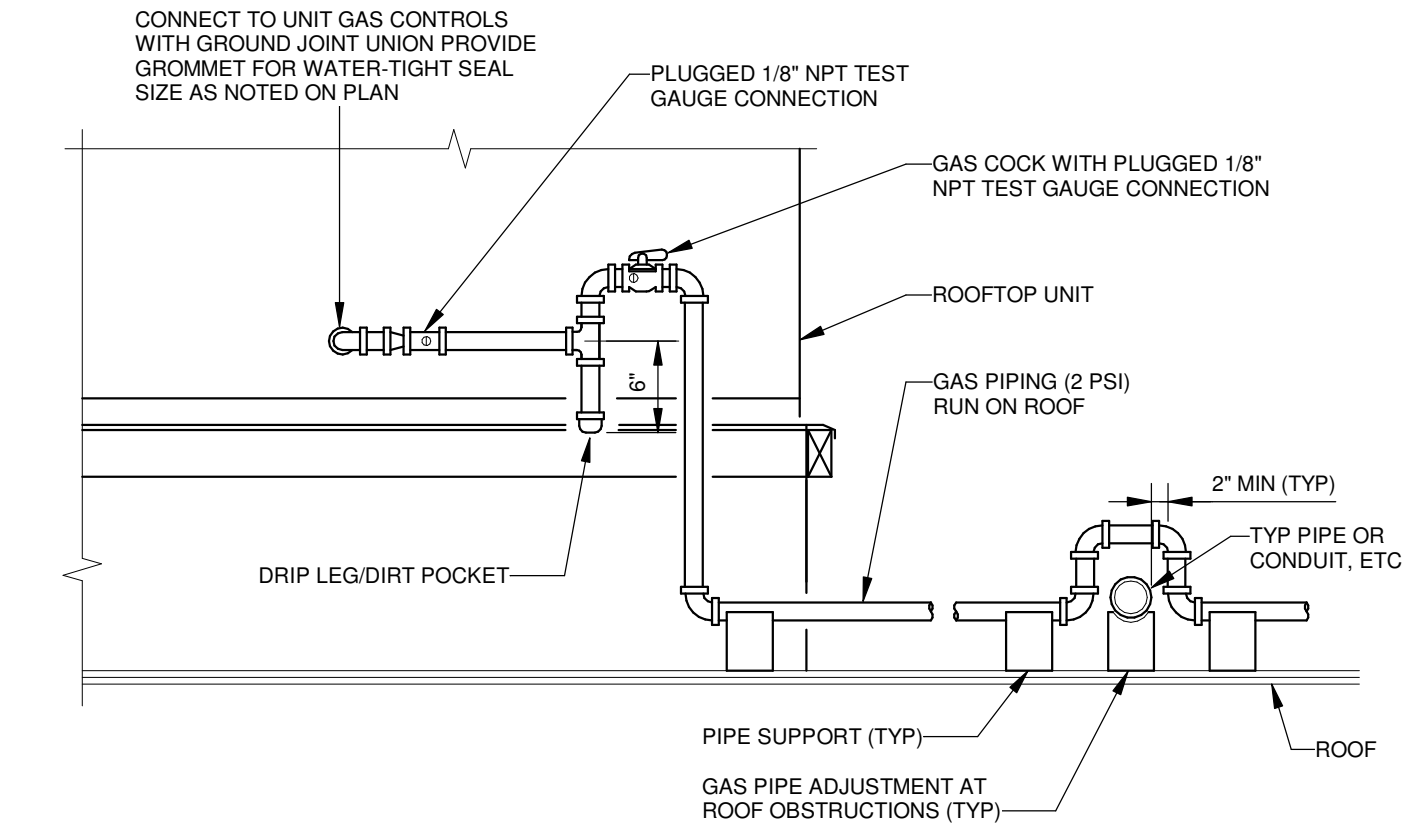
PLUMBING NEW WORK PLAN
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NO.	REVISIONS	DATE
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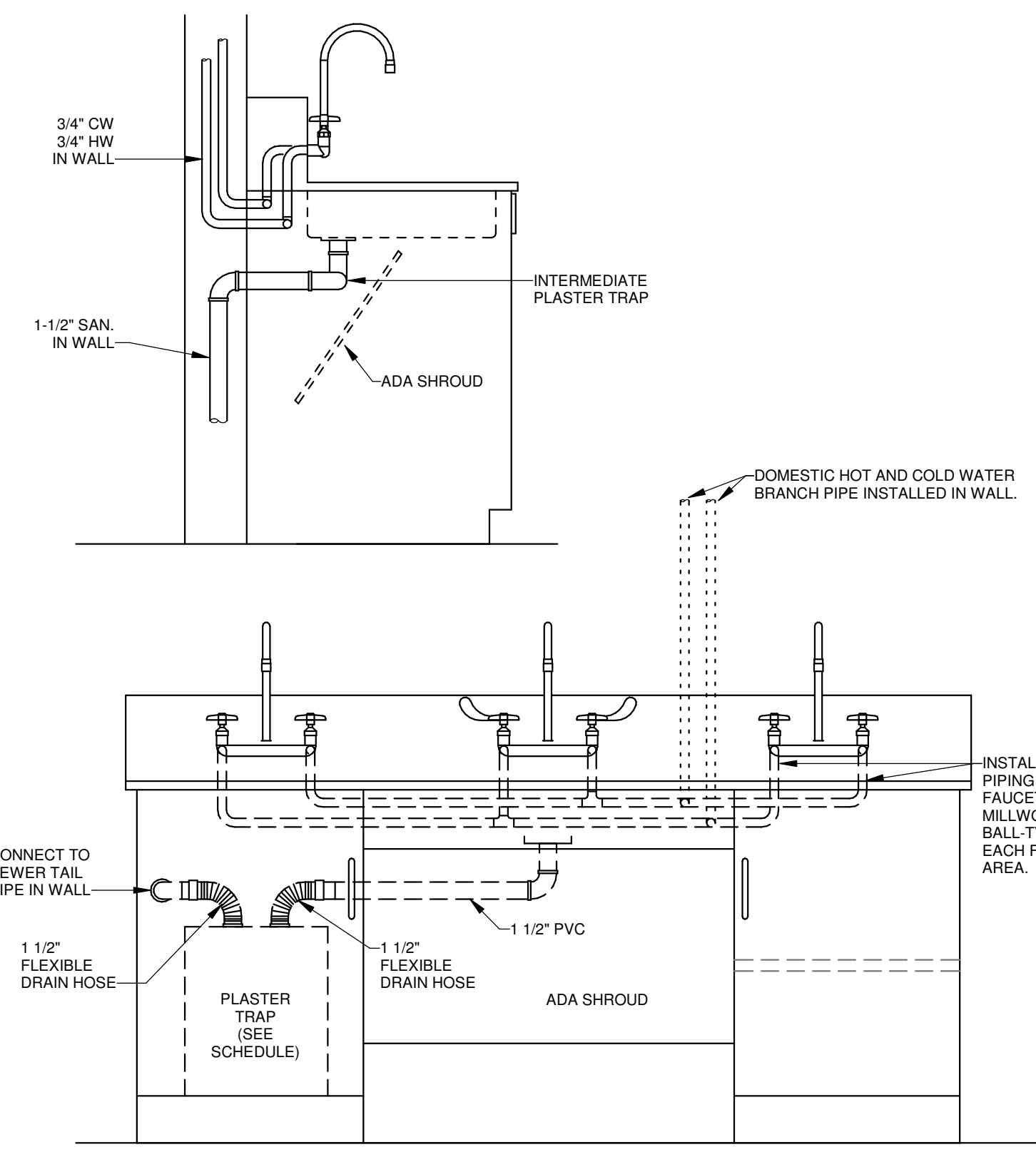
PLUMBING DETAILS & SCHEDULES
APPROVED



2 GAS PIPING SUPPORT ROOF DETAIL
N.T.S.



1 RTU GAS PIPING CONNECTION DETAIL
N.T.S.



3 ART ROOM SINK DETAIL
N.T.S.

NATURAL GAS REQ'S			
UNIT ID	EQUIPMENT TYPE	CAPACITY (CFH)	REQUIRED OPERATING PRESSURE (IN. WC.)
EXIST.	BOILER	1,000	7-14
EXIST.	BOILER	1,000	7-14
EXIST.	DRYER	95	7-14
EXIST.	WATER HEATER	250	4.5-14
EXIST.	WATER HEATER	250	4.5-14
EXIST.	RTU	200	4.5-14
EXIST.	RTU	200	4.5-14
EXIST.	RTU	200	4.5-14
EXIST.	RTU	90	4.5-14
EXIST.	RTU	100	4.5-14
EXIST.	RTU	80	4.5-14
EXIST.	RTU	120	4.5-14
EXIST.	LAB TURRETS	XXX	XXX
EXIST.	KITCHEN EQUIPMENT	XXX	XXX
RTU-1	ROOFTOP UNIT	120	4.5-14
RTU-2	ROOFTOP UNIT	120	4.5-14
RTU-3	ROOFTOP UNIT	120	4.5-14
RTU-4	ROOFTOP UNIT	120	4.5-14
TOTAL			

NOTES:
1. BANGOR TOWNSHIP SCHOOLS HAS AN EXISTING ACCOUNT WITH CONSUMERS ENERGY.

