

Telephone: 989-790-9120
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Addendum #1

Attn: Estimator	Date: November 14, 2024
From: Lisa Donahue, Project Administrator	Pages: 58 (including cover page)
Re: Bullock Creek School District 2024 Bond Series 1	Project: 2025 Summer Projects HS/MS/Elem/Pine River/Floyd and Maintenance Building
CC:	Proj. #: A24907

Architect Write Up	6 Pages
Revised Bid Division Descriptions 060000 and 075000	6 Pages
RFI log	2 Pages
Pre-Bid Agenda	2 Pages
Pre-Bid Sign In Sheets	4 Pages
Shoring Drawings	2 Pages
Revised Drawings	35 Pages

Electronic bids can only be submitted using Building Connected see link or sent to the school admin office

<https://app.buildingconnected.com/login?retUrl=%2F>

If you would like to listen in while bids are being opened, use the link.

<https://8x8.vc/wolgast/lisa.donahue>

Bid Date is scheduled for:
Tuesday December 3, 2024
At 3:00 PM

Opening bids at the Bullock Creek High School Cafeteria located at
1420 S Badour Road, Midland, MI 48640

ADDENDUM #1

Project: No. 24-120 2023 Bond – Series 1 2025 Improvements

Owner: Bullock Creek Schools
1420 South Badour Road
Midland, Michigan 48640

Architect: THA Architects Engineers
817 E. Kearsley Street
Flint, Michigan 48503

Issue Date: November 14, 2024



GENERAL NOTES

The following are changes, clarifications, and additions made in specification and working drawings prior to receipt of bids and shall be noted by the Contractor responsible for the same. All of these items shall be considered part of the Contract Documents.

The general character of the work required by this addendum shall be the same as originally specified, and all incidentals required in connection with the work hereinafter described shall be included even though not specifically mentioned.

The Contractor shall be held responsible to include and adjust the work of all trades involved as required to complete the work described hereinafter. All bidders shall review Addendum as it alters the work shown on the drawings and specifications.

ITEMS INCLUDE

PROJECT 'A'

ARCHITECTURAL ITEMS

- Item #A1: Revise Sheet A-G001 as follows:
- a. Updated index of drawings and sheet count.
- Item #A2: Revise Sheet A-A101 as follows:
- a. Updated sheet count.
- Item #A3: Revise Sheet A-A102 as follows:
- a. Updated sheet count.
- Item #A4: Revise Sheet A-A103 as follows:
- a. Updated sheet count.
 - b. Detail 5 revised to show existing bulkheads.
 - c. Detail 6 revised to show updated bulkhead detail.
- Item #A5: Revise Sheet A-A601 as follows:
- a. Updated sheet count.
 - b. Details 1 and 2 revised to show updated head and jamb details.

PLUMBING ITEMS

Item #P1: Revise Sheet A-P101 as follows:
a. Updated sheet count.

Item #P2: Revise Sheet A-P102 as follows:
a. Updated sheet count.

Item #P3: Revise Sheet A-P103 as follows:
a. Revise plumbing for 'D' wing toilet room D101. See piping revisions along with installation of isolation valves in ceiling space in lieu tunnel space.
b. Updated sheet count

Item #P4: Revise Sheet A-P104 as follows:
a. Updated sheet count.

Item #P5: Revise Sheet A-P105 as follows:
a. Updated sheet count.

MECHANICAL ITEMS

Item #M1: Revise Sheet A-M101 as follows:
a. Updated sheet count.

Item #M2: Add Sheet A-M102 as follows:
a. Revised to show new exhaust fan and relief hood work.

ELECTRICAL ITEMS

Item #E1: Revise Sheet A-E102 as follows:
Demolition Note 5 revised for surface mounted feeders.

PROJECT 'B'

ARCHITECTURAL ITEMS

- Item #A1: Revise Sheet B-A102 as follows:
- a. Demolition Note 7 revised to “existing cooler to be removed by others.”
 - b. Additional wall section tag added.
 - c. Removed demolition of existing wall.

- Item #A2: Revise Sheet B-A103 as follows:
- a. Detail 6 revised to show cooler wall set back from edge of concrete and chamfered edge.

ELECTRICAL ITEMS

- Item #E1: Revise Sheet B-E101 as follows:
- a. Demolition Note 2 revised for cooler removal by others.

PROJECT 'C'

ARCHITECTURAL ITEMS

- Item #A1:** Revise Sheet C-A101 as follows:
- a. At Mechanical 132, updated demolition note.
 - b. At Media Center 102, added note.
 - c. At Office 107, removed demolition note 8 at existing window.
- Item #A2:** Revise Sheet C-A102 as follows:
- a. Added existing chimney photos for clarity.
 - b. Revised detail tags.
- Item #A3:** Revise Sheet C-A103 as follows:
- a. Revised to show note number 10 at Mechanical 132.
- Item #A4:** Revise Sheet C-A104 as follows:
- a. At Corridor 130, added missing light.
 - b. At Mechanical 132, added note.
 - c. Revised ceiling legend note.
- Item #A5:** Revise Sheet C-A105 as follows:
- a. Plans 1 and 2 revised location of new ductwork penetration.
 - b. Revised roof plan to show repair of roofing at chimney removal.
 - c. Updated section tags.
 - d. Revised roofing to call for tapered insulation where new roofing meets existing roofing.
 - e. Raise curb at RTU B1 to provide minimum 8" above new roofing.
 - f. Infill roofing insulation where curb for heat recovery unit is removed.
- Item #A6:** Revise Sheet C-A106 as follows:
- a. Details 11 and 12 revised to show existing overhang.
 - b. Details 17 and 18 revised to show roof membrane extending up existing wall.
- Item #A7:** Revise Sheet C-A107 as follows:
- a. Detail 4 revised to show tapered insulation where new roofing meets existing.
 - b. Detail 10 revised to show existing plaster ceiling and new gyp bd finish at chimney infill.
 - c. Detail 13 revised to show roofing replacement.
 - d. Details 1 and 2 clouded.
 - e. Details 7 and 8 deleted.
- Item #A8:** Revise Sheet C-A201 as follows:
- a. Added replacement of existing break metal cladding at re-installed window assemblies
 - b. Added removal of existing overhead wires.
- Item #A9:** Revise Sheet C-A301 as follows:
- a. Details 2, 4, and 7 revised to show new metal cladding at re-installed window assemblies.

