



SAGINAW VALLEY
STATE UNIVERSITY

**WEST COMPLEX
BANQUET & SEMINAR ROOMS RENOVATIONS 2023**

SEPTEMBER 15, 2022

Bid #23012

Pre-Bid Meeting Date: Tuesday, September 20, 2022 at 10:00 a.m.

Pre-Bid Meeting Location: Groening Commons (see map)

Bid Due Date: Tuesday, September 27, 2022 at 2:00 p.m.

Facilities Planning & Construction Department
7400 Bay Road
University Center, Michigan 48710
Tel. (989) 964-4074
Fax (989) 964-4096

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INSTRUCTIONS TO BIDDERS

OWNER: Saginaw Valley State University
7400 Bay Road
University Center, MI 48710

PROJECT: West Complex - Banquet & Seminar Rooms Renovations 2023
SVSU Bid No. 23012

PRE-BID MEETING/TOUR: Date: Tuesday, September 20, 2022
Time: 10:00 a.m.
Contact: Kim Stevens - SVSU

BID DUE DATE: Date: Tuesday, September 27, 2022
Time: 2:00 p.m.

Note: Bids will be publicly opened and read aloud.

BID LOCATION: Saginaw Valley State University
Facilities Planning & Construction Office (SCC-A 153)
7400 Bay Road, University Center, MI

Note: Bids must be received in the Facilities Planning & Construction Office prior to above due date and time. Bids delivered to any other office or location will be rejected. Late bids will not be accepted and will not be opened. Faxed bids will not be accepted.

PROJECT COMPLETION: See the Scope of Work for schedules.

1. LOCATION OF PROJECT

West Complex - Banquet & Seminar Rooms Renovations 2023
7400 Bay Rd.
University Center, Michigan 48710

2. PROPOSALS AND SCOPE

- A. BIDDING IS BY INVITATION ONLY. Proposals shall be accepted only from those firms that have been pre-qualified and invited to bid on this project. Sub-Contractors, if used, shall be from the pre-qualified list.
- B. Proposals are invited for work in accordance with these specifications and the accompanying drawings prepared by SVSU.
- C. The Bidder is to fill out completely and submit in duplicate two (2) sets of the Proposal Form furnished with the documents. The forms must be filled out in ink, typewritten or by word processing, with signature in longhand. Proposal amounts must be stated in writing and figures. In case of a discrepancy between the written statement and the figures, the written statement will govern. Proposals submitted in any other form will not be considered.
- D. Proposals must be delivered in a sealed envelope, properly addressed and labeled as follows:

Address to: Facilities Planning & Construction
Saginaw Valley State University
7400 Bay Road
University Center, MI 48710

Label as Follows: **SEALED BID ENCLOSED FOR:**
West Complex - Banquet & Seminar Rooms Renovations 2023
SVSU Bid #23012
Submitted by: Company Name

- E. The Owner's Standard General Conditions, Supplemental Conditions and any other amendments, included herein, by reference or by addendum, govern all operations that are to be conducted in the performance of any contract entered into for the Work.

3. REQUIREMENTS FOR SIGNING PROPOSALS

- A. Corporations: Signature of official shall be accompanied by a certified copy of the resolution of the Board of Directors authorizing the individual signing to bind the corporation.
- B. Partnerships: Signature of one partner shall be accompanied by a certified copy of the power of attorney authorizing the individual signing to bind all partners. If bid is signed by all partners, no authorization is required.
- C. Individual: No authorization is needed.
- D. Each signature must be witnessed.

4. MODIFICATIONS

- A. Modifications to a bid previously submitted will be accepted only if received prior to official bid opening time and properly identified with the proposal name, signed and dated. Indicate only amount of change in bid. Do not reveal original bid price. No oral modifications will be considered. Modifications shall be scanned & e-mailed, faxed or hand delivered.

5. EXAMINATION OF SITE

- A. It is necessary for bidders to inform themselves of the conditions under which work is to be performed, the site of the work, the structures, the obstacles that may be encountered and all other relevant matters concerning the work to be performed. The Bidder, if awarded the contract, shall not be allowed any extra compensation by reason of any matter or thing concerning which such Bidder might have become fully self-informed, because of a failure to have informed self prior to the bidding.

6. TAXES

- A. The Contractor shall include and be deemed to have included in his bid and contract price all Michigan Sales and Use Taxes currently imposed by Legislative enactment and as administered by the Michigan Department of Treasury, Revenue Division, on the bid date.

If the Contractor is not required to pay or bear the burden, or obtains a refund or drawback in whole or in part of any Michigan Sales or Use Tax, interest or penalty thereon, which was required to be and was deemed to have been included in the bid and contract price, the contract price shall be reduced by the amount thereof and the amount of such reduction, whether as a refund or otherwise, shall ensure solely to the benefit of the State of Michigan.

7. CONSIDERATION OF BIDS

- A. The bidder acknowledges the right of the Owner to reject any or all bids and to waive any informality or irregularity in any bid received. In addition, the bidder recognizes the right of the Owner to reject a bid if the bidder failed to furnish any required bid security, or awardability or to submit the data required by the bidding documents, or if the bid is in any way incomplete, irregular or conditional.
- B. It is the intent of the Owner to award a contract to the lowest responsible bidder provided the bid has been submitted in accordance with the requirements of the bidding documents, and does not exceed the funds available.
- C. The University reserves the right to award to other than the low bidder if, in the opinion of the University, it is in their best interest to do so.

8. BID BOND

- A. A Bid Bond is not required.

9. MICHIGAN PRODUCTS

- A. All prime bidders and their subcontract bidders and suppliers shall utilize Michigan made products whenever possible where price, quality and performance are equal to or better than non-Michigan products.

10. INTERPRETATION OF DOCUMENTS AND ADDENDA

- A. Before the Owner makes the award, the Owner will not give verbal answers to inquiries regarding the meaning of drawings and specifications, or verbal instructions. Any such verbal statements by any persons, prior to the award, are invalid.
- B. Any explanation desired by bidders must be requested of the Owner in writing, and if explanation is necessary, a reply will be made in the form of an addendum, a copy of which will be forwarded to each bidder who has received a set of the Contract Documents and to such other prospective bidders as have requested a copy of each addenda.
- C. Any addenda issued to bidders prior to the date of receipt of proposals become a part of the Contract Documents and all proposals are to include the work described in the addenda. Each proposal submitted must list all addenda which have been received before the bid due date.

11. EQUAL EMPLOYMENT OPPORTUNITY CLAUSE

- A. Saginaw Valley State University is an equal opportunity employer and is non-discriminatory in its policies and practices.
- B. In the performance of any contract or purchase order resulting herefrom, the bidder, contractor, subcontractor or vendor agrees and covenants not to discriminate against an employee or applicant for employment for any reason directly or indirectly related to employment because of race, color, religion, national origin, sex, handicap, or disabled veteran or Vietnam era veteran status. The provisions of section 202 of Executive Order 11246, as amended, section 503 of the Rehabilitation Act of 1973 as amended, and 38USC2012, the Vietnam Era Readjustment Assistance Act of 1974 as amended are incorporated herein by specific reference.
- C. The bidder, contractor, subcontractor, or vendor agrees to and is in compliance with other Federal, State, and Local laws, published rules, regulations, directives and orders that govern equal opportunity in matters related to employment.

12. UNFAIR LABOR PRACTICE

- A. Public Act No. 278 of 1980 prohibits the State of Michigan from awarding a Contract or Subcontract to an employer who has been found in contempt of court by a Federal Court of Appeals, on not less than three (3) occasions involving different violations during the preceding seven (7) years, for failure to correct an unfair labor practice as prohibited by Section 8 of Chapter 372 of the National Labor Relations Act, 29 U.S.C. 158.
- B. An employer who has a Contract with the State of Michigan may not, in relation to that Contract, Subcontract with such as employer.
- C. The State of Michigan may rescind the Contract if the name of the employer or the name of a subcontractor, manufacturer, or supplier of the employer subsequently appears in the register of such employers which will be compiled by Michigan's Department of Labor pursuant to Section 2 of Public Act No. 278 of 1980.

END OF SECTION

PROPOSAL FORM

OWNER: Saginaw Valley State University
7400 Bay Road
University Center, MI 48710

PROJECT: West Complex
Banquet & Seminar Rooms Renovations 2023
SVSU Bid No. 23012

CONTRACT: General Construction

Name of Bidder: _____

Address: _____

Telephone #: _____ **Fax #:** _____

TO: Saginaw Valley State University
Facilities Planning & Construction Office
7400 Bay Road, University Center, MI

PROPOSAL: Pursuant to and in compliance with your Invitation to Bid and the Contract Documents relating to the above named project, the Undersigned agrees to enter into an Agreement with the Owner for the Stipulated Sum of:

Total Base Sum of _____
_____ Dollars (\$ _____)

VOLUNTARY ALTERNATES:

Voluntary Alternate

Add / Subtract (\$ _____) to the base Proposal.

ADDENDA:

The undersigned has included in the Proposal the modifications to the work described in the following addenda issued subsequent to the Invitation to Bid and received prior to this submission.

Addendum No. _____ Date: _____

Addendum No. _____ Date: _____

Addendum No. _____ Date: _____

AMERICAN MADE PRODUCTS & SERVICES:

Saginaw Valley State University endeavors to buy products made in the United States of America whenever an American made* product is available that meets or exceeds the specifications requested and the price is equal to or lower than a foreign made product. Vendors are requested to bid American made products and/or service whenever available. Vendors may bid foreign made products or services when:

1. They are specified.
2. As an alternate as long as they are technically acceptable.

Each vendor must check the appropriate box for the products and/or services proposed. IF NOT CHECKED YOUR PROPOSAL MAY BE CONSIDERED INVALID.

_____ Yes, meets the definition of American made products or services.

_____ Are foreign made and/or foreign services.

*More than 50% of the product is manufactured or assembled in the United States.

PROPOSAL SIGNATURE:

The undersigned agrees to execute a contract for the Work covered by this proposal provided he is notified of its acceptance with sixty (60) days of the opening of proposals.

Date: _____ Name of Company_____

Signature _____

Print name_____

Title_____

Witnessed in Presence of: Signature_____

Print name_____

Date: _____ Title_____

Submit two (2) copies.

END OF SECTION

PRE-QUALIFIED CONTRACTORS

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
E & L Construction Group, Inc. 3040 Airpark Dr. S., Flint, MI 48507	810.744.4300	810.744.1735
Eurich Home Improvement Inc. 3734 Fortune Blvd., Saginaw, MI 48603	989.799.5645	989.799.3279
Gerace Construction Company, Inc. 4055 S. Saginaw Rd., Midland, MI 4864	989.496.2440	989.496.2465
Gerald G. Bergman, Inc. 515 N. Woodbridge St., Saginaw, MI 48602	989.754.6545	989.754.5775
Gilmour Construction, Inc. 1305 Weiss St., Frankenmuth, MI 48734	989.652.2015	989.652.8224
Graham Construction Corp. 3399 Fashion Square Blvd., Saginaw, MI 48603	989.921.3030	989.921.3031
J. Perez Construction, Inc. 2232 Davison Rd., Flint, MI 48506	810.233.8555	810.233.8558
J.R. Heineman & Sons 1224 N. Niagara St., Saginaw, MI 48602	989.753.8483	989.753.9644
Leppek Construction Co. 3540 Old Kawkalin Rd., Bay City, MI 48706	989.684.5500	989.893.7547
Pumford Construction, Inc. 1674 Champagne Dr. N., Saginaw, MI 48604	989.754.6262	989.754.6263
R. C. Hendrick & Son, Inc. 2885 S. Graham Rd., Saginaw, MI 48609	989.781.8116	989.781.9512
Spence Brothers 417 McCoskry, Saginaw, MI 48601	989.752.0400	989.752.8769
Sugar Construction, Inc. 2968 Venture Dr., Midland, MI 48640	989.631.4154	989.631.7012
Three Rivers Corporation 3069 Vantage Point Dr., P.O. Box 1467, Midland MI 48641	989.631.9726	989.631.7402
Wm. Bronner & Son Contractors, Inc. 393 List St., Frankenmuth, MI 48734	989.652.3229	989.652.3646
Wobig Construction Co., Inc. 527 N. Woodbridge, Saginaw, MI 48602	989.752.1294	989.752.9535
Wolgast Corporation 4835 Towne Centre Rd., Ste. 203, Saginaw, MI 48604	989.790.9120	989.790.9053

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Drywall / Ceilings

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Acoustical Arts, Inc. 3601 Mertz Rd., Caro, MI 48723	989.672.2467	989.672.2133
Bouma Corporation, The 1933 Northern Star Dr., Traverse City, MI 49686	231.947.2811	231.947.3112
Central Interiors, Inc. 5490 Nasser St., Flint, MI 48505	810.785.3548	810.785.6970
City Renovation & Trim, Inc. 2685 Paldan Dr., Auburn Hills, MI 48326	248.276.8900	248.276.8909
Conquest Construction Co., Inc. 11805 Mayfield, Livonia, MI 48150	734.458.1800	734.458.2060
Integrity Interiors, Inc. 622 East Cesar E. Chavez Ave., Lansing, MI 48906	517.332.8457	517.332.8458
J.M. Petrie Acoustical, Inc. 603 S. Niagara St., Saginaw, MI 48602-1536	989.799.8511	989.799.0772
Kasco Inc. 226 E. Hudson, Royal Oak, MI 48067	248.547.1210	248.546.1276
Matric Company 4412 Ace Commercial Ct., Bay City, MI 48706	989.684.2950	989.684.4487
Metal Arts Construction, Inc. 1700 Gover Pkwy., P.O. Box 157, Mt. Pleasant, MI 48804	989.772.0782	989.779.0017
Pumford Construction, Inc. 1674 Champagne Dr. N., Saginaw, MI 48604	989.754.6262	989.754.6263
Ramar Construction 2621 Carrollton Rd., Saginaw, MI 48604	989.753.6971	989.753.5195
Ritsema Associates 3000 Dormax SW, Grandville, MI 49418	616.538.0120	616.538.9695
Saylor's, Inc. 8751 Whiteford Rd., Ottawa Lake, MI 49267	734.856.4979	734.856.6099
Sobie Company, Inc. 3276 Industrial Dr. SE, Dutton, MI 49316	616.698.9800	616.698.0994
Tri-City Acoustical, Inc. 421 W. Morley Dr., Saginaw, MI 48601	989.752.9301	989.752.8831

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Drywall / Ceilings (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Turner-Brooks, Inc. 28811 John R., Madison Heights, MI 48071	248.548.3400	248.548.9213
William Reichenbach Company 4216 Legacy Pkwy., Lansing, MI 48909	517.882.3404	517.882.3726
Wobig Construction Co., Inc. 527 N. Woodbridge, Saginaw, MI 48602	989.752.1294	989.752.9535

Flooring

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Artisan Tile Inc. 9864 E. Grand River, Ste 110-132, Brighton, MI 48116	810.220.2370	810.220.3762
A. T. Frank Co., Inc. 3135 Boardwalk, Saginaw, MI 48603	989.497.1900	989.497.8230
Bay Area Specialty Flooring LLC 7870 Webster Rd., P.O. Box 280, Freeland, MI 48623	989.695.5363	989.695.9394
Bouma Corporation, The 1933 Northern Star Dr., Traverse City, MI 49686	231.947.2811	231.947.3112
Central Tile & Terrazzo Co., Inc. 5180 South 9 th St., Kalamazoo, MI 49009	269.375.1660	269.375.4522
Gehrke's Commercial Flooring 4890 Curve Rd., Freeland, MI 48623	989.781.0879	989.781.1756
Integrity Interiors, Inc. 622 East Cesar E. Chavez Ave., Lansing, MI 48906	517.332.8457	517.332.8458
Kasco Inc. 226 E. Hudson, Royal Oak, MI 48067	248.547.1210	248.546.1276
Mike's Custom Tile Co. 206 B East Grove St., Kawkawlin, MI 48631	989.686.5975	
MIS Corporation - Michigan. 3515 Janes Ave., Saginaw, MI 48601	989.753.5599	989.753.3119
NBS (National Business Supply, Inc.) 2595 Bellingham, Troy, MI 48083	248.823.5400	248.823.5401
Northeastern Paint Supply, Inc. 2883 McCarty Rd., Saginaw, MI 48603	989.799.8190	989.799.8195

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Flooring (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
O'Connors Carpet One 5355 Gratiot Rd., Saginaw, MI 48638	989.793.0960	989.793.8494
Ritsema Associates 3000 Dormax SW, Grandville, MI 49418	616.538.0120	616.538.9695
Seelye Group LTD 1411 Lake Lansing Rd., Lansing, MI 48912	888.297.1838	517.485.2692
Sobie Company, Inc. 3276 Industrial Dr. SE, Dutton, MI 49316	616.698.9800	616.698.0994
Solution Planning & Contract Environment, Inc. (SPACE) 3142 Vantage Point Dr., Midland, MI 48642	989.835.5151	989.835.5357
Superior Floor Coverings LLC 5154 M-21, Corunna, MI 48817	989-472-4445	N/A
Supreme Floor Covering, Inc. 1392 S. Valley Center Dr., Bay City, MI 48706	989.684.8888	989.684.9255
TerCon Systems 3555 Jewell Rd., Howell, MI 48843	248.709.8515	
Valley Carpet Inc. 3450 S. Huron Rd., Bay City, MI 48706	989.684.6065	989.684.0909
Wolverine Stone Company 27270 Gloede, Warren, MI 48088	586.777.7788	586.777.7853

Painting

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Akins Construction, Inc. 6565 East Nevada, Detroit, MI 48234	586.254.0992	586.254.2989
Detail Painting Inc. 62 Elder Ave., Grant, MI 49327	231.834.1400	231.834.1413
Hock Painting Inc. 1995 W. Greenwood Rd., Alger, MI 48610	989.345.7650	810.564.9880
Kasco Inc. 226 E. Hudson, Royal Oak, MI 48067	248.547.1210	248.546.1276
Larkin's Painters, Inc. 614 S. Fayette St., Saginaw, MI 48602	989.793.8077	989.793.4673

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Painting (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Metal Arts Construction, Inc. 1700 Gover Pkwy., P.O. Box 157, Mt. Pleasant, MI 48804	989.772.0782	989.779.0017
Murray Painting Co. 6078 Hackett Rd., Freeland, MI 48623	989.695.8152	989.695.8199
Niles Construction Services, Inc. 5048 Pilgrim Rd., Flint, MI 48507	810.238.9100	810.736.0473
Niles Industrial, LLC 201 S. Alloy Dr., Fenton, MI 48430	810.593.7000	810.593.7001
Northern Bay Painting LLC 780 N. Gavord Rd., Sterling, MI 48659	989.225.1220	989.654.2951
Ritsema Associates 3000 Dormax SW, Grandville, MI 49418	616.538.0120	616.538.9695
Seaway Painting L.L.C. 31801 Schoolcraft, Livonia, MI 48150	734.522.2440	734.522.6022
Seven Brothers Painting, Inc. 50805 Rizzo Dr., Shelby Twp., MI 48312	586.977.5906	586.412.0368
Signature Painting 211 First St., P.O. Box 535, Breckenridge, MI 48615	989.842.5984	989.463.6945
T & M Painting, Inc. 215 Hayden St., Saginaw, MI 48607	989.754.0099	989.754.6728
Thermico, Inc. 3405 Centennial Dr., Ste. 2, Midland, MI 48642	989.496.2927	989.496.7220

Water-Based Fire-Suppression Systems

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Bay Line Fire Protection 5913 North Huron Rd., Pinconning, MI 48650	989.879.4639	989.879.7126
Beck Fire Protection, Inc. 5370 W. Vienna Rd., P.O. Box 496, Clio, MI 48420	810.687.7770	810.687.9990
Brigade Fire Protection, Inc. 5701 Safety Dr., Belmont, MI 49306	800.886.1614	616.784.1140
Dependable Fire Protection Inc. 13360 White Creek Ave. NE, Cedar Springs, MI 49319	616.696.8000	616.696.8511

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Water-Based Fire-Suppression Systems (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Dynamic Piping Co., Inc. 14816 Gratiot Rd., P.O. Box 590, Hemlock, MI 48626	989.642.5257	989.642.5258
Great Lakes Fire Protection Inc. 14033 N. Saginaw Rd., P.O. Box 278, Clio, MI 48420	810.687.1414	810.686.9292
Interstate Fire Protection, Inc. 28807 Reilly Rd., New Hudson, MI 48165	248.667.9180	248.667.9175
John E. Green Company 778 Bridgeview South, Saginaw, MI 48604	989.752.5100	989.752.0424
S.A. Comunale Company, Inc. 23042 Commerce Dr., Farmington Hills, MI 48335	248.427.0724	248.427.0750
Total Fire Protection Inc. 5062 Kendrick Court SE, Grand Rapids, MI 49512	616.735.2300	616.735.2330
Winninger Fire Protection, Inc. 244 Cherry St., P.O. Box 283, Frankenmuth, MI 48734	989.652.4438	989.652.8570
Wolverine Fire Protection Co. 8067 N. Dort Hwy., P.O. Box 219, Mt. Morris, MI 48458	810.686.4630	810.686.0440

HVAC Ducts & Casings

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
A. C. Klopff, Inc. 524 S. Franklin Street, Saginaw, MI 48607	989.754.0403	989.754.5082
Answer Heating & Cooling, Inc. 8490 Midland Road, Freeland, MI 48623	989.695.9461	989.695.9789
Applegate, Inc. 485 E. South St., Jackson, MI 49203	517.783.2646	517.783.1219
Custom Engineering, Inc. 990 S. Huron Rd., P.O. Box 367, Linwood, MI 48634	989.697.3444	989.697.4400
Dee Cramer, Inc. 4221 E. Baldwin Rd., Holly, MI 48442	810.579.5000	810.579.2664
Goyette Mechanical Co., Inc. 3842 Gorey Ave., Flint, MI 48506	810.743.6883	810.743.9114
J. E. Johnson, Inc. 2298 N. Eastman Rd., Midland, MI 48642	989.835.6671 800.646.2690	989.835.7147

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

HVAC Ducts & Casings (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
MJ Mechanical, Inc. 11787 Prior Rd., St. Charles, MI 48655	989.865.9633	989.865.9632
National Roofing & Sheet Metal Co., Inc. G-4130 Flint Asphalt Dr., Burton, MI 48529	810.742.7373	810.742.8726
Pleune Service Co. 750 Himes S.E., Grand Rapids, MI 49548	616.243.6374	616.243.5387
S&Z Sheetmetal, Inc. 5237 Commerce Rd., Flint, MI 48507	810.230.0200	810.230.0201
Smillie Plumbing & Heating, Inc. 10270 Pierce Rd., Freeland, MI 48623	989.695.5133	989.695.2226
U. S. Sheet Metal, Inc. 3200 Enterprise Dr., Saginaw, MI 48603	989.799.4850	989.799.9672
Wendling Sheet Metal, Inc. 2633 Carrollton Rd., Saginaw, MI 48604	989.753.5286	989.753.8375

Electrical

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Amcomm Telecommunications Inc. 12482 Emerson Dr., Brighton, MI 48116	248.698.8868	248.698.8869
ATI Group 3419 Pierson Place, Flushing, MI 48433	810.230.6202	810.230.6208
Bierlein Trombley Electric 378 N. Tuscola Rd., Bay City, MI 48708	989.778.2500	
Block Electric Company 2580 N. Johnson Rd., P.O. Box 63, Weidman, MI 48893	989.644.8883	989.644.8885
Bock Electric Inc. 3510 Rhodes Rd., Rhodes, MI 48652-9731	989.879.4256	989.879.6565
Clements Electric Inc. 204 S. Dean, Bay City, MI 48706	989.892.4780	989.892.4776
Consumers Energy Corporation 1 Energy Plaza, Jackson, MI 49201	616.260.9640	
ESCON Group, Inc. 6 Johnson Court, Bay City, MI 48708	989.893.4541	989.893.4542

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Electrical (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
F.D. Hayes Electric Company 2301 Beal Avenue, Lansing, MI 48910	517.482.0608	517.482.4110
Feyen Zylstra, LLC 2396 Hillside Drive NW, Grand Rapids, MI 49544	616.224.7707	616.224.7799
Great Lakes Power & Lighting, Inc. 9646 Marine City Hwy., Casco, MI 48064	586.716.4000	586.716.4770
Halligan Electric, Inc. 705 Kelso St., Flint, MI 48506	810.238.8581	810.238.1493
Helm Electric, Inc. 2375 Maple Rd., Frankenmuth, MI 48734	989.652.8779	989.652.8778
JAG Electric, LLC 1250 W. Vassar Rd., Reese, MI 48757	989.868.9853	989.596.0806
Ken David Electric 3195 Christy Way S., Ste. 8, Saginaw, MI 48603	989.793.6100	989.793.2775
Master Electric, Inc. 2350 W. M-61, P.O. Box 404, Gladwin, MI 48624	989.426.9860	989.426.9862
Metro Electric Engineering Technologies, Inc. 110 East Pond Dr., Romeo, MI 48065	586.752.2622	586.752.2862
Motor City Electric Technologies Inc. 9440 Grinnell, Detroit, MI 48213	313.921.5300	313.921.5310
Newkirk Electric Associates, Inc. 2751 Lippincott Blvd., Flint, MI 48507	810.742.4400	810.742.4410
Nuechterlein Electric, Inc. 304 List St., Frankenmuth, MI 48734	989.652.2431	989.652.9830
Parkway Electric & Communications, LLC 11952 James St., Holland, MI 49424	616.392.2788	616.392.6880
PowerComm Electric 465 N. Franklin, Ste. C, Frankenmuth, MI 48734	989.652.4889	989.652.4959
J. Ranck Electric, Inc. 1993 Gover Parkway, Mt. Pleasant, MI 48858	800.792.3822	989.775.8830
Spark Electric Services Inc. 1000 N. Chilson, Ste. 1, Bay City, MI 48706	989.686.5691	989.316.2932
S.R.V. Services, Inc. 9472 E. Coldwater Rd., Davison, MI 48423	810.845.2117	810.653.6504

PRE-QUALIFIED SUBCONTRACTORS

(Pre-Qualified Subcontractors are to submit their cost to companies on the Pre-Qualified Contractors list.)

Electrical (continued)

<u>Company Name & Address</u>	<u>Phone #</u>	<u>Fax #</u>
Taunt Electric Company 895 Industrial Dr., Gladwin, MI 48624	989.426.9306	989.426.4530
Thiel Electric, Inc. 7920 McCarty Rd., Saginaw, MI 48603	989.792.1188	989.792.6165
Van Herweg Electric, Inc. 2885 Enterprise Ct., Saginaw, MI 48603	989.791.1131	989.791.3946
Walker Electric, Inc. 3725 S. Saginaw St., Ste. 105, Flint, MI 48507	810.233.5111	810.233.5112
Weinstein Electric Company 213 W. First Ave., Flint, MI 48503	810.232.5934	810.232.3218
Wm. F. Nelson Electric, Inc. 111 Hoyt St., Saginaw, MI 48607	989.752.7184	989.752.6441
Windemuller Electric, Inc. 2936 E. Venture Dr., Midland, MI 48640	989.631.2023	989.631.3110

GENERAL CONDITIONS

Article 1. Definitions

- (a) The Contract Documents consist of the Agreement, the General Conditions of the Contract, the Drawings and Specifications including all modifications thereof incorporated in the documents before their execution. These form the Contract.
- (b) The Owner, Saginaw Valley State University, and the Contractor are those mentioned as such in the agreement. They are treated throughout the Contract Documents as if each were of the singular number and masculine gender.
- (c) The term "work" of the Contractor or Subcontractor includes labor, materials or both, transportation, equipment or other facilities necessary to complete the Contract.
- (d) Bidder - Any individual, firm or corporation, submitting a proposal for the work contemplated, acting directly or through a duly authorized representative.
- (e) Contractor - The individual, firm or corporation undertaking the execution of the work under the terms of the Contract and acting directly or through a duly authorized representative.
- (f) Subcontractor - As employed herein, includes only those having a direct contract with the Contractor and it includes one who furnished material worked to a special design according to the plans or specifications of this work, but does not include one who merely furnished material not so worked.
- (g) Inspector - The authorized representative of the Owner assigned to make detailed inspection of any or all portions of the work or materials thereof.

Article 2. Execution of Documents

The Contract Documents are complimentary and what is called for by any one shall be as binding as if called for by all. The intentions of the documents are to include all labor and materials, equipment and transportation necessary for the proper execution of the work.

Article 3. Copies of Drawings Furnished

The Owner will furnish to the Contractor, free of charge, all copies of drawings and specifications reasonably necessary for the execution of the work. He shall also furnish additional instructions by means of drawings or otherwise, necessary for the proper execution of the work.