PLUMBING FIXTURE SCHEDULE								
UNIT ID	BARRIER FREE	ITEM	PIPE CONNECTION SIZES				MANUFACTURER/ MODEL NO.	REMARKS
			WASTE	VENT	CW	HW		
DC-1	-	DOWNSPOUT COVER	SEE PLANS	-	-	-	JAY R SMITH: 1775	STAINLESS STEEL WITH HINGED, PERFORATED COVER, SLEEVES OVER PIPE.
EBF-1	Y	ELECTRIC BOTTLE FILLER (WALL MOUNTED)	1 1/4"	-	1/2"	-	ELKAY: LZBWSSMC	SINGLE STATION, REFRIGERATED SURFACE MOUNT BOTTLE FILLING STATION, FILTERED, 8 GPH, ELECTRONIC SENSOR ACTIVATION, 115V, 15 WATTS, 5 AMP, ADA, NSF 42/53 COMPLIANT
FD-1	-	FLOOR DRAIN	SEE PLANS	-	-	-	JAY R SMITH: 2005	CAST IRON BODY WITH FLASHING COLLAR AND ADJUSTABLE STRAINER HEAD, SEEPAGE AND ANCHOR FLANGE, ROUND 6" STAINLESS STEEL STRAINER. FURNISH WITH TRAP SEAL "TS-1"
L-1	Y	LAVATORY MULTI-STATION (WALL MOUNTED)	1 1/2"	1 1/2"	1/2"	1/2"	SLOAN ELGR-84000	4-STATION WALL-MOUNTED, NON-POROUR, SOLID-SURFACE MOLDED BASIN, XX" LONG x XX"WIDE x X" DEEP, CUSTOM COLOR BY ARCHITECT. FURNISH WITH: 1. FAUCET (PER STATION); DELTA 86T1153, MANUAL METERING FAUCET WITH ADA COMPLIANT TIP ACTION LEVER HANDLES, 0.5 GPM, CHROME PLATED. 2 HOLES ON 4" CENTER. 2. ASSE 1070 COMPLIANT MIXING VALVE (PER STATION). 3. FULL LENGTH STAINLESS STEEL ADA COMPLIANT BELOW COUNTER ENCLOSURE.
L-2	Y	LAVATORY MULTI-STATION (WALL MOUNTED)	1 1/2"	1 1/2"	1/2"	1/2"	SLOAN ELGR-83000	3-STATION WALL-MOUNTED, NON-POROUR, SOLID-SURFACE MOLDED BASIN, XX" LONG x XX"WIDE x X" DEEP, CUSTOM COLOR BY ARCHITECT. FURNISH WITH: 1. FAUCET (PER STATION); DELTA 86T1153, MANUAL METERING FAUCET WITH ADA COMPLIANT TIP ACTION LEVER HANDLES, 0.5 GPM, CHROME PLATED. 2 HOLES ON 4" CENTER. 2. ASSE 1070 COMPLIANT MIXING VALVE (PER STATION). 3. FULL LENGTH STAINLESS STEEL ADA COMPLIANT BELOW COUNTER ENCLOSURE.
ORD-1	-	OVERFLOW ROOF DRAIN	SEE PLANS	-	-	-	JAY R SMITH: 1080	CAST IRON BODY WITH COMBINED FLASHING CLAMP AND GRAVEL STOP, LOW PROFILE POLYETHYLENE DOME, UNDERDECK CLAMP, AND 2' TALL CAST IRON WATER DAM.
PT-1	-	PLASTER TRAP	SEE PLANS	-	-	-	BUFFALO MODEL - TRAP-EZE	2 GALLON PLASTER TRAP.
RD-1	-	ROOF DRAIN	SEE PLANS	-	-	-	JAY R SMITH: 1010	CAST IRON BODY WITH COMBINED FLASHING CLAMP AND GRAVEL STOP, LOW PROFILE POLYETHYLENE DOME, UNDERDECK CLAMP, AND 2' TALL CAST IRON WATER DAM.
SK-1	-	SINK (UNDERMOUNT)	1 1/2"	1 1/2"	1/2"	1/2"	ELKAY: MODEL - ELUH1814PD	STAINLESS STEEL, SINGLE BOWL, 20 1/2" x 16 1/2" x 7 7/8" OVERALL, 18" x 14" x 7 7/8" BOWL, WITH DRAIN. FAUCET: CHICAGO 785-GNAB36ABCP, 9" RIGID/SWING GOOSENECK SPOUT, PRESSURE COMPENSATING LAMINAR FLOW NON-AERATING OUTLET 1.5 GPM, 4" WRISTBLADE HANDLES, 8" FIXED CENTERS, POLISHED CHROME
TS-1	-	TRAP SEAL	SEE PLANS	-	-	-	SURESEAL	IN-LINE FLOOR DRAIN TRAP SEAL, PREASSEMBLED, ABS PLASTIC HOUSING, NEOPRENE RUBBER DIAPHRAGM WITH 2" SOFT RUBBER GASKETS, ASSE 1072.
UR-1	Y	URINAL (WALL MOUNTED)	2"	1 1/2"	3/4"	-	SLOAN SU-1009	VITREOUS CHINA, WASHDOWN FLUSHING ACTION, 3/4" TOP SPUD INLET FLUSH VALVE: SLOAN ROYAL 180, 1.0 GPF, MANUAL, CHROME PLATED
WC-1	Y	WATER CLOSET (FLOOR-MOUNTED)	4"	-	1"	-	SLOAN ST-2029	VITREOUS CHINA, ELONGATED BOWL, SIPHON JET FLUSHING ACTION, 1 1/2" TOP SPUD INLET SEAT: BEMIS 1955CT1955SSCT, OPEN FRONT, ELONGATED, WHITE FLUSH VALVE: SLOAN ROYAL 110, 1.6 GPF, MANUAL, CHROME PLATED
WC-2	Y	WATER CLOSET (WALL-MOUNTED)	4"	-	1"	-	SLOAN ST-2459	VITREOUS CHINA, ELONGATED BOWL, SIPHON JET FLUSHING ACTION, 1 1/2" TOP SPUD INLET SEAT: BEMIS 1955CT1955SSCT, OPEN FRONT, ELONGATED, WHITE FLUSH VALVE: SLOAN ROYAL 110, 1.6 GPF, MANUAL, CHROME PLATED

ELECTRICAL SYMBOL LIST

NOTE: SOME SYMBOLS SHOWN MAY NOT APPLY TO THIS PROJECT

	2'x2' RECESSED LIGHTING FIXTURE		DUPLEX RECEPTACLE		NON-FUSED DISCONNECT SWITCH XA - AMP RATING / XP - POLES QUANTITY / XV - VOLTAGE RATING		FIRE ALARM MANUAL PULL STATION
	2'x4' RECESSED LIGHTING FIXTURE		ABOVE COUNTER DUPLEX RECEPTACLE		FUSED DISCONNECT SWITCH XA - AMP RATING / XP - POLES QUANTITY / XV - VOLTAGE RATING / XAF - FUSE RATING		SMOKE DETECTOR
	2'x2' SURFACE MOUNTED LIGHTING FIXTURE		QUAD RECEPTACLE		STARTER SWITCH		DUCT MOUNTED SMOKE DETECTOR
	2'x4' SURFACE MOUNTED LIGHTING FIXTURE		ABOVE COUNTER QUAD RECEPTACLE		BRANCH CIRCUIT BREAKER PANEL		CARBON MONOXIDE DETECTOR
	PENDANT DECORATIVE LIGHTING FIXTURE		SPECIALTY RECEPTACLE		DISTRIBUTION PANEL		HEAT DETECTOR
	PENDANT LINEAR LIGHTING FIXTURE		CEILING MOUNTED DUPLEX RECEPTACLE		TRANSFORMER		TAMPER SWITCH
	HIGH-BAY LIGHTING FIXTURE		HARD WIRED POWER CONNECTION		AUTOMATIC TRANSFER SWITCH		FLOW SWITCH
	WALL MOUNTED LIGHTING FIXTURE		FLOORBOX / POKE-THROUGH		BELL DEVICE		MAGNETIC DOOR HOLD OPEN
	WALL SCONCE		JUNCTION BOX		WALL MOUNTED SPEAKER		WALL MOUNTED AUDIO FIRE ALARM DEVICE XXcd - CANDELA RATING
	POLE MOUNTED LIGHTING FIXTURE		POWER POLE		CEILING MOUNTED SPEAKER		CEILING MOUNTED AUDIO FIRE ALARM DEVICE XXcd - CANDELA RATING
	LIGHTED EXIT SIGN WITH DIRECTIONAL ARROWS SHADED AREA INDICATEDS FACE		RACEWAY		WALL MOUNTED SINGLE FACE CLOCK		WALL MOUNTED VISUAL FIRE ALARM DEVICE XXcd - CANDELA RATING
	LIGHTED EXIT SIGN - WALL MOUNTED		CORD REEL		CEILING MOUNTED SINGLE FACE CLOCK		CEILING MOUNTED VISUAL FIRE ALARM DEVICE XXcd - CANDELA RATING
	EMERGENCY LIGHTING UNIT		MOTORIZED SWITCH		WALL MOUNTED DOUBLE FACE CLOCK		WALL MOUNTED COMBO VISUAL & AUDIO FIRE ALARM DEVICE XXcd - CANDELA RATING
	WALL STATION X - WALL STATION TYPE		PUSH BUTTON		CEILING MOUNTED DOUBLE FACE CLOCK		CEILING MOUNTED COMBO VISUAL & AUDIO FIRE ALARM DEVICE XXcd - CANDELA RATING
	SINGLE POLE TOGGLE SWITCH		DATA OUTLET 'X' INDICATES PORT COUNT		INTERCOM		FIRE ALARM CONTROL PANEL
	3-WAY TOGGLE SWITCH		ABOVE COUNTER DATA OUTLET 'X' INDICATES PORT COUNT		DOOR RELEASE BUZZER		
	4-WAY TOGGLE SWITCH		CEILING MOUNTED DATA OUTLET 'X' INDICATES PORT COUNT		DOOR LOCK		
	DIMMER SWITCH		WIRELESS ACCESS POINT		KEY PAD		
	KEY OPERATED SWITCH				CARD READER		
	AREA CONTROLLER				DOOR POSITION SWITCH		
	REMOTE RELAY SWITCH				SECURITY CAMERA		
	TIME CLOCK						
	OCCUPANCY SENSOR						
	PHOTOCELL						

GENERAL NOTES

- TYPICAL**
- UNLESS NOTED OTHERWISE, ALL LIGHTING, DEVICES, EQUIPMENT, CIRCUITRY, ETC. DENOTED WITH BOLD (DARK) LINES REPRESENT WORK TO BE PERFORMED. ALL LIGHTING, DEVICES, EQUIPMENT, CIRCUITRY, ETC. DENOTED WITH LIGHT (SCREENED) LINES REPRESENT EXISTING TO REMAIN AND BE MAINTAINED.
 - EXISTING CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD INSPECTIONS. CONTRACTOR SHALL VERIFY EXACT LOCATIONS. REPORT DISCREPANCIES TO ARCHITECT/ENGINEER BEFORE DEMOLITION.
 - VERIFY WITH CONSTRUCTION ADMINISTRATION ELECTRICAL CONTRACTOR'S RESPONSIBILITY FOR PATCHING, PREPPING AND PAINTING EXISTING WALL SURFACES TO MATCH EXISTING WHERE DEVICES AND EQUIPMENT ARE REMOVED.
 - ALL NEW FEEDER AND BRANCH CIRCUIT CONDUIT AND WIRING SHALL BE RUN CONCEALED WITHIN EXISTING WALL CAVITIES OR ABOVE CEILINGS. EXPOSED RACEWAY ACCEPTABLE ONLY WHERE APPROVED BY OWNER, CONSTRUCTION MANAGER AND ENGINEER IN WHICH CASES WIREMOLD 700 (WHITE), OR EQUAL, SURFACE MOUNTED RACEWAY IS ACCEPTABLE. CONTRACTORS SHALL FIELD VERIFY EXISTING CONSTRUCTION CONDITIONS PRIOR TO BIDDING.
 - REFER TO SHEET E0.0 FOR ELECTRICAL SYMBOL LEGEND.

- POWER**
- ALL NEW RECEPTACLE DEVICES SHALL BE TAMPER RESISTANT (TR) TYPE.
 - NOTIFY ARCHITECT/ENGINEER OF ANY IN FIELD OBSTRUCTIONS THAT INTERFERE WITH LOCATIONS OF NEW RECEPTACLES AND COORDINATE WORK AS REQUIRED.

- LIGHTING**
- LIGHTING ALTERATIONS SHALL COMPLY WITH ASHRAE STANDARD 90.1 2013, SECTION 9.1.2 OR ADDENDUM E OF THE 2015 SUPPLEMENT TO THIS STANDARD.
 - ALL NEW FIXTURES SHOWN HAVE INTEGRAL MOTION AND DAYLIGHT HARVESTING SENSORS INSTALLED BY FACTORY. FIXTURES AND WALL STATIONS SHALL BE PROGRAMMED TO COMPLY WITH ASHRAE STANDARD 90.1 2013, SECTION 9.4. WALL STATIONS AND FIXTURES SHALL BE PROGRAMMED TO PROVIDE THE FOLLOWING CONTROL AS REQUIRED: LOCAL MANUAL CONTROL, AUTOMATIC CONTROL, BI LEVEL CONTROL AND DAYLIGHT RESPONSIVE CONTROL.
 - NOTIFY ARCHITECT/ENGINEER OF IN FIELD OBSTRUCTIONS THAT INTERFERE WITH DESIGNED LIGHT FIXTURE LAYOUT AND COORDINATE WORK AS REQUIRED.
 - REFER TO ARCHITECTURAL PLANS FOR DIMENSIONED LIGHT FIXTURE LOCATIONS.
 - REFER TO SHEET E3.0 FOR LIGHTING FIXTURE SCHEDULE.