MECHANICAL ITEMS

- Item #M1: Clarification for Sheet C-M101:
- a. Remove roof curb at heat recovery unit demolition. Coordinate with general trades/roofing contractor on infill of roofing insulation as part of new roof work.
- Item #M2: Raise existing 12x8 supply air ductwork on roof at RTU-B1 feeding 'teachers' lounge. Adjust drops for new roof curb heights. Provide insulation and support called out on plans.
- Item #M3: Raise existing gas line feeding RTU-B1 back to main line near RTU-B2 for new roofing work provide new nonpenetrating gas piping supports.
- Item #M4: Adjust 34X18 supply air duct penetration location as shown on Sheets C-M102 and C-M104. Coordinate with general trades for opening in wall.

ELECTRICAL ITEMS

- Item #E1: Revise Sheet C-E101 as follows:
- a. Demolished fixture shown outside of boiler room.
- Item #E2: Revise Sheet C-E102 as follows:
- a. New fixture outside boiler room shown.
 - b. Fixture schedule updated for kitchen rated fixtures and P2 and P3 specifications.
 - c. Fixtures revised in kitchen to L4 for kitchen rated and occupancy sensors added for associated fixtures/space.
 - d. Keynote 2 updated to describe new switching scheme by owner and pulling neutral to switches.
 - e. Typical lighting control detail revised for dual zones in rooms.

PROJECT 'E'

ARCHITECTURAL ITEMS

- Item #A1: Revise Sheet E-C101 as follows
- a. Revised location of new signage.

PROJECT 'F'

ARCHITECTURAL ITEMS

Item #A1: Revise Sheet F-G001 as follows:
a. Revised to show building use group S-1.

Item #A2: Revise Sheet F-C101 as follows:
a. Revised to show two existing concrete pads to be removed in lieu of two existing barn structures.

Item #A3: Revise Sheet F-A104 as follows:
a. Revised to show all work on this Sheet as Alternate #4.

ELECTRICAL ITEMS

Item #E1: Revise Sheet F-E101 as follows:
a. Demolition Note 2 revised for barn demolitions to be by others.

Item #E2: Revise Sheet F-E102 as follows:
a. Picture added of existing panel in existing shed for clarity of work.

THA ARCHITECTS ENGINEERS



Madonna Bennett, AIA
Project Manager

MLB/JESS/jal

cc: Wolgast

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Bid Division: 060000 – General Trades

Bid to Include:

Total Responsibility for Specification Sections:

Section 033000 – Cast in Place Concrete
Section 040101 – Masonry Tuckpointing
Section 042000 – Unit Masonry
Section 051200 – Structural Steel Framing
Section 055000 – Metal Fabrications
Section 055213 – Pipe and Tube Railings
Section 061000 – Rough Carpentry
Section 061753 – Shop-Fabricated Wood Trusses
Section 062000 – Finish Carpentry
Section 074213 – Metal Wall and Roof Panels
Section 081113 – Hollow Metal Frames
Section 081416 – Flush Wood Doors
Section 081601 – Insulated Composite Doors
Section 083613 – Sectional Doors
Section 087100 – Door Hardware
Section 087101 – Door Hardware Schedule
Section 088000 – Glazing
Section 092116 – Gypsum Board Assemblies
Section 095100 – Acoustical Ceilings
Section 102113.19 – Plastic Toilet Compartments
Section 102800 – Toilet, Bath, and Laundry Accessories
Section 111313 – Loading Dock Bumpers
Section 321313 – Concrete Paving

Limited Responsibility for Specification Sections (as it relates to work in this Bid Division):

Section 024100 – Demolition
Section 078400 – Firestopping (As it relates to work in this Bid Division)
Section 079205 – Joint Sealants (As it relates to work in this Bid Division)

Provide all labor, materials, tools, and equipment necessary to perform the work of the specified bid sections. The contractor must also furnish, deliver, unload, store, protect, erect and install all items required for the completion of the work of this bid division in compliance with all drawings and specifications for a complete operational system including but not limited to:

General Inclusions:

1. There is no general contractor associated with this project; any and all reference to a “general contractor” related to the work of this bid division shall be understood to mean the contractor of this bid division.
2. The contractor for this bid division work is required to include but is not limited to all items, services, tasks, materials, personnel, equipment, etc. identified in this bid division description regardless of the presence of language in other bid division descriptions that is the same or is similar to that found in this contractor’s bid division description.
3. Coordination of the work of this bid division with any and all work of other bid division contractors for the scheduling and integration of the work of this contractor.
4. All contractors are responsible for the entire set of plans and specifications, including tables, schedules, and notes.
5. Provide continuous housekeeping and clean-up, and proper legal off-site disposal of any debris generated by this Bid Division’s work.

Bid Division: 060000 – General Trades

6. The contractor is responsible for their own dumpster(s) and all removal and disposal charges thereof. (Use of the Owner's dumpsters is strictly prohibited.)
7. All Contractors are required to inspect the existing project components and are to include all work necessary to complete the work to deliver a fully operational system in compliance with all governing codes.
8. This Contractor shall be responsible for performing all work in full compliance with all health and safety standards including Asbestos Awareness and Notification, Lead Paint Abatement, and all MIOSHA Standards. This Contractor shall also be responsible for satisfying all safety violations and/or fines resulting from the actions or lack of action by this Contractor at the sole expense of this Contractor.
9. Any contractor who makes a mistake by installing their product on another Contractor's obvious faulty work will assume responsibility for repair of said work.
10. This contractor shall repair and restore any damaged area to an original or better condition with no detectable evidence that the area has been repaired. Repairs must be done by personnel qualified in the execution of the work skilled and licensed in that trade. Whenever possible, repairs to the work shall be done by the original installer of the work.
11. Submittal of all insurance, unit pricing, schedule of values, required product data and shop drawings within (2) two weeks of Owner's Notice to commence work.
12. Must provide all submittals within 20 working days of contract award or sooner, unless specifically clarified with the construction manager prior to contract award.
13. Provide all layout and measurements required to perform the work of this Bid Division.
14. The Owner reserves the right to salvage any materials removed from the site during the duration of the project.
15. Coordinate delivery of materials with Construction Manager (48 hours) in advance of the delivery and provide proper personnel and equipment to perform the unloading.
16. Contractor shall submit to the field construction manager a complete written daily field report stating the work being done on site and the number of employees performing the work for each day the Contractor has representatives on site.
17. Contractor shall have a supervisor on site at all times when a crew is present on the job.
18. On Friday, or the last workday of each week, the Contractor must update the Master Copy of As-Builts, as it applies to the work of their Bid Division.
19. **Wolgast uses Software for their CM Software. Please note: We will upload all drawings, and drawing revisions as they are approved, to the Drawings tool. However, it is each contractor's responsibility to verify that they are working from the most up to date, approved, drawings.**