Article 4. Materials and Workmanship

Discrepancies: In all cases of discrepancies between the drawings and specifications, the Owner shall be notified. If Work proceeds without obtaining proper interpretation of the conflicting drawings and specifications from the Owner, the installed Work which is not in accordance with the design and best practices must be replaced at no additional cost to the Owner.

Omissions: The drawings and specifications are intended to include all Work and materials necessary for completion of the Work. Any incidental item of material, labor or detail required for the proper execution and completion of the Work and omitted from either the drawings and specifications or both, but obviously required by governing codes, local regulations, trade practices, operational functions, and good workmanship, shall be provided as a part of the Contract Work without extra charge, even though not specifically detailed or mentioned.

Article 5. Materials, Appliances, Employees

Unless otherwise stipulated, the Contractor shall provide and pay for all materials, labor, tools, equipment, light, power, transportation and other facilities necessary for the execution of the work. Unless otherwise specified, all materials shall be new and both workmanship and materials shall be of a good quality. The Contractor shall, if required, furnish satisfactory evidence as to the kind and quality of materials. The Contractor shall enforce strict discipline and good order among his employees and shall not employ any unfit person or one not skilled in the work assigned to him.

Article 6. Royalties and Patents

The Contractor shall pay royalties and license fees. He shall defend all suits or claims for infringement of any patent rights and shall save the Owner harmless from loss on account thereof, except that the Owner shall be responsible for all such loss when a particular process or the product of a particular manufacturer or manufacturers is specified, but if the Contractor has information that the process or article specified is an infringement of a patent he shall be responsible for such loss unless he promptly gives such information to the Owner.

Article 7. Permits & Regulations

The Contractor shall obtain and pay for all permits necessary for the proper execution of the work. He shall comply with all laws and regulations bearing on the conduct of the work and shall notify the Owner if the drawings and specifications are at variance therewith.

Article 8. Use Of Site

The Contractor shall coordinate with the Owner to maintain uninterrupted operations of University business throughout the Work. The Contractor shall also confine operations at the site to areas permitted by law, ordinances, and permits and shall not unreasonably encumber the site with any materials for equipment.

Article 9. Safety Regulations

The Contractor shall conform to the "General Safety Rules and Regulations" for the Construction Industry, as prescribed by the Construction Safety Commission, Department of Labor, Bureau of Safety and Regulations, Lansing, Michigan, and the Occupational Safety and Health Standards of the United States Department of Labor. This shall be made a condition of each subcontract entered into pursuant to the Contract.

Article 10. Storage and Protection

All materials and equipment delivered to and used in the Work shall be suitably stored and protected from the elements. The areas used for storage shall only be those approved by the Owner's. The Owner assumes no responsibility for stored material. The Ownership and title to materials will not be vested in the Owner before materials are incorporated in the Work. After delivery, before and after installation, the Contractor shall protect materials and equipment against theft, injury or damage from all causes.

Bulk materials subject to deterioration because of dampness, the weather or contamination shall be covered and protected while in storage. Materials in containers shall be kept in original sealed containers, unopened, with labels plainly indicating manufacturer's name, brand, type and grade of material. Containers that are broken, opened, watermarked and/or contain caked, lumpy or otherwise damaged materials are unacceptable and shall be immediately removed from the work site.

Equipment stored outdoors shall be kept from contact with the ground, away from areas subject to flooding and covered with weatherproof plastic sheeting or tarpaulins.

Article 11. Protection of Work, Property & Persons

The Contractor shall continuously maintain adequate protection of his work, the Owner's and adjacent property, and public from damage, injury, or loss arising in connection with this Contract. Any damage caused by the Contractor's operation shall be repaired, replaced or compensated for by the Contractor.

The Contractor shall furnish and install all temporary facilities, dust barriers and controls required by the Work, shall remove them from Owner's property upon completion of the Work and the grounds and existing facilities shall be restored to their original condition.

The Contractor shall furnish, install and maintain as long as necessary and remove when no longer required adequate barrier, warning signs or lights at all dangerous points throughout the Work for protection of property, workmen and the public. The Contractor shall hold Saginaw Valley State University harmless from damage or claims arising out of any injury or damage that may be sustained by any person or persons as a result of the Work under the Contract. All construction aids shall conform to federal, state and local codes or laws for protection of workmen and the public.

Article 12. Inspection of Work

The Owner and his representatives shall at all times have access to the work wherever it is in preparation of progress and the Contractor shall provide proper facilities for such access and for inspection. If the specifications, the Owner's instructions, laws, ordinances or any public authority require any work to be specially tested or approved, the Contractor shall give the Owner timely notice of its readiness for inspection, and if the inspection is by another authority than the Owner of the date fixed for such inspection. Inspections by the Owner shall be promptly made, and where practicable at the source of supply. If any work should be covered up without approval or consent of the Owner, it must, if required by the Owner, be uncovered for examination at the Contractor's expense.

Article 13. Superintendence: Supervision

The Contractor shall keep on his work a competent superintendent and other necessary assistants, all satisfactory to the Owner. The superintendent shall represent the Contractor in his absence and all directions given to him shall be as binding as if given to the Contractor.

If the Contractor, in the course of the work, finds any discrepancy between the drawings and the physical conditions of the locality, or any errors or omissions in drawings or in the layout as given by points and instructions, it shall be his duty to immediately inform the Owner and the Owner shall promptly verify the same.

Article 14. Changes in the Work

The Owner without invalidating the contract, may, in writing, order extra work or make changes by altering, adding to or deducting from the work, the Contract Sum being adjusted accordingly. All such work shall be executed under the conditions of the original contract.

Article 15. Correction of the Work

The Contractor shall remedy any defects due to faulty materials or workmanship which appear within a period of one year from the date of completion of the contract. The provisions of this article apply to work done by subcontractors as well as to work done by direct employees of the Contractor.

Article 16. Claims for Extra Cost

If the Contractor claims that any instructions by drawings or otherwise, involve extra cost, he shall give the Owner written notice thereof within a reasonable time after the receipt of such instructions, and in any event before proceeding to execute the work and the procedure then shall be as provided for changes in the work. No such claim shall be valid unless so made.

Article 17. Deductions for Uncorrected Work

If the Owner deems it inexpedient to correct work injured or done not in accordance with the contract, an equitable deduction from the Contract price shall be made therefore.

Article 18. Correction of Work Before Final Payment

The Contractor shall promptly remove and correct all work condemned by the Owner as failing to conform to the Contract. The Contractor shall promptly replace and re-execute his own work in accordance with the contract and without expense to the Owner. He shall bear the expense of making good all work of other contractors destroyed or damaged by such replacement.

Article 19. Delays and Extension of Time

If the Contractor should be delayed at any time in the progress of the work by any act or neglect of the Owner, or of any employee of the Owner, or by any separate Contractor employed by the Owner, or by changes ordered in the work, or by strikes, lockouts, fire, unusual delay in transportation, unavoidable casualties or any causes beyond the Contractor's control, or by delay authorized by the Owner pending arbitration, or by any cause which the Owner shall decide to justify the delay, then the time of completion shall be extended for such reasonable times as the Owner may decide.

No such extension shall be made for delay occurring more than seven days before claim therefore is made in writing to the Owner. In the case of a continuing cause of delay, only one claim is necessary.

If no schedule or agreement stating the dates upon which drawings shall be furnished is made, then no claim for delay shall be allowed on account of failure to furnish drawings until two weeks after demand for such drawings and not then unless such claim be reasonable.

Article 20. Owner's Right to Terminate Contract

The Owners may terminate the Contract when the approved progress schedule is not met because of failure of the Contractor to exercise diligence and effectively perform all required Work or when the progress of the Work is unacceptable to the Owner.

If the Contractor should be adjudged as bankrupt, or if he should make a general assignment for the benefit of his creditors, or if a receiver should be appointed on account of his insolvency, or if he should persistently or repeatedly refuse or should fail, except in cases for which extension of time is provided to supply enough properly skilled workmen or proper materials, or if he should fail to make prompt payment to subcontractors or for material or labor, or persistently disregard laws, ordinances or the instructions of the Owner, or otherwise be guilty of a substantial violation of any provision of the contract then, upon the certificate of the Owner that sufficient cause exists to justify such action, may, without prejudice to any other right or remedy and after giving the Contractor seven days written notice, terminate the employment of the Contractor and take possession of the premises and of all materials, tools and appliances thereon and finish the work by whatever method he may deem expedient. In such case the Contractor shall not be entitled to receive any further payment until the work is finished. If the unpaid balance of the contract price shall exceed the expense of finishing the work including compensation for additional managerial and administrative services, such excess shall be paid to the Contractor. If such expense shall exceed such unpaid balance, the Contractor shall pay the difference to the Owner. The expense incurred by the Owner as herein provided, and the damage incurred through the Contractor's detail, shall be certified by the Owner.

Article 21. Contractor's Right to Stop or Terminate Contract

If the work should be stopped under an order of any court, or other public authority, for a period of three months through no act or fault of the Contractor or of anyone employed by him, or if the Owner should fail to issue any certificate for payment within seven days after it is due, or if the Owner should fail to pay to the Contractor within seven days of its maturity and presentation, any sum certified by the Owner or awarded by arbitrators, then the Contractor may, upon seven days written notice to the Owner, stop work or terminate this contract and recover from the Owner payment for all work executed and any loss sustained upon any plant or materials and reasonable profit and damages.

Article 22. Insurance

No work connected with the contract shall be started until the Contractor has submitted evidence to the University Facilities Planning & Construction Department, that:

- (1) the Contractor shall carry Worker's Compensation Insurance in the amounts required by Michigan Statute, upon all of its employees engaged in the work and shall be responsible to ensure that all subcontractors maintain equal Worker's Compensation Coverage, and the Worker's Compensation policy should also provide Employers Liability Insurance with minimum limit requirements of at least \$500,000 Bodily Injury By Accident, \$500,000 Bodily Injury By Disease, and \$500,000 Policy Limit By Disease.
- (2) Contractor is to carry Commercial General Liability Insurance with minimum limit requirements of \$1 Million each occurrence, \$1 Million Personal Injury and Advertising Injury, \$2 Million Products and Completed Operations Aggregate and \$2 Million General Aggregate. Coverage should include Premises and Operations, Products and Complete Operation, Blanket Contractual and Broad Form Property Damage Liability.
- (3) The Contractor shall carry Automobile Liability Insurance with minimum limit requirements of \$1 Million each accident. All of this insurance shall be maintained during the life of this Order and/or Contract. **Saginaw Valley State University shall be endorsed as an additional insured to the Commercial General Liability Policy and Automobile Liability Policy.**

Contractor shall advise their carrier to provide a Certificate of Insurance for this insurance coverage to the University Facilities Planning & Construction Department and this Certificate of Insurance shall contain a provision that should any of the above described policies be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.

Contractor further agrees to indemnify, save and hold harmless the University, its employees, its agents, its President, and its Board of Trustees from any and all suits, claims, liability, damages, loss, cost and expenses of every kind of nature, including attorney fees, which may be asserted against the University, its employees or agents, its President or its Board of Trustees by another or others resulting from the performance of the work herein described.

Article 23. Performance & Payment Bonds

If the bid amount is equal to or greater than \$50,000, the Contractor shall provide a Performance Bond and a Payment Bond, each in the value of 100% of the Contract Sum.

Article 24. Separate Contracts

The Owner reserves the right to let other contracts in connection with this work. The Contractor shall afford other contractors reasonable opportunity for the introduction and storage of their materials and the execution of their work, and shall properly connect and coordinate his work with theirs.

Article 25. Subcontracts

The Contractor shall, as soon as practicable after the execution of the contract, notify the Owner in writing of the names of subcontractors proposed for the principal parts of the work and for such others as the Owner may direct and shall not employ any that the Owner may within a reasonable time object to as incompetent or unfit.

If the Contractor has submitted before execution of the contract a list of subcontractors and the change of any name on such list is required in writing by the Owner after such execution, the contract once shall be increased or diminished by the difference in cost occasioned by such change.

The Owner shall, on request, furnish to any subcontractor, wherever practicable, evidence of the amounts certified on his account.

The Contractor agrees that he is as fully responsible to the Owner for the acts and omissions of his subcontractors and of persons either directly or indirectly employed by them, as he is for the acts and omissions of persons directly employed by him.

Nothing contained in the contract documents shall create any contractual relation between any subcontractor and the Owner.

Article 26. Owner's Status

The Owner has authority to stop the work whenever such stoppage may be necessary to insure the proper execution of the contract. He shall also have authority to reject all work and materials that do not conform to the contract, to direct the application of forces to any portion of the work, as in his judgment is required, and to order the forces increased or diminished, and to decide questions which arise in the execution of the work.

Article 27. Payment

Payment for the work will be made in one sum at the completion of the contract except that partial payments of the completed work may be made at monthly intervals. If Contractor expects to request partial payments he shall submit a Schedule of Values of the various parts of the work aggregating the total contract sum. This schedule of values shall include a 10% line item for close-out which encompasses as-builts, punch lists, warranties, operation and maintenance manuals, owner training, etc. When applying for payments, Contractor shall submit a statement based upon this schedule, itemized and supported as the Owner may require, including a 10% line item for close-out. Payment request to be submitted on a modified form similar to AIA G702 and submitted to the Owner for approval.

Contract will not be considered complete until the work has been finally accepted by the Owner and the following close-out documents have been furnished:

- (a) Required warranties
- (b) Satisfactory evidence that all subcontractors, material bills and other indebtedness connected with work have been paid
- (c) Record drawings
- (d) Operation and maintenance manuals
- (e) Owner Training
- (f) Signed and completed punchlist
- (g) Sworn statement
- (h) Unconditional waivers from all subcontractors and major suppliers

Article 28. Shop Drawings

Submit three (3) copies of shop drawings to Owner for review.

Article 29. Field Measurements

The accompanying drawings show the arrangement, general design and extent of the Work and are more or less diagrammatical with materials and equipment shown in their general locations. The Contractor shall make field measurements to verify or supplement dimensions indicated, and assume full responsibility for accurate fit of all Work.

Article 30. Clean-Up

(a) The Contractor shall keep the premises free of accumulation of waste materials or rubbish caused by his operations. If the Contractor fails to keep the area clean during the course of the work and upon completion, the Owner may have the area of the work cleaned properly and the cost thereof shall be charged to the Contractor.

(b) The Contractor shall legally dispose of all empty material containers, spent items, rubbish, etc. off campus property.

Article 31. Substantial Completion

The Contractor shall notify the Owner when the Work will be substantially complete and ready for inspection and preparation of a list minor replacement, correction and adjustment items. The Contractor shall be represented on the job site at the time this inspection is made thereafter shall complete all Work by the date set for final acceptance by the Owner.

Article 32. Project Close-Out Documents

The Contractor shall provide three (3) hard copies of all record documents, operation and maintenance data, testing data, sworn statement and waivers with the final pay request.

Contractor shall include all operation and maintenance data and/or record Drawings required by Contract Documents.

END OF GENERAL CONDITIONS

Section 00510

OWNER/CONTRACTOR AGREEMENT

I. DATE, OWNER AND CONTRACTOR

A. Date of Agreement: _____

B. The Parties To This Agreement:

B1. The Owner: Saginaw Valley State University
7400 Bay Road, University Center, MI 48710

B2. The Contractor: _____

II. THE PROJECT, LOCATION AND DESCRIPTION OF WORK

A. Project Name: _____

B. Project Location: _____

C. Description of Work: _____

III. PAYMENT FOR WORK

The Owner shall pay the Contractor for the performance of the Work, subject to the provisions of the Contract Documents, and subject to additions and deductions by Change Order, as provided in the General Conditions of the Contract for Construction, in current funds, the Contract Sum of:

_____ and ⁰⁰/₁₀₀ _____ Dollars
(\$ _____)

IV. CONTRACTOR'S ASSIGNED PERSONNEL

The Contractor has assigned the following personnel to the Project in the capacities designated, and shall not change these assignments without the concurrence of the Owner in the form of an Amendment to the Contract. Additionally, the Contractor agrees to remove personnel assigned to the project, listed here or otherwise, at the request of the Owner, in the event such personnel are shown not to be acting consistently in the Owner's best interests.

<u>Name</u>	<u>Title</u>	<u>Responsibility</u>
_____	Manager	Overall Project Control
_____	Superintendent	Field Supervision
_____	Safety Officer	All Safety Related Issues

V. THE OWNER/CONTRACTOR AGREEMENT

A. CONTRACT DOCUMENTS

A1. DOCUMENTS

The Contract Documents include this Agreement and the following documents:

A1.1 General Conditions of the Contract for Construction:
As Noted in Specification

A1.2 Supplementary Conditions of the Contract for Construction:
As Noted in Specification

A1.3 Additional Conditions, consisting of:

A1.4 Drawings, dated: _____

A1.5 Specifications, dated: _____

A1.6 Addenda,; _____

A1.7 Modifications issued during construction.

A2. CONTRACT

All Contract documents are a part of this Agreement as if attached to or repeated in this Agreement. All references to “Contractors” in the Contract Documents apply specifically and individually to the Contractor identified in and party to this Agreement. The Plural, “Contractors”, always applies individually to the Contractor and each contractor, and shall not be interpreted collectively, as if it applied to all contractors as a group.

A3. DEFINITIONS

The definitions of terms used throughout the Contract Documents are those standard to the construction industry, or as used in the General Conditions of the Contract for Construction.

A4. OTHER DOCUMENTS

If the provisions of this Agreement conflict with any provisions of other documents, the provisions of this Agreement shall control.

B. CONTRACTOR PERFORMANCE

B1. CONTRACTOR PERFORMANCE

The Contractor agrees to perform all Work, as identified in Provision V of this Agreement, in accord with, as required by and as set forth in the Contract Documents.

B2. REPRESENTATION

The Contractor, by executing this Agreement, represents that he fully understands the requirements of the Contract Documents with respect to scope and content, and will expeditiously complete the Work in conformance to the Contract Documents. He agrees to provide his best skills and judgment, and to cooperate with others involved in the Project, and at all times to protect the Owner’s interests.

B3. STARTING THE WORK

The Contractor shall commence the Work in such a manner and at such a time as to expeditiously pursue the Work diligently to completion. The Contractor shall work in a cooperative manner with other contractors.

- B3.1 The execution of this Agreement by both parties constitute a Notice to Proceed with the Work, unless the Owner issues a separate Notice to Proceed designating a different starting time. The Contractor shall promptly provide timely performance according to the immediate progress requirements of the Project.
- B3.2 The Contractor shall commence the Work prior to the execution of this Agreement if a Letter of Intent containing a Notice to Proceed is issued by the Owner.
- B3.3 Upon receipt of a Notice to Proceed, the Contractor shall pursue and complete the Work without voluntary interruption for any reason, as long as the Work can be performed, at a pace consistent with good industry practice regardless of pending or current claims or disputes in connection with the Contract Documents.

B4. TIMELY PERFORMANCE

- B4.1 It is the Owner's intent to complete the Project as soon as possible. The Contractor agrees to cooperate in scheduling and performing the Work to achieve completion of the Project as soon as possible.
- B4.2 The Contractor acknowledges and accepts the prospects of such delays, interferences and interruptions to the progress of the Project and to the Work as are inherent in the construction industry. The Contractor represents that he has included compensation for such delays, interferences and interruptions in the Contract Sum.
- B4.3 The Owner does not guarantee that delays, interferences and/or interruptions to the Work will not occur. The Owner expressly disclaims any responsibilities or obligations resulting from delays, interferences or interruptions.
- B4.4 The Contractor shall not be entitled to additional compensation or damages due to delays, interferences or interruptions to the Work or the Project, but shall be entitled only to an appropriate extension of time in accord with the General Conditions of the Contract for Construction.

C. OWNER'S PERFORMANCE

C1. PAYMENT FOR WORK

C1.1 As stated in provision III on page 00510 – 1.

C2. UNIT PRICES

C2.1 In Addition to the Contract Sum, or as a part thereof if it is so stipulated in this Agreement, the Owner shall pay the Contractor an amount computed from the quantity of Work performed as determined by the Project Team. The unit prices for such work shall be:

<u>Type of Work</u>	<u>Unit</u>	<u>Unit Price</u>
---------------------	-------------	-------------------

C2.2 If actual quantities differ from the quantities contemplated by more than 25%, and it is shown that a substantial inequity will result either to the Contractor or to the Owner if these unit prices are used, the applicable unit prices shall be mutually adjusted.

C3. PROGRESS PAYMENTS

The Owner shall pay the Contractor periodically for Work performed according to the provisions of the General Conditions of the Contract for Construction. Payment request shall be submitted on a modified form similar to AIA G702 and submitted to the Designer for approval.

C4. FINAL PAYMENT

Final Payment, constituting the entire unpaid balance of the adjusted Contract Sum, shall be paid by the Owner to the Contractor within thirty (30) days of receipt by the Owner of certification of Final Completion as stipulated in the General Conditions of the Contract for Construction.

C5. CONTRACT ADMINISTRATION

The Owner shall administer the provisions of the Contract Documents through the Project Team.

C6. CONSTRUCTION SUPPORT ITEMS

The Owner shall provide certain Construction Support Items to be used by all contractors in a cooperative manner. The list of these items appears in the General Conditions of the Contract for Construction.

D. CHANGES

D1. PRICING

Unless otherwise agreed in writing by the Owner and the Contractor, Modifications resulting in Change Orders shall be priced by the Contractor in the following manner:

- D1.1 Cost shall be the estimated actual, direct cost of the labor, material and equipment involved plus an overhead charge of 15% for the work done by Contractor's own personnel and shall not exceed 10% for work done under subcontract, sub-subcontract, etc.
- D1.2 Labor shall be calculated at standard hourly rates.
- D1.3 Material shall be calculated at the Contractor's invoice cost.
- D1.4 Equipment shall be calculated at the least period rate applicable for the duration of use, and based on a published rate schedule currently in use.
- D1.5 The Contractor shall provide the Owner with back-up information substantiating all costs.
- D1.6 Supervision labor above the level of Foreman shall be included in the charge for overhead, per paragraph D1.1 above.
- D1.7 Unit prices where given by proposal shall be used where applicable.

E. RISK MANAGEMENT

E1. BONDS

If required by the bidding documents, the Contractor shall provide a Performance Bond and a Labor and Material Bond, each in the value of 100% of the Contract Sum. The Contractor represents that the cost of the bonds, if required, has been included in the Contract Sum.

E2. UNANTICIPATED CONDITIONS

This Contract shall be equitably adjusted by Change Order to the extent that such conditions increase or decrease the cost of Work if, during the performance of the Work, the Contractor encounters either of the following:

E2.1 Concealed conditions below the surface of the ground which are at variance with conditions indicated by the Contract Documents and with available soil investigation data.

E2.2 Previously unknown conditions of an unusual nature below the surface of the ground, which differ materially from conditions ordinarily encountered and generally recognized as inherent in work of the character provided for in this Contract.

A substantiated written claim for such an adjustment shall be made by the Contractor or the Owner within fifteen days after first observance of any such condition.

VI. EXECUTION

The Owner and the Contractor have executed this Agreement as of the day and year stated in provision I.A. above.

A. THE OWNER:

_____ Saginaw Valley State University

Signature: _____

Printed Name: _____ James G. Muladore

Title: _____ Executive Vice President for Administration & Business Affairs

Date: _____

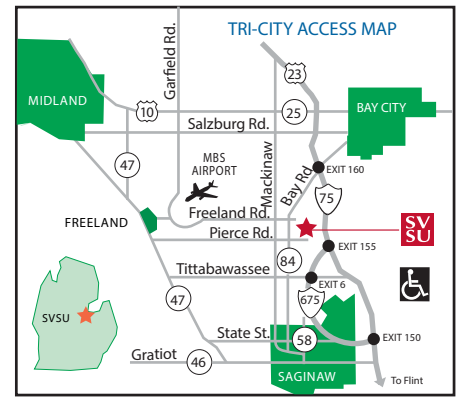
B. THE CONTRACTOR:

Signature: _____

Printed Name: _____

Title: _____

Date: _____



Facilities Planning & Construction Office

- | | | | |
|---------------------------------|---|--|---|
| 1. Arbury Fine Arts Center | 17. Marshall M. Fredericks Sculpture Museum & Gardens | 32. Owsley Grove | 43. Tennis Courts |
| 2. Archery Range | 18. Gilbertson Hall | 33. Performing Arts Center
A. Malcolm Field Theatre for Performing Arts
B. Rhea Miller Recital Hall | 44. Tranquil Residence Halls (First Year Suites F & G) |
| 3. Art Studio | 19. Great Lakes Residence Halls (First Year Suites A-E) | 34. Pine Grove Apartments | 45. University Health Center |
| 4. Baseball Field | 20. Groening Commons | 35. Pioneer Hall | 46. University Police/Parking Services |
| 5. Basketball Intramural Courts | 21. Grounds Building | 36. Ryder Center for Health & Physical Ed. (Gerstacker Aquatics Center, Hamilton Gymnasium, O'Neill Arena) | 47. University Village East |
| 6. Bookstore | 22. Health & Human Services | 37. Dow Doan Science Building East | 48. University Village West |
| 7. Brown Hall | 23. Information Kiosk | 38. Dow Doan Science Building West | 49. VIP Athletic Parking |
| 8. Campus Recreation Center | 24. Intramural Fields (East & West) | 39. South Campus Complex (Buildings A,B&C) | 50. Wickes Hall (Admissions & Financial Aid) |
| 9. Carmona College of Business | 25. Living Center South | 40. Soccer Fields | 51. Wickes Memorial Stadium |
| 10. Convenience Store | 26. Living Center Southwest | 41. Softball Fields | 52. Yien International Garden |
| 11. Curtiss Hall | 27. Ming Chuan University | 42. Student Center | 53. Zahnow Amphitheatre |
| 12. Discus Throw | 28. MJ Brandimore House (LC North) | | 54. Zahnow Library (Center for Academic Innovation, Center for Academic Achievement, Academic Tutoring, Information Technology, The Testing Center, and The Writing Center) |
| 13. Doan Center (Marketplace) | 29. Morley Field | | |
| 14. Fieldhouse | 30. Non-Motorized Pathway | | |
| 15. Football Practice Field | 31. Observatory | | |

SYMBOL KEY	
	Annual Ring Sculpture
	Power-Assist Door 1st Floor
	Power-Assist Door 2nd Floor
	Edwards Bell Tower
	Food/Dining
	Emergency Blue Telephone
	Gateway Entrance
	Gazelle Fountain
	Handicapped Parking
	Metered Parking
	Wetland Preserve
	Native Plantings

COLOR KEY			
	Faculty/Staff Reserved Parking: Permit Required in Shaded Portions of F, G1, L, and J4 Lots until 6:45 p.m.		Student Housing
	Roadways and Open Parking Lots		Educational Buildings
	UR Student Resident Parking (UR permit required)		Outdoor Sports Locations
	Free, Resident (UR permit required) & Overnight		VR Student Resident Parking (VR permit required)
	P Student Resident Parking (P permit required)		

Smoking is permissible only in lettered and residential parking lots, at least 25 ft. from any building.

SCOPE OF WORK

1. GENERAL

- a. Renovations to the approximately 9,800 square foot Banquet Hall and 5,350 square foot Seminar Room shall include but not be limited to:
 - 1.) Carpet removal and replacement.
 - 2.) Wall covering removal and replacement.
 - 3.) Base and chairrail remove and replacement.
 - 4.) Ceiling tile removal and replacement.
 - 5.) Painting and patching.
 - 6.) Lighting removal and upgrade to LED.
 - 7.) Selective door removal and replacement.
 - 8.) Provide attic stock materials.

2. DEMOLITION:

- a. Contractor shall remove all materials as designated on the demolition plan. Removed electrical devices shall have wiring removed back to source.
- b. Contractor shall protect fire alarm devices.
- d. Contractor shall protect adjacent finishes and surfaces from damage during construction, including window treatments, operable partitions, projectors and screens.
- e. Contractor shall legally dispose of all removed materials.
- f. Contractor shall provide dumpsters required for the disposal of removed materials.

3. CONSTRUCTION

- a. Install new roofing, insulation and related trims, wood nailer and accessories per drawings and specifications.
- b. Install rooftops units, including electrical work as shown on the drawings.
- c. Contractor shall repair, restore or replace all site and building damage, resulting from the construction to its original condition.
- d. Contractor shall thoroughly clean project site and adjacent areas affected by the construction.
- e. Construction schedule shall be phased as follows:
 - Seminar Space 11/19/22-2/4/23
 - Banquet Room 1/13/23-3/12/23

4. COORDINATION

- a. The West Complex Curtiss Hall will be occupied during construction. Contractor shall maintain a safe, clean construction site and shall leave the site free of debris daily. Contractor shall conduct work to minimize interference with adjacent building areas.
- b. Contractor shall only access construction site per the Construction Site Access Plan and as directed by SVSU staff.
- c. Contractor shall field verify existing conditions and notify the owner of any discrepancies prior to start of work.
- d. Contractor shall schedule any required electrical outage, 48 hours in advance.