- FIRE ALARM**
- ALL NEW FIRE ALARM DEVICES ON THESE DRAWINGS TO MATCH EXISTING SIMPLEX FIRE ALARM SYSTEM. PROVIDE ALL NECESSARY WIRING, DEVICES, PROGRAMMING, ETC. FOR A COMPLETE AND OPERABLE SYSTEM.
 - A DIFFERED SUBMITTAL FOR FIRE ALARM SYSTEM SHALL BE SENT TO BCC FOR REVIEW ONCE BIDS FOR PROJECT HAVE BEEN RECEIVED AND CONTRACT(S) AWARDED. THE INSTALLING CONTRACTOR SHALL PROVIDE SHOP DRAWINGS DESGN MINIMUM AUDIBILITY LEVEL FOR OCCUPANT NOTIFICATION, BATTERY AND VOLTAGE DROP CALCULATIONS AND OTHER ITEMS SPECIFIC TO THE SYSTEM BEING INSTALLED ON THIS PROJECT.

- PUBLIC ADDRESS SYSTEM**
- ALL NEW SPEAKERS ON THESE DRAWINGS TO MATCH EXISTING VALCOM PUBLIC ADDRESS SYSTEM. PROVIDE ALL NECESSARY WIRING, DEVICES, PROGRAMMING, ETC. FOR A COMPLETE AND OPERABLE SYSTEM.

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BRIGHTON OFFICE:
6811 IV GRAND PIERRE AVE. SUITE 600
BRIGHTON, MI 48015
PHONE (810) 221-0701 FAX (810) 221-8767



BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3 - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

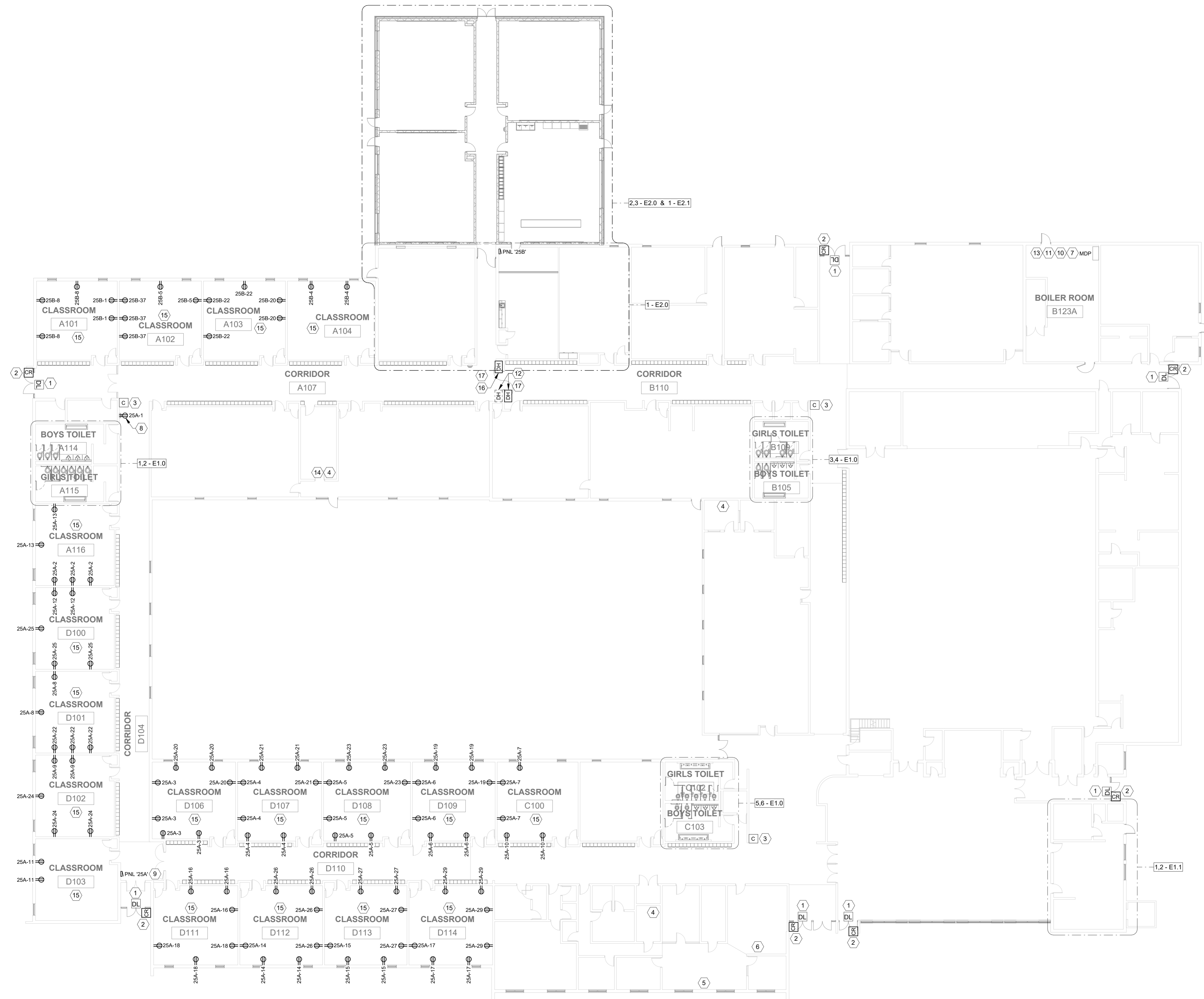
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DRAWN	SNS 12.09.24			
CHECKED	AJM 12.16.24			
APPROVED	AJM 12.09.24			

ELECTRICAL SYMBOL
LEGEND

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- ### KEYNOTES
1. CONNECT DOOR STRIKE PROVIDED BY DOOR HARDWARE SUPPLIER TO EXISTING BUILDING ACCESS CONTROL SYSTEM. PROVIDE ALL REQUIRED WIRING, DEVICES, PROGRAMMING, ETC. FOR A COMPLETE AND OPERABLE SYSTEM.
 2. NEW CARD READER TO BE PROVIDED BY OWNER THROUGH HONOR SECURITY. INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE OUTDOOR RATED, SINGLE GANG, DEEP BOX, AT 44" A.F.F. WITH 3/4" CONDUIT STUB TO JUNCTION BOX ABOVE CORRIDOR CEILING SPACE. PROVIDE 1-CATEGORY 6 CABLE FROM JUNCTION BOX TO NETWORK TERMINATION RACK, SEE KEYNOTE 4/E0.1.
 3. PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #WAC2-120 OR EQUAL WIRELESS AREA CONTROLLER. RUN CAT 6 LINE CABLE BACK TO NETWORK RACK.
 4. EXISTING NETWORK RACK TO REMAIN.
 5. EXISTING PUBLIC ADDRESS SYSTEM HEADEND TO REMAIN.
 6. EXISTING SIMPLEX TYPE 4010 FIRE ALARM CONTROL PANEL (FACP) TO REMAIN. PROVIDE NEW PANEL TO SUPPORT ALL NEW VOICE ANNUNCIATION STILE FIRE ALARM DEVICES IN ADDITION AREA AS REQUIRED. TIE NEW PANEL INTO EXISTING FIRE ALARM PANEL/SYSTEM.
 7. EXISTING SQUARE D TYPE 2 MAIN DISTRIBUTION PANEL 'MDP' TO REMAIN.
 8. PROVIDE GFI PROTECTION FOR RECEPTACLE SERVING 'EFB' AT BREAKER.
 9. PROVIDE STEEL COVER TO CONCEAL EXPOSED CONDUIT FEEDING OUT OF NEW PANEL.
 10. PROVIDE NEW 100A/3P CIRCUIT BREAKER IN 'MDP' TO PROTECT AND FEED NEW PANEL '25A'.
 11. PROVIDE NEW 225A/3P CIRCUIT BREAKER IN 'MDP' TO PROTECT AND FEED NEW PANEL '25B'.
 12. REMOVE EXISTING DOOR HOLD OPEN IN CORRIDOR A107. INSTALL NEW DOOR HOLD OPEN IN CORRIDOR B110. EXTEND EXISTING WIRING AS REQUIRED FOR A FULLY FUNCTION SYSTEM. NEW DOOR HOLD OPEN PROVIDED BY DOOR MANUFACTURER. INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE ALL NECESSARY BOXES, DEVICES, HARDWARE, PROGRAMMING, TESTING, ETC FOR A COMPLETE AND PROPER INSTALLATION.
 13. PROVIDE NEW 200A/3P CIRCUIT BREAKER IN 'MDP' FOR SURGE PROTECTION OF THE MAIN DISTRIBUTION PANEL. PROVIDE SURGE PROTECTION DEVICE PER SPECS.
 14. ALL NETWORK CABLING SERVING NEW ADDITION SHALL BE RUN TO THIS LOCATION.
 15. PROVIDE WIREMOLD 700 (WHITE), OR EQUAL, SURFACE MOUNTED RACEWAY TO SUPPLY NEW RECEPTACLES IN THIS ROOM AS REQUIRED.
 16. REMOVE AND REPLACE EXISTING DOOR HOLD OPEN WITH NEW DOOR HOLD OPEN. NEW DOOR HOLD OPEN PROVIDED BY DOOR MANUFACTURER. INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE ALL NECESSARY BOXES, DEVICES, HARDWARE, PROGRAMMING, TESTING, ETC FOR A COMPLETE AND PROPER INSTALLATION.
 17. FIELD VERIFY EXISTING SMOKE DETECTOR IN OR NEAR THIS AREA. IF NO DETECTOR PRESENT, PROVIDE NEW SMOKE DETECTOR TO MATCH EXISTING SIMPLEX FIRE ALARM SYSTEM IN BUILDING. PROVIDE ALL NECESSARY BOXES, DEVICES, HARDWARE, PROGRAMMING, TESTING, ETC FOR A COMPLETE AND PROPER INSTALLATION.