Division Inclusions:

1. Unloading, protection and record of all doors and frames.
2. All wood nailers for roof blocking, fascia, masonry, etc.
3. Wood blocking around windows and doors.
4. All temporary shoring as required for work in this Bid Division.
5. Provide, receive, store, protect, inventory, and install all described bid items.
6. Remove items indicated: clean, service and otherwise prepare them for reuse; store and protect against damage. Reinstall items in the same locations or in locations indicated.
7. Remove and legally dispose of items not indicated to be reinstalled, salvaged or to remain the Owner's property.
8. Cover all countertops with double layered corrugated cardboard.
9. Clean and dust all casework upon completion.
10. Clean, prep and adjust all equipment immediately prior to Owner occupancy.
11. Patch all demolished areas and items affected by demolition to a condition ready to receive finishes and finish materials.
12. Furnish and install all joint sealants and fire stopping as indicated in specifications and drawings including but not limited to perimeter joints of doors and louvers at interior and exterior, perimeter joints between interior wall surfaces and frames of interior doors and all other joints indicated.
13. Contractor shall furnish and install temporary insulated weather-tight closures of openings created as a result of the work in this scope in exterior surfaces to provide acceptable working conditions and protection for materials, to allow for temporary heating, and for building security. Provide doors with self-closing hardware and locks.

Bid Division: 060000 – General Trades

Project Inclusions:

1. Price all alternates
2. Include a \$10,000 Allowance to be used at the direct of the Construction Manager.
3. The School District will move contents out way for construction.
4. Provide and install concrete sign foundations with required reinforcement, and sign anchors.
5. Remove existing exterior Middle School building sign per drawing B-A101.
6. Fill in any holes left in masonry from sign or conduit per drawing B-A101.
7. Rework existing Middle School Gymnasium wall mats for electrical conduit per drawing B-A101.
8. Remove existing Floyd Elementary sign noted on drawing D-C101.
9. Include masonry removal, saw cutting and tothing in for new door opening at the Middle School per drawing B-A102, Floor Plan.
10. Provide and install all new foundation, walks, ramps, stairs, loading dock, cooler pad work at Bullock Creek Middle School. Include all reinforcement, control, and expansion joints.
11. Include equipment concrete pad for compressors shown on B-FS1.
12. Provide and install pipe bollards completely. Include steel bollards and pipe covers.
13. Provide and install new loading dock bumpers.
14. Provide and install all noted handrails.
15. Provide and install masonry / glazed tile, masonry lintel, and plywood at Middle School Cooler connection and main building. See drawing B-A103, Detail 7.
16. Provide and install wood nail and break metal per Drawing B-A103, Detail 9.
17. Include interior removals as noted on the drawings such as masonry, partitions, restroom accessories, doors and frames, flooring, and ceiling framing covering existing skylights.
18. Include all saw cutting to complete your work.
19. Turn-over items to be salvaged to the owner.
20. Include all concrete floor patches with reinforcement.
21. Include all new masonry walls and infills as noted. Include all required reinforcement. Fire rate as noted.
22. Include all metal stud framing with insulation and board.
23. Supply and install Restroom partitions.
24. Supply and install all Restroom accessories which include shelving complete.
25. Reinstall salvaged Restroom accessories.
26. Supply and install wood trim in areas called out on drawing A-A103.
27. Firestop existing top of walls noted on drawings such as A-A103.
28. Provide and install ceiling grid and tile. Include hold down clips where noted.
29. Include any detaching and reinstallation of ceilings grid and tile.
30. Provide and install all doors, frames, windows, and hardware complete.
31. All doors are to be ordered before construction begins. Field measure before demolition and provide any additional trims to complete the install.
32. Include removing and replacing concrete slab needed for plumbing replacement. Review High School plumbing drawings.
33. Include masonry demolition, temporary shoring, structural steel lintels, bearing plates, reinforcement, hangers and brick replacement.
34. Bullock Creek Elementary School temporary shoring drawings are included.
- ~~35. Provide and install parapet cap framing and metal. Reference detail 9 on C-A301.~~
36. Include masonry tuckpointing as noted.
37. Include any window removal and re-installation required to replace lintels and brick.
38. Include interior removals such as flooring and base. Grind any remaining flooring substrate for the surface to clean concrete. You will be responsible for any damage caused to the security boot system.
39. Provide and install wood shoe base as noted.
40. Remove existing Bullock Creek Elementary sign noted on drawing C-A101.
41. Include framing and roof decking at roof opening shown in detail 10 Drawing C-A107.

Bid Division: 060000 – General Trades

42. Include masonry opening work on drawing C-A105 details 1 and 2.
43. Include removal of masonry chimney shown on drawing C-A102
44. Provide and install noted Bullock Creek Elementary shoe molding. Finished by painter.
45. Provide site concrete as noted on New Pole Barn Drawings.
46. Provide concrete at bus parking.
47. Include removal and installation of concrete and reinforcement for new trench drain in existing maintenance building. Trench drain by Plumber.
48. Supply and install New Pole Barn concrete slab. Include all reinforcement.
49. Provide and install a complete Pole Barn to include but not limited to; excavation and setting of poles, metal roofing and siding, gutters and downspouts, office framing and drywall, and all doors. Not included would be the building slab, electrical, plumbing, and sitework.