5. ALLOWANCES

- a. Vinyl wall covering: Contractor shall include in their proposal an allowance of \$25.00/lineal yard for vinyl wall covering, to be applied to the purchase of MATERIAL ONLY, based on a type II, 54" wide material. Contractor shall include in their proposal all labor, shipping, overhead and profit required to install the material, including patching and wall prep. Note: Three (3) wall coverings will be selected.
- b. Lighting controls: Contractor shall include in their proposal an allowance of \$25,000 for upgraded control "equipment" only. A preliminary control drawing from Lutron has been included in this bid package for the estimation of labor to complete the work. Cost of labor shall be included in the proposal. The Lutron representative will be attending the walk through.

WEST COMPLEX BANQUET AND SEMINAR ROOM RENOVATIONS 2023

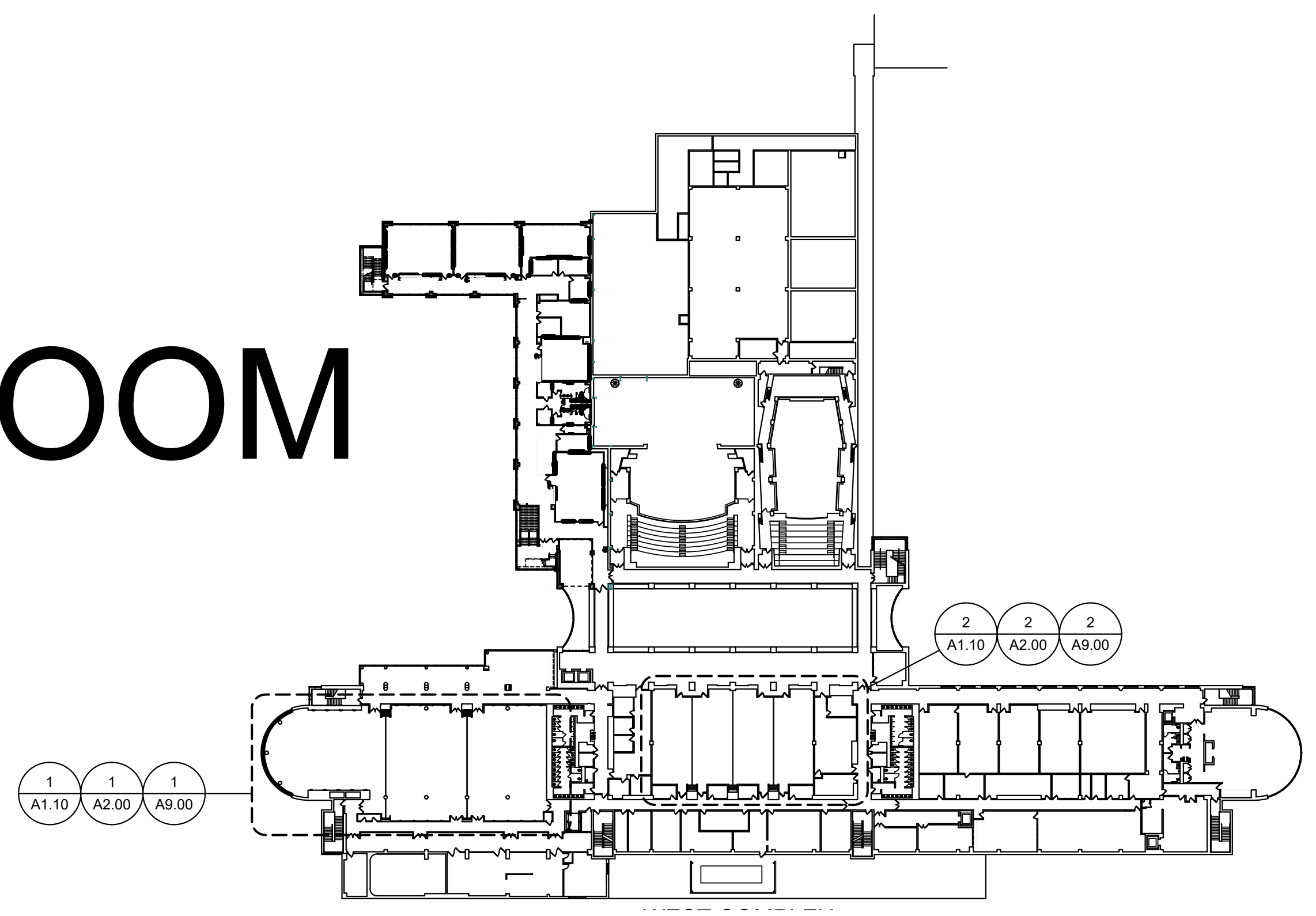
SVSU BID NO. 23012

DRAWING INDEX

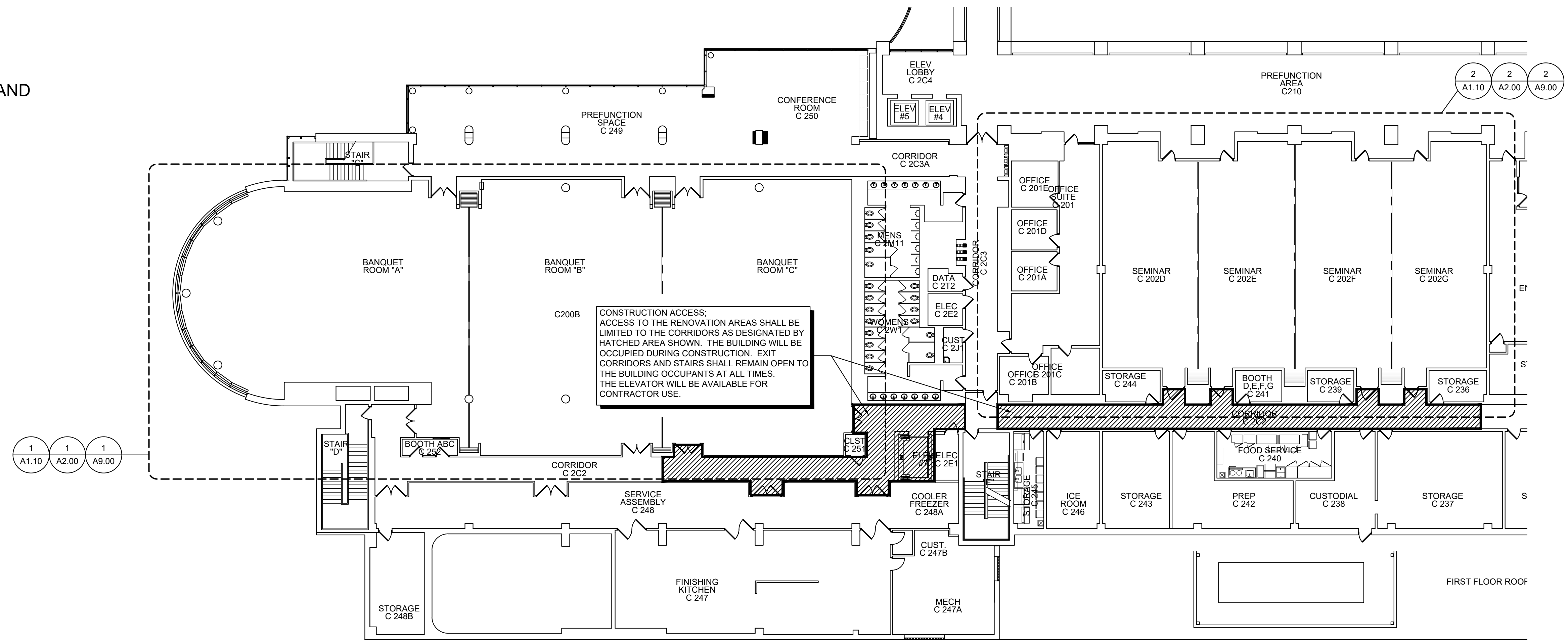
- A1.00 TITLE, INDEX, ROOF & KEY PLANS AND GENERAL, MASTER FLOOR AND CONSTRUCTION ACCESS PLAN & KEYNOTES
- A1.10 DEMOLITION PLANS, DEMOLITION KEYNOTES AND NOTES
- A2.00 NEW CONSTRUCTION FLOOR PLAN, KEY NOTES AND GENERAL NOTES PHOTO DETAILS/INTERIOR ELEVATIONS
- A3.00 PHOTO DETAILS
- A9.00 REFLECTED CEILING PLAN, KEY NOTES AND GENERAL NOTES
- E1.00 ELECTRICAL DEMOLITION PLAN
- E1.10 NEW LIGHTING PLAN

CONSTRUCTION SCHEDULE

- WORK SHALL BE PHASE AS FOLLOWS:
- SEMINAR SPACE 11/19/22 - 2/4/23
 - BANQUET ROOM 1/13/23 - 3/12/23



**SECOND FLOOR
KEY PLAN**
NO SCALE
NORTH



**MASTER SECOND FLOOR &
CONSTRUCTION ACCESS PLAN**
SCALE: 1/16" = 1'-0"
WHEN PRINTED AT 24" X 36"
NORTH

ISSUE DATES
BID
9/13/22

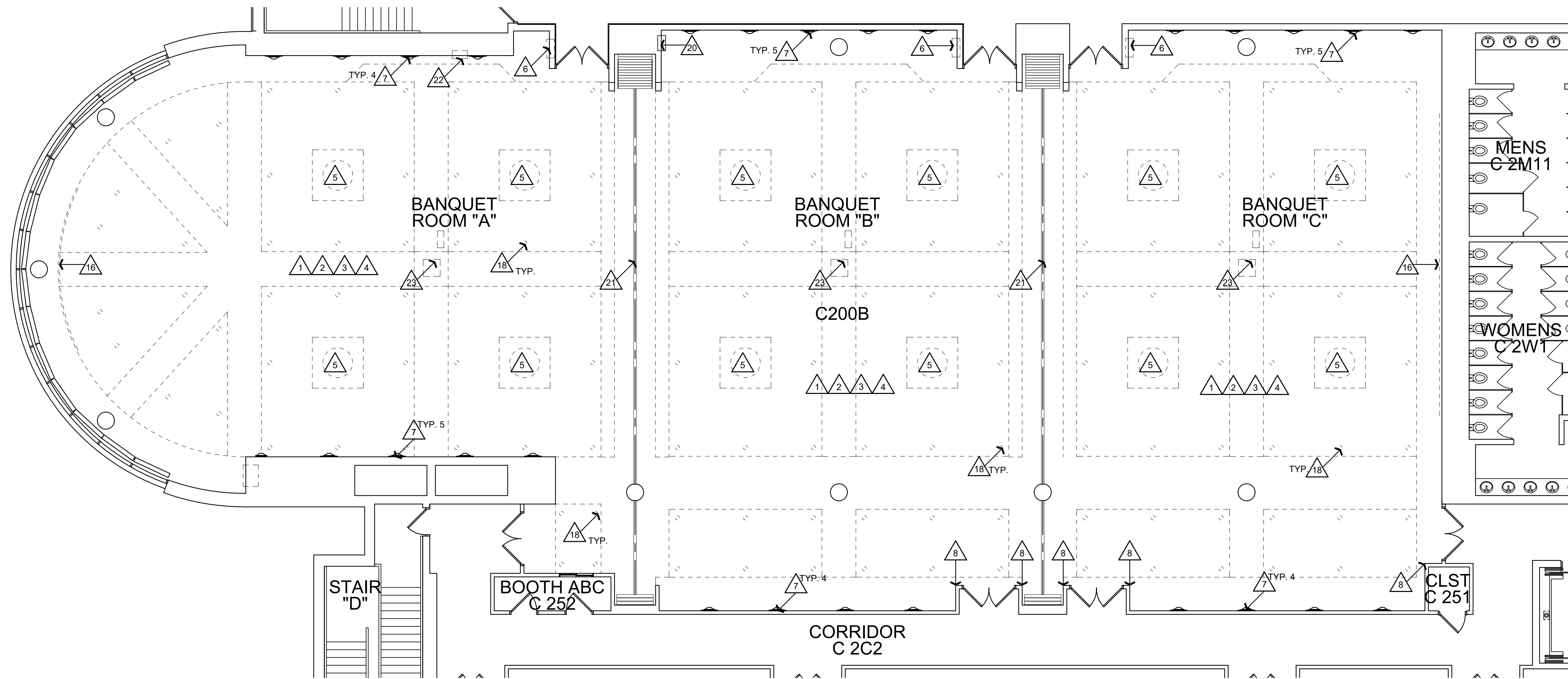
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WEST COMPLEX
BANQUET & SEMINAR ROOM
RENOVATIONS 2023
SECOND FLOOR KEY & MASTER
CONSTRUCTION ACCESS PLAN,
TITLE SHEET

DRAWN BY: KRS
CHKD. BY: MAP
PROJ. SUPV.: MAP
BID #: 23012
PROJECT #: 2022-014

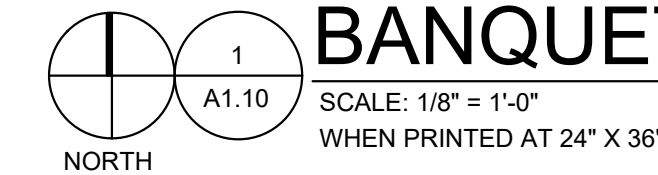
SHEET NUMBER
A1.00

DEMOLITION GENERAL NOTES:

- ALL BUILDING MATERIALS BEING DEMOLISHED ARE TO BE LEGALLY DISPOSED OF BY THE CONTRACTOR UNLESS NOTED OTHERWISE AND EXCLUDING THOSE ITEMS NOTED TO BE SALVAGED.
- PROTECT ADJACENT FINISHES AND SURFACES FROM DAMAGE DURING DEMOLITION WORK. ANY AREAS DAMAGED BY DEMOLITION TO BE PATCHED AND REPAIRED OR REPLACED TO MATCH EXISTING ADJACENT SURFACES.
- BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. PROTECT AND KEEP CORRIDORS AND PATHS CLEAN WHICH ARE NEEDED TO ACCESS TO THE CONSTRUCTION AREAS. PREVENT THE INFILTRATION OF DUST AND DEBRIS FROM THE CONSTRUCTION SITE THROUGHOUT THE REMAINING BUILDING. ANY FINISH DAMAGED DURING DEMOLITION/CONSTRUCTION SHALL BE PATCH AND REPAIRED OR REPLACE TO MATCH EXISTING.
- PROVIDE ELEVATOR WALL, FLOOR, AND THRESHOLD PROTECTION, INCLUDING DAILY CLEANING TO PREVENT THE INFILTRATION OF DUST AND DEBRIS IN THE ELEVATOR SHAFT.
- PROTECT EXISTING OPERABLE PARTITIONS FROM DAMAGE AND DUST. CLEAN.
- PROTECT/COVER EXISTING FIRE ALARM DEVICES FROM DUST CAUSED BY DEMOLITION/CONSTRUCTION.
- ALL EXISTING ACCESSORIES AND HARDWARE (INCLUDING DOOR BUMPERS, CORNER GUARDS, ELECTRICAL AND DEVICE COVER PLATES, CLEAN OUT COVERS, THERMOSTATS, TACK STRIPS, ETC.) SHALL BE REMOVED FROM ALL WALL SURFACES THAT ARE TO RECEIVE NEW WALL COVERING. CLEAN AND REINSTALL AFTER WALL COVERING INSTALLATION. ALL EXTRA ACCESSORIES OR HARDWARE TO BE RETURNED TO OWNER.
- PROTECT POWERED WINDOW TREATMENTS FROM DUST AND DAMAGE.
- THOROUGHLY CLEAN PROJECT SITE AND ADJACENT AREAS AFFECTED BY THE CONSTRUCTION. CLEANING SHALL INCLUDE CLEANING PROJECTION SCREENS AND PROJECTORS, WINDOWS, BLINDS, SILLS, DOORS AND AND FRAMES.



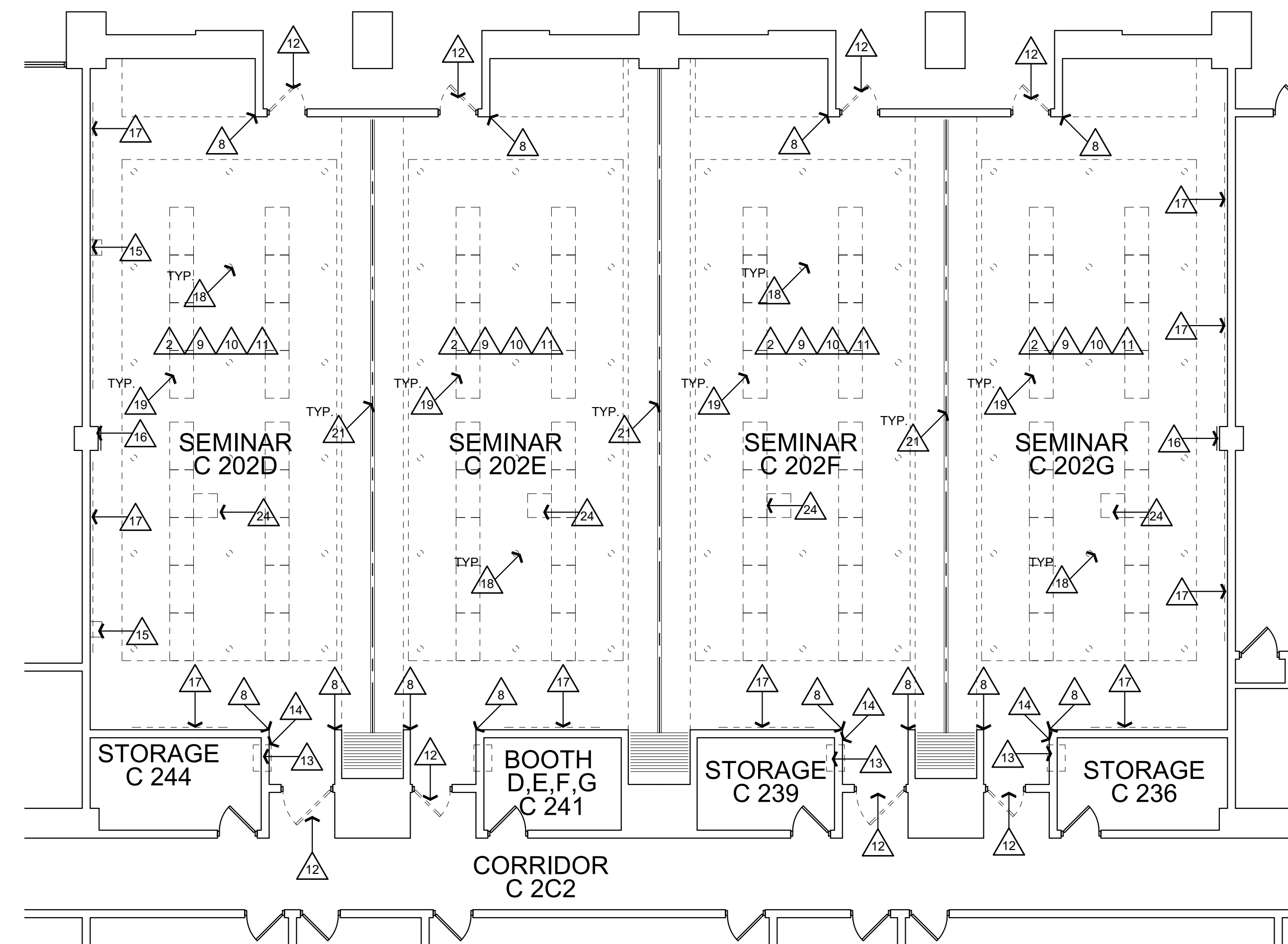
**SECOND FLOOR
BANQUET ROOM DEMOLITION PLAN**



SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"

DEMOLITION KEYNOTES

- | | |
|---|--|
| <ol style="list-style-type: none"> REMOVE EXISTING CARPET AND ADHESIVE COMPLETELY THROUGHOUT THE ENTIRE BANQUET SPACE, INCLUDING TRANSITION STRIPS. REMOVE AND SALVAGE FLOOR BOX COVERS FOR RE-USE. REMOVE ALL CEILING TILE PADS, GRID SYSTEM, DEVICES AND MECHANICAL DIFFUSERS/GRILLES TO REMAIN. SEE NEW CONSTRUCTION NOTES FOR THE CLEANING OF THE GRID AND DIFFUSERS. REMOVE EXISTING WOOD BASE AND CHAIRRAIL THROUGHOUT THE ENTIRE BANQUET ROOM. SEE NEW CONSTRUCTION NOTES FOR NEW. REMOVE EXISTING FABRIC WALL COVERING THROUGHOUT THE ENTIRE BANQUET ROOM INCLUDING ON COLUMNS. CAREFULLY REMOVE EXISTING PYRAMIDAL FIXTURE COVERS. SALVAGE FOR REUSE. TO REMOVE THE FIXTURE COVERS A TEAM OF 4 PERSONS AND A SCAFFOLDING SUPPORT THE COVER IS REQUIRED. THE CONTRACTOR SHALL PROTECT AND STORE FROM DAMAGE UNTIL THEY ARE REINSTALLED. SVSU WILL PROVIDE A LOCATION TO STORE THE COVERS. REFER TO DETAIL 1/A3.00 REMOVE EXISTING RECESSED AV EQUIPMENT CABINET AND MISCELLANEOUS DEVICES. SEE NEW CONSTRUCTION PLAN AND PHOTO ELEVATIONS FOR ITEMS AND WALL REPAIR. REMOVE EXISTING SCENCE LIGHT FIXTURE COVER. SALVAGE FOR REUSE. TO REMOVE FIXTURE COVER, UNSCREW 2 FINAL BOLTS AT TOP. THE CONTRACTOR SHALL PROTECT AND STORE FROM DAMAGE UNTIL THEY ARE REINSTALLED. SVSU WILL PROVIDE A LOCATION TO STORE THE COVERS. REFER TO DETAIL 9/A3.00. REMOVE EXISTING CORNER GUARD, SALVAGE RETAINER FOR REUSE. REMOVE EXISTING CARPET AND ADHESIVE COMPLETELY THROUGHOUT THE ENTIRE SEMINAR SPACE, INCLUDING TRANSITION STRIPS. REMOVE AND SALVAGE FLOOR BOX COVERS FOR RE-USE. REMOVE EXISTING VINYL BASE THROUGHOUT THE ENTIRE SEMINAR SPACE. SEE NEW CONSTRUCTION NOTES FOR NEW. REMOVE EXISTING FABRIC WALL COVERING THROUGHOUT THE ENTIRE SEMINAR SPACE INCLUDING ON WALL ACCESS PANEL. SEE NEW CONSTRUCTION FOR REVISE PANEL DETAIL. REMOVE EXISTING WOOD DOOR, FRAME TO REMAIN. SALVAGE ALL HARDWARE FOR REUSE, INCLUDING KICK PLATES. | <ol style="list-style-type: none"> REMOVE EXISTING RECESSED AV EQUIPMENT CABINET, INCLUDING THROUGH WALL SHELF. SEE NEW CONSTRUCTION PLAN AND PHOTO DETAILS ON A3.00 FOR ITEMS AND WALL REPAIR. RETURN EQUIPMENT TO OWNER. REMOVE EXISTING MISCELLANEOUS AV DEVICES. SEE NEW CONSTRUCTION PLAN AND PHOTO DETAILS ON A3.00 FOR ITEMS AND WALL REPAIR. REMOVE EXISTING WALL MOUNTED SPEAKER. REMOVE EXISTING SIGN SALVAGE FOR REINSTALLATION. REMOVE EXISTING TACK STRIPS, SALVAGE AND RETURN TO OWNER. CAN LIGHT FIXTURE TO BE REMOVED, REFER TO ELECTRICAL DRAWINGS. 2X4 LAY-IN LIGHT FIXTURE TO BE REMOVED, REFER TO ELECTRICAL DRAWINGS. REMOVE PORTION OF WALL TO INSTALL SALVAGE FIRE EXTINGUISHER CABINET. EXISTING OPERABLE PARTITION TO REMAIN. PROTECT FROM DAMAGE AND DUST. CLEAN. REMOVE EXISTING FIRE EXTINGUISHER AND CABINET, SALVAGE FOR RE-USE. EXISTING PROJECTOR & COVER PANEL TO REMAIN. PROTECT FROM DAMAGE AND DUST. EXISTING PROJECTOR TO REMAIN. PROTECT FROM DAMAGE AND DUST. |
|---|--|



**SECOND FLOOR
SEMINAR ROOM DEMOLITION PLAN**



SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"

ISSUE DATES

BID	DATE
	9/13/22

PROJECT TITLE:
**WEST COMPLEX
BANQUET & SEMINAR ROOM
RENOVATIONS 2023**

SECOND FLOOR DEMOLITION PLANS
KEYNOTES & NOTES

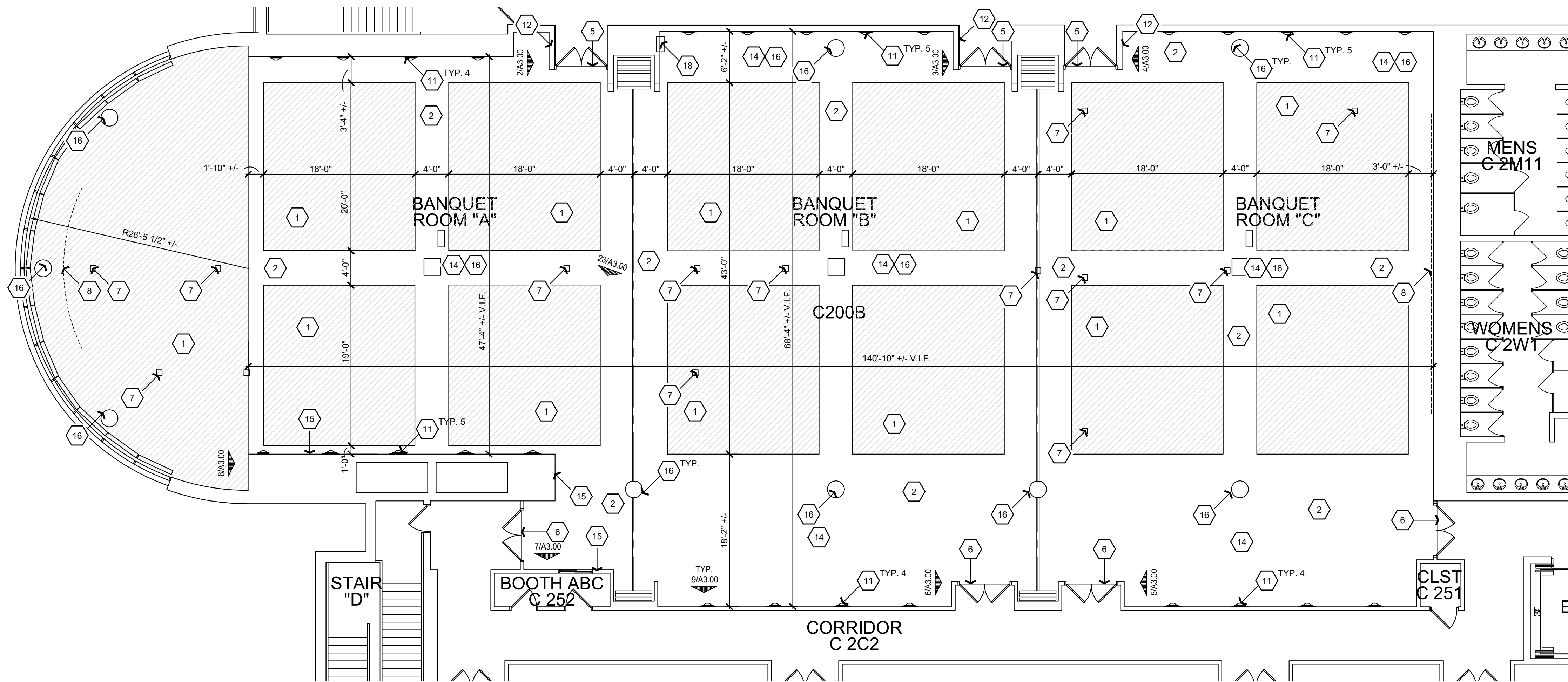
DRAWN BY: KRS
CHKD. BY: MAP
PROJ. SUPV.: MAP
BID #23012
PROJECT #: 2022-014

SHEET NUMBER

A1.10

NEW CONSTRUCTION NOTES:

- NEW CARPET SHALL BE AS FOLLOWS:
BANQUET ROOM
 CPT A - TARKET 11599 LUSH GARDEN, COLOR: 62804 TILLED EARTH, 6' POWERBOND CUSHION, GLUE-DOWN INSTALLATION, PROVIDE ATTIC STOCK OF 50 YARD ROLL.
 CPT B - TARKETT 04654 METRI II, COLOR: 113347892-30, 6' POWERBOND CUSHION, GLUE-DOWN INSTALLATION, PROVIDE ATTIC STOCK OF 50 YARD ROLL.
SEMINAR SPACE
 CPT C - TARKETT, 11353 FLIGHTPATH, COLOR: 60905 NIGHT FLIGHT, 6' POWERBOND CUSHION, GLUE-DOWN INSTALLATION, PROVIDE ATTIC STOCK OF 50 YARD ROLL.
 CPT D - TARKETT, 02875 PLEXUS COLOR IV, COLOR: 18542 DUSTY LILAC, 6' POWERBOND CUSHION, GLUE DOWN INSTALLATION, PROVIDE ATTIC STOCK OF 50 YARD ROLL.
- SKIMP/PREP FLOOR AS REQUIRED BY CARPET MANUFACTURER.
- RUBBER BASE AND CHAIRRAIL SHALL BE: TARKETT, JOHNSONITE MASQUERADE, "CLASSIC" STYLE, MW-ML3-Z, M51 AGED OAK. PROVIDE ATTIC STOCK OF 2 BOXES.
- CEILING TILE PADS SHALL BE EQUAL TO USG, ECLIPSE, 76775 SLT, SHADOWLINE TAPER, 2'X2'X3/4". PROVIDE ATTIC STOCK OF 2 BOXES.
- PAINT SHALL BE: PPG SPEEDHIDE ZERO, SATIN, TWO (2) COATS.
- VINYL WALLCOVER ALLOWANCE: CONTRACTOR SHALL INCLUDE IN THEIR PROPOSAL AN ALLOWANCE OF \$25.00/LINEAL YARD FOR VINYL WALLCOVERING MATERIAL ONLY, BASED ON A TYPE II, 54" WIDE MATERIAL. WORK SHALL INCLUDE WALL PREP AND PATCHING AS REQUIRED TO RECEIVE NEW WALLCOVERING. NOTE THERE WILL BE THREE (3) COLORS/PATTERNS TO BE SELECTED.