1 ELECTRICAL COMPOSITE PLAN
1/16" = 1'-0"

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BANGOR TOWNSHIP SCHOOL DISTRICT
PHASE 3 - MIDDLE SCHOOL ADDITION & RENOVATIONS
3281 KIESEL RD, BAY CITY, MI 48706
PROJECT NO. 22-011

12/20/24
12:20:24
CONSTRUCTION

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0 CONSTRUCTION

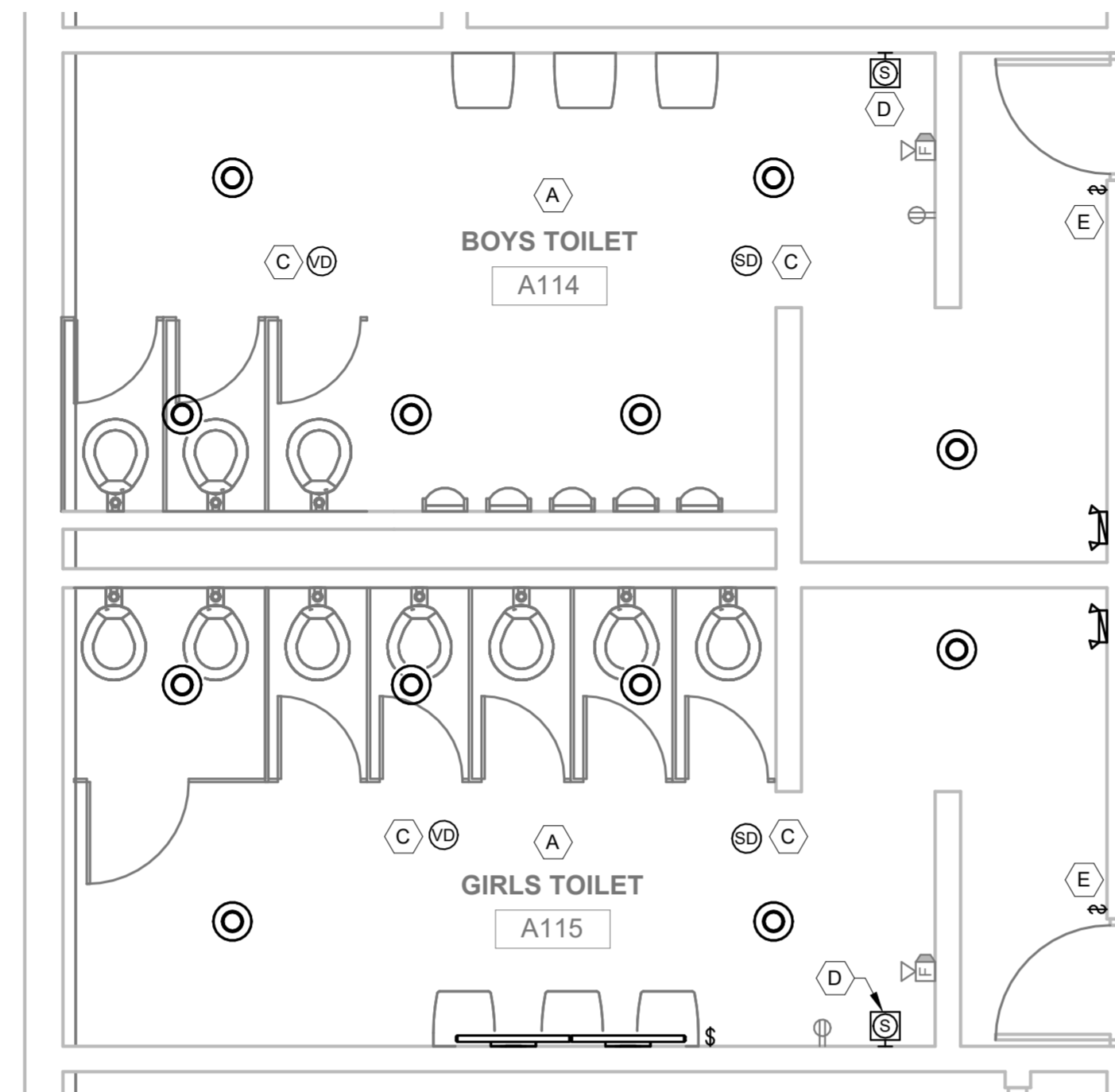
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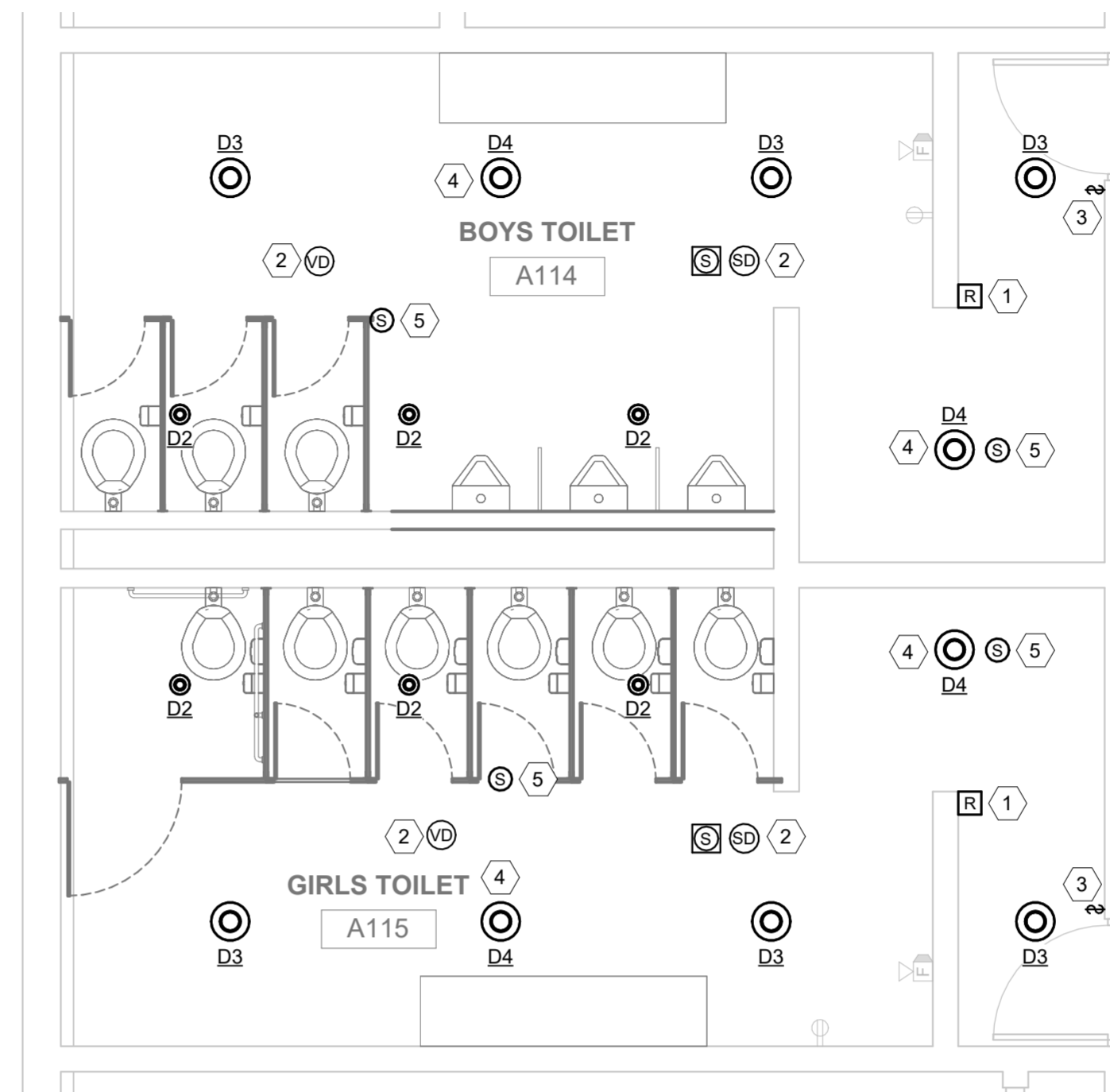
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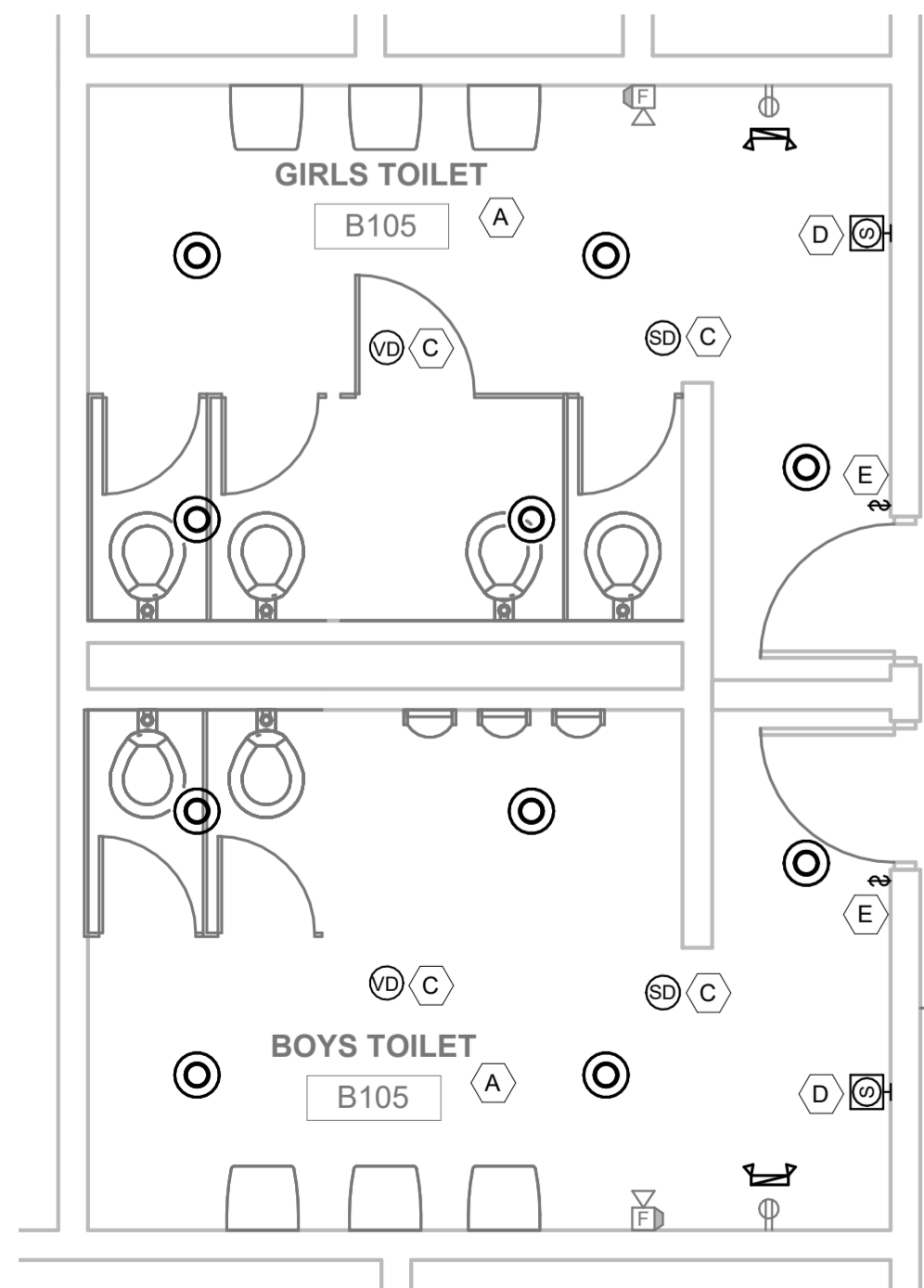
ELECTRICAL DEMO PLAN - AREA 'A' RESTROOMS

1 1/4" = 1'-0"