Project Exclusions:

1. All demolition of conduits, ducts, pipes, fixtures, etc. (demolition required for all mechanical, plumbing, and electrical work) is to be performed by the specific mechanical, plumbing and electrical contractors.
2. Hand dryers
3. Supply and installation of trench drains.
4. Pole barn metal, concrete building slab, electrical, plumbing, and sitework.
5. Finishing of new shoe base.
6. Soil Density testing
7. Concrete testing.

Consideration for award:

The ability to begin as soon as areas of work become available. To have proper equipment and responsible personnel to complete the above list of work. To repair any adjacent materials damaged in the execution of the above-listed work. Close cooperation with the Construction Manager and other bid divisions to provide input to develop a working schedule. An approved schedule of values will be required before approval is granted for the first payment request. Expediting communication and follow-up as required.

END OF BID DIVISION 060000

Wolgast Corporation – Construction Management

Bid Division: 075000 – Roofing

Bid to Include:

Total Responsibility for Specification Sections:

Section 070150.19 – Preparation for Re-Roofing
Section 075400 – Thermoplastic Membrane Roofing
Section 076200 – Sheet Metal Flashing and Trim

Limited Responsibility for Specification Sections (as it relates to work in this Bid Division):

Section 024119 – Selective Demolition (as it relates to tying into the existing building)
Section 079200 – Joint Sealants (As it pertains to roofing)

Provide all labor, materials, tools, and equipment necessary to perform the work of the specified bid sections. The contractor must also furnish, deliver, unload, store, protect, erect and install all items required for the completion of the work of this bid division in compliance with all drawings and specifications for a complete operational system including but not limited to:

General Inclusions:

1. There is no general contractor associated with this project; any and all reference to a “general contractor” related to the work of this bid division shall be understood to mean the contractor of this bid division.
2. The contractor for this bid division work is required to include but is not limited to all items, services, tasks, materials, personnel, equipment, etc. identified in this bid division description regardless of the presence of language in other bid division descriptions that is the same or is similar to that found in this contractor’s bid division description.
3. Coordination of the work of this bid division with any and all work of other bid division contractors for the scheduling and integration of the work of this contractor.
4. All contractors are responsible for the entire set of plans and specifications, including tables, schedules, and notes.
5. Provide continuous housekeeping and clean-up, and proper legal off-site disposal of any debris generated by this Bid Division’s work.
6. The contractor is responsible for own dumpster(s) and all removal and disposal charges thereof. (Use of the Owner’s dumpsters is strictly prohibited.)
7. All Contractors are required to inspect the existing project components and are to include all work necessary to complete the work to deliver a fully operational system in compliance with all governing codes.
8. This Contractor shall be responsible for performing all work in full compliance with all health and safety standards including Asbestos Awareness and Notification, Lead Paint Abatement, and all MIOSHA Standards. This Contractor shall also be responsible for satisfying all safety violations and/or fines resulting from the actions or lack of action by this Contractor at the sole expense of this Contractor.
9. Any contractor who compounds a mistake by installing their product on another Contractor’s obvious faulty work will assume responsibility for repair of said work.
10. This contractor shall repair and restore any damaged area to an original or better condition with no detectable evidence that the area has been repaired. Repairs must be done by personnel qualified in the execution of the work skilled and licensed in that trade. Whenever possible, repairs to the work shall be done by the original installer of the work.
11. Submittal of all insurance, unit pricing, schedule of values, required product data and shop drawings within (2) two weeks of Owner’s Notice to commence work.
12. Must provide all submittals within 20 working days of contract award or sooner, unless specifically clarified with the construction manager prior to contract award.
13. Provide all layout and measurements required to perform the work of this Bid Division.
14. The Owner reserves the right to salvage any materials removed from the site during the duration of the project.

Bid Division: 075000 – Roofing

15. Coordinate delivery of materials with Construction Manager (48 hours) in advance of the delivery and provide proper personnel and equipment to perform the unloading.
16. Contractor shall submit to the field construction manager a complete written daily field report stating the work being done on site and the number of employees performing the work for each day the Contractor has representatives on site.
17. Contractor shall have a supervisor on site at all times when a crew is present on the job.
18. On Friday, or last workday of each week, the Contractor must update the Master Copy of As-Builts, as it applies to the work of their Bid Division.
19. **Wolgast uses Software for their CM Software. Please note: We will upload all drawings, and drawing revisions as they are approved, to the Drawings tool. However, it is each contractor's responsibility to verify that they are working from the most up-to-date, approved, drawings.**

Division Inclusions:

1. Demolition, removal and proper legal off-site disposal of existing roofing and sub roofing where new additions tie-in.
2. Installation of roof edging.
3. Maintain weather protection during tie-in.
4. Furnish and install pipe stands as required by mechanical and electrical trades.
5. Furnish and install all joint sealants and fire stopping as indicated in specifications and drawings.
6. Responsible for all roof trim.
7. Supply and install all required fasteners.
8. Coordinate all finishing connections with appropriate contractors.
9. Coordinate all roof penetrations with appropriate contractors, flash and seal. (Please review roof plans, mechanical plans, and electrical plans.)

Project Inclusions:

1. Price all alternates.
2. Include a \$10,000 Allowance to be used at the direct of the Construction Manager.
3. Include all roofing removals which are to include fascia metals and gutters / downspouts.
4. Score roofing membrane as noted per the drawings.
5. Supply and install new tapered insulation and membrane as noted in the drawings.
6. Supply and install all new flashing and termination bar noted in the drawings.
7. Supply and install all new gutters and downspouts noted in the drawings.
8. Supply and install roof nailer and plywood spacer shown on the drawings.
9. Roof sump grates are to be cleaned and rod sump lines.
10. Any wood pipe supports, or wood equipment rails found and not called out to be replaced will be replaced as an extra.
11. Any roof top equipment not noted that needs to be adjusted to maintain 8" of flashing height will be done as an extra.
12. Provide and install walkway pads.
13. **Include all Parapet cap framing, blocking, nailers, and metal. Reference detail 9 on C-A301 but not limited to.**

Project Exclusions:

1. ~~Parapet cap framing and metal. Reference detail 9 on C-A301.~~

Consideration for award:

The ability to begin as soon as areas of work become available. To have proper equipment and responsible personnel to complete the above list of work. To repair any adjacent materials damaged in the execution of the above-listed work. Close cooperation with the Construction Manager and other bid divisions to provide input to develop a working schedule. An approved schedule of values will be required before approval is granted for the first payment request. Expediting communication and follow-up as required.