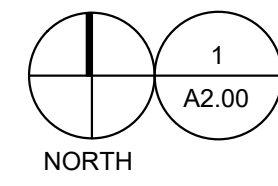
NEW CONSTRUCTION KEYNOTES:

- NEW CARPET FIELD TYPE CPT A
- NEW CARPET BORDER TYPE CPT B
- NEW CARPET FIELD TYPE CPT C
- NEW CARPET BORDER TYPE CPT D
- TRANSITION NEW CARPET UNDER DOOR AT EXISTING CARPET LOCATION. PROVIDE AND INSTALL NEW TRANSITION STRIP.
- TRANSITION NEW CARPET UNDER DOOR AT EXISTING RUBBER FLOOR LOCATION. PROVIDE AND INSTALL NEW TRANSITION STRIP.
- EXISTING FLOOR BOXES TO REMAIN. RE-INSTALL SALVAGED COVERS.
- RE-INSTALL SALVAGED SIGN.
- INSTALL NEW DOOR ON EXISTING FRAME. NEW DOOR SHALL MATCH EXISTING SIZE, MATERIAL AND FINISH. RE-INSTALL SALVAGED HARDWARE. PAINT EXISTING FRAME, MATCH EXISTING.
- RE-INSTALL SALVAGE CORNER GUARD RETAINER. PROVIDE AND INSTALL NEW CORNER GUARD COVER AND END CAPS. FIELD VERIFY TYPE, COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD.
- CLEAN AND REFINISH EXISTING WOOD PANELS AT SCONE LIGHT FIXTURE. RE-INSTALL SCONE COVER. REFER TO PHOTO DETAIL 9/A3.00.
- PATCH AND REPAIR WALL AT REMOVED DEVICE. MATCH EXISTING.
- PATCH AND REPAIR WALL AT REMOVED EQUIPMENT. REPAIR BOTH SIDES OF WALL. MATCH EXISTING.
- INSTALL NEW VINYL WALLCOVERING ON ALL EXISTING SURFACES THAT ARE CURRENTLY FINISHED WITH WALL COVERING. TYPICAL AROUND PERIMETER OF ROOM. REFER TO DRAWING A3.00 FOR LOCATION OF COLORS DESIGNATIONS AND PLACEMENT ABOVE AND BELOW NEW CHAIRRAIL INSTALLATION. WORK ALSO INCLUDES WALLS INSIDE OF OPERABLE PARTITION POCKETS.
- PAINT EXISTING WALL SURFACE OR SOFFIT FACE FROM 10'-0" A.F.F. TO LAY-IN CEILING SYSTEM.
- INSTALL NEW RUBBER BASE AND CHAIR RAIL AROUND PERIMETER OF ROOM AND ON COLUMNS, INCLUDING INTO POCKET WALLS AT OPERABLE PARTITIONS.
- INSTALL NEW RUBBER BASE AROUND PERIMETER OF ROOM, INCLUDING INTO POCKET WALLS AT OPERABLE PARTITIONS.
- RELOCATED FIRE EXTINGUISHER CABINET.

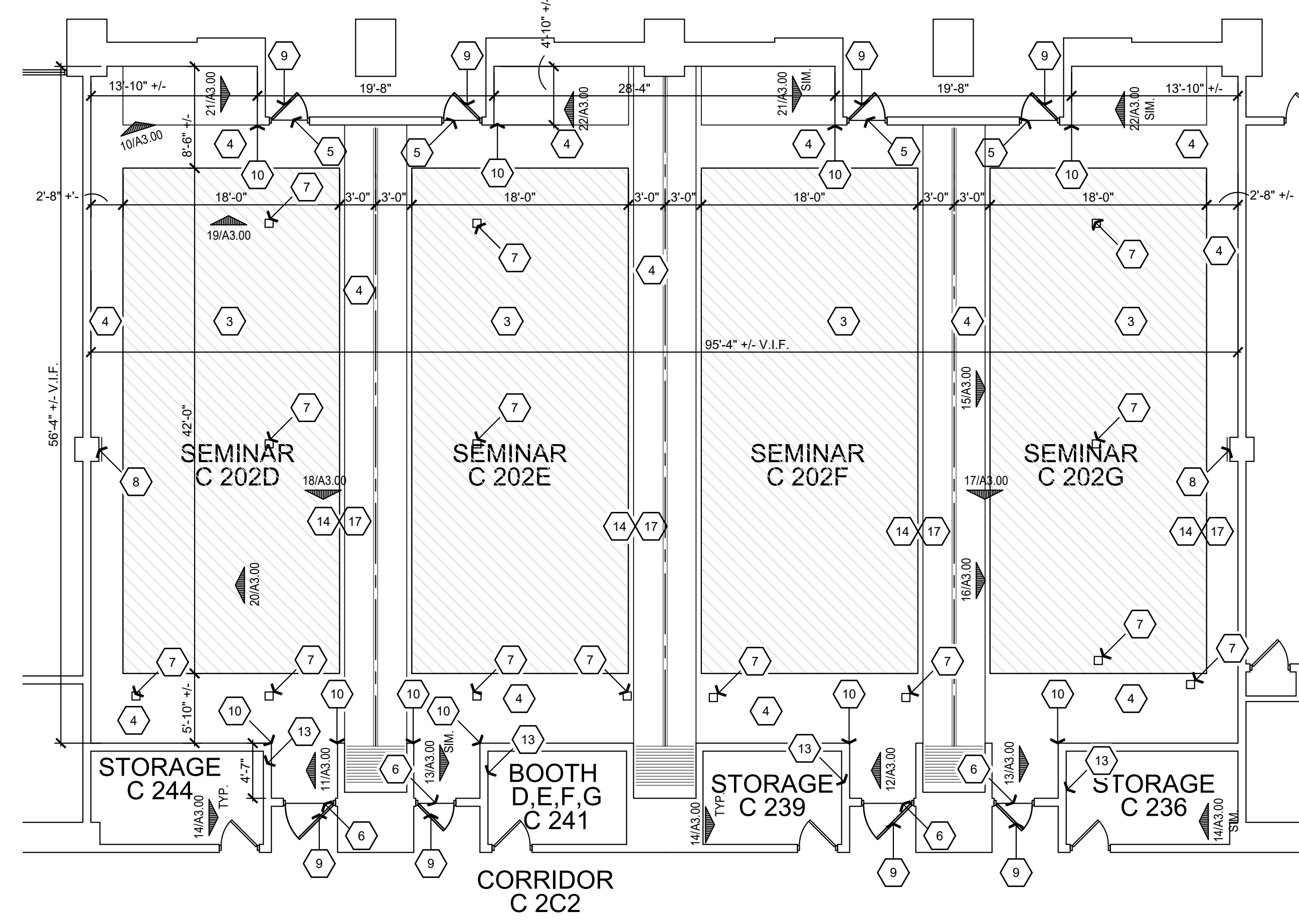
GENERAL NOTES:

- DIMENSIONS INDICATED ARE APPROXIMATE - CONTRACTOR SHALL FIELD VERIFY.
- BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. COORDINATE CONSTRUCTION WITH SVSU.
- HOURS OF WORK WILL BE COORDINATED WITH SVSU FACILITIES. NORMAL BUSINESS HOURS 8 AM - 5 PM.
- CONTRACTOR SHALL PROTECT THE EXISTING ADJACENT SURFACES, AND SHALL RESTORE ANY DAMAGE TO EXISTING CONDITION.
- CONTRACTOR SHALL LEGALLY DISPOSE OF REMOVED MATERIALS AND CONSTRUCTION DEBRIS. PROVIDE DAILY CLEAN UP. REFERENCE A1.10 FOR CONSTRUCTION ACCESS AREAS.

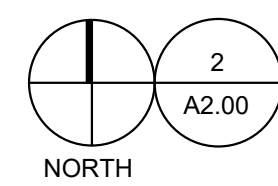
SECOND FLOOR BANQUET ROOM PLAN



SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"



SECOND FLOOR SEMINAR ROOM PLAN



SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"

ISSUE DATES	
BID	9/13/22

PROJECT TITLE:
WEST COMPLEX BANQUET & SEMINAR ROOM RENOVATIONS 2023
 SECOND FLOOR PLANS
 KEYNOTES & NOTES

DRAWN BY: KRS
 CHKD. BY: MAP
 PROJ. SUPV.: MAP
 BID #: 23012
 PROJECT #: 2022-014

SHEET NUMBER
A2.00



PHOTO DET.

1/A3.00 NO SCALE



PHOTO DET.

2/A3.00 NO SCALE

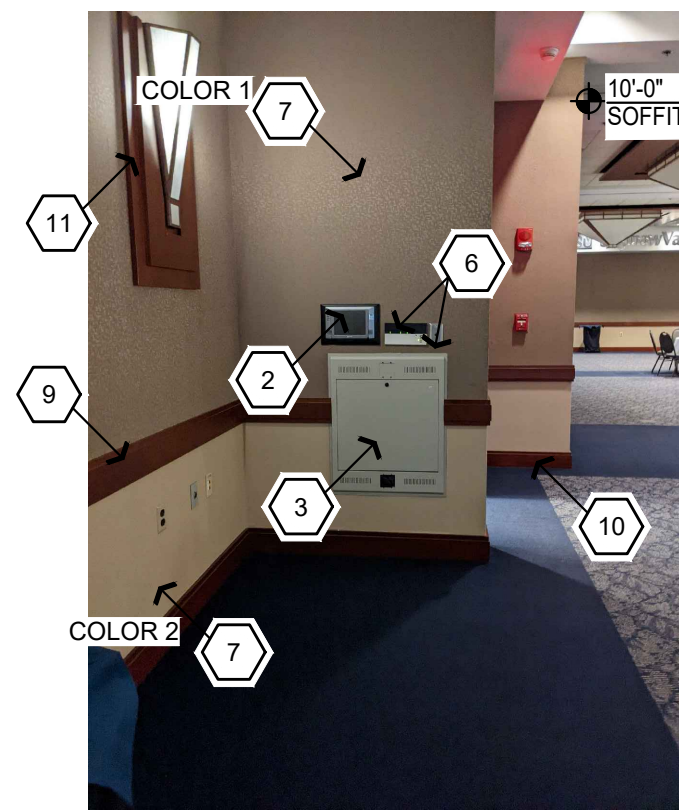


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3/A3.00 NO SCALE

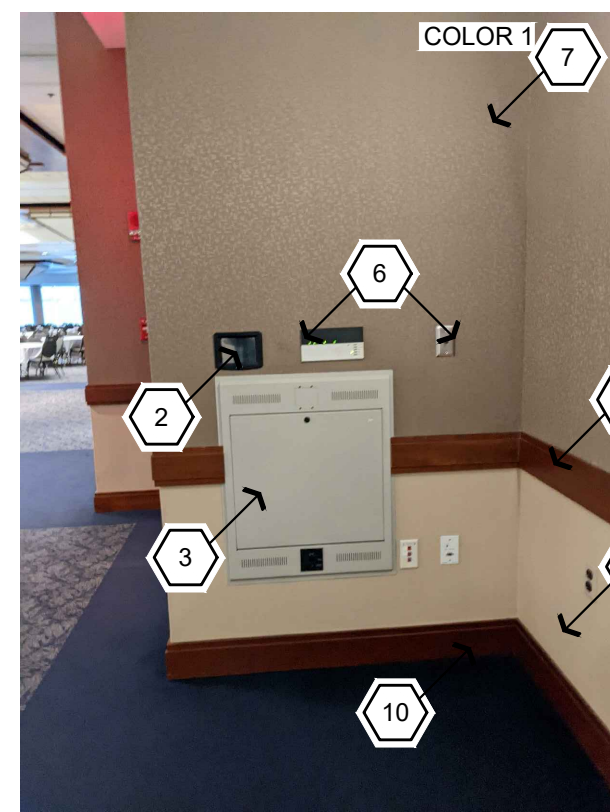


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4/A3.00 NO SCALE

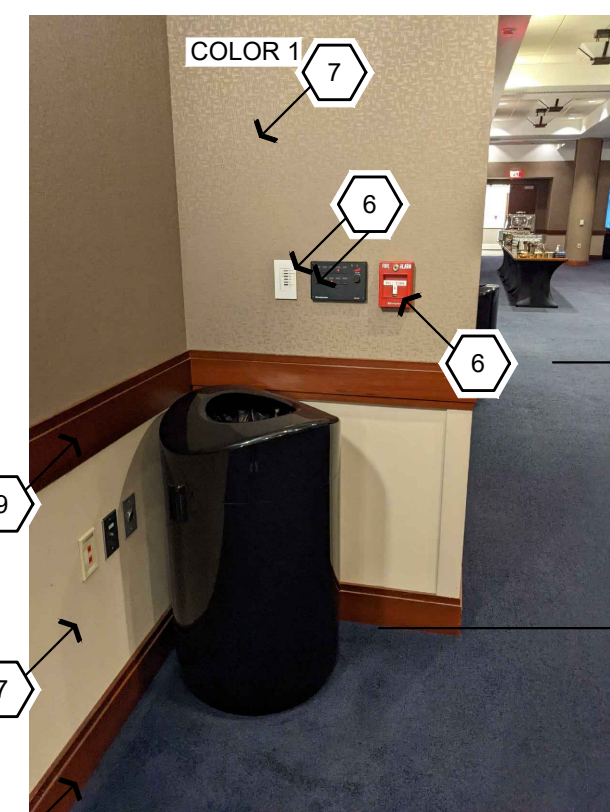


PHOTO DET.

5/A3.00 NO SCALE



PHOTO DET.

6/A3.00 NO SCALE

12'-6" CLG. HGT.
10'-0" CLG. HGT.

3'-0" MATCH EXIST.

11'-0" SOFFIT HGT.
10'-0" SOFFIT HGT.

3'-0" MATCH EXIST.

3'-0" MATCH EXIST.

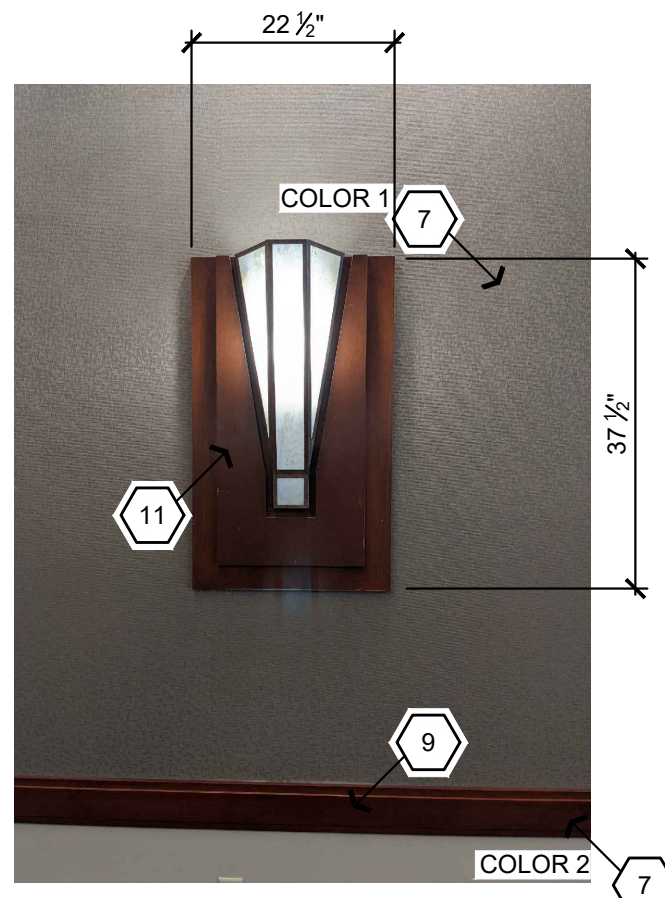


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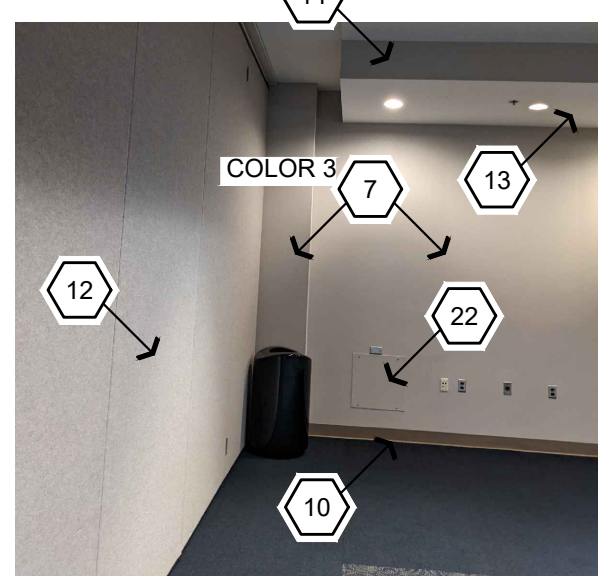


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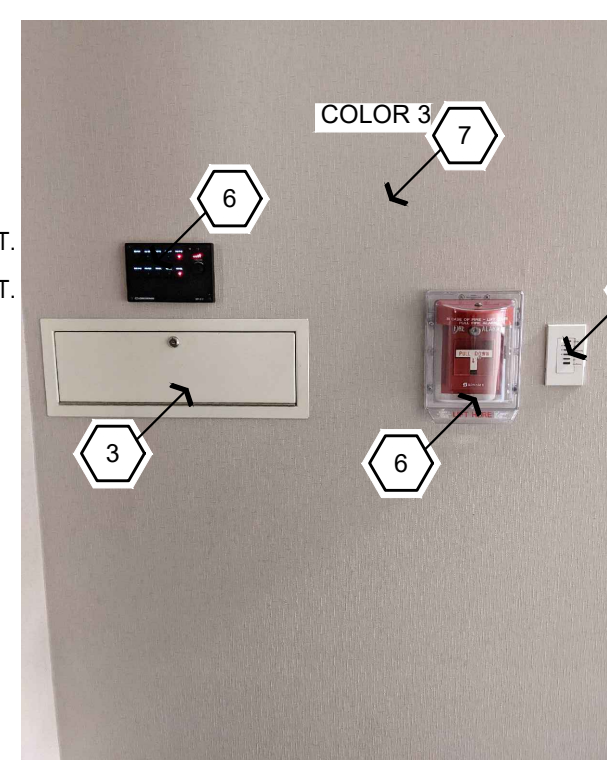


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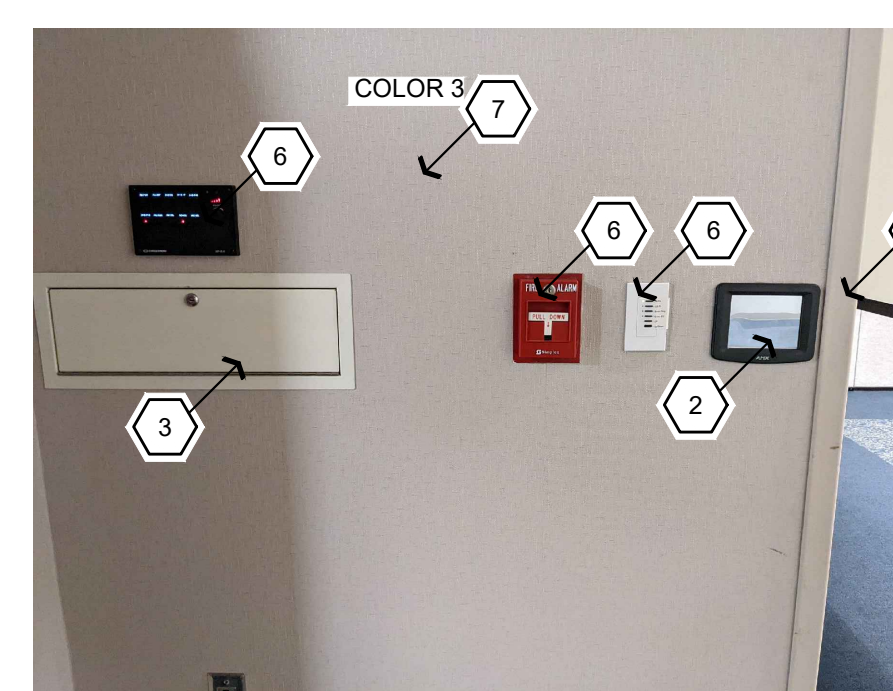


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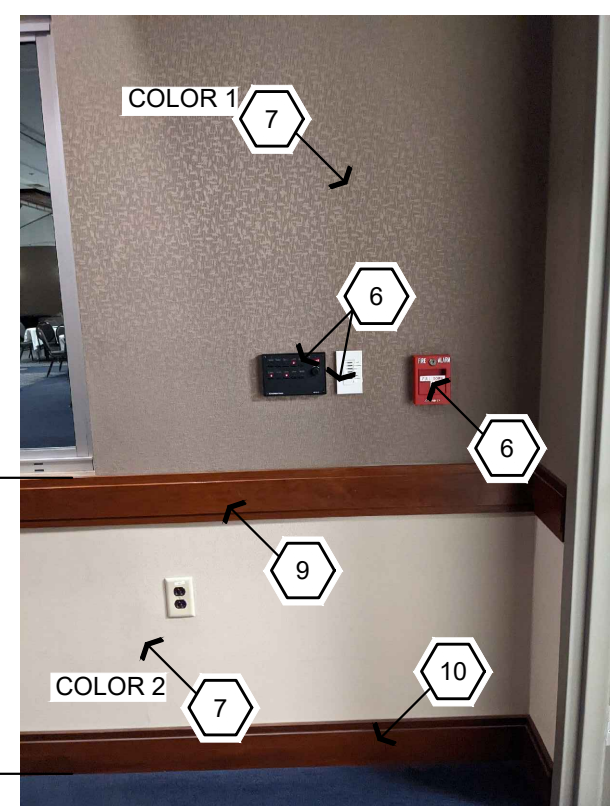


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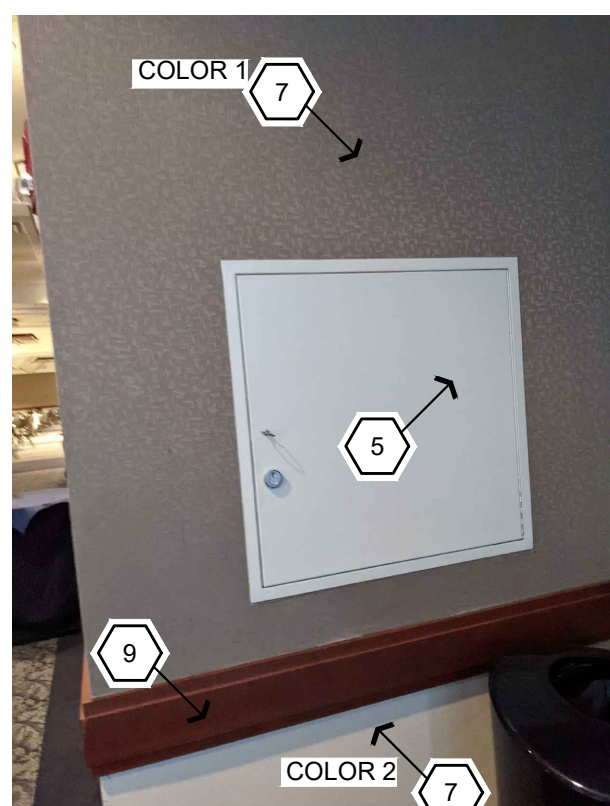


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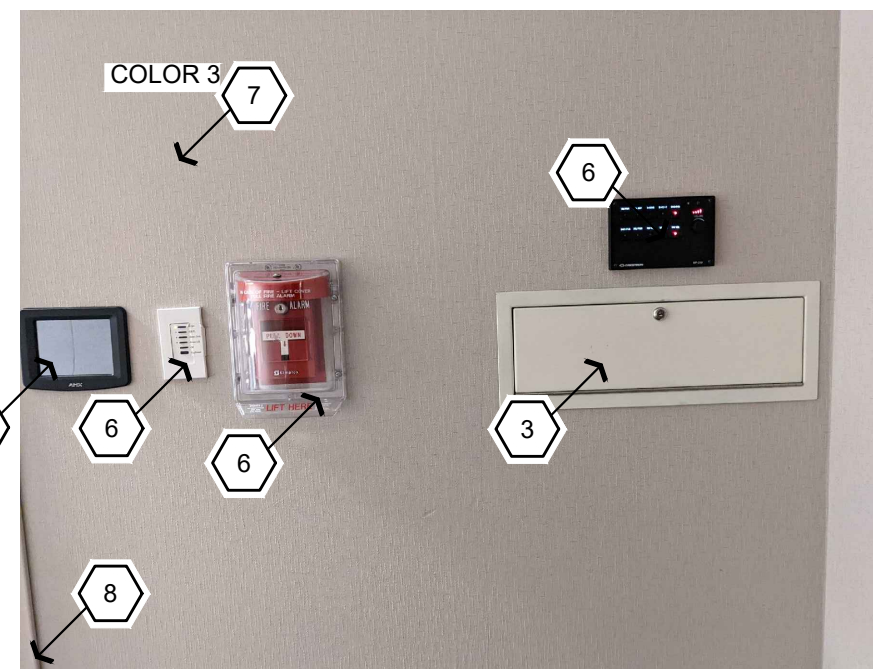


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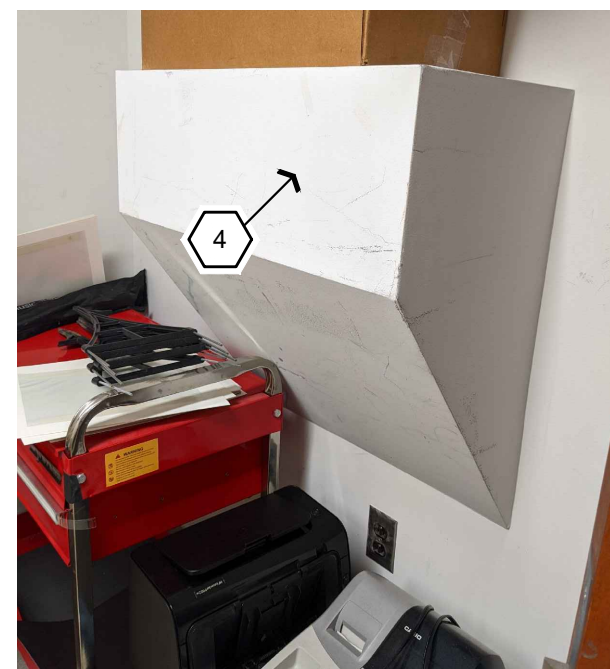


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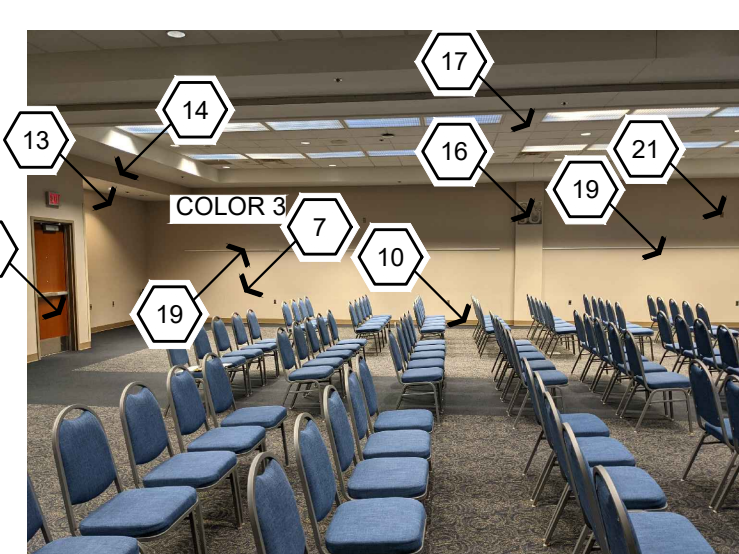


PHOTO DET.