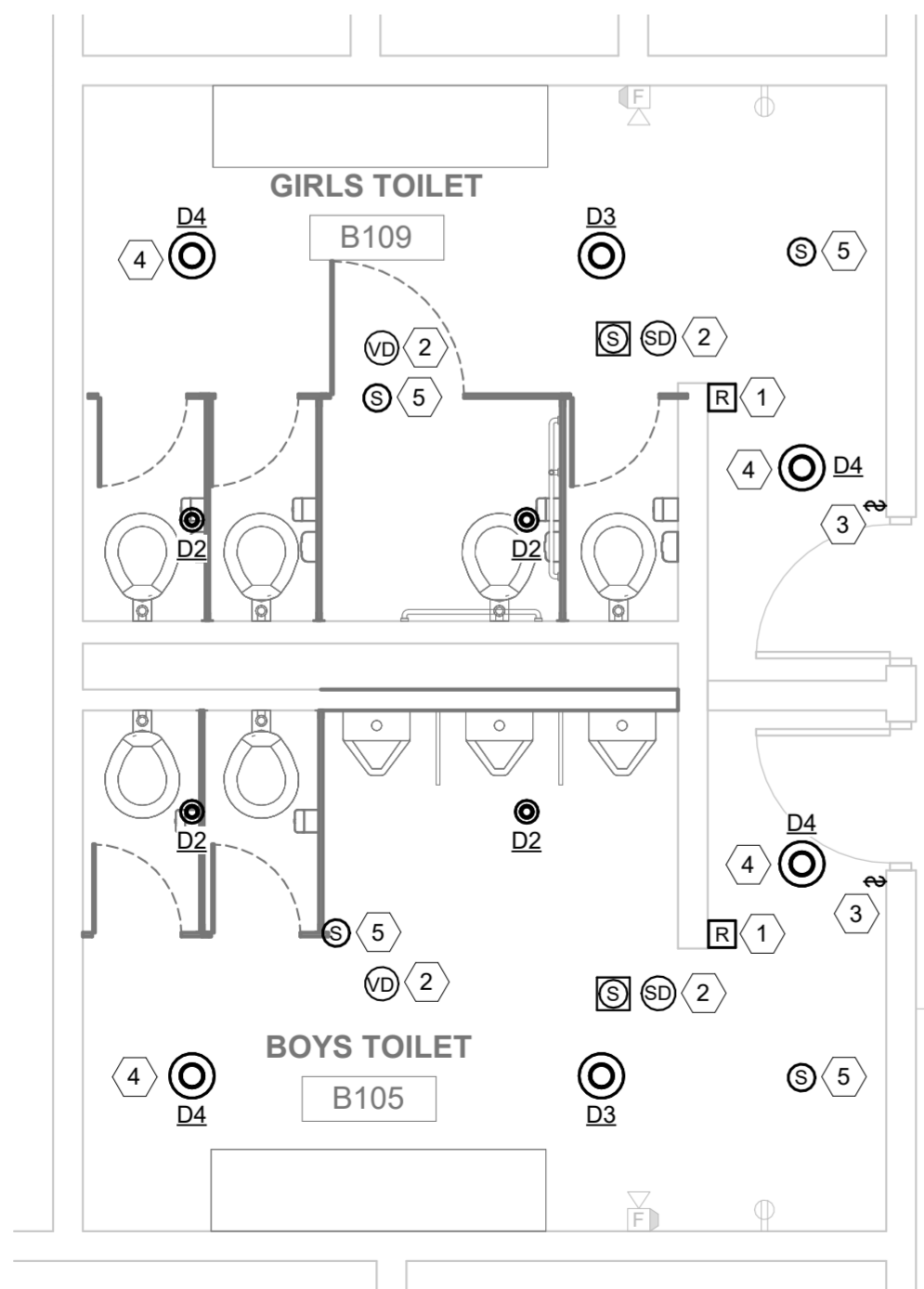
ELECTRICAL NEW WORK PLAN - AREA 'A' RESTROOMS

2 1/4" = 1'-0"



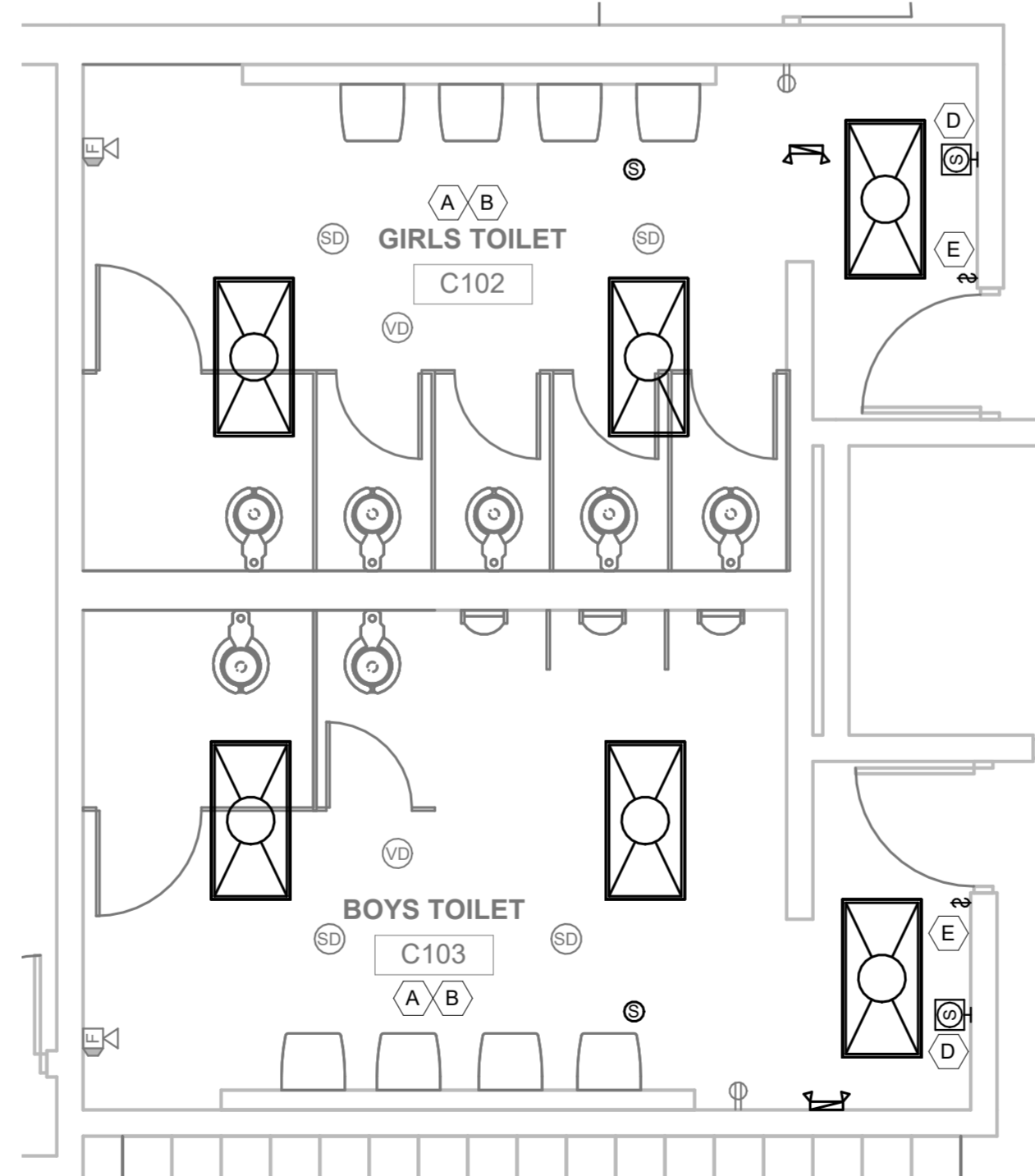
ELECTRICAL DEMO PLAN - AREA 'B' RESTROOMS

3 1/4" = 1'-0"



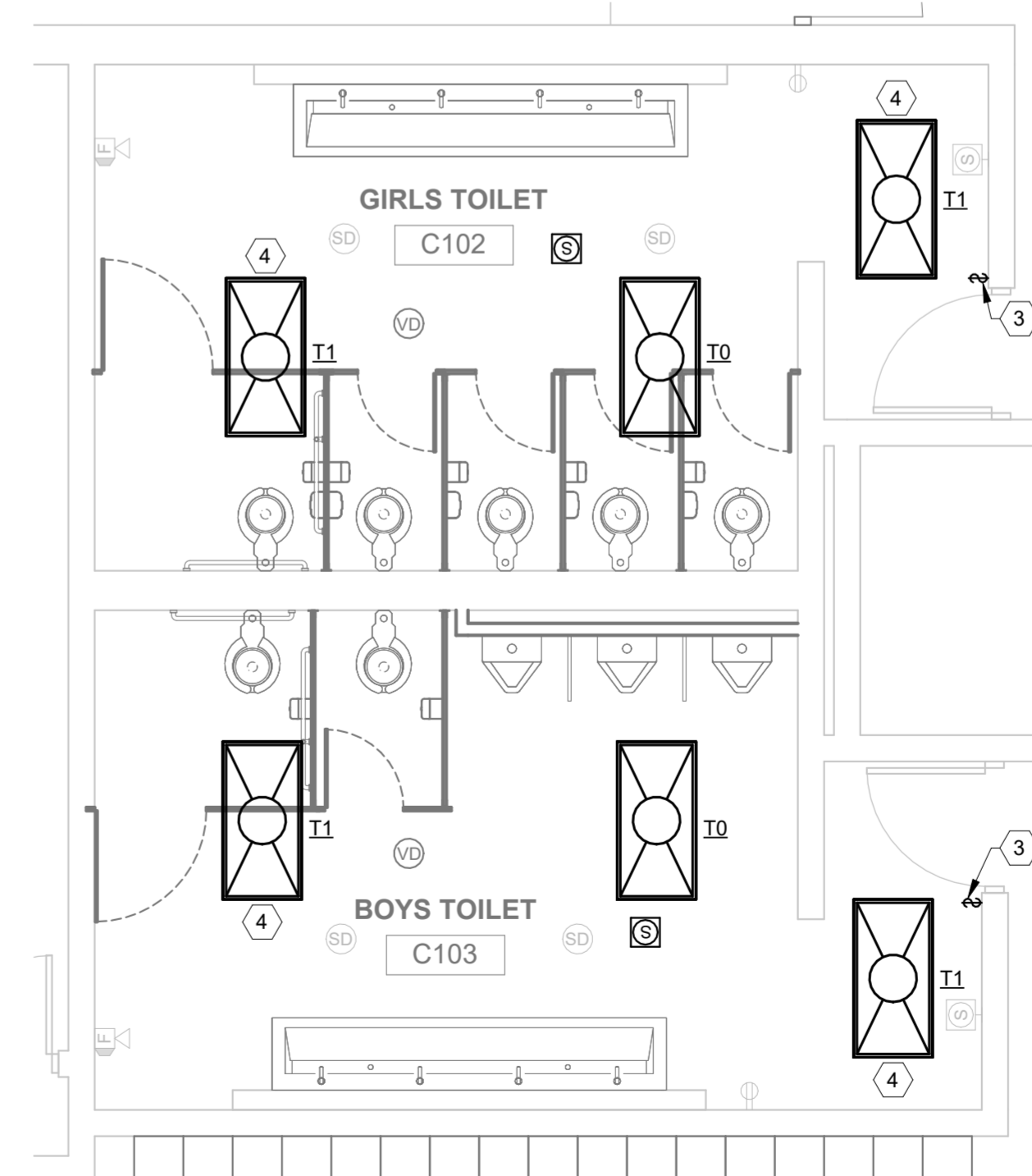
ELECTRICAL NEW WORK PLAN - AREA 'B' RESTROOMS

4 1/4" = 1'-0"



ELECTRICAL DEMO PLAN - AREA 'C' RESTROOMS

5 1/4" = 1'-0"



ELECTRICAL NEW WORK PLAN - AREA 'C' RESTROOMS

6 1/4" = 1'-0"

DEMOLITION KEYNOTES

- A. REMOVE EXISTING LIGHTING FIXTURES, SWITCHES AND OCCUPANCY SENSORS IN THIS ROOM AREA. EXTEND/RECONFIGURE EXISTING BRANCH CIRCUIT WIRING TO FEED AND CONTROL NEW LIGHTING FIXTURES. SEE NEW WORK PLAN FOR NEW FIXTURE LOCATIONS.
- B. MODIFY CEILING GRID TO ACCOMMODATE NEW WORK. COORDINATE WORK WITH ARCHITECTURAL TRADES.
- C. CEILING TO BE REPAINTED BY ARCHITECTURAL TRADES. TEMPORARILY REMOVE EXISTING FIRE ALARM DEVICE AND PREP FOR CEILING WORK. COORDINATE REINSTALLATION WITH CONSTRUCTION MANAGER AND ARCHITECTURAL TRADES.
- D. REMOVE EXISTING SPEAKER COMPLETE. REMOVE EXISTING WIRING BACK TO SOURCE, WHERE ACCESSIBLE.
- E. WALLS TO BE TILED BY ARCHITECTURAL TRADES. TEMPORARILY REMOVE EXISTING LIFE SAFETY DEVICE ALERT BOX AND REINSTALL PRIOR TO TILING WORK AS REQUIRED. COORDINATE WORK WITH ARCHITECTURAL TRADES.