END OF BID DIVISION 075000

Wolgast Corporation – Construction Management



Wolgast Corporation

Job #: A24907-00 Bullock Creek SD 24 Bond Series 1 - Main
1420 S Badour Road
Midland, Michigan 48640
9896319022

RFI LOG

#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
6	Bullock Creek Elementary Landscaping	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W...	11/14/2024	Dale Schwerin	11/19/2024	11/14/24					
Q:	Dale Schwerin Sent Thu Nov 14, 2024 at 10:01 am EST Some of the existing Landscaping is in the way of doing the window lintel / brick replacement. Please advise.													
A:	Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 14, 2024 at 10:02 am EST Before work is to begin we will have a coordination meeting onsite to discuss what trees need to be removed and the School will remove.													
5	Parapet Cap Framing and Metal	Closed	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Schwerin, Dale (W...	11/14/2024	Dale Schwerin	11/19/2024	11/14/24					
Q:	Dale Schwerin Sent Thu Nov 14, 2024 at 09:28 am EST Per the Specification Roofing Project Exclusions States to not include: 1. Parapet cap framing and metal. Reference detail 9 on C-A301. Who is doing parapet framing and metal?													
A:	Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 14, 2024 at 09:50 am EST Specification General Trades Project Inclusion # 35 will be removed from General Trades scope of work and now be the Roofers responsibility.													
A:	Dale Schwerin (WOLGAST CORPORATION) Responded Thu Nov 14, 2024 at 09:31 am EST That exclusion is incorrect. The Roofing Contractor will be responsible for all parapet cap framing and metal including but not limited to Detail 9 on C-A301.													
4	Bullock Creek Elementary Electrical Questions	Open	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/14/2024	Dale Schwerin	11/19/2024		Launius, Julia (T...				
Q:	Dale Schwerin Sent Thu Nov 14, 2024 at 09:14 am EST Bullock Creek Elementary Questions. 1. Will we need to replace the light by the handicap elevator not shown on the electrical drawings. 2. Do we need to have food grade light fixtures in the kitchen? If so are the chosen fixtures rated for food grade fixtures? 3. Can we assume that all the switches being replaced will have a neutral and a ground wire available in the box. 4. For the switches in the classrooms, the few I checked have 2 switches, one to control half the room and the other to control the other half. On the new plans it only shows one dimmer switch. Will we need to have 2 switches to keep this the same or is it intended to all have one switch as now they have the capability to dim.													
3	High School Speakers	Open	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Hale, Shawn (BULL...	11/14/2024	Dale Schwerin	11/19/2024		Hale, Shawn (BULL...				
Q:	Dale Schwerin Sent Thu Nov 14, 2024 at 09:09 am EST At the High School is there a specification for the new ceiling speakers needed. Who did the speakers in the past (National Time and Signal possibly).													
2	Chimney and Incinerator Demolition	Open	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/14/2024	Dale Schwerin	11/19/2024		Launius, Julia (T...				
Q:	Dale Schwerin Sent Thu Nov 14, 2024 at 09:00 am EST At Bullock Creek Elementary drawing C-A101 Mechanical Room 132 note 11 points to the existing chimney and incinerator. Should this be note 13? Please advise.													



Wolgast Corporation

Job #: A24907-00 Bullock Creek SD 24 Bond Series 1 - Main
1420 S Badour Road
Midland, Michigan 48640
9896319022

#	Subject	Status	Responsible Contractor	Received From	Assignee	Date Initiated	RFI Manager	Due Date	Closed Date	Ball In Court	Location	Schedule Impact	Cost Code	Cost Impact
1	Light Fixture P2 and P3 at Bullock Creek Elementary	Open	WOLGAST CORPORATION	Schwerin, Dale (WOLGAST CORPORATION)	Launius, Julia (T...	11/12/2024	Dale Schwerin	11/15/2024		Launius, Julia (T...				

Q: Dale Schwerin Sent Mon Nov 11, 2024 at 02:43 pm EST
At Bullock Creek Elementary School (Project C). I do not see fixture types P2 and P3 on the fixture schedule. Please advise.



WOLGAST CORPORATION

PRE-BID MEETING

Bullock Creek School District

2024 Bond Series 1 - 2025 Improvements

PRE-BID MEETING AGENDA

Tuesday, November 12, 2024, at 3:00 PM

1. Introductions:

- a. **Owner Rep:** Shawn Hale- Bullock Creek School District– Superintendent
- b. **Construction Manager:** Dale Schwerin, Wolgast Corporation – Project Manager
Cole Younger, Wolgast Corporation – Field Manager
- c. **Architect:** Madonna Bennett- THA Architects/Engineers– Architect
Ryan Nestle – Facilities

2. Project Scope:

06 00 00 – General Trades	22 23 00 – Plumbing & HVAC Systems
07 50 00 – Roofing	26 00 00 - Electrical
09 65 00 – Flooring	31 00 00 – Site Work
09 90 00 – Painting	
10 14 00 – Electronic Message Sign	

3. Contractor Bid Proposals:

- a. Sealed bids for this project are due no later than: **Tuesday, December 3, 2024@ 3:00 PM**
Proposals may be mailed or delivered in person to: **Shawn Hale, Superintendent**
Bullock Creek School District
1420 S Badour Road
Midland, MI 48640

All bids will be opened and read aloud at approximately 3:00 PM at the High School Cafeteria.

Electronic Sealed bids may also be submitted using Building Connected see below link.

<https://app.buildingconnected.com/login?retUrl=%2F>

If you want to listen in during the bidding process here is the link <https://8x8.vc/wolgast/lisa.donahue>

- b. The successful bidder will be “prime” contractor having a contract directly with the Bullock Creek School District.
- c. Familial Relationship Affidavit – Section 00306 of Spec Book.
- d. Iran Economic Sanctions Act – Section 00307 of Spec Book

4. Addenda:



- a. The Architect will issue any and all addenda.
- b. Last day to submit addendum questions will be Friday, November 22, 2024.