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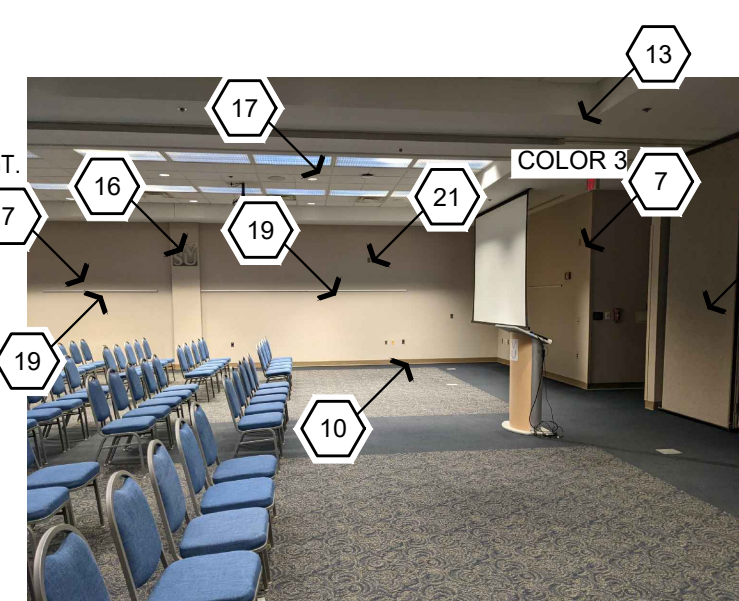


PHOTO DET.

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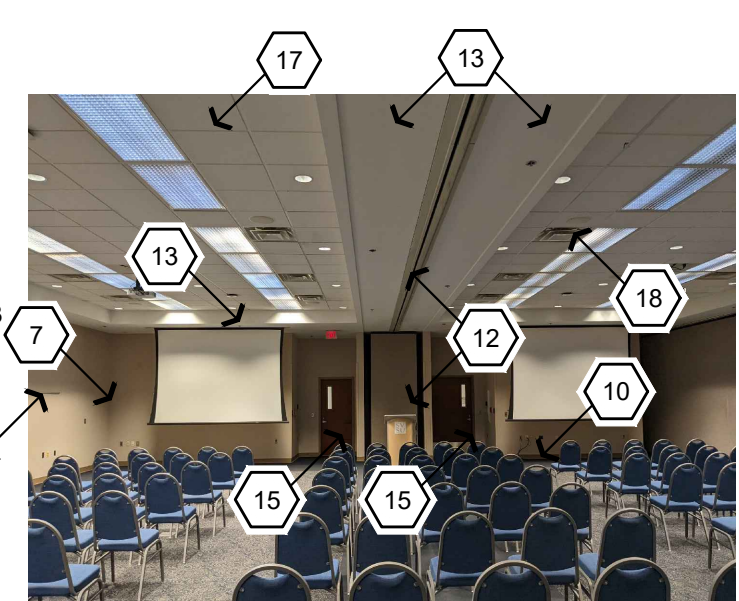


PHOTO DET.

17/A3.00 NO SCALE

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11'-0" SOFFIT HGT.
11'-0" SOFFIT HGT.

12'-0" CLG. HGT.
11'-0" SOFFIT HGT.

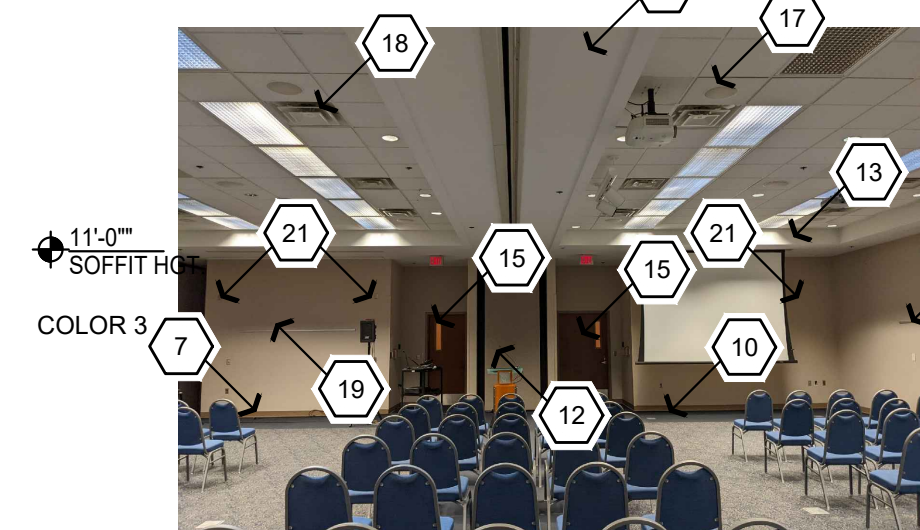


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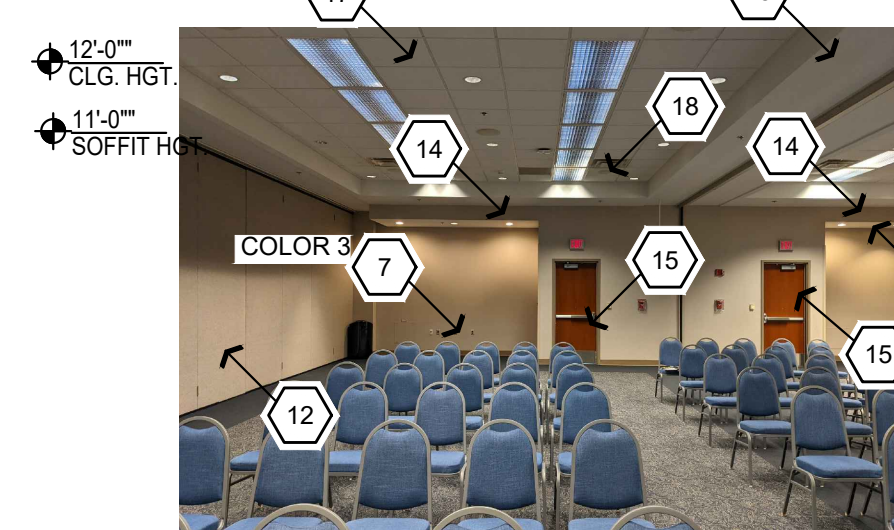


PHOTO DET.

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PHOTO DET.

20/A3.00 NO SCALE

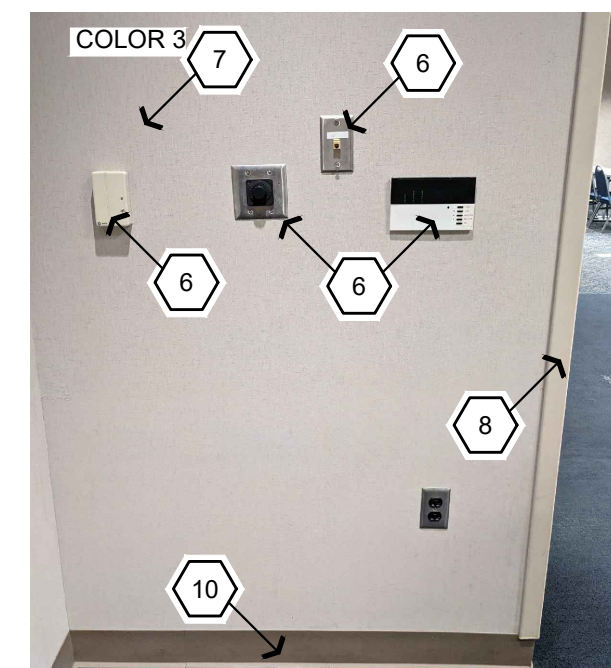


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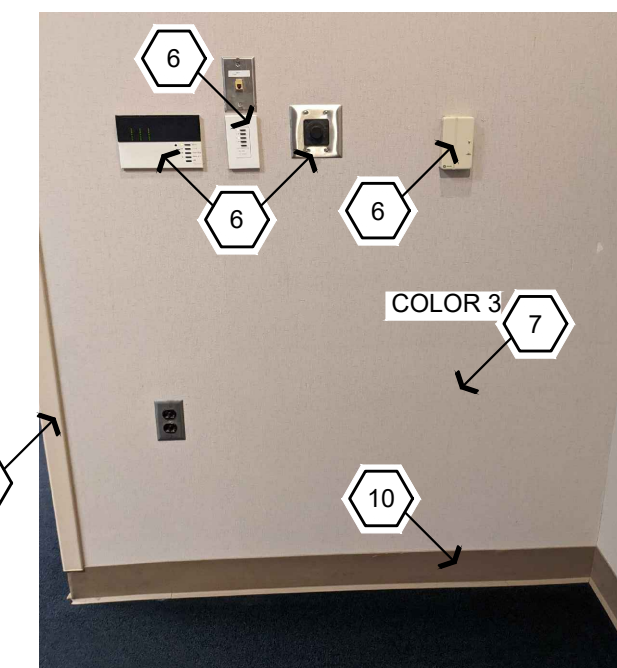


PHOTO DET.

22/A3.00 NO SCALE

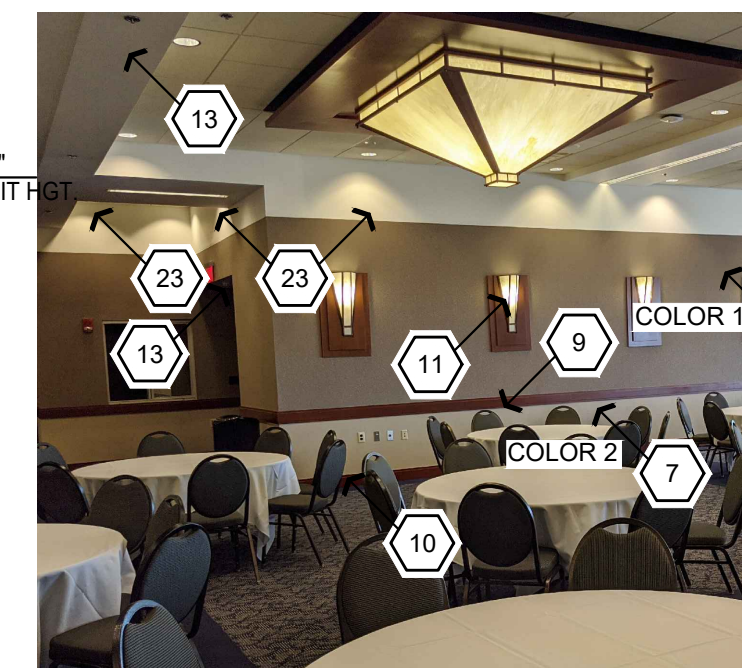


PHOTO DET.

23/A3.00 NO SCALE

12'-0" CLG. HGT.
11'-0" SOFFIT HGT.

10'-0" SOFFIT HGT.

11'-0" SOFFIT HGT.

10'-0" SOFFIT HGT.

PHOTO DETAIL KEYNOTES

- 1 REQUIRED SCAFFOLDING CONFIGURATION REQUIRED TO REMOVE AND REINSTALL PYRAMIDAL LIGHT FIXTURE COVERS. THE COVER IS SECURED BY SIX (6) FINIAL NUTS. CAREFULLY REMOVE EXISTING PYRAMIDAL FIXTURE COVERS. SALVAGE FOR REUSE. TO REMOVE THE FIXTURE COVERS A TEAM OF 4 PERSONS AND A SCAFFOLDING SUPPORT THE COVER IS REQUIRED. THE CONTRACTOR SHALL REMOVE FROM SCAFFOLDING CRADLE, PROTECT AND STORE FROM DAMAGE UNTIL THEY ARE REINSTALLED. SVSU WILL PROVIDE A LOCATION TO STORE THE COVERS.
- 2 PATCH AND REPAIR WALL AT REMOVED DEVICE.
- 3 PATCH AND REPAIR WALL AT REMOVED RECESSED AV EQUIPMENT CABINET.
- 4 PATCH AND REPAIR WALL AT REMOVED THROUGH WALL SHELF AT BACK SIDE OF WALL AT REMOVED RECESSED AV EQUIPMENT CABINET. PAINT ENTIRE WALL.
- 5 EXISTING AV CABINET ACCESS PANEL TO REMAIN, PAINT.
- 6 FIRE PULL, THERMOSTAT, AV, PROJECTION SCREEN OR LIGHTING CONTROL TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. REMOVE (WHERE POSSIBLE), SALVAGE AND RE-INSTALL COVER PLATES.
- 7 REMOVE EXISTING FABRIC WALLCOVERING AND INSTALL NEW VINYL WALLCOVERING. TYPICAL ALL WALLS. PATCH AND REPAIR WALLS. NOTE COLOR DESIGNATION.
- 8 REINSTALL SALVAGED RETAINER AND INSTALL NEW CORNER GUARD COVERS AND CAPS.
- 9 REMOVE EXISTING CHAIRRAIL, INSTALL NEW. TYPICALL ALL WALLS.
- 10 REMOVE EXISTING BASE, INSTALL NEW. TYPICAL ALL WALLS.
- 11 REMOVE AND SALVAGE EXISTING DECORATIVE LIGHT FIXTURE COVER. CLEAN AND REFINISH EXISTING WOOD PANEL. RE-INSTALL SCONCE COVER.
- 12 EXISTING OPERABLE PARTITION, PROTECT FROM DAMAGE.
- 13 PATCH/REPAIR AND PAINT EXISTING SOFFIT, 2 COATS, TYPICAL.
- 14 REMOVE EXISTING FABRIC WALLCOVERING AND INSTALL NEW VINYL WALLCOVERING ON FACE OF SOFFIT.
- 15 REMOVE AND REPLACE WOOD DOOR. SALVAGE AND RE-INSTALL EXISTING HARDWARE.
- 16 REMOVE, SALVAGE AND RE-INSTALL SIGNAGE.
- 17 REMOVE EXISTING CEILING PAD, INSTALL NEW. TYPICAL. CLEAN CEILING GRID.
- 18 EXISTING MECHANICAL DIFFUSER OR GRILLE TO REMAIN. TYPICAL CLEAN ALL.
- 19 EXISTING TACK STRIP. REMOVE, SALVAGE AND RETURN TO OWNER.
- 20 REMOVE EXISTING SPEAKER, RETURN TO OWNER. WORK TO INCLUDE REMOVAL OF COVER PLATE. PATCH AND REPAIR WALL AT J-BOX LOCATION. PULL WIRE BACK TO SOURCE.
- 21 WORK TO INCLUDE REMOVE EXISTING SPEAKER COVER PLATE LOCATION. PATCH AND REPAIR WALL AT J-BOX. PULL WIRE BACK TO SOURCE.
- 22 EXISTING ACCESS PANEL, RE-WRAP WITH NEW VINYL WALLCOVERING AND RE-INSTALL.
- 23 PAINT EXISTING WALL SURFACE OR SOFFIT FACE FROM 10'-0" A.F.F. TO LAY-IN CEILING SYSTEM.

ISSUE DATES

BID	9/13/22

CEILING PLAN NOTES:

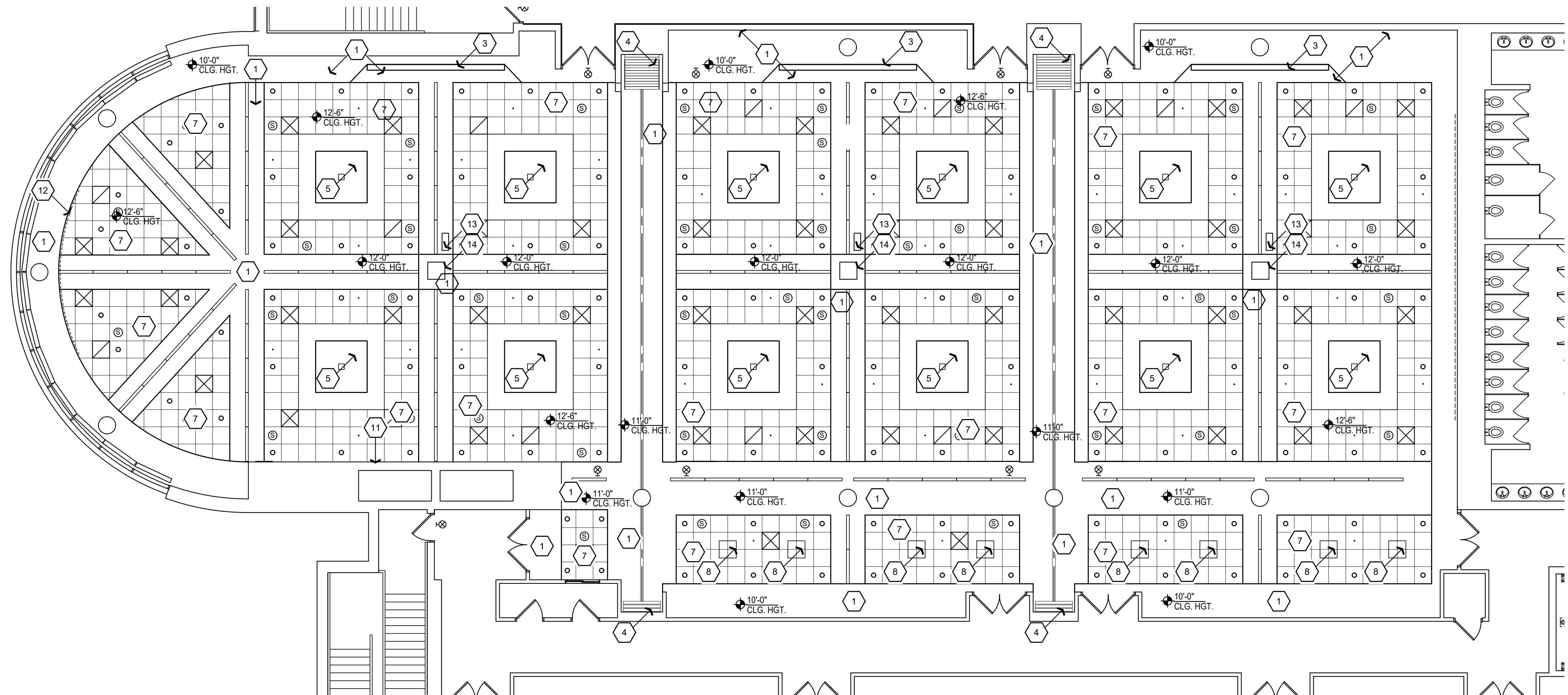
- DIMENSIONS INDICATED ARE APPROXIMATE - CONTRACTOR SHALL FIELD VERIFY.
- REPLACE ALL CEILING TILE. CUT ALL NEW TILE AS REQUIRED FOR LIGHTING, SPRINKLER HEADS, SENSORS, DEVICES AND SPEAKER LOCATIONS. FIELD VERIFY AND COORDINATE WITH ELECTRICAL WORK. UNLESS NOTED OTHERWISE THERE WILL BE NO CHANGES IN LOCATIONS OF ITEMS INSTALLED IN CEILING. PROTECT AND MAINTAIN EXISTING EXIT LIGHTING.

NEW CEILING TILE SHALL BE EQUAL TO USG INTERIORS, INC., ECLIPSE, SHADOWLINE TAPER, 76775 SLT, 2'X2'X1/4".

PROVIDE ATTIC STOCK OF 2 BOXES.
- PAINT ENTIRE CEILING AND SOFFITS, INCLUDING PREVIOUSLY PAINTED WALL SURFACES. REFER TO PHOTO DETAILS. PAINT SHALL BE: PPG SPEEDHIDE ZERO, SATIN, TWO (2) COATS.
- CONTRACTOR SHALL CLEAN THE ENTIRE EXISTING CEILING GRID SYSTEM AND ALL MECHANICAL SUPPLY DIFFUSERS AND RETURN GRILLES
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES.

CEILING PLAN KEYNOTES:

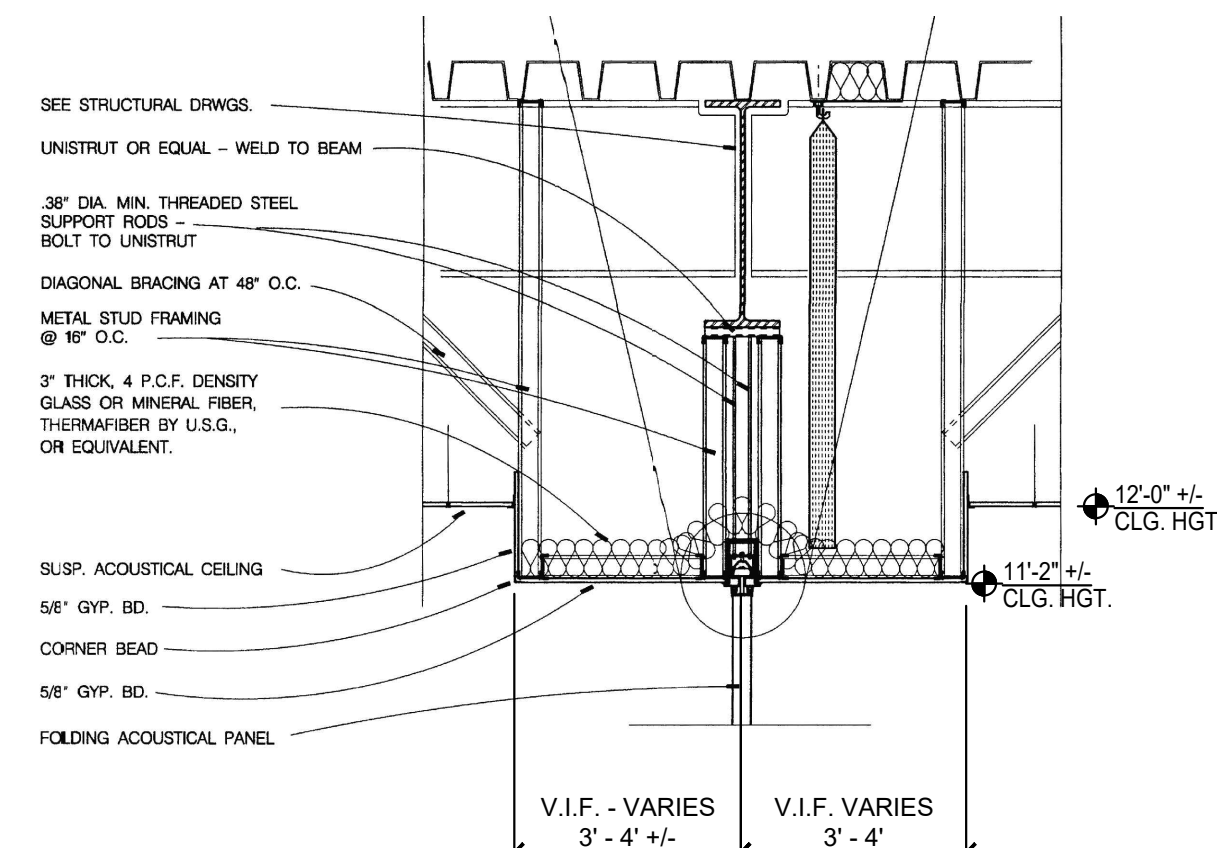
- PATCH AND PAINT EXISTING SOFFIT/CEILING. TWO (2) COATS.
- FACE OF EXISTING SOFFIT TO RECEIVE VINYL WALL COVERING FINISH.
- EXISTING PROJECTION SCREEN TO REMAIN. PROTECT FROM DAMAGE AND DUST. CLEAN.
- EXISTING OPERABLE PARTITION TO REMAIN. PROTECT FROM DAMAGE AND DUST. CLEAN.
- CLEAN AND RE-INSTALL SALVAGED PYRAMIDAL FIXTURE COVERS AFTER LIGHTING IS CHANGED OUT. ALSO WIPE DOWN/CLEAN WOOD CEILING PANEL SURROUNDING THE FIXTURE.
- EXISTING CEILING GRID TO REMAIN. CLEAN GRID AND HVAC DIFFUSER/GRILLES. MODIFY AND SUPPORT AT NEW LIGHTING FIXTURE TYPE LOCATIONS. INSTALL NEW CEILING TILE PADS THROUGHOUT. MAINTAIN EXISTING SPRINKLER HEAD, SENSOR, SPEAKER AND DEVICE LOCATIONS, UNLESS NOTED OTHERWISE.
- EXISTING CEILING GRID TO REMAIN. CLEAN GRID AND HVAC DIFFUSER/GRILLES. INSTALL NEW CEILING TILE PADS THROUGHOUT. MAINTAIN EXISTING SPRINKLER HEAD, SENSOR, SPEAKER AND DEVICE LOCATIONS, UNLESS NOTED OTHERWISE.
- EXISTING PENDANT LIGHT FIXTURE TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION. CLEAN.
- EXISTING EXIT LIGHT FIXTURE TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION. CLEAN.
- NEW CAN LIGHT FIXTURES INSTALLED IN EXISTING GYPSUM BOARD SOFFIT. REFER TO DETAIL 3/A9.00 FOR EXISTING CONSTRUCTION AND ELECTRICAL DRAWINGS.
- PAINT EXISTING WALL SURFACE OR SOFFIT FACE FROM 10'-0" A.F.F. TO LAY-IN CEILING SYSTEM ABOVE.
- RE-INSTALL SALVAGED SIGN.
- EXISTING ACCESS PANEL TO REMAIN. PAINT. DO NOT SEAL SHUT WITH PAINT.
- EXISTING PROJECTOR PANEL TO REMAIN. PAINT. DO NOT SEAL SHUT WITH PAINT.
- NEW PROJECTOR LOCATION.