NEW WORK KEYNOTES

- 1. PROVIDE WAVELINX PRO RSP-P-010-347 OR EQUAL RELAY SWITCHPACK. RELAY TO CONTROL ALL LIGHT FIXTURES IN THIS ROOM. PROVIDE REQUIRED CONTROL WIRING.
- 2. REINSTALLED FIRE ALARM DEVICE. EXTEND EXISTING WIRING AS REQUIRED.
- 3. PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #W1L-W OR EQUAL WALL STATION.
- 4. LIGHT FIXTURE TO BE PROVIDED WITH INTEGRAL EMERGENCY BACK-UP BATTERY. FIXTURE TO BE CONTROLLED BY WALL STATION AND AUTOMATICALLY TURN 'ON' IN THE EVENT OF NORMAL POWER FAILURE.
- 5. PROVIDE WAVELINX PRO CWPD-1500 OR EQUAL CEILING SENSOR. SENSOR TO CONTROL ALL LIGHT FIXTURES IN THIS ROOM. PROVIDE REQUIRED CONTROL WIRING.

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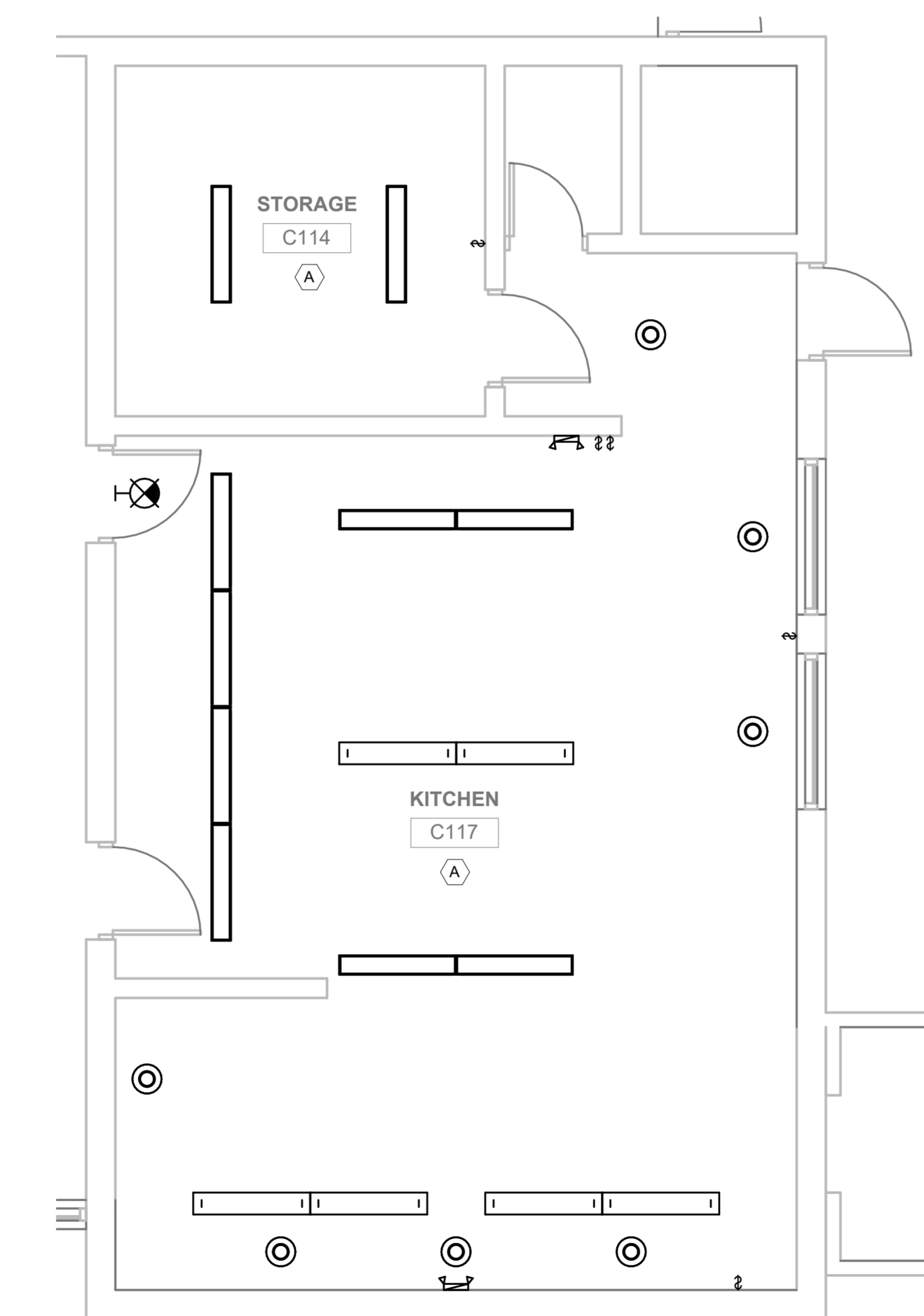
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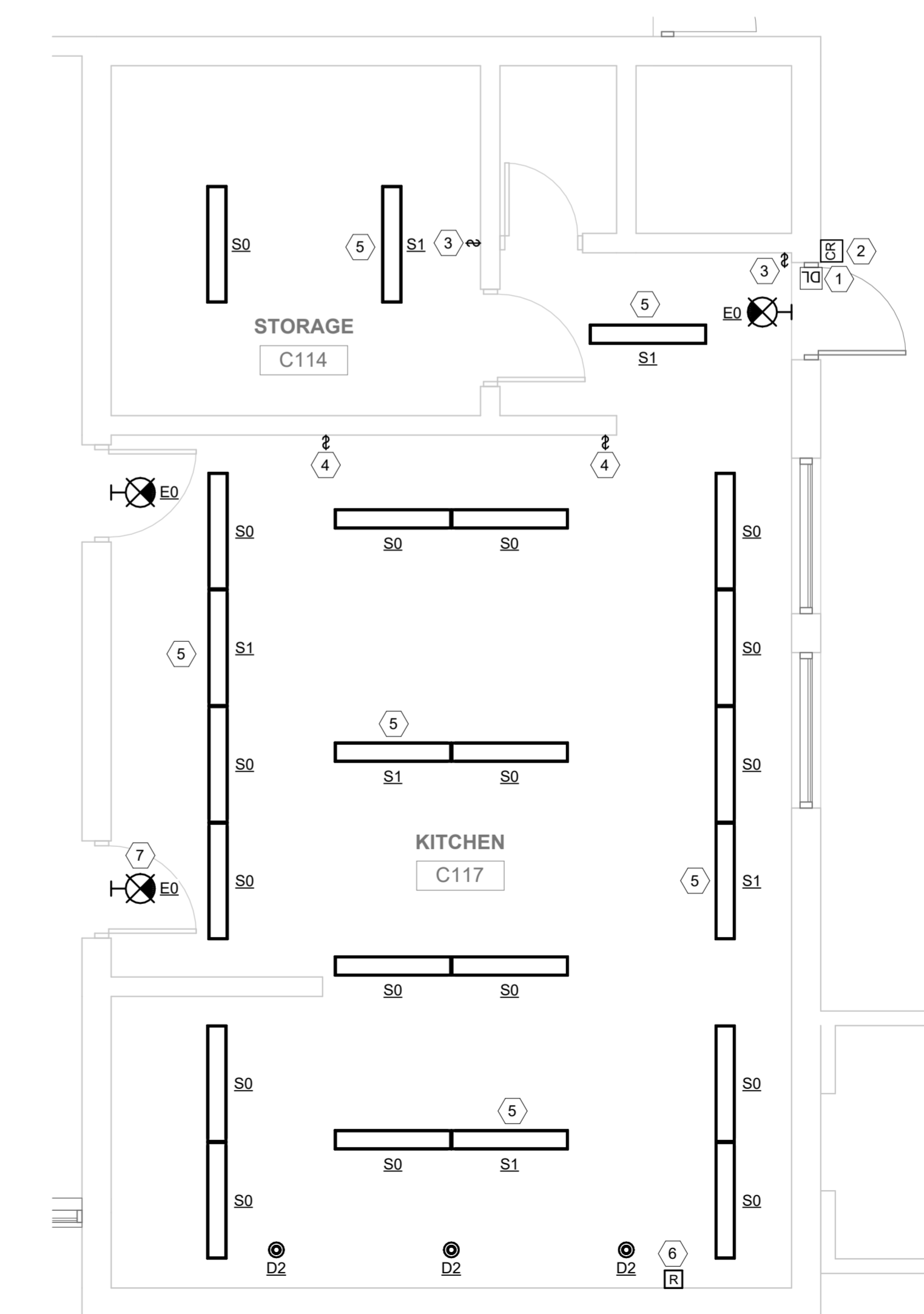
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ELECTRICAL RENOVATION
 PLANS - RESTROOMS
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E1.0



1 ELECTRICAL DEMO PLAN - KITCHEN
 1/4" = 1'-0"




2 ELECTRICAL NEW WORK PLAN - KITCHEN
 1/4" = 1'-0"

○ **DEMOLITION KEYNOTES** ○
A. REMOVE EXISTING LIGHTING FIXTURES, SWITCHES AND OCCUPANCY SENSORS IN THIS ROOM/AREA. EXTEND/RECONFIGURE EXISTING BRANCH CIRCUIT WIRING TO FEED AND CONTROL NEW LIGHTING FIXTURES. SEE NEW WORK PLAN FOR NEW FIXTURE LOCATIONS.

○ **NEW WORK KEYNOTES** ○
1. CONNECT DOOR STRIKE PROVIDED BY DOOR HARDWARE SUPPLIER TO EXISTING BUILDING ACCESS CONTROL SYSTEM. PROVIDE ALL REQUIRED WIRING, DEVICES, PROGRAMMING, ETC. FOR A COMPLETE AND OPERABLE SYSTEM.
2. NEW CARD READER TO BE PROVIDED BY OWNER THROUGH HONOR SECURITY, INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE OUTDOOR RATED, SINGLE GANG, DEEP BOX, AT 44" A.F.F. WITH 3/4" CONDUIT STUB TO JUNCTION BOX ABOVE CORRIDOR CEILING SPACE. PROVIDE 1-CATEGORY 6 CABLE FROM JUNCTION BOX TO NETWORK TERMINATION RACK, SEE KEYNOTE 4/E0.1.
3. PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #W1L-W OR EQUAL WALL STATION.
4. PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #W2L-RL-W OR EQUAL WALL STATION.
5. LIGHT FIXTURE TO BE PROVIDED WITH INTEGRAL EMERGENCY BACK-UP BATTERY. FIXTURE TO BE CONTROLLED BY WALL STATION AND AUTOMATICALLY TURN 'ON' IN THE EVENT OF NORMAL POWER FAILURE.
6. PROVIDE WAVELINX PRO RSP-P-010-347 OR EQUAL RELAY SWITCHPACK, RELAY TO CONTROL ALL DOWNLIGHTS IN THIS ROOM. PROVIDE REQUIRED CONTROL WIRING.
7. PROVIDE POWER TO NEW EXIT FIXTURE FROM EXISTING ROOM LIGHTING CIRCUIT, AHEAD OF ANY SWITCH LEG.