5. Milestone Schedule:

- a. Award of Contracts: It is the intention of Bullock Creek School District to award contracts on or about Monday, December 16, 2024.
- b. The start & completion dates for this project are tentatively set for:
Start Date: [See Milestone Schedule](#)
Completion Date: [See Milestone Schedule](#)
- a. The Construction Manager will provide a detailed project construction schedule to all contractors based on input received at the post bid interview.

6. Bonds:

- a. A five percent (5%) bid security must accompany each bid. Personal or Company checks do not satisfy the bid bond requirement and may be grounds for disqualification of that bid.
- b. All bidders must have the ability to provide Performance Bonds and Labor and Material Payment Bonds. These bonds **may or may not** be requested by the Owner if the awarded proposal amount is less than \$50,000.00, but all bids **must include** the cost of the PLM bond regardless of bid amount. All awarded proposal amounts exceeding \$50,000.00 must be secured by both performance and payment bonds as required by State law.
- c. The Performance Bond and Labor and Material Payment Bond are to be submitted to the Construction Manager before construction begins.

7. Inquiries:

- a. All questions regarding the design, the drawings and the specifications are to be faxed or emailed to: Wolgast Corporation, Attn: Dale Schwerin, Project Manager, Fax #: 989-790-9063 or email: dschwerin@wolgast.com also copy Lisa Donahue at ldonahue@wolgast.com in the form of a Clarification Request Form. This will be forwarded to the architect for clarification. The Construction Manager **will make no** interpretations of the construction documents.
- b. All questions regarding the bidding procedures (what to bid, how to fill out the proposal form, construction schedules, etc) are to be directed to Wolgast Corporation, Attn: Dale Schwerin, Project Manager, Office #: 989-790-9120, or email: dschwerin@wolgast.com and copy Lisa Donahue at ldonahue@wolgast.com.

8. Post Bid Procedures:

- a. Post-Bid interviews will be conducted with the low bidder and in some cases the second low bidder. The interviews will be conducted by the Construction Manager and the Architect. The Owner may elect to be present at the interviews.
- b. The apparent low bidders will be notified the day after the bid of their scheduled interview time.
- c. Bid results will be made available from the Construction Manager.

9. Questions:

END OF PRE-BID MEETING AGENDA

Bullock Creek School District
 2024 Bond Series 1 - 2025 Improvements

Pre - Bid Sign In

Tuesday, November 12, 2024

3:00 PM, HS Cafeteria

Wolgast Corporation /THA Architects/Engineers

Company (Printed)	Name (Printed)	Phone/Cell	Email
Honeywell	Skyler Nelson	517-281-6029	Skyler.Nelson@Honeywell.com
THA	Madonna Bennett		
THA	KARL STRATHE		
BTE	Eric Gertner	(989) - 598-4416	Eric@BTEelectric.com
Bay Valley Electric	Aurelia Kissel	989 295 6451	office@bayvalleyelectric.org
DU ALL CLEANING	MONDI RAKAJ	586-709-9517	MONDI@DUALLCLEANING.COM
Electro-Matic Visua	Larry Thompson	248-346-3941	LATHOMPSON908@GMAIL.COM
AJ'S Plumbing	Jeff Joslin	989-400-9236	Jeff@ajsplumbingpsi.com

Bullock Creek School District
2024 Bond Series 1 - 2025 Improvements

Pre - Bid Sign In

Tuesday, November 12, 2024

3:00 PM, HS Cafeteria

Wolgast Corporation /THA Architects/Engineers

Company (Printed)	Name (Printed)	Phone/Cell	Email
Clements Electric, Inc	Jason Clements	989 225 1231	Jason@ClementsElectric.net
Seewald & Sons, Inc	Dan Seewald	989-450-8069	DSEEWALD@SeewaldSons.com
Climate Control	Ray McConnell	989-621-7595	climatecontrolhvac@gmail
AC KLOPF	Jason Swincicki	989-545-2324	jswincicki@acKlopf.com
BRANDLER ROOFING	GEOFF BRANDLER	989-205-0236	geoff.brandler@gmail.com.
Robbin Harsh Exc.	Aaron Keene	989-386-3528	aaron@harshexcavating.com
Town & Country Group	Jeff Rooksberry	813-481-9837	Jeff.Rooksberry@TC ^{groupinc.com} group.com

Bullock Creek School District
 2024 Bond Series 1 - 2025 Improvements

Pre - Bid Sign In

Tuesday, November 12, 2024

3:00 PM, HS Cafeteria

Wolgast Corporation /THA Architects/Engineers

Company (Printed)	Name (Printed)	Phone/Cell	Email
Sugar Construction	Tom Neuenfe H	989 859 2432	tomn@sugarconstruction.com
"	Mark O'Keefe	989 205 4025	MarkO@sugarconstruction.com
"	Jeremy Hurd	989-948-9681	JeremyH@sugarconstruction.com
O'Keefe Electric	Mark O'Keefe	989-205-4025	MarkO@okadelectric.com
Chamber Contract	Mark Cantz	989-330-5543	Carri el Chamber Contracty @ net
DENALI CONSTRUCTION	THOM JONES	989 285-5653	THOM@DENALI DENALITHOM@GMAIL DENALI CONSTRUCTION.COM