**SECOND FLOOR
BANQUET ROOM REFLECTED CLG. PLAN**



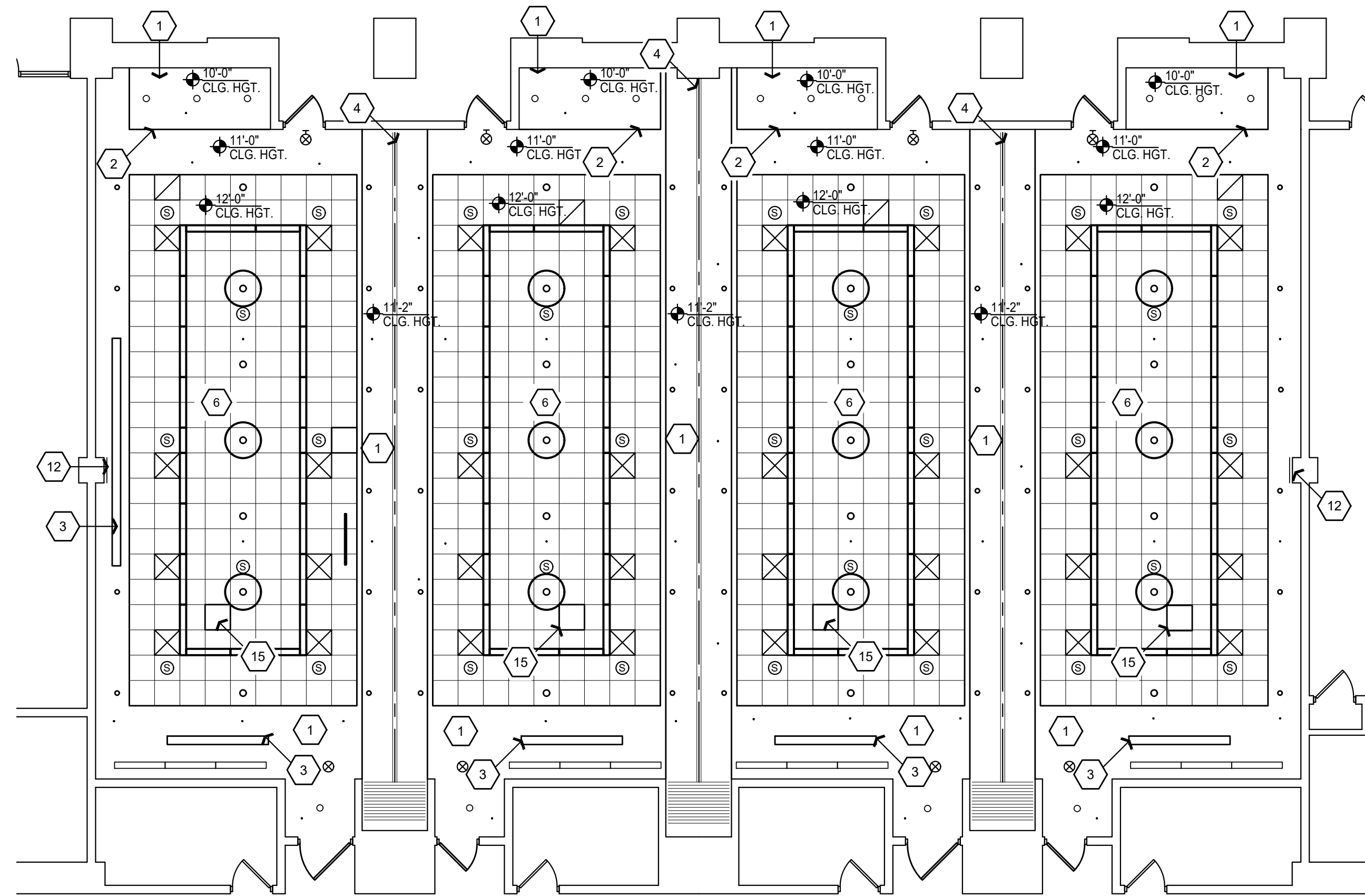
SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"



**EXIST. OPERABLE
PARTITION DE.**



NO SCALE - REFERENCE ONLY



**SECOND FLOOR
SEMINAR ROOM REFLECTED CEILING PLAN**

SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"

ISSUE DATES

BID	9/13/22

PROJECT TITLE:
**WEST COMPLEX
BANQUET & SEMINAR ROOM
RENOVATIONS 2023
SECOND FLOOR
REFLECTED CEILING PLAN
KEYNOTES & NOTES**

DRAWN BY: KRS
CHKD. BY: MAP
PROJ. SUPV.: MAP
BID #: 23012
PROJECT #: 2020-014

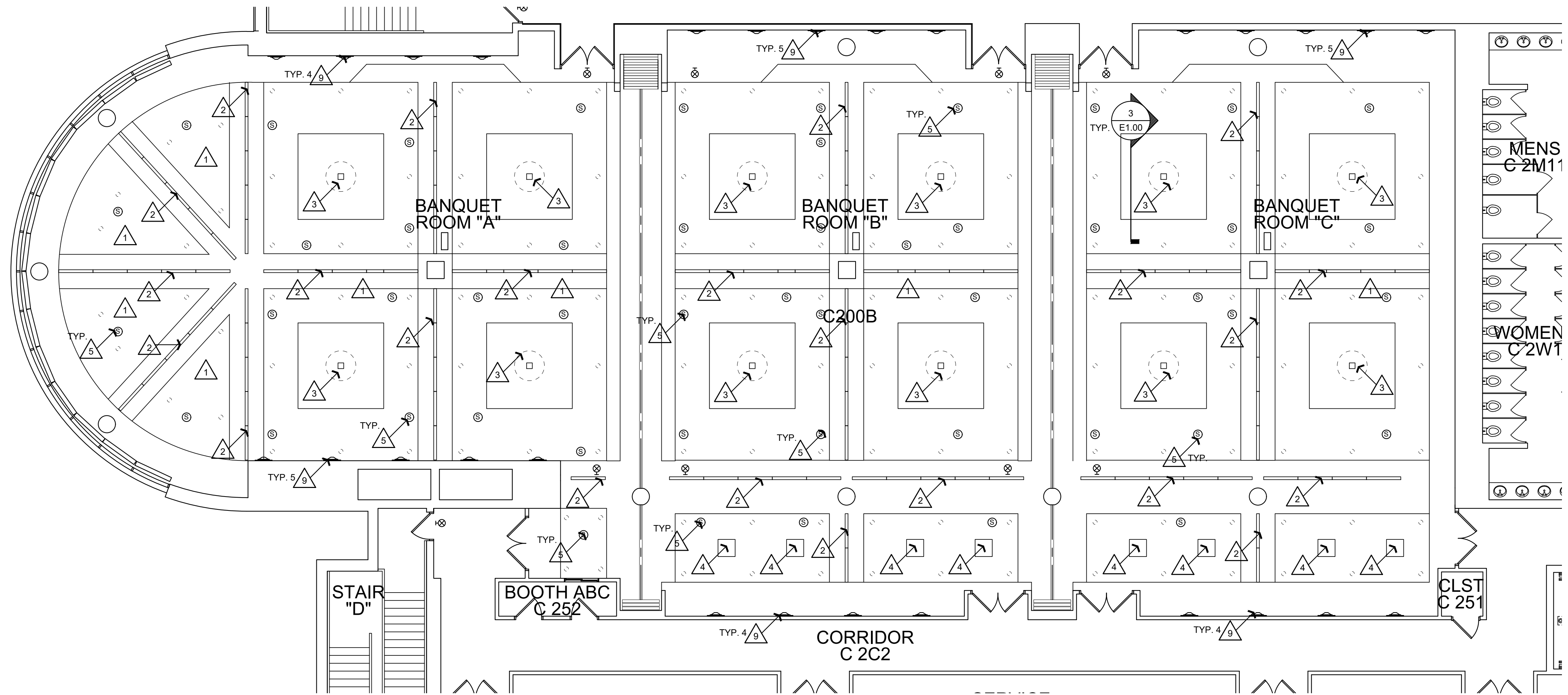
SHEET NUMBER
A9.00

GENERAL DEMOLITON NOTES:

1. ALL EXIT LIGHT FIXTURE SHALL BE EXISTING AND REMAIN. PROTECT FROM DAMAGE.
2. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL REMOVED FIXTURES, LAMPS AND BALLAST.
3. REMOVE ALL WIRING AND CONDUIT THAT WILL NOT BE REUSED TO SOURCE. REFER TO DEMOLITION AND LIGHTING FLOOR PLANS FOR FIXTURES SCHEDULED TO BE COMPLETELY REMOVED BACK TO NEAREST JUNCTION BOX.

DEMOLITION KEYNOTES:

1. COMPLETELY REMOVE CAN FIXTURES THROUGHOUT BANQUET ROOM A NEW CAN FIXTURE WILL BE INSTALLED IN NEW CEILING PAD, IN THE SAME LOCATION.
2. REMOVE EXISTING FIXTURE LOUVER, LAMPS AND BALLAST. HOUSING TO REMAIN. FIXTURE TO RECEIVE RETROFIT KIT. SALVAGE, CLEAN AND RE-INSTALL LOUVER.
3. REMOVE EXISTING INTERIOR FIXTURE AND BALLAST AS SHOWN IN DETAIL 3/E1.00. METAL HOUSING TO REMAIN.
4. EXISTING FIXTURE TO REMAIN. CLEAN DECORATIVE SHADE.
5. DISCONNECT, REMOVE AND SALVAGE EXISTING CEILING SPEAKERS TO BE RE-INSTALLED IN NEW CEILING PAD, IN SAME LOCATIONS - TYPICAL BOTH AREAS.
6. REMOVED EXISTING LAMPS AND BALLAST FROM EXISTING CAN FIXTURE INSTALLED IN GYPSUM BOARD SOFFIT. SEE LIGHTING PLAN FOR NEW LED RETROFIT KIT.
7. COMPLETELY REMOVE CAN FIXTURES THROUGHOUT SEMINAR ROOM WHICH ARE LOCATED IN THE LAY-IN CEILING. REFER TO THE LIGHTING PLAN FOR REVISED LIGHTING PLAN. REMOVE UNUSED CONDUIT AND WIRING.
8. COMPLETELY REMOVE 2X4 LAY-IN TILE THROUGHOUT SEMINAR ROOM WHICH ARE LOCATED IN THE LAY-IN CEILING. REFER TO THE LIGHTING PLAN FOR REVISED LIGHTING PLAN. REMOVE UNUSED CONDUIT AND WIRING.
9. EXISTING SCONCE FIXTURES TO REMAIN.



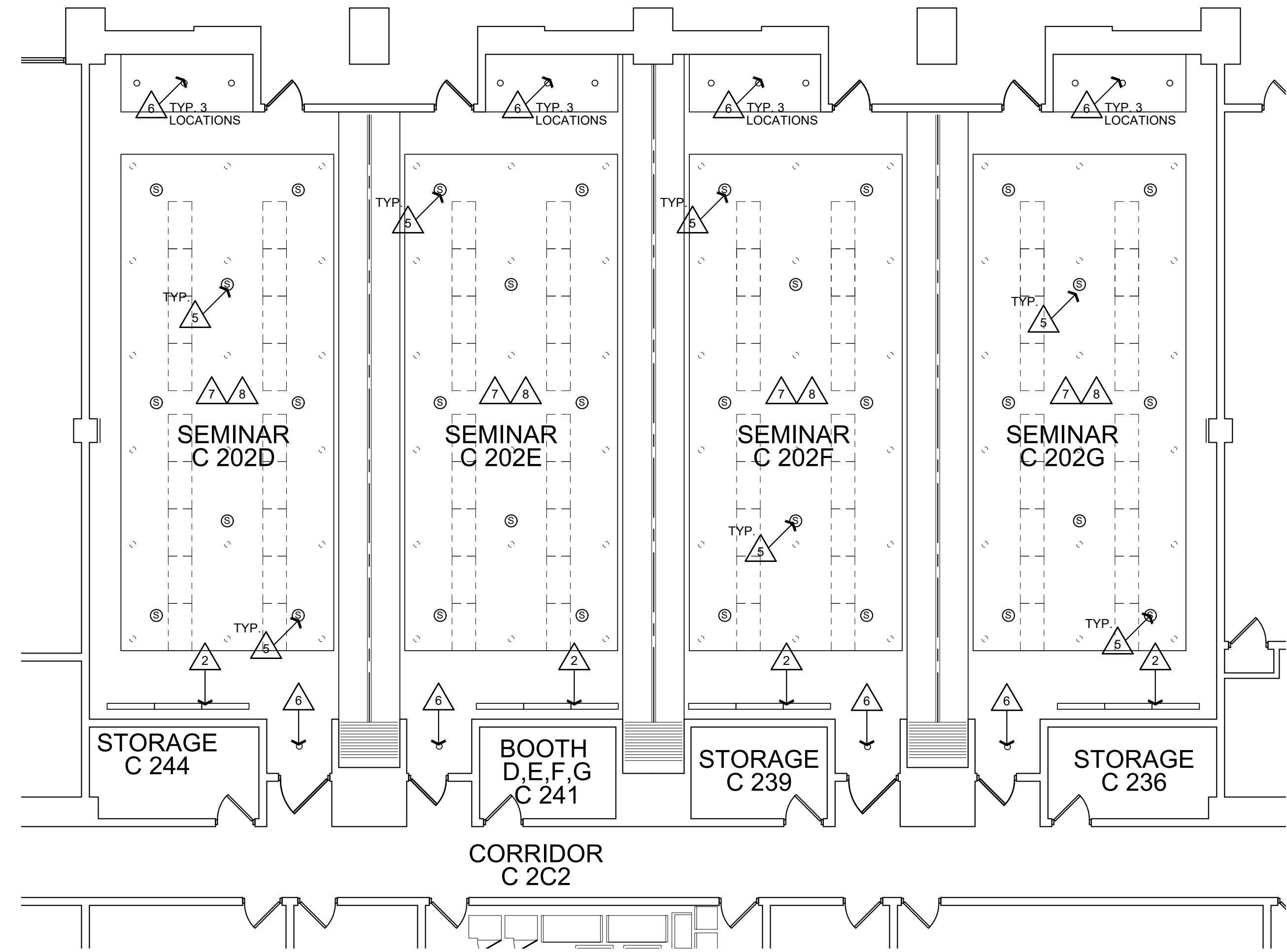
BANQUET ROOM ELECTRICAL DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"
 WHEN PRINTED AT 24" X 36"

COVER FINAL BOLT LOCATIONS 8 PER COVER



EXISTING PYRAMIDAL FIXTURE WITH DECORATIVE COVER REMOVED. REMOVE EXISTING LIGHT FIXTURE, INCLUDING LAMPS (16) AND BALLAST (8). METAL HOUSING TO REMAIN

PHOTO DETAIL
 NO SCALE



SEMINAR ROOM ELECTRICAL DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"
 WHEN PRINTED AT 24" X 36"

SAGINAW VALLEY STATE UNIVERSITY.
 SAGINAW VALLEY STATE UNIVERSITY
 7400 BAY RD
 UNIVERSITY CENTER
 48710
 CAMPUS FACILITIES
 PH: 989-964-4080
 FAX: 989-964-4096

ISSUE DATES	
BID	9/13/22

PROJECT TITLE:
 WEST COMPLEX
 BANQUET & SEMINAR ROOM
 RENOVATIONS 2023
 ELECTRICAL DEMOLITION PLAN
 KEYNOTES & NOTES

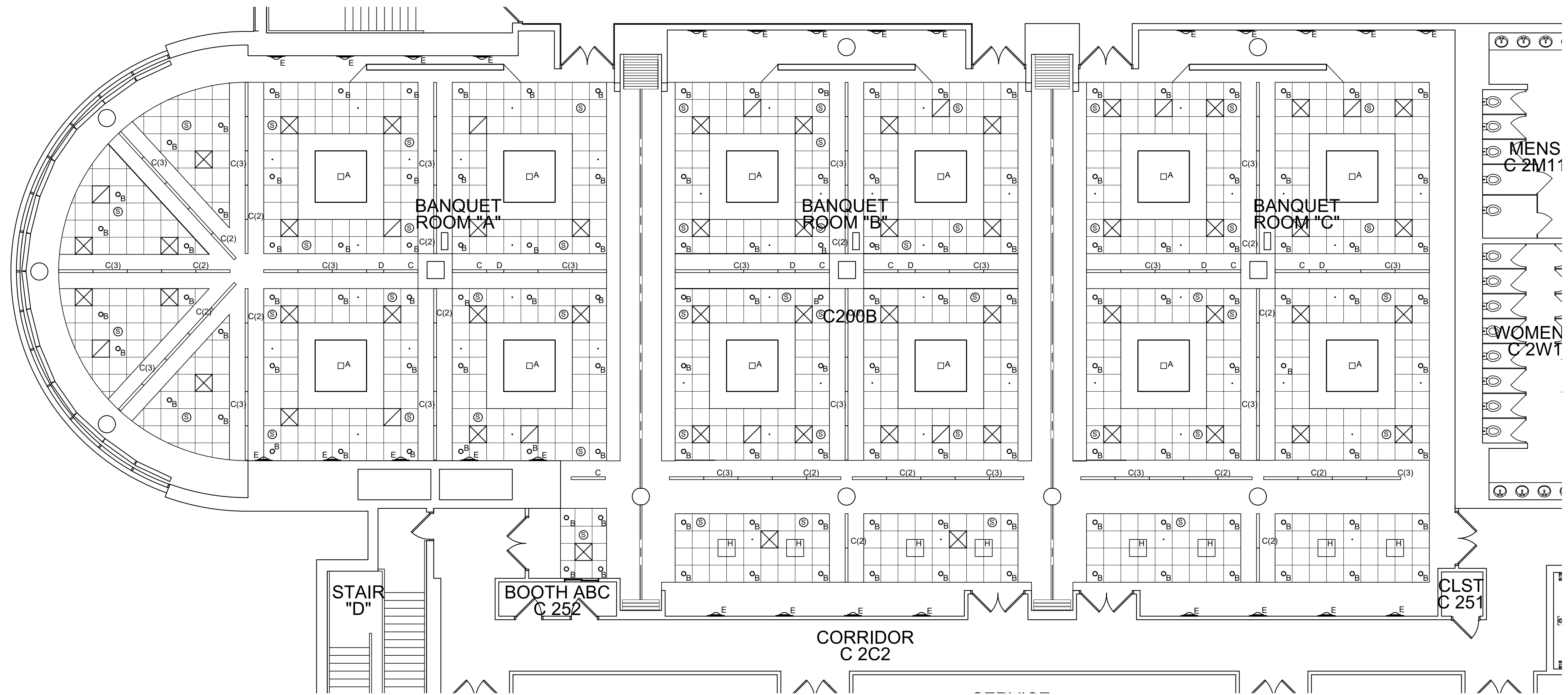
DRAWN BY: KRS
 CHKD. BY: MAP
 PROJ. SUPV.: MAP
 BID #: 23012
 PROJECT #: 2020-014

SHEET NUMBER
E1.00

ELECTRICAL SPECIFICATION

SCOPE OF WORK:

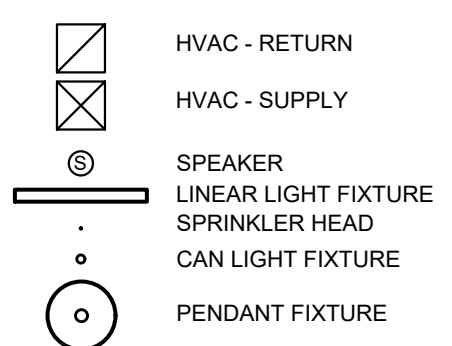
1. REMOVE AND DISPOSE OF EXISTING LIGHT FIXTURES, LAMPS AND BALLAST AS REQUIRED. SEE DEMOLITION DRAWING E1.00. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF WIRING AND CONDUIT BACK TO SOURCE.
2. FURNISH AND INSTALL FIXTURES INDICATED ON DRAWINGS AND SCHEDULED ON THE DRAWINGS, INCLUDING RE-INSTALLATION OF SALVAGED FIXTURES.
3. LIGHTING CONTROLS: CONTRACTOR SHALL INCLUDE IN PROPOSAL AN ALLOWANCE OF \$25,000 FOR UPGRADED CONTROL "EQUIPMENT" ONLY. A PRELIMINARY CONTROL DRAWING IS PROVIDED FOR THE ESTIMATION OF LABOR TO COMPLETE THE WORK. COST OF LABOR SHALL BE INCLUDED IN THE PROPOSAL. A DRAWING FROM LUTRON IS INCLUDED IN THIS BID PACKAGE FOR REFERENCE. RE-USE EXISTING CIRCUITS, SPLICE/EXTEND CIRCUIT AND LIGHTING CONTROLS AS REQUIRED. THE LUTRON REPRESENTATIVE WILL BE ATTENDING THE WALK THROUGH.
4. PROVIDE AND INSTALL NEW OCCUPANCY/VACANCY SENSORS AS REQUIRED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN LIFT AND OR SCAFFOLDING REQUIRED TO COMPLETE THE WORK.
6. CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH STATE AND LOCAL CODES, PERMITTING AS REQUIRED.
7. IN LOCATIONS WHERE RETROFIT KITS ARE INSTALLED, CLEAN EXISTING HOUSING, LENSES AND/OR LOUVERS. CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR EQUAL FIXTURES PRIOR TO SUBMITTING BID. FIXTURES WITHOUT A DCL OR ENERGYSTAR RATING WILL NOT BE ACCEPTED.
9. CONTRACTOR SHALL MAINTAIN ALL EMERGENCY AND NIGHT LIGHTING CIRCUITS.
10. COORDINATE AND SCHEDULE WORK AND ANY OUTAGES WITH SVSU FACILITIES PLANNING AND CONSTRUCTION. BUILDINGS WILL BE OCCUPIED DURING INSTALLATION.
11. IN ADDITION TO MANUFACTURER PRODUCT WARRANTY, THE CONTRACTOR SHALL PROVIDE A 2-YEAR LABOR WARRANTY.
12. UPDATE PANEL SCHEDULES WITH TYPED SCHEDULE.



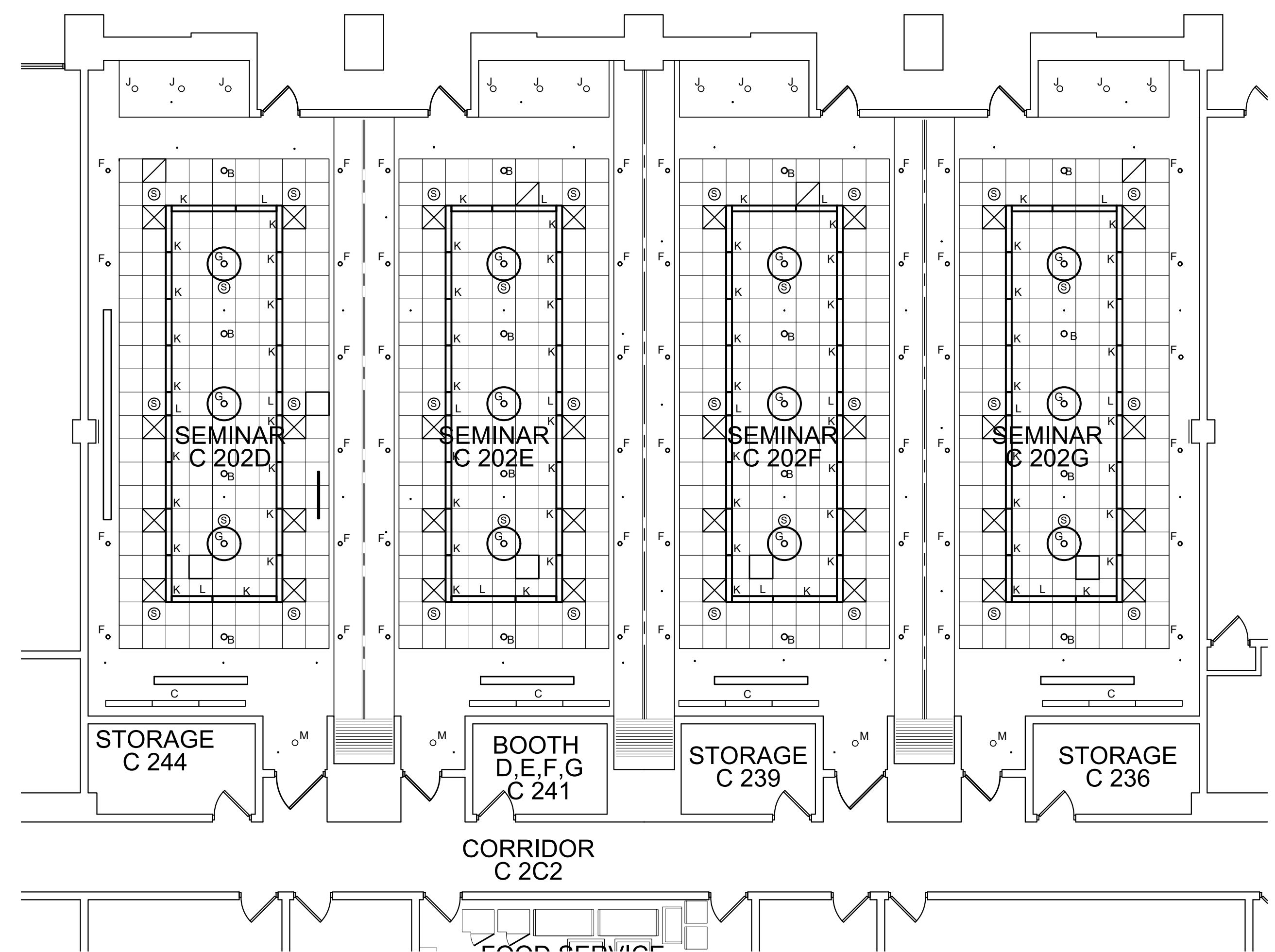
FIXTURE SCHEDULE

- A. XXX
- B. NEW ACUITYBRANDS, JUNO LED DOWNLIGHT FOR NEW CONSTRUCTION INSTALLATION IN LAY-IN ACOUSTICAL TILE CEILING TC22LED G4 14LM 35K 90CRI MVOLT EZI 27WWH. DIM TO 0.
- C. 4" RETROFIT UNIVERSAL EVERLINE LRK-14-46L835-U100, 48" SINGLE LAMP FIXTURE CLEAN HOUSING AND LOUVER.
- C(2). 4" RETROFIT UNIVERSAL EVERLINE LRK-24-46L835-U100, 48" TWO LAMP FIXTURE CLEAN HOUSING AND LOUVER.
- C(3). 4" RETROFIT UNIVERSAL EVERLINE LRK-34-46L835-U100, 48" THREE LAMP FIXTURE CLEAN HOUSING AND LOUVER.
- D. 2" RETROFIT UNIVERSAL EVERLINE LRK-22-30L835-U100, 24" FIXTURE, ONLY INSTALL ONE (1) LAMP CLEAN HOUSING AND LOUVER.
- E. EXISTING SCENCE TO REMAIN. CLEAN AND RE-INSTALL DECORATIVE COVER. SEE NEW CONSTRUCTION PLAN FOR WOOD REFINISHING.
- F. NEW ACUITYBRANDS, JUNO LED DOWNLIGHT FOR NEW CONSTRUCTION INSTALLATION IN EXISTING GYPSUM BOARD CEILING TC22LED G4 14LM 35K 90CRI MVOLT EZI 27WWH. DIM TO 0.
- G. DECORATIVE PENDANT, VISA LIGHTING, COSMO CP1325 - L35K(H) - 90CRI MVOLT - DCC. OVERALL FIXTURE HEIGHT TO BE DETERMINED, ESTIMATE 30". LOWER RING FINISH TO BE SELECTED FROM MANUFACTURER'S STANDARD. DIM TO 0.
- H. EXISTING FIXTURE TO REMAIN, PROTECT FROM DAMAGE AND CLEAN.
- I. NOT USED.
- J. RETROFIT ACUITYBRANDS, JUNO JCLR6(L OR S) 15LM 35K 90CRI, MVOLT ZT WWH. FIELD VERIFY THE EXISTING FIXTURE, SMALL "S" OR LARGE "L" CAN OPENING DIAMETER OPTION FOR KIT TRIM SIZE.
- K. NEW LINEAR RECESS 4" FIXTURE: FINELITE INC. HP 4 R D 4" S 925 FC-1% LUT-ES1 FE SE EM/GEN
- L. NEW LINEAR RECESS 4" FIXTURE: FINELITE INC. HP 4 R D 2" S 925 FC-1% LUT-ES1 FE SE EM/GEN
- M. RETROFIT ACUITYBRANDS, JUNO 2LED DRIVER G2 10LM MVOLT ZT W/ 2LED TRIM GE DB 35K 90CRI SP WWH TRIM. FIELD VERIFY THE EXISTING FIXTURE FOR CAN OPENING DIAMETER.

LEGEND



BANQUET ROOM LIGHTING PLAN
SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"



SEMINAR ROOM LIGHTING PLAN
SCALE: 1/8" = 1'-0"
WHEN PRINTED AT 24" X 36"

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SAGINAW VALLEY STATE UNIVERSITY
7400 BAY RD
UNIVERSITY CENTER
48710

CAMPUS FACILITIES
PH: 989-964-4080
FAX: 989-964-4096

ISSUE DATES

BID	12/13/21

PROJECT TITLE:
WEST COMPLEX
BANQUET & SEMINAR ROOM
RENOVATIONS 2023

NEW LIGHTING PLAN
KEYNOTES & NOTES

DRAWN BY: KRS
CHKD. BY: MAP
PROJ. SUPV.: MAP
BID #: 23012
PROJECT #: 2020-014

**SVSU Project
Saginaw, Michigan**

Education



7200 Suter Road
Coopersburg, PA 18036, USA
+1.610.282.3800 | Fax: +1.610.282.1146

August 12, 2022 10:22 AM

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7200 Suter Road
Coopersburg, PA 18036, USA
+1.610.282.3800 | Fax: +1.610.282.1146

Project Name: SVSU Project

Quotation Number:

Created by: Gary Wright

Location: Saginaw, Michigan

Document Revision:

Project Information

Due to ongoing challenges with the global supply chain and logistics we are currently experiencing longer lead times than usual. In an effort to meet customer expectations, please review/approve this submittal at your earliest opportunity so that equipment can be released and estimated ship dates provided. Lead times will not be available until release. Once released, Estimated Ship Dates (ESD) will be available in Lutron myOrders (available to Lutron Distributors and Representatives)

 NOT FOR SUBMITTAL

DELIVERY: Lead times have been dramatically impacted by the recent challenges in the Global Supply Chain. Estimated Ship Dates (ESD) for the equipment in this submittal will be provided upon release of the order by the Distributor. Any changes to this system will result in rescheduling, longer manufacturing time and/or additional charges. Prior to release, Lutron Distributors and Representatives have access to the most up-to-date lead time information via Lutron myOrders. Please contact Lutron Customer Service for partial shipping options.