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 PHONE: (810)251-0301 FAX: (810)251-8787

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SNS	12.09.24			
AJM	12.16.24			
AJM	12.09.24			

**ELECTRICAL RENOVATION
 PLANS - KITCHEN**
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 CHECKED A/JM | 12.16.24
 DRAWN A/JM | 12.09.24
 DESIGN A/JM | 12.16.24
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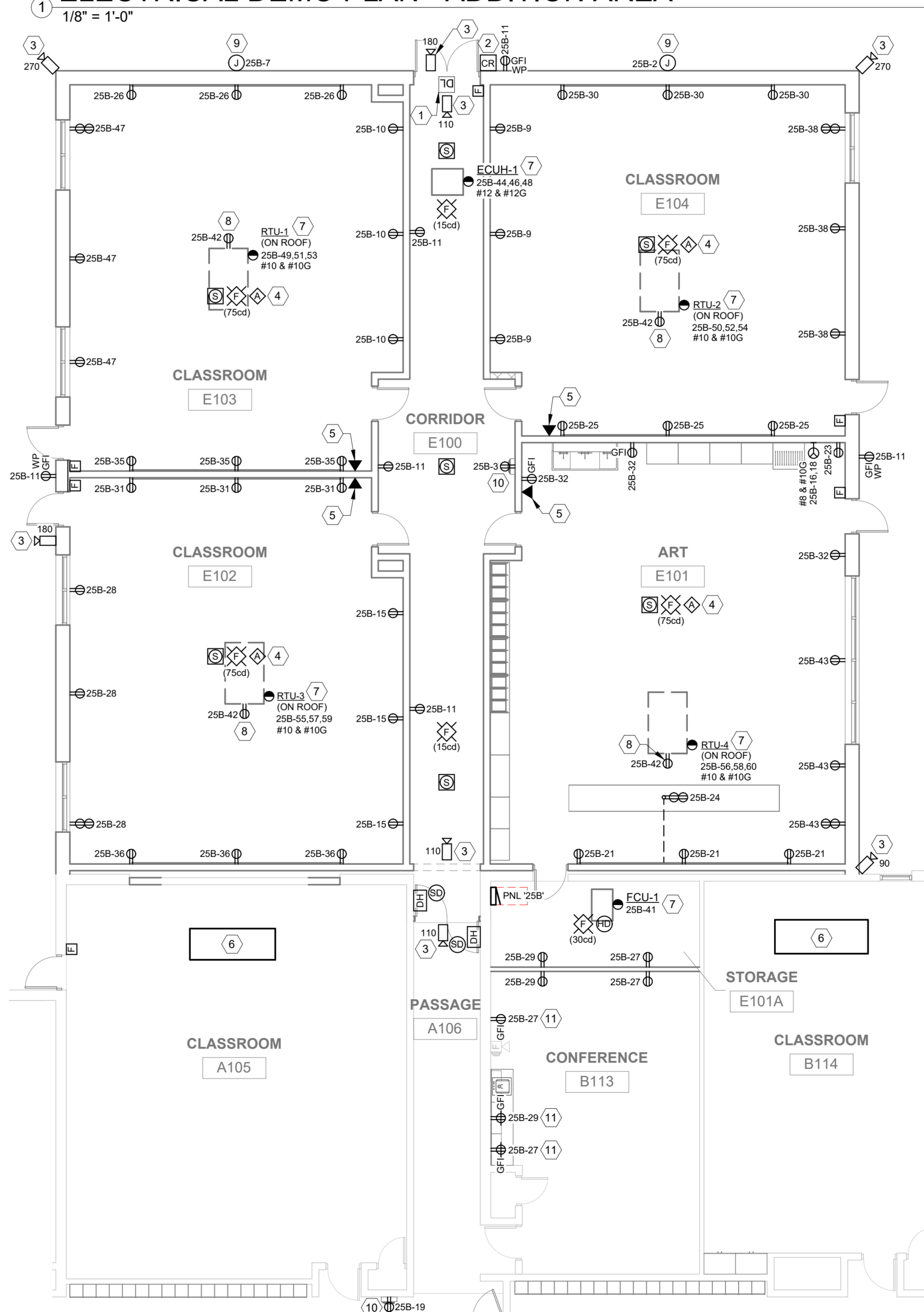
DEMOLITION KEYNOTES

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| <p>A. REMOVE EXISTING LIGHTING FIXTURES, SWITCHES AND OCCUPANCY SENSORS IN THIS ROOMAREA. EXTEND/RECONFIGURE EXISTING BRANCH CIRCUIT WIRING TO FEED AND CONTROL NEW LIGHTING FIXTURES. SEE NEW WORK PLAN FOR NEW FIXTURE LOCATIONS.</p> <p>B. EXISTING UNIT VENTILATOR TO BE REMOVED AND RELOCATED BY MECHANICAL TRADES. DISCONNECT UNIT FROM POWER. EXTEND EXISTING BRANCH CIRCUITRY AND CONDUIT TO NEW LOCATION. SEE NEW WORK PLAN FOR NEW LOCATION.</p> <p>C. REMOVE AND RELOCATE EXISTING EXIT SIGN. EXTEND EXISTING BRANCH CIRCUITRY TO NEW LOCATION AS REQUIRED. SEE NEW WORK PLAN FOR NEW LOCATION.</p> <p>D. EXISTING UNIT VENTILATOR/CABINET UNIT HEATER TO BE REMOVED BY MECHANICAL TRADES. DISCONNECT UNIT FROM POWER COMPLETE. REMOVE EXISTING BRANCH CIRCUITRY BACK TO SOURCE, WHERE ACCESSIBLE.</p> <p>E. REMOVE EXISTING RECEPTACLE COMPLETE. REMOVE BRANCH CIRCUITRY AND CONDUIT BACK TO SOURCE, WHERE ACCESSIBLE.</p> <p>F. REMOVE EXISTING FIRE ALARM PULL STATION COMPLETE AND TURN OVER TO OWNER. REMOVE EXISTING WIRING BACK TO SOURCE, WHERE ACCESSIBLE.</p> <p>G. REMOVE EXISTING LIGHT FIXTURE COMPLETE. REMOVE EXISTING BRANCH CIRCUITRY BACK TO SOURCE WHERE ACCESSIBLE.</p> | <p>H. REMOVE EXISTING LIGHT BELL AND TURN OVER TO OWNER. REMOVE EXISTING WIRING BACK TO SOURCE, WHERE ACCESSIBLE.</p> <p>I. REMOVE EXISTING SECURITY CAMERA AND TURN OVER TO OWNER. REMOVE EXISTING WIRING/CABLING BACK TO SOURCE, WHERE ACCESSIBLE.</p> <p>J. REMOVE EXISTING SHORT-THROW PROJECTOR AND TURN OVER TO OWNER.</p> <p>K. REMOVE AND RELOCATED EXISTING ROW OF LIGHT FIXTURES IN THIS ROOM BEING EFFECTED BY UNIT VENTILATOR RELOCATION AS REQUIRED. EXTEND EXISTING BRANCH CIRCUITRY AND CONTROL WIRING AS REQUIRED. SEE NEW WORK PLAN FOR NEW LOCATION.</p> <p>L. EXISTING FIRE ALARM DEVICE TO REMIAN.</p> <p>M. ARCHITECTURAL TRADES TO REMOVE PORTION OF CEILING FOR UNIT VENTILATOR RELOCATION. TEMPORARILY SUSPEND AND REINSTALL LIGHT FIXTURES IN AREA OF REWORK AS REQUIRED. COORDINATE WORK WITH ARCHITECTURAL TRADES.</p> |
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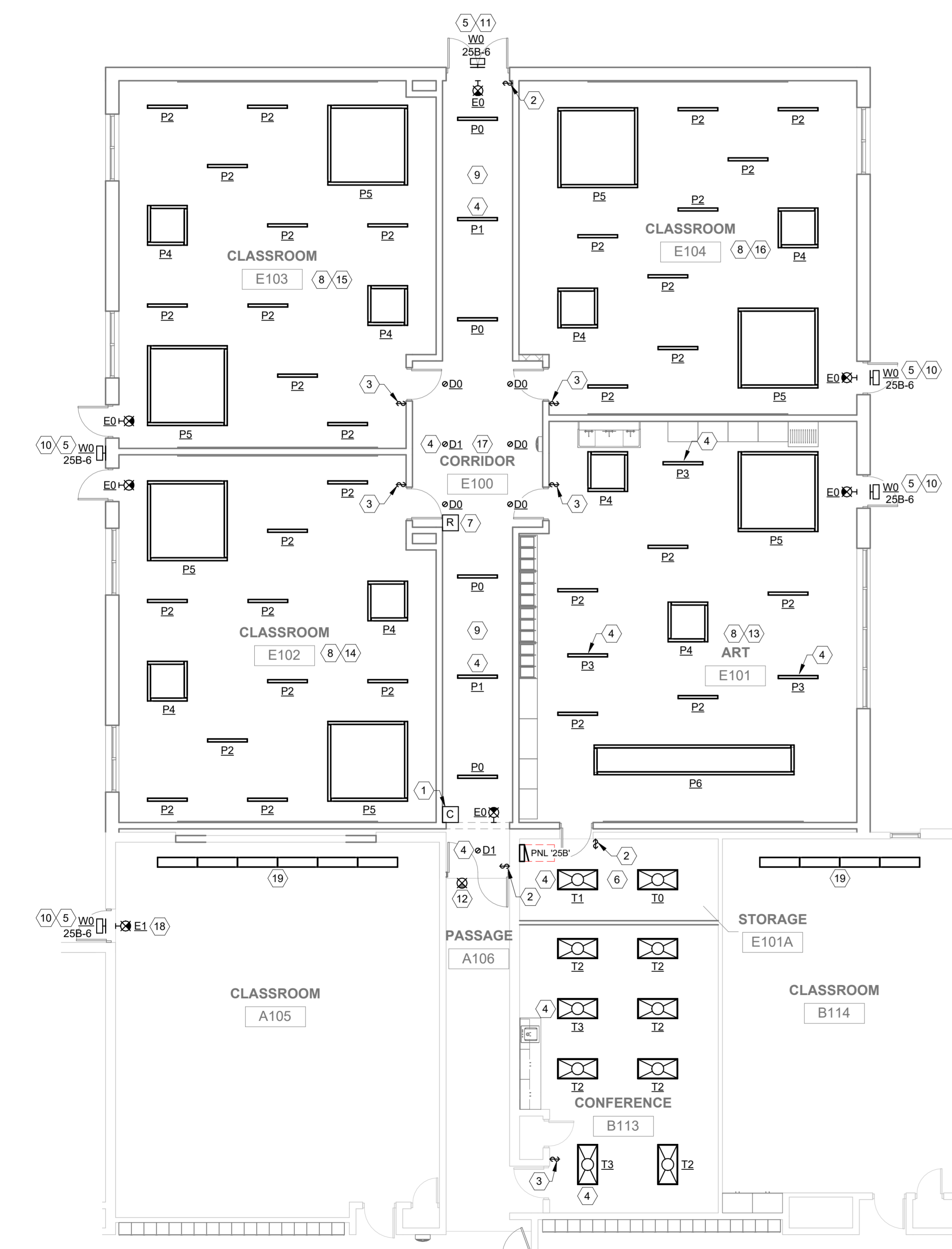
LIGHTING KEYNOTES

- PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #WAC2-120 OR EQUAL WIRELESS AREA CONTROLLER. RUN CAT 6 LINE CABLE BACK TO NETWORK RACK.
- PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #W1L-W OR EQUAL WALL STATION.
- PROVIDE COOPER LIGHTING SOLUTIONS WAVELINX PRO #W4S-RL-W OR EQUAL WALL STATION.
- LIGHT FIXTURE TO BE PROVIDED WITH INTEGRAL EMERGENCY BACK-UP BATTERY. FIXTURE TO BE CONTROLLED BY WALL STATION AND AUTOMATICALLY TURN 'ON' IN THE EVENT OF NORMAL POWER FAILURE.
- LIGHT FIXTURE TO BE PROVIDED WITH INTEGRAL EMERGENCY BACK-UP BATTERY. FIXTURE TO BE CONTROLLED BY INTEGRAL PHOTOCELL SENSOR AND AUTOMATICALLY TURN 'ON' IN THE EVENT OF NORMAL POWER FAILURE.
- DISABLE AUTOMATIC CONTROLS OF FIXTURES IN THIS ROOM.
- PROVIDE WAVELINX PRO RSP-P-010-347 OR EQUAL RELAY SWITCHPACK. RELAY TO CONTROL ALL DOWNLIGHTS IN CORRIDOR E100. PROVIDE REQUIRED CONTROL WIRING.
- MOUNT PENDANT FIXTURES IN THIS ROOM AT 9'-4" A.F.F. TO BOTTOM OF FIXTURE.
- MOUNT PENDANT FIXTURES IN THIS ROOM AT 9'-8" A.F.F. TO BOTTOM OF FIXTURE.
- MOUNT FIXTURE AT 9'-4" ABOVE GROUND TO TOP OF FIXTURE.
- MOUNT FIXTURE AT 10'-0" ABOVE GROUND TO BOTTOM OF FIXTURE.
- RELOCATED EXIT SIGN.
- FEED ALL LIGHT FIXTURES IN THIS ROOM TO CIRCUIT '25B-14'.
- FEED ALL LIGHT FIXTURES IN THIS ROOM TO CIRCUIT '25B-13'.
- FEED ALL LIGHT FIXTURES IN THIS ROOM TO CIRCUIT '25B-17'.
- FEED ALL LIGHT FIXTURES IN THIS ROOM TO CIRCUIT '25B-12'.
- FEED ALL LIGHT FIXTURES IN THIS ROOM TO CIRCUIT '25B-6'.
- PROVIDE POWER TO NEW EXIT FIXTURE FROM EXISTING ROOM LIGHTING CIRCUIT, AHEAD OF ANY SWITCH LEG.
- RELOCATED ROW OF LIGHT FIXTURES.

ELECTRICAL DEMO PLAN - ADDITION AREA



3 ELECTRICAL NEW WORK POWER PLAN - ADDITION AREA
1/8" = 1'-0"

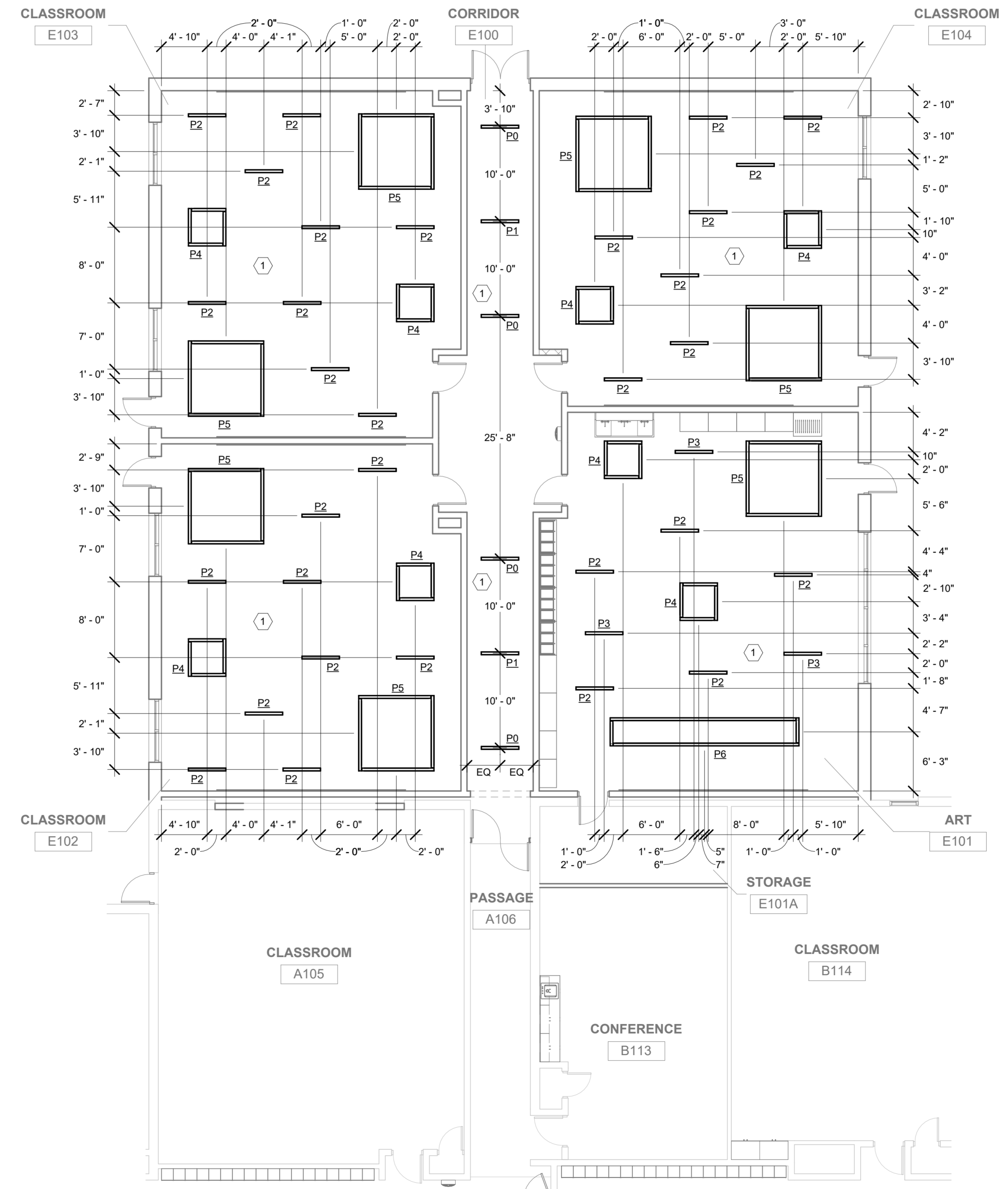


2 ELECTRICAL NEW WORK LIGHTING PLAN - ADDITION AREA
1/8" = 1'-0"

POWER KEYNOTES

- CONNECT DOOR STRIKE PROVIDED BY DOOR HARDWARE SUPPLIER TO EXISTING BUILDING ACCESS CONTROL SYSTEM. PROVIDE ALL REQUIRED WIRING, DEVICES, PROGRAMMING, ETC. FOR A COMPLETE AND OPERABLE SYSTEM.
- NEW CARD READER TO BE PROVIDED BY OWNER THROUGH HONOR SECURITY, INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE OUTDOOR RATED, SINGLE GANG, DEEP BOX, AT 44" A.F.F. WITH 3/4" CONDUIT STUB TO JUNCTION BOX ABOVE CORRIDOR CEILING SPACE. PROVIDE 1-CATEGORY 6 CABLE FROM JUNCTION BOX TO NETWORK TERMINATION RACK. SEE KEYNOTE 4/E01.
- NEW IP SECURITY CAMERA TO BE PROVIDED BY OWNER THROUGH HONOR SECURITY, INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE 1-CATEGORY 6 CABLE FROM LOCATION TO NETWORK TERMINATION RACK. TERMINATE BOTH ENDS PER SPECIFICATIONS.
- WIRELESS ACCESS POINT ANTENNA LOCATION. ANTENNAE PROVIDED AND INSTALLED BY OWNER. PROVIDE 1-CATEGORY 6 CABLE FROM OUTLET LOCATION TO NETWORK TERMINATION RACK. TERMINATE BOTH ENDS PER SPECIFICATIONS. PROVIDE 10' SLACK CABLE AT LOCATION COILED NEATLY ABOVE ACCESSIBLE CEILING SPACE.
- PROVIDE SINGLE GANG, DEEP BOX, WITH 3/4" CONDUIT STUB TO CORRIDOR SPACE. PROVIDE PLASTIC BUSHINGS ON CONDUIT ENDS. PROVIDE 2-CATEGORY 6 (DATA) AND 1-CATEGORY 6 (VOICE) CABLES FROM OUTLET TO NETWORK TERMINATION RACK. TERMINATE BOTH ENDS PER SPECIFICATIONS.
- RELOCATED UNIT VENTILATOR.
- PROVIDE HARDWARE CONNECTION INDICATED TO MECHANICAL UNIT'S MANUFACTURER PROVIDED INTEGRAL DISCONNECT SWITCH.
- PROVIDE WEATHERPROOF, GFCI RECEPTACLE ON OR NEAR ROOFTOP UNIT. PROVIDE BRANCH CIRCUITRY INDICATED AS REQUIRED TO FEED RECEPTACLE.
- PROVIDE 2-GANG JUNCTION BOX WITH BRANCH CIRCUITRY INDICATED TO FEED FUTURE ELECTRONIC DISPLAY. MOUNT AT 10'-0" TO BOTTOM OF BOX. PROVIDE (1) CATEGORY-6 CABLE FROM BOX LOCATION TO NETWORK RACK. TERMINATE BOTH ENDS PER SPECIFICATIONS. PROVIDE 10'-0" SLACK CABLE AT LOCATION COILED NEATLY INSIDE BUILDING BENEATH STRUCTURE. PROVIDE BLANK COVERPLATE.
- PROVIDE GFI PROTECTION FOR RECEPTACLE SERVING 'EFB' AT BREAKER.
- PROVIDE WIREMOLD 700 (WHITE), OR EQUAL, SURFACE MOUNTED RACEWAY TO SUPPLY NEW RECEPTACLE.

BY	DATE	NO. REVISIONS	FOR
DESIGN	12.16.24	0	CONSTRUCTION
DRAWN	12.09.24		
CHECKED	12.16.24		
APPROVED	12.09.24		



1 ELECTRICAL NEW WORK LIGHTING PLAN - ADDITION AREA DIMENSIONS
 1/8" = 1'-0"

KEYNOTES

- ALL DIMENSIONS IN THIS ROOM ARE TAKEN TO THE CENTER OF FIXTURE.

BY	DATE	NO.	REVISIONS	FOR	DATE
SNS	12.16.24	0		CONSTRUCTION	12.20.24
SNS	12.09.24				
AJM	12.16.24				
AJM	12.09.24				