Bullock Creek School District
 2024 Bond Series 1 - 2025 Improvements

Pre - Bid Sign In

Tuesday, November 12, 2024

3:00 PM, HS Cafeteria

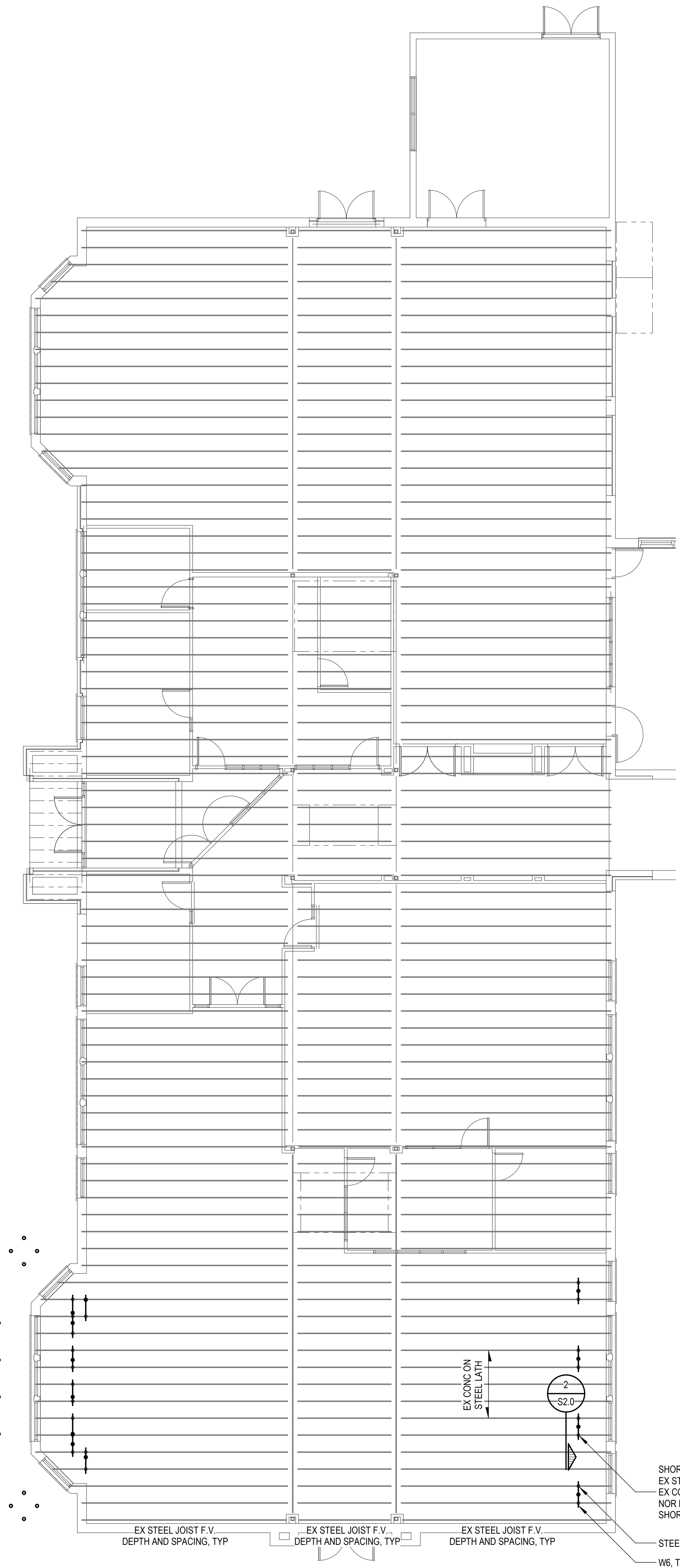
Wolgast Corporation /THA Architects/Engineers

Company (Printed)	Name (Printed)	Phone/Cell		Email
J.F. Johnson	Eric Bowns	989-205-2688		ericb@j-johnson.org
J.F. Johnson	Dan Gittings	989 607-4539		DanG@JFJohnson
Beyer Roofing	Trenton Beyer	989 239 9419		Trenton@Beyerroofing.com
Revolution Electric	Steve Block	989 621 3597		revolutionelectricllc@gmail.com

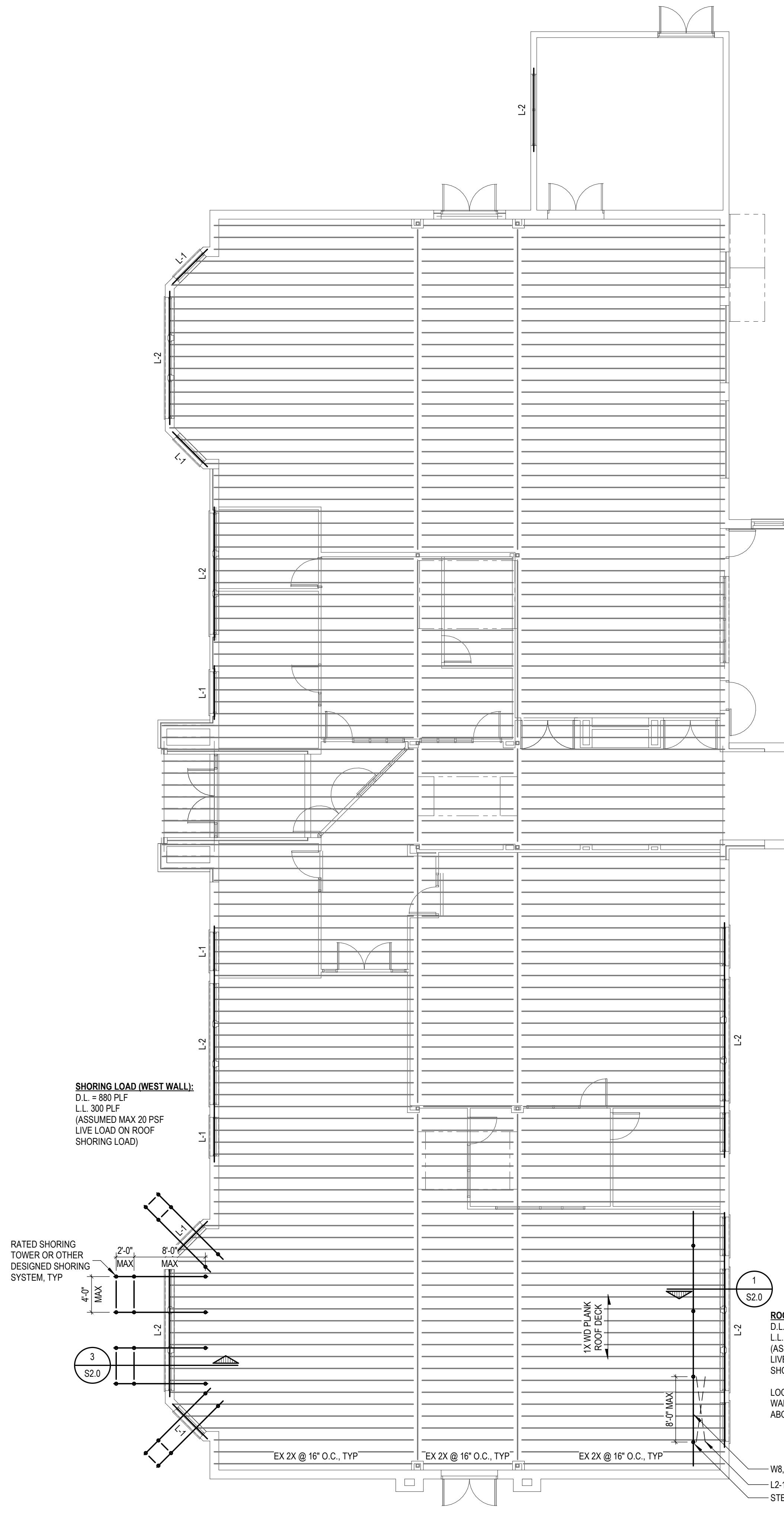
DATE	11/07/2024
STATUS	ISSUED FOR BIDS
NO.	
CHKD BY:	E. MANNOR
DESD BY:	E. MANNOR
DRAWN BY:	D. BART
PROJ #:	24-0206-0289