CANCELLATION: All cancelled orders shall be subject to a cancellation charge of 25% of the order price.

RETURNS: Custom products are not returnable unless there is a defect in workmanship from Lutron Electronics Co., Inc.

STARTUP: Lutron offers a pre-wire service, onsite and remote startup services and training packages depending on the system purchased. These services are conducted by a Lutron Services Company Representative during normal business hours. Make sure to check your bill of materials to see what is included with your system. Additional elective services are offered and can be added to most projects. For more information contact your Lutron sales associate or visit www.lutron.com/services.

Lutron requires notice 10 working days prior to the system startup. Multiple visits due to circumstances beyond Lutron's direct control, visits scheduled outside of normal business hours, or visits with less than 10 days notice will result in an additional charge. To schedule, visit us at: www.lutron.com/scheduling.

O&M MANUALS: In an effort to provide ecologically friendly solutions, Lutron provides Operation & Maintenance manuals in electronic format. These are free of charge and are located on our website www.lutron.com. Should paper copies be required, additional charge will apply.



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Project Name: SVSU Project

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Document Revision:

Bill of Materials			
	Model Number	Short Description	Quantity
Athena Panels/ Gateway	QP5-1L-POE	Athena 1-Link Processor Panel with integral POE switch	1
ESN Panels	QSN-4A5-S	Energi Savr Node Phase Adaptive 4 Output	3
	QSN-4T16-S	Energi Savr Node 0-10 V and Softswitch	11
Controls	QSW2-2BI-WH-NST	seeTouch QS Insert 2 Button	1
	QSW2-3BI-WH-NST	seeTouch QS Insert 3 Button	1
	QSW2-5BRLI-WH-B	seeTouch QS Insert 5 Button with Raise/Lower	7
Interfaces	PHPM-PA-120-WH	Phase Adaptive Power Module (120 V)	6
Accessories	LUT-LTE-1	Enables cloud connection for system through LTE network (Final location with adequate LTE coverage to be determined by electrical contractor)	1
Warranty and Services	LSC-OS-SU-A-SA	Onsite Athena Startup by a Lutron Services Company representative for this system after Lutron equipment is installed. Equipment installation is verified and the system is programmed and tested during this visit to comply with the approved sequence of operations. Unless noted on BOM, a separate prewire and training visit are not included with this system.	1
	LSC-B2	Commercial Systems 2-Year Limited Warranty – A 2-year warranty providing 100% replacement parts and 100% Lutron diagnostic labor coverage with a first-available response time.	1
For detailed definition of product capabilities refer to product specification submittal sheets.			
 7200 Suter Road Coopersburg, PA 18036, USA +1.610.282.3800 Fax: +1.610.282.1146		Project Name: SVSU Project Quotation Number:	Location: Saginaw, Michigan Created by: Gary Wright Document Revision:

Fixture Schedule

Fixture	Fixture Description	Type	Load Type	Total Wattage	Voltage
0-10V dwnlts		None	LED 0-10 V	Unspecified	120 V
Downlight ND		None	LED Switched	Unspecified	120 V
Downlights		None	LED Forward Phase	28 W	120 V
Ex Sconces		None	LED Forward Phase	14 W	120 V
Linear		None	LED Switched	Unspecified	277 V
Linear Dim		None	LED 0-10 V	Unspecified	277 V
Pendants		None	LED 0-10 V	Unspecified	120 V
Pyramid ex		None	LED Switched	Unspecified	277 V
Pyramid new		None	LED 0-10 V	Unspecified	277 V
Retrofit		None	LED Switched	Unspecified	120 V



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Project Name: SVSU Project

Location: Saginaw, Michigan

Quotation Number:

Created by: Gary Wright

Document Revision:

Panel Schedule

ESN Name: Banquet A **ESN Location:** Electrical room **Emergency:** No
Model Number: QSN-4A5-S **QS Device #:** Electrical room\Hub 001\Link 1\14 **Max Load/Circuit:** Varies**

#	Area	Zone Name	Zone Description	Voltage	Load Type	Interface		Actual Load (W)	Feed Circuit
						Type	Qty		
1	Banquet A	a	Existing Sconces	120 V	LED Fwd			144	1
2	Banquet A	b	Downlights	120 V	LED Fwd	PHPM-PA-120-WH	1	1024	
3	Banquet A	f	Downlights at Window	120 V	LED Fwd	PHPM-PA-120-WH	1	384	
4	-	-	Spare	-	-	-	-	-	-

Total Wattage: 1552 W/VA

** Max load/circuit depends on the load type and the output number. See the QSN-4A5-S specification submittal for details.


ESN Name: Banquet A 277 **ESN Location:** Electrical room **Emergency:** No
Model Number: QSN-4T16-S **QS Device #:** Electrical room\Hub 001\Link 1\1 **Max Load/Circuit:** 4432 W

#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Banquet A	e	Inner Pyramid	277 V	LED 0-10	-	277
2	Banquet B	e	Inner Pyramid	277 V	LED 0-10	-	
3	Banquet C	e	Inner Pyramid	277 V	LED 0-10	-	
4	-	-	Spare	-	-	-	-

Total Wattage: Unspecified

Load Types

LED Fwd: LED Forward Phase LED 0-10: LED 0-10 V

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	Quotation Number:	Created by: Gary Wright	Document Revision:

Panel Schedule

ESN Name: Banquet B **ESN Location:** Electrical room **Emergency:** No
Model Number: QSN-4A5-S **QS Device #:** Electrical room\Hub 001\Link 1\13 **Max Load/Circuit:** Varies**

#	Area	Zone Name	Zone Description	Voltage	Load Type	Interface		Actual Load (W)	Feed Circuit
						Type	Qty		
1	Banquet B	a	Existing Sconces	120 V	LED Fwd			144	2
2	Banquet B	b	Downlights	120 V	LED Fwd	PHPM-PA-120-WH	1	1024	
3	Banquet B	f	Downlights 2	120 V	LED Fwd	PHPM-PA-120-WH	1	384	
4	-	-	Spare	-	-	-	-	-	-

Total Wattage: 1552 W/VA

** Max load/circuit depends on the load type and the output number. See the QSN-4A5-S specification submittal for details.

ESN Name: Banquet C **ESN Location:** Electrical room **Emergency:** No
Model Number: QSN-4A5-S **QS Device #:** Electrical room\Hub 001\Link 1\12 **Max Load/Circuit:** Varies**


#	Area	Zone Name	Zone Description	Voltage	Load Type	Interface		Actual Load (W)	Feed Circuit
						Type	Qty		
1	Banquet C	a	Existing Sconces	120 V	LED Fwd			144	3
2	Banquet C	b	Downlights	120 V	LED Fwd	PHPM-PA-120-WH	1	1024	
3	Banquet C	f	Downlights 2	120 V	LED Fwd	PHPM-PA-120-WH	1	384	
4	-	-	Spare	-	-	-	-	-	-


Total Wattage: 1552 W/VA


** Max load/circuit depends on the load type and the output number. See the QSN-4A5-S specification submittal for details.


Load Types


LED Fwd: LED Forward Phase


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	Quotation Number:	Created by: Gary Wright	Document Revision:

Panel Schedule							
ESN Name: Banquet C 277		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\3		Max Load/Circuit: 4432 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Banquet C	c	Linear	277 V	LED ND	-	277
2	Banquet C	d	Ex Pyramid	277 V	LED ND	-	
3	-	-	Spare	-	-	-	-
4	-	-	Spare	-	-	-	
Total Wattage: Unspecified							
ESN Name: Banquets A&B		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\2		Max Load/Circuit: 4432 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Banquet A	c	Linear	277 V	LED ND	-	277
2	Banquet A	d	Ex Pyramid	277 V	LED ND	-	
3	Banquet B	c	Linear	277 V	LED ND	-	
4	Banquet B	d	Ex Pyramid	277 V	LED ND	-	
Total Wattage: Unspecified							
Load Types							
LED ND: LED Switched							
 LUTRON.		7200 Suter Road Coopersburg, PA 18036, USA +1.610.282.3800 Fax: +1.610.282.1146		Project Name: SVSU Project		Location: Saginaw, Michigan	
Quotation Number:				Created by: Gary Wright		Document Revision:	

Panel Schedule							
ESN Name: Seminar D		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\4		Max Load/Circuit: 1920 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar D	A	Counter	120 V	LED 0-10	-	
2	Seminar D	C	Pendants	120 V	LED 0-10	-	
3	Seminar D	B	Behind Screen	120 V	LED ND	-	
4	Seminar D	D	Entry	120 V	LED ND	-	
Total Wattage: Unspecified							
ESN Name: Seminar D2		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\5		Max Load/Circuit: 1920 W or 4432 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar D	E	Perimeter Downlights	120 V	LED 0-10	-	
2	Seminar D	F	Linear Cove	277 V	LED 0-10	-	
3	Seminar D	G	Center Downlights	120 V	LED 0-10	-	
4	Seminar D	H	Screen Light	120 V	LED 0-10	-	
Total Wattage: Unspecified							
Load Types							
LED 0-10: LED 0-10 V LED ND: LED Switched							
 LUTRON. 7200 Suter Road Coopersburg, PA 18036, USA +1.610.282.3800 Fax: +1.610.282.1146		Project Name: SVSU Project			Location: Saginaw, Michigan		
Quotation Number:			Created by: Gary Wright		Document Revision:		

Panel Schedule							
ESN Name: Seminar E		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\8		Max Load/Circuit: 1920 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar E	A	Counter	120 V	LED 0-10	-	
2	Seminar E	B	Behind Screen	120 V	LED ND	-	
3	Seminar E	C	Pendants	120 V	LED 0-10	-	
4	Seminar E	D	Entry	120 V	LED ND	-	
Total Wattage: Unspecified							
ESN Name: Seminar E2		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\9		Max Load/Circuit: 1920 W or 4432 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar E	E	Perimeter Downlights	120 V	LED 0-10	-	
2	Seminar E	F	Linear Cove	277 V	LED 0-10	-	
3	Seminar E	G	Center Downlights	120 V	LED 0-10	-	
4	Seminar E	H	Screen Light	120 V	LED 0-10	-	
Total Wattage: Unspecified							
Load Types							
LED 0-10: LED 0-10 V LED ND: LED Switched							
 LUTRON. 7200 Suter Road Coopersburg, PA 18036, USA +1.610.282.3800 Fax: +1.610.282.1146		Project Name: SVSU Project			Location: Saginaw, Michigan		
Quotation Number:			Created by: Gary Wright		Document Revision:		

Panel Schedule							
ESN Name: Seminar F		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\6		Max Load/Circuit: 1920 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar F	A	Counter	120 V	LED 0-10	-	
2	Seminar F	B	Behind Screen	120 V	LED ND	-	
3	Seminar F	C	Pendants	120 V	LED 0-10	-	
4	Seminar F	D	Entry	120 V	LED ND	-	
Total Wattage: Unspecified							
ESN Name: Seminar F2		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\7		Max Load/Circuit: 1920 W or 4432 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar F	E	Perimeter Downlights	120 V	LED 0-10	-	
2	Seminar F	F	Linear Cove	277 V	LED 0-10	-	
3	Seminar F	G	Center Downlights	120 V	LED 0-10	-	
4	Seminar F	H	Screen Light	120 V	LED 0-10	-	
Total Wattage: Unspecified							
Load Types							
LED 0-10: LED 0-10 V LED ND: LED Switched							
 LUTRON. 7200 Suter Road Coopersburg, PA 18036, USA +1.610.282.3800 Fax: +1.610.282.1146		Project Name: SVSU Project		Location: Saginaw, Michigan			
		Quotation Number:		Created by: Gary Wright		Document Revision:	



Panel Schedule							
ESN Name: Seminar G		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\10		Max Load/Circuit: 1920 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar G	A	Counter	120 V	LED 0-10	-	
2	Seminar G	B	Behind Screen	120 V	LED ND	-	
3	Seminar G	C	Pendants	120 V	LED 0-10	-	
4	Seminar G	D	Entry	120 V	LED ND	-	
Total Wattage: Unspecified							
ESN Name: Seminar G2		ESN Location: Electrical room		Emergency: No			
Model Number: QSN-4T16-S		QS Device #: Electrical room\Hub 001\Link 1\11		Max Load/Circuit: 1920 W or 4432 W			
#	Area	Zone Name	Zone Description	Voltage	Load Type	Actual Load (W)	Feed Circuit
1	Seminar G	E	Perimeter Downlights	120 V	LED 0-10	-	
2	Seminar G	F	Linear Cove	277 V	LED 0-10	-	
3	Seminar G	G	Center Downlights	120 V	LED 0-10	-	
4	Seminar G	H	Screen Light	120 V	LED 0-10	-	
Total Wattage: Unspecified							
Load Types							
LED 0-10: LED 0-10 V LED ND: LED Switched							
 LUTRON. 7200 Suter Road Coopersburg, PA 18036, USA +1.610.282.3800 Fax: +1.610.282.1146		Project Name: SVSU Project		Location: Saginaw, Michigan			
		Quotation Number:		Created by: Gary Wright		Document Revision:	

System Layout

General Notes

- This layout is for system schematic purposes only. Contractor shall locate, install, and wire equipment according to Lutron installation and specification documents.
 - If the Lutron Sensor Layout and tuning service has been purchased, then daylight and occupancy sensors are placed by Lutron.
- Verify shade design with Lutron.
- See Cover Sheet and One-Lines for additional information.

Legend

-  QSWS2-2BI-WH (1)
-  QSWS2-5BRLI-WH (3)

Project Name:
SVSU Project

Location:
Saginaw, Michigan

Project Number:

Created by:
Gary Wright

File Name:
SVSU Project.lutd

Document Revision:

Date: August 12, 2022

Sheet: 13

Floor 1/Banquet Area



LUTRON
Lutron Electronics Co., Inc.
7200 Suter Road
Coopersburg, PA 18036, USA
+1.610.282.3800 | Fax: +1.610.282.1146

NOTES ON WIRING

QS CONTROL LINK

THE QS CONTROL LINK HAS A FREE WIRING TOPOLOGY (DAISY CHAIN, T-TAP, ETC). THE SYSTEM WIRING ILLUSTRATED BY THIS DRAWING HAS BEEN LAID OUT TO ENSURE APPROPRIATE POWER TO EACH DEVICE. IF FOR ANY REASON THE SYSTEM IS TO BE WIRED DIFFERENTLY THAN WHAT IS SHOWN, PLEASE CONFIRM ALL DEVICE POWER REQUIREMENTS ARE MET (PLEASE REFER TO "QS LINK POWER REQUIREMENTS" FOR INDIVIDUAL DEVICE POWER REQUIREMENTS).
FOR QS CONTROL WIRE LENGTHS TOTALING LESS THAN 500 FT (153 M), USE LUTRON CABLE GRX-CBL-346S (4 CONDUCTOR NON-PLENUM), OR GRX-PCBL-346S (4 CONDUCTOR PLENUM), OTHERWISE USE 2 #18 AWG (1.0 SQ MM) + 2 #22 AWG (0.5 SQ MM) TWISTED AND SHIELDED OR EQUIVALENT (BELDEN #9461). FOR QS CONTROL WIRE LENGTHS TOTALING UP TO 2,000 FT, USE GRX-CBL-46L (4 CONDUCTOR NON-PLENUM) OR GRX-PCBL-46L (4 CONDUCTOR PLENUM). TOTAL QS CONTROL WIRE LENGTH MUST NOT EXCEED 2,000 FT (600 M).

QS LINK POWER REQUIREMENTS	
DEVICE	PDUS
QS DEVICES THAT SUPPLY PDU	
DIN RAIL POWER SUPPLY	+75
MYROOM DIN RAIL POWER SUPPLY	+30
QS PLUG-IN POWER SUPPLY, QS J-BOX POWER SUPPLY	+8
ENERGI SAVR NODE WITH ECOSYSTEM, ENERGI SAVR NODE WITH DALI, ENERGI SAVR NODE WITH T-SERIES TUNABLE-WHITE	+30
ENERGI SAVR NODE FOR 0-10 V, ENERGI SAVR NODE WITH SOFTSWITCH, ENERGI SAVR NODE FOR 0-10 V (DIN RAIL), ENERGI SAVR NODE WITH SOFTSWITCH (DIN RAIL)	+14
1 A MYROOM DIN RAIL POWER MODULE SWITCHING, 1 A MYROOM DIN RAIL POWER MODULE PHASE ADAPTIVE	+4
ENERGI SAVR NODE WITH DALI (DIN RAIL), ENERGI SAVR NODE WITH ECOSYSTEM (DIN RAIL)	+3
ENERGI SAVR NODE PHASE ADAPTIVE (DIN RAIL), QS MOTOR GROUP CONTROLLER (DIN RAIL), HOMEWORKS QS DIN RAIL POWER MODULES	0
GRAFIK EYE QS (ALL MODELS EXCEPT GRAFIK EYE QS DALI WITH KNX), QS TIMECLOCK	+3
QP2 QUANTUM LIGHTING HUB	LINK A : 0 LINKS B,C,D : +33 EACH
QP3 QUANTUM LIGHTING HUB	LINKS A,B : +33 EACH
TWO PROCESSOR LIGHTING HUB (QP5)	LINKS A,B,C,D : +33 EACH
SINGLE PROCESSOR LIGHTING HUB (QP5), 2-LINK PROCESSOR (QP-2L)	LINKS A,B : +33 EACH
1-LINK PROCESSOR LIGHTING HUB (QP6), 1-LINK PROCESSOR LIGHTING HUB (QP5), 1-LINK PROCESSOR (QP-1L)	LINKS A : +33 EACH
QS DEVICES THAT CONSUME PDU	
QS WALLSTATION (SEETOUCH, ARCHITRAVE, SIGNATURE SERIES, QS PICO, KEYSWITCH, SINGLE COLUMN PALLADIOM), QS SLIDER, GRAFIK T SLIDER, QS INFRARED (IR) EYE, WALLBOX INPUT CLOSURE INTERFACE	-1
QS NETWORK INTERFACE, QS DMX INTERFACE, ENERGI SAVR NODE PROGRAMMING INTERFACE, QS WALLSTATION (DOUBLE COLUMN PALLADIOM)	-2
QS SENSOR MODULE (QSM), NOT INCLUDING ATTACHED WIRED SENSORS (SEE SECTION BELOW FOR MORE INFORMATION), QS CONTACT CLOSURE INTERFACE, PALLADIOM ROOM THERMOSTAT	-3
GUESTROOM CONTROL UNIT	-8
SENSORS & DEVICES THAT CONSUME PDUS WHEN WIRED TO A QSM	
LUTRON DAYLIGHT SENSOR, LUTRON INFRARED (IR) RECEIVER, PICO WIRED CONTROLLER	-0.5
ECOSYSTEM WALLSTATION	-1
LOS C SERIES OCCUPANCY SENSOR, HIGH BAY OCCUPANCY SENSOR	-2

LUTRON SERVICES

QTY	SERVICE TITLE (MODEL NUMBER)	SERVICE DESCRIPTION
THE QUANTITY OF SERVICES BELOW ARE TO BE INCLUDED AS PART OF THIS PROJECT'S SCOPE OF WORK AND SPECIFIED INTO THE WRITTEN SPEC DOCUMENTS		
PRE-STARTUP ELECTIVE SERVICES		
	REMOTE PRE-WIRE SESSION (LSC-PREWIRE-RMTE)	A REMOTE SESSION WHERE THE LUTRON FIELD SERVICE ENGINEER REVIEWS THE LUTRON SUBMITTAL PACKAGE (PARTICULARLY THE ONE LINE AND DEVICE SPECIFICATIONS) WITH THE ELECTRICAL CONTRACTOR, ANSWERS QUESTIONS, AND REVIEWS THE CONSTRUCTION TIMELINE ALONG WITH BEST PRACTICES FOR INSTALLATION. THIS SESSION IS DELIVERED USING A VIRTUAL SCREEN SHARING PLATFORM AND SHOULD NOT EXCEED 4-HOURS.
	ONSITE PRE-WIRE VISIT (LSC-PREWIRE-ONST)	AN ONSITE VISIT WHERE THE LUTRON FIELD SERVICE ENGINEER REVIEWS THE LUTRON SUBMITTAL PACKAGE (PARTICULARLY THE ONE LINE AND DEVICE SPECIFICATIONS) WITH THE ELECTRICAL CONTRACTOR, ANSWERS QUESTIONS, AND REVIEWS THE CONSTRUCTION TIMELINE ALONG WITH BEST PRACTICES FOR INSTALLATION.
	POST-WIRE TERMINATION VISIT (LSC-POSTWIRE-VST)	AN ON-SITE WALK THROUGH BY A LUTRON FIELD SERVICE ENGINEER WITH THE ELECTRICAL CONTRACTOR TO CONFIRM THE PROCESSORS ARE ONLINE, THE DEVICES ARE INSTALLED AND WIRED PROPERLY, AND THE SYSTEM IS COMMUNICATING EFFICIENTLY PRIOR TO LUTRON RETURNING TO SITE FOR THE PHYSICAL STARTUP OF THE SYSTEM. THIS VISIT IS INTENDED AS A HIGH LEVEL VERIFICATION/CONFIRMATION THAT THE LUTRON EQUIPMENT IS WIRED AND POWERED; IT DOES NOT INCLUDE WIRING TROUBLESHOOTING, OR VALIDATION THAT THE ENTIRE SYSTEM WAS INSTALLED PER THE APPROVED SUBMITTAL. LUTRON WILL WORK TO CONFIRM OVERALL WIRING READINESS AND BASIC SYSTEM FUNCTIONALITY PRIOR TO START-UP AND WILL NOTE ANY DEFICIENCIES FOR THE ELECTRICAL CONTRACTOR. THE LUTRON SYSTEM MUST BE WIRED AND POWERED PRIOR TO THIS SITE VISIT.
	SENSOR LAYOUT & TUNING (LSC-SENS-LT)	LUTRON WILL TAKE RESPONSIBILITY FOR LUTRON-PROVIDED SENSOR PLACEMENT AND PERFORMANCE BY CREATING SENSOR LAYOUTS AND COORDINATING SENSOR PLACEMENT BEFORE AND AFTER INSTALLATION. ONCE THE BUILDING IS OCCUPIED, LUTRON WILL RETURN UP TO TWO TIMES TO PERFORM SENSOR FINE-TUNING.
	SYSTEM & NETWORK CONSULTATION (LSC-INT-VISIT)	A CONSULTATIVE VISIT WITH THIRD PARTY INTEGRATORS TO CONFIRM THE SPECIFIED SEQUENCE OF OPERATION AND DISCUSS INTEGRATION PROCEDURES NEEDED IN ORDER TO INTEGRATE WITH THE LUTRON EQUIPMENT. THIS MAY INCLUDE ANY OF THE FOLLOWING THIRD PARTY SYSTEMS: BMS, BAS, IT, NON-LUTRON SHADES, BACNET, AV, OR ENERGY DASHBOARDS.
STARTUP ELECTIVE SERVICES		
(THESE SERVICES ARE ADDITIONAL TO YOUR SPECIFIED STARTUP BASED ON YOUR REQUIREMENTS)		
	ONSITE SCENE & LEVEL TUNING (LSC-AF-VISIT)	AN ONSITE VISIT WITH THE SPECIFIER OR CUSTOMER REPRESENTATIVE TO REVIEW THE DESIGN INTENT, FINE-TUNE THE SCENE LEVEL PROGRAMMING, AND MAKE ADJUSTMENTS TO TIMELOCKS.
	DYNAMIC WHITE PROGRAMMING PACKAGE (LSC-DWP-PKG)	A SPECIFIER DRIVEN PACKAGE WHICH INCLUDES ONE (1) POST WIRE TERMINATION VISIT (FOR WIRE VERIFICATION), TWO (2) VISITS TO PERFORM FINE TUNING OF FIXTURES AND PROGRAMMING ADJUSTMENTS PER THE DIRECTION OF A LIGHTING DESIGNER AND/OR A PRE-DETERMINED SEQUENCE OF OPERATIONS PROVIDED BY THE SPECIFIER. THE FIRST FINE-TUNING VISIT IS DURING NORMAL BUSINESS HOURS AND THE SECOND VISIT IS AN AFTER HOUR SITE VISIT. ALSO INCLUDED IN THIS PACKAGE IS A TWO-HOUR REMOTE SESSION FOR MINOR ADJUSTMENTS. REMOTE NETWORK ACCESS IS REQUIRED FOR THE REMOTE TWO HOUR SESSION AND THE SYSTEM MUST BE ABLE TO CONNECT TO THE INTERNET.
	ONSITE PERFORMANCE-VERIFICATION WALKTHROUGH (LSC-WALK)	AN ONSITE WALKTHROUGH WITH FACILITY REPRESENTATIVES OR PROJECT COMMISSIONING AGENTS TO DEMONSTRATE THAT THE SYSTEM FUNCTIONALITY MEETS THE DESIGN INTENT. THIS MAY INCLUDE ANY OF THE FOLLOWING ONSITE ACTIVITIES - CONSULTATION/TRAINING DEMOS, FUNCTIONAL TESTING ASSISTANCE, OR INVENTORY OF LUTRON EQUIPMENT.
	SYSTEM PERFORMANCE-VERIFICATION DOCUMENTATION (LSC-SPV-DOC)	COMPLETION OF DOCUMENTATION WHICH PROVIDES PERFORMANCE VERIFICATION CERTIFYING THE LUTRON EQUIPMENT HAS BEEN THOROUGHLY TESTED. IT SUPPORTS THE DOCUMENTATION REQUIREMENTS OF MANY BUILDING STANDARDS.
	SYSTEM PERFORMANCE-VERIFICATION DOCUMENTATION TITLE 24 (LSC-SPV-DOC-T24)	DOCUMENTS THE TITLE 24 ACCEPTANCE TESTS REQUIRED FOR THE LIGHTING CONTROL SYSTEM AND THE TEST'S RESULTS. DOCUMENTATION IS TO BE FILLED OUT AS A SEPARATE VISIT AFTER ONSITE STARTUP BY LUTRON'S CALIFORNIA CERTIFIED CALCTP TECHNICIAN. UPON COMPLETION, A LUTRON SERVICES REPRESENTATIVE WILL SUPPLY THE JOB-SPECIFIC TITLE 24 DOCUMENTATION THAT SHOWS THE RESULTS OF THE LIGHTING CONTROL SYSTEM TESTING.
	AFTER HOURS STARTUP (LSC-AH-SU)	STARTUP PROVIDED BETWEEN THE HOURS OF 5:00PM - 7:00AM, MONDAY - FRIDAY. THIS SCOPE OF WORK DOES NOT INCLUDE HOLIDAY OR WEEKEND WORK. ADDITIONAL FEES MAY APPLY FOR WORK TO BE COMPLETED ON WEEKENDS (FRIDAY 5:00PM - MONDAY 7:00AM).
POST-STARTUP ELECTIVE SERVICES		
	CUSTOMER SYSTEM ORIENTATION VISIT (LSC-CSO-VST)	AN ON-SITE VISIT WHERE THE LUTRON FIELD SERVICE ENGINEER COMES OUT 30-90 DAYS POST-OCCUPANCY TO GO OVER THE LUTRON SYSTEM COMPONENTS WITH THE SYSTEM USER AND PERFORMS A THOROUGH TRAINING. THE FIELD SERVICE ENGINEER WILL ENSURE THE SYSTEM USER KNOWS HOW TO NAVIGATE WITHIN THEIR SYSTEM AND MAKE APPROPRIATE ADJUSTMENTS. THEY WILL ALSO PROVIDE A LEAVE BEHIND SYSTEM OPTIMIZATION RECOMMENDATION REPORT.
	TRAINING VISIT (LSC-TRAIN-SP)	CUSTOMER-SITE SOLUTION TRAINING - THIS TRAINING VISIT IS PROVIDED BY A LUTRON SERVICES REPRESENTATIVE TO TEACH SYSTEM USERS HOW TO OPERATE AND MAINTAIN THE LIGHTING CONTROL SYSTEM. QUANTITY DICTATES THE NUMBER OF VISITS PURCHASED.
	SYSTEM OPTIMIZATION (LSC-SYSOPT-SP)	AN ONSITE CONSULTATIVE VISIT TO IDENTIFY AND IMPLEMENT LIGHTING CONTROL ADJUSTMENTS TO SAVE ADDITIONAL ENERGY AND CREATE A MORE PRODUCTIVE WORK ENVIRONMENT.
	PREVENTATIVE MAINTENANCE VISIT (LSC-SCHD-MAINT)	VISIT TO PERFORM PREVENTATIVE MAINTENANCE, MINOR REPROGRAMMING, AND CONDUCT SYSTEM TRAINING. THE LUTRON SERVICE REPRESENTATIVE WILL REVIEW SERVICE OPTIONS WITH THE END-USER PRIOR TO BEGINNING ANY WORK. THE END-USER WILL RECEIVE DOCUMENTATION THAT DESCRIBES THE WORK PERFORMED AND ANY RECOMMENDATIONS FOR FUTURE SERVICE. QUANTITY DICTATES THE NUMBER OF DAYS PURCHASED.
	ADDITIONAL DAY OF SERVICE (LSC-DAY-ADDL-CS)	ONSITE DAY OF SERVICE BY A LUTRON SERVICE REPRESENTATIVE.
	REMOTE SUPPLEMENTAL TRAINING (LSC-TRAIN-RMTE)	A SUPPLEMENTAL REMOTE TRAINING FOR SITE PERSONNEL. THIS SERVICE IS AVAILABLE FOR LUTRON QUANTUM AND ATHENA SYSTEMS. THIS TRAINING IS NOT TO EXCEED 4 HOURS. REMOTE NETWORK ACCESS IS REQUIRED FOR THIS VISIT AND THE SYSTEM MUST BE ABLE TO CONNECT TO THE INTERNET.
	REMOTE PROGRAMMING ASSISTANCE (LSC-PRG-AST-RMTE)	ONE 4-HOUR REMOTE PROGRAMMING ASSISTANCE SESSION TO MAKE PROGRAMMING ADJUSTMENTS PER THE DIRECTION OF A FACILITY MANAGER OR SPECIFIER. THIS SERVICE IS AVAILABLE FOR LUTRON QUANTUM AND ATHENA SYSTEMS. REMOTE NETWORK ACCESS IS REQUIRED FOR THIS VISIT AND THE SYSTEM MUST BE ABLE TO CONNECT TO THE INTERNET.
MAINTENANCE & SUPPORT SERVICES		
	SOFTWARE MAINTENANCE AGREEMENT (LSC-SMA-SP)	PROVIDES COMPATIBILITY TESTING RESULTS OF QUANTUM WITH OPERATING SYSTEM PATCHES AND WEB BROWSER UPDATES. INCLUDES AN ELECTIVE FREE SOFTWARE UPGRADE LICENSE.
1	COMMERCIAL SYSTEMS 2-YEAR LIMITED WARRANTY (LSC-B2)	A 2-YEAR SYSTEM WARRANTY PROVIDING 100% REPLACEMENT PARTS AND 100% LUTRON DIAGNOSTIC LABOR COVERAGE WITH A FIRST-AVAILABLE RESPONSE TIME.
	ENHANCED SILVER (LSC-E8S)	YEARS 1-2 - 100% REPLACEMENT PARTS AND 100% LUTRON DIAGNOSTIC LABOR COVERAGE WITH A FIRST-AVAILABLE RESPONSE TIME; YEARS 3-5 - 50% PARTS ONLY COVERAGE; YEARS 6-8 - 25% PARTS ONLY COVERAGE.
	ENHANCED GOLD (LSC-E8G)	YEARS 1-2 - 100% REPLACEMENT PARTS AND 100% LUTRON DIAGNOSTIC LABOR COVERAGE WITH A 72-HOUR RESPONSE TIME AND AN ANNUAL (1-DAY) SCHEDULED PREVENTIVE MAINTENANCE VISIT; YEARS 3-5 - 50% PARTS ONLY COVERAGE; YEARS 6-8 - 25% PARTS ONLY COVERAGE.
	ENHANCED PLATINUM (LSC-E8P)	YEARS 1-2 - 100% REPLACEMENT PARTS AND 100% LUTRON DIAGNOSTIC LABOR COVERAGE WITH A 24-HOUR RESPONSE TIME AND AN ANNUAL (1-DAY) SCHEDULED PREVENTIVE MAINTENANCE VISIT; YEARS 3-5 - 50% PARTS ONLY COVERAGE; YEARS 6-8 - 25% PARTS ONLY COVERAGE.
	SILVER TECHNOLOGY SUPPORT PLAN (LSC-SILV-IW)	AN ANNUAL SERVICE PLAN THAT COVERS 100% REPLACEMENT PARTS AND 100% LUTRON DIAGNOSTIC LABOR WITH A FIRST-AVAILABLE ONSITE OR REMOTE RESPONSE TIME.
	GOLD TECHNOLOGY SUPPORT PLAN (LSC-GOLD-IW)	AN ANNUAL SERVICE PLAN THAT COVERS 100% REPLACEMENT PARTS AND 100% LUTRON LABOR WITH A 72-HOUR ONSITE OR REMOTE RESPONSE TIME. ALSO INCLUDES AN ANNUAL (1-DAY) SCHEDULED PREVENTIVE MAINTENANCE VISIT EACH YEAR.
	PLATINUM TECHNOLOGY SUPPORT PLAN (LSC-PLAT-IW)	AN ANNUAL SERVICE PLAN THAT COVERS 100% REPLACEMENT PARTS AND 100% LUTRON DIAGNOSTIC LABOR WITH A 24-HOUR ONSITE OR REMOTE RESPONSE TIME. ALSO INCLUDES AN ANNUAL (1-DAY) SCHEDULED PREVENTIVE MAINTENANCE VISIT EACH YEAR.
	PREVENTIVE MAINTENANCE VISIT(S) (LSC-SCH-MAINT)	SCHEDULED MAINTENANCE VISIT TO PERFORM PREVENTIVE MAINTENANCE, MINOR PROGRAMMING, AND CONDUCT SYSTEM TRAININGS. QUANTITY IS IN ADDITION TO ANY YEARLY VISITS SPECIFIED WITH AN ENHANCED WARRANTY OR TECHNOLOGY SUPPORT PLAN.
PLEASE GO TO WWW.LUTRON.COM/SERVICES FOR FURTHER INFORMATION.		

ONE-LINE

WIRE LEGEND

- △ QS CONTROL LINK (CONNECT WIRES 1, 2, 3 AND 4)*
- ▲ QS CONTROL LINK (CONNECT WIRES 1, 3 AND 4. DO NOT CONNECT WIRE 2)*
- ▽ PANEL CONTROL LINK (CONNECT WIRES 1, 2, 3, 4 AND 5)*
- ▼ PANEL CONTROL LINK (CONNECT WIRES 1, 2, 3 AND 4. DO NOT CONNECT WIRE #5)*
- ▷ PANEL CONTROL LINK (CONNECT WIRES 1, 3, 4 AND 5. DO NOT CONNECT WIRE #2)*
- ◁ QS SIVOIA SHADE CONTROL LINK*
- ▲ BELDEN CABLE 1387LA (OR EQUIVALENT)
- NORMAL INPUT POWER 2 #12 AWG (4 SQ MM) + GROUND
- NORMAL-EMERGENCY INPUT POWER 2 #12 AWG (4 SQ MM) + GROUND
- ③ 3 PHASE 4 WIRE INPUT POWER, 4 #12 AWG (4 SQ MM) + GROUND
- 2 #12 AWG (4 SQ MM) + GROUND
- 3 #12 AWG (4 SQ MM) + GROUND
- ◆ 0-10 V SIGNAL: 2#18AWG (1.0 SQ MM)
- ⦿ 2#18 AWG (1.0 SQ MM)
- ∞ 3#18 AWG (1.0 SQ MM)
- ◇ ECOSYSTEM BUS LOOP*
- ⚡ DALI LOOP
- ⊕ T-SERIES TUNABLE-WHITE LOOP
- ✂ LUTRON SENSOR CABLE C-CBL-522S OR USE #22 AWG (1.0 SQ MM)
- ✂ LUTRON SENSOR CABLE C-CBL-522S OR USE #22 AWG (1.0 SQ MM)
- ⊠ DMX CABLE. USE LUTRON GRX-CBL-DMX-250/GRX-CBL-DMX-500 OR BELDEN #9729 (NON-PLENUM) OR BELDEN #9729 (PLENUM) OR DURA FLEX 224 WA CABLE.
- ⊠ ETHERNET CABLE. CAT5E OR BETTER CABLE FOR LUTRON NETWORK TERMINATED WITH RJ45 CONNECTORS (NOT PROVIDED BY LUTRON). 328 FT (100 M) MAXIMUM RUN.
- ⊠ FIBER OPTIC CABLE FOR LUTRON NETWORK TERMINATED WITH APPROPRIATE FIBER OPTIC CONNECTORS (NOT PROVIDED BY LUTRON). REQUIRES DEDICATED FIBER OPTIC LINK (SINGLE-MODE OR MULTI-MODE)
 - - - RF CONNECTION
 - WIRED CONNECTION

*PLEASE REFER TO NOTES ON WIRING FOR MORE WIRING GUIDELINES.
**REFER TO LOAD SCHEDULE FOR FEED AND LOAD INFORMATION

PROJECT NAME:
SVSU PROJECT

LOCATION:
SAGINAW, MICHIGAN

PROJECT NUMBER:

CREATED BY:
GARY WRIGHT

FILE NAME:
SVSU PROJECT.LUTD

DOCUMENT REVISION:

AUGUST 12, 2022 | Sheet 14

FOR DETAILED DEFINITION OF PRODUCT CAPABILITIES REFER TO PRODUCT SPECIFICATION SUBMITTAL SHEETS.

△ NOT FOR CONSTRUCTION



7200 SUTER ROAD
COOPERSBURG, PA 18036, USA
+1.610.282.3800 | FAX: +1.610.282.1146

ONE-LINE

WIRE LEGEND

- △ QS CONTROL LINK (CONNECT WIRES 1, 2, 3 AND 4)*
- ▲ QS CONTROL LINK (CONNECT WIRES 1, 3 AND 4. DO NOT CONNECT WIRE 2)*
- ▽ PANEL CONTROL LINK (CONNECT WIRES 1, 2, 3, 4 AND 5)*
- ▼ PANEL CONTROL LINK (CONNECT WIRES 1, 2, 3 AND 4. DO NOT CONNECT WIRE #5)*
- ▷ PANEL CONTROL LINK (CONNECT WIRES 1, 3, 4 AND 5. DO NOT CONNECT WIRE #2)*
- ◁ QS SIVOIA SHADE CONTROL LINK*
- ▲ BELDEN CABLE 1387LA(OR EQUIVALENT)
- NORMAL INPUT POWER 2 #12 AWG (4 SQ MM) + GROUND
- ▣ NORMAL-EMERGENCY INPUT POWER 2 #12 AWG (4 SQ MM) + GROUND
- ③ 3 PHASE 4 WIRE INPUT POWER, 4 #12 AWG (4 SQ MM) + GROUND
- 2 #12 AWG (4 SQ MM) + GROUND
- 3 #12 AWG (4 SQ MM) + GROUND
- ◆ 0-10 V SIGNAL: 2#18AWG (1.0 SQ MM)
- ◆◆ 2#18 AWG (1.0 SQ MM)
- ∞ 3#18 AWG (1.0 SQ MM)
- ◇ ECOSYSTEM BUS/LOOP*
- ◆ DALI LOOP
- ◇ T-SERIES TUNABLE-WHITE LOOP
- ✂ LUTRON SENSOR CABLE C-CBL-522S OR USE #22 AWG (1.0 SQ MM)
- ✂ LUTRON SENSOR CABLE C-CBL-522S OR USE #22 AWG (1.0 SQ MM)
- ▣ DMX CABLE. USE LUTRON GRX-CBL-DMX-250/GRX-CBL-DMX-500 OR BELDEN #9729 (PLENUM) OR DURAFLEX 22/4 W/CABLE.
- ▣ ETHERNET CABLE. CAT5E OR BETTER CABLE FOR LUTRON NETWORK TERMINATED WITH RJ45 CONNECTORS (NOT PROVIDED BY LUTRON). 328 FT (100 M) MAXIMUM RUN.
- ▣ FIBER OPTIC CABLE FOR LUTRON NETWORK TERMINATED WITH APPROPRIATE FIBER OPTIC CONNECTORS (NOT PROVIDED BY LUTRON). REQUIRES DEDICATED FIBER OPTIC LINK (SINGLE-MODE OR MULTI-MODE)
- RF CONNECTION
- WIRED CONNECTION

PROJECT NAME:
SVSU PROJECT

LOCATION:
SAGINAW, MICHIGAN

PROJECT NUMBER:

CREATED BY:
GARY WRIGHT

FILE NAME:
SVSU PROJECT.LUTD

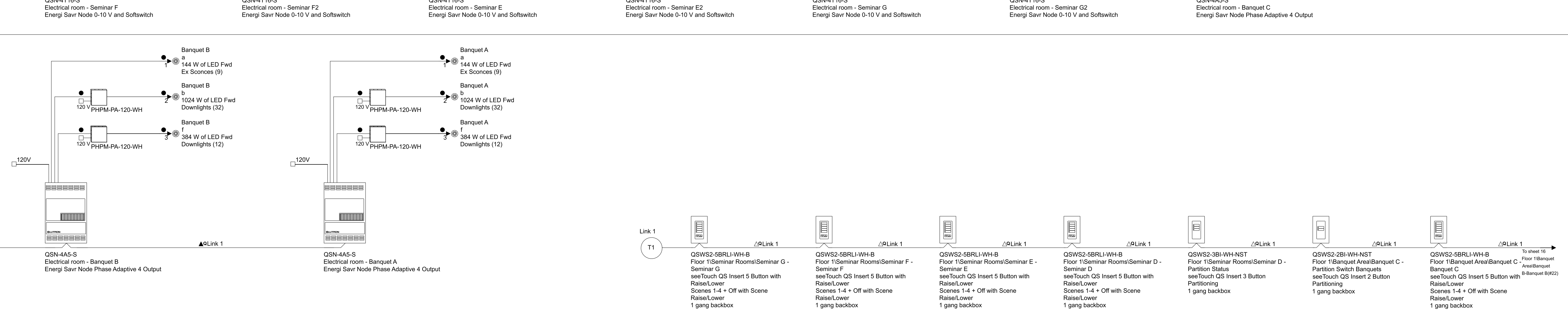
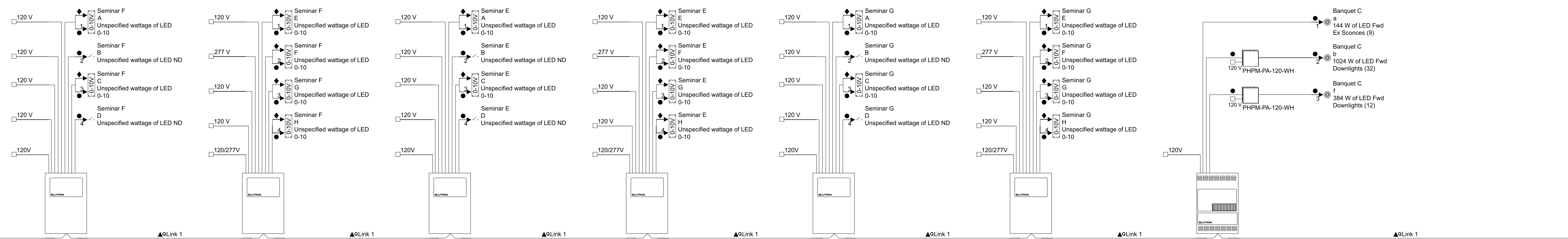
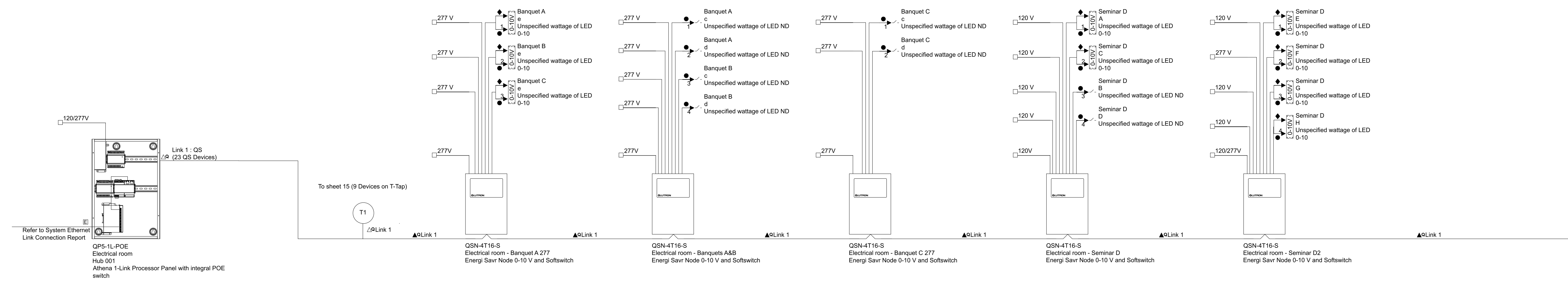
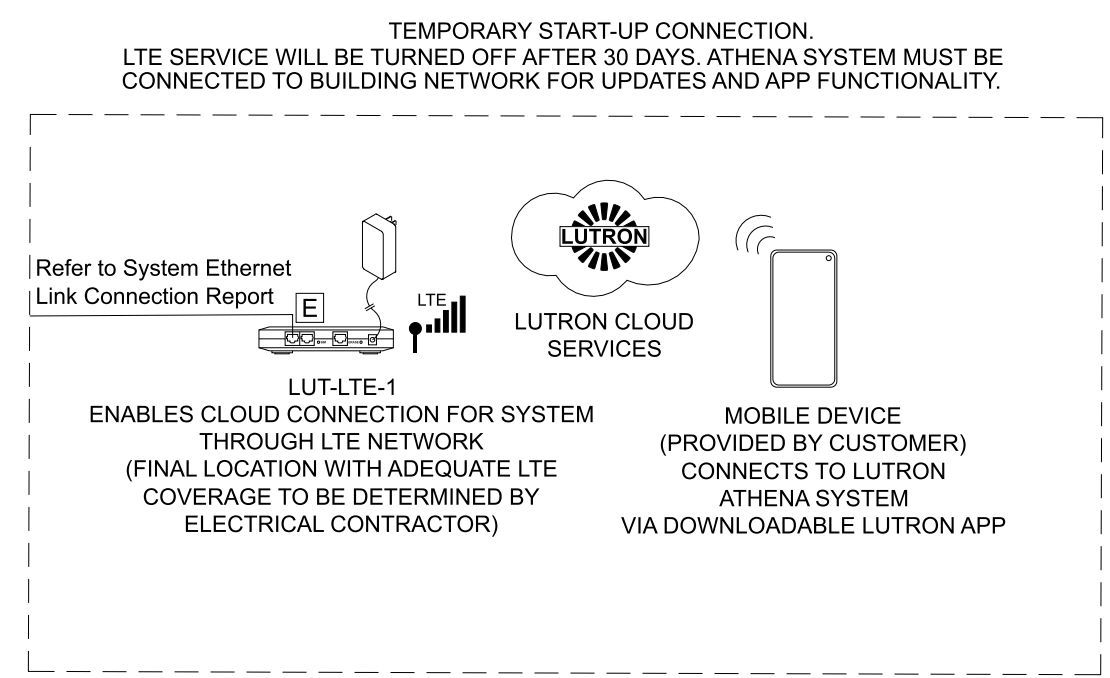
DOCUMENT REVISION:

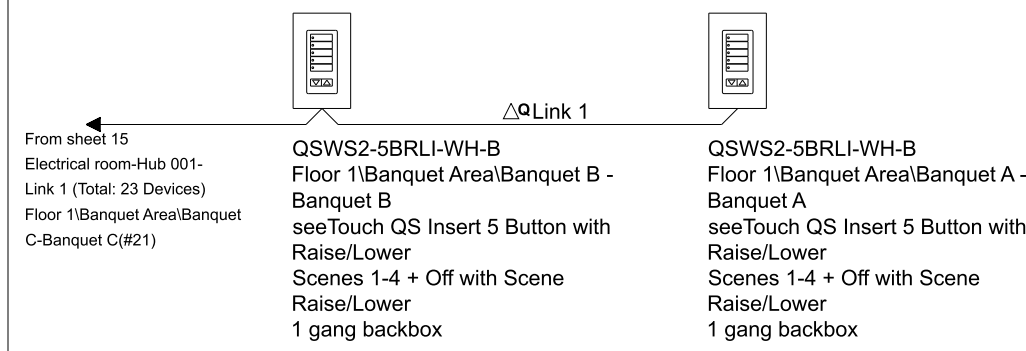
AUGUST 12, 2022 | Sheet 15

FOR DETAILED DEFINITION OF PRODUCT CAPABILITIES REFER TO PRODUCT SPECIFICATION SUBMITTAL SHEETS.

△ NOT FOR CONSTRUCTION

LUTRON
7200 SUTER ROAD
COOPERSBURG, PA 18036, USA
+1.610.282.3800 | FAX: +1.610.282.1146





ONE-LINE

WIRE LEGEND

- △ QS CONTROL LINK (CONNECT WIRES 1, 2, 3 AND 4)*
- ▲ QS CONTROL LINK (CONNECT WIRES 1, 3 AND 4. DO NOT CONNECT WIRE 2)*
- ▽ PANEL CONTROL LINK (CONNECT WIRES 1, 2, 3, 4 AND 5)*
- ▼ PANEL CONTROL LINK (CONNECT WIRES 1, 2, 3 AND 4. DO NOT CONNECT WIRE #5)*
- ▷ PANEL CONTROL LINK (CONNECT WIRES 1, 3, 4 AND 5. DO NOT CONNECT WIRE #2)*
- ⊠ QS SIVOIA SHADE CONTROL LINK*
- ▲ BELDEN CABLE 1387LA (OR EQUIVALENT)
- NORMAL INPUT POWER 2 #12 AWG (4 SQ MM) + GROUND
- ▣ NORMAL-EMERGENCY INPUT POWER 2 #12 AWG (4 SQ MM) + GROUND
- ③ 3 PHASE 4 WIRE INPUT POWER, 4 #12 AWG (4 SQ MM) + GROUND
- 2 #12 AWG (4 SQ MM) + GROUND
- 3 #12 AWG (4 SQ MM) + GROUND
- ◆ 0-10 V SIGNAL: 2#18AWG (1.0 SQ MM)
- ◆ 2#18 AWG (1.0 SQ MM)
- ∞ 3#18 AWG (1.0 SQ MM)
- ◇ ECOSYSTEM BUS/LOOP*
- ◆ DALI LOOP
- ◇ T-SERIES TUNABLE-WHITE LOOP
- ✱ LUTRON SENSOR CABLE C-CBL-522S OR USE #22 AWG (1.0 SQ MM)
- ✱ LUTRON SENSOR CABLE C-CBL-522S OR USE #22 AWG (1.0 SQ MM)
- ▣ DMX CABLE. USE LUTRON GRX-CBL-DMX-250/GRX-CBL-DMX-500 OR BELDEN #9729 (NON-PLENUM) OR BELDEN #9729 (PLENUM) OR DURA FLEX 22/4 WA CABLE.
- ▣ ETHERNET CABLE. CAT5E OR BETTER CABLE FOR LUTRON NETWORK TERMINATED WITH RJ45 CONNECTORS (NOT PROVIDED BY LUTRON). 328 FT (100 M) MAXIMUM RUN.
- ▣ FIBER OPTIC CABLE FOR LUTRON NETWORK TERMINATED WITH APPROPRIATE FIBER OPTIC CONNECTORS (NOT PROVIDED BY LUTRON). REQUIRES DEDICATED FIBER OPTIC LINK (SINGLE-MODE OR MULTI-MODE)
- - - RF CONNECTION
- WIRED CONNECTION

*PLEASE REFER TO NOTES ON WIRING FOR MORE WIRING GUIDELINES.
**REFER TO LOAD SCHEDULE FOR FEED AND LOAD INFORMATION

PROJECT NAME:
SVSU PROJECT

LOCATION:
SAGINAW, MICHIGAN

PROJECT NUMBER:

CREATED BY:
GARY WRIGHT

FILE NAME:
SVSU PROJECT.LUTD

DOCUMENT REVISION:

AUGUST 12, 2022 | Sheet 16

FOR DETAILED DEFINITION OF PRODUCT CAPABILITIES REFER TO PRODUCT SPECIFICATION SUBMITTAL SHEETS.

▲ NOT FOR CONSTRUCTION



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Engraving

Area Name Floor 1\Banquet Area\Banquet A

Device Name: Banquet A

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Alignment: Left

Font Type: Arial

Font Type: Arial

Font Size: 12

Font Size: 10

QSW2-5BRLI-WH-B



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Project Name: SVSU Project

Location: Saginaw, Michigan

Quotation Number:

Created by: Gary Wright

Document Revision:

Engraving

Area Name Floor 1\Banquet Area\Banquet B

Device Name: Banquet B

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Font Type: Arial

Font Size: 12

Alignment: Left

Font Type: Arial

Font Size: 10

QSW2-5BRLI-WH-B



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Project Name: SVSU Project

Quotation Number:

Created by: Gary Wright

Location: Saginaw, Michigan

Document Revision:

Engraving

Area Name Floor 1\Banquet Area\Banquet C

Device Name: Banquet C

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Alignment: Left

Font Type: Arial

Font Type: Arial

Font Size: 12

Font Size: 10

QSW2-5BRLI-WH-B



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Project Name: SVSU Project

Location: Saginaw, Michigan

Quotation Number:

Created by: Gary Wright

Document Revision:

Engraving

Area Name Floor 1\Banquet Area\Banquet C

Device Name: Partition Switch Banquets

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Font Type: Arial

Font Size: 12

Alignment: Left

Font Type: Arial

Font Size: 10

QSW2-2BI-WH-NST



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Project Name: SVSU Project

Location: Saginaw, Michigan

Quotation Number:

Created by: Gary Wright

Document Revision:

Engraving

Area Name Floor 1\Seminar Rooms\Seminar D

Device Name: Seminar D

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Alignment: Left

Font Type: Arial

Font Type: Arial

Font Size: 12

Font Size: 10

QSW2-5BRLI-WH-B



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Project Name: SVSU Project

Location: Saginaw, Michigan

Quotation Number:

Created by: Gary Wright

Document Revision:

Engraving

Area Name Floor 1\Seminar Rooms\Seminar D

Device Name: Partition Status

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Alignment: Left

Font Type: Arial

Font Type: Arial

Font Size: 12

Font Size: 10

QSW2-3BI-WH-NST



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Project Name: SVSU Project

Location: Saginaw, Michigan

Quotation Number:

Created by: Gary Wright

Document Revision:

Engraving

Area Name Floor 1\Seminar Rooms\Seminar E

Device Name: Seminar E Backbox Size: 1	Wallplate: NT-R3-NFB-WH Color: White	Faceplate Engraving Alignment: Center Font Type: Arial Font Size: 12	Button Engraving Alignment: Left Font Type: Arial Font Size: 10
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QSW2-5BRLI-WH-B



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Project Name: SVSU Project

Quotation Number:

Created by: Gary Wright

Location: Saginaw, Michigan

Document Revision:

Engraving

Area Name Floor 1\Seminar Rooms\Seminar F

Device Name: Seminar F Backbox Size: 1	Wallplate: NT-R3-NFB-WH Color: White	Faceplate Engraving Alignment: Center Font Type: Arial Font Size: 12	Button Engraving Alignment: Left Font Type: Arial Font Size: 10
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QSW2-5BRLI-WH-B



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Project Name: SVSU Project

Quotation Number:

Created by: Gary Wright

Location: Saginaw, Michigan

Document Revision:

Engraving

Area Name Floor 1\Seminar Rooms\Seminar G

Device Name: Seminar G

Wallplate: NT-R3-NFB-WH

Faceplate Engraving

Button Engraving

Backbox Size: 1

Color: White

Alignment: Center

Alignment: Left

Font Type: Arial

Font Type: Arial

Font Size: 12

Font Size: 10

QSW2-5BRLI-WH-B



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Project Name: SVSU Project

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Document Revision:

Specification Submittal Quick Links

Athena Panels/Gateway



[QP5-1L-POE](#)



Athena 1-Link Processor Panel with integral POE switch

ESN Panels



[QSN-4A5-S](#)



Energi Savr Node Phase Adaptive 4 Output



[QSN-4T16-S](#)



Energi Savr Node 0-10 V and Softswitch

Controls



[QSWS2-2BI-WH-NST](#)



seeTouch QS Insert 2 Button



[QSWS2-3BI-WH-NST](#)



seeTouch QS Insert 3 Button



[QSWS2-5BRLI-WH-B](#)



seeTouch QS Insert 5 Button with Raise/Lower



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Project Name: SVSU Project

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Location: Saginaw, Michigan

Document Revision:

Specification Submittal Quick Links

Interfaces



[PHPM-PA-120-WH](#)



Phase Adaptive Power Module (120 V)

Accessories



[LUT-LTE-1](#)



Enables cloud connection for system through LTE network

Warranty and Services



[LSC-OS-SU-A-SA](#)



Onsite Athena Startup by a Lutron Services Company representative for this system aft...



[LSC-B2](#)



Commercial Systems 2-Year Limited Warranty – A 2-year warranty providing 100% replace...



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