DIVISION 2 - DEMOLITION/SHORING

1. CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING WHERE REQUIRED DURING CONSTRUCTION. SHORING SHALL BE DESIGNED & DETAILED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER. SHORING PROCEDURES, DESIGNS AND DETAILS SHALL BE SUBMITTED FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. ALLOW (2) WEEKS FOR ENGINEER TO REVIEW.
2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ERECTION PROCEDURE AND SEQUENCING AND TO SUBMIT WRITTEN PROCEDURES TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS DURING ERECTION.
3. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. IF CONDITIONS EXIST THAT ARE DIFFERENT FROM WHAT IS INDICATED ON THE DRAWINGS, NOTIFY ARCHITECT FOR DIRECTION BEFORE PROCEEDING.



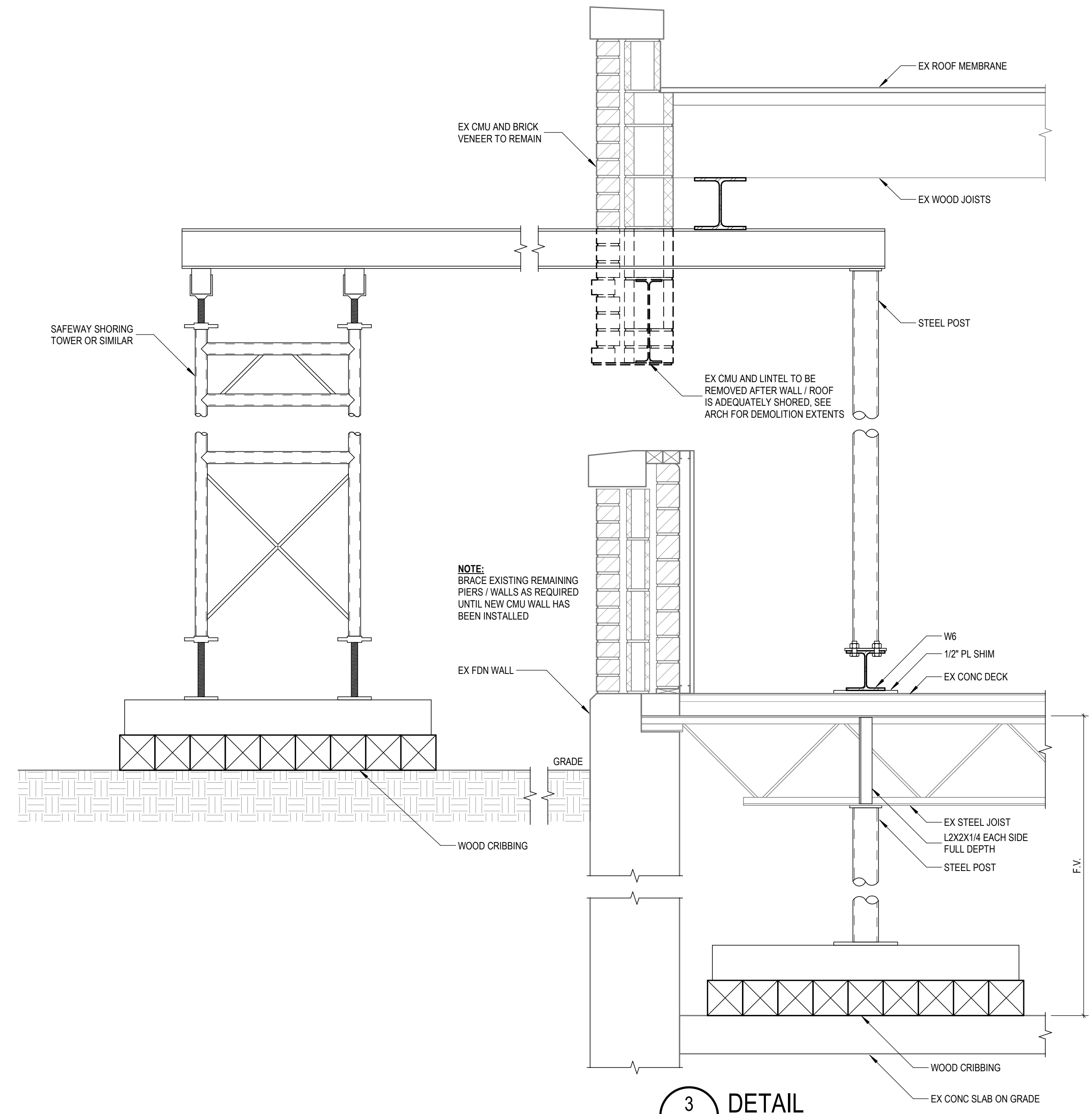
PARTIAL FLOOR FRAMING PLAN
 SCALE: 1/8" = 1'-0"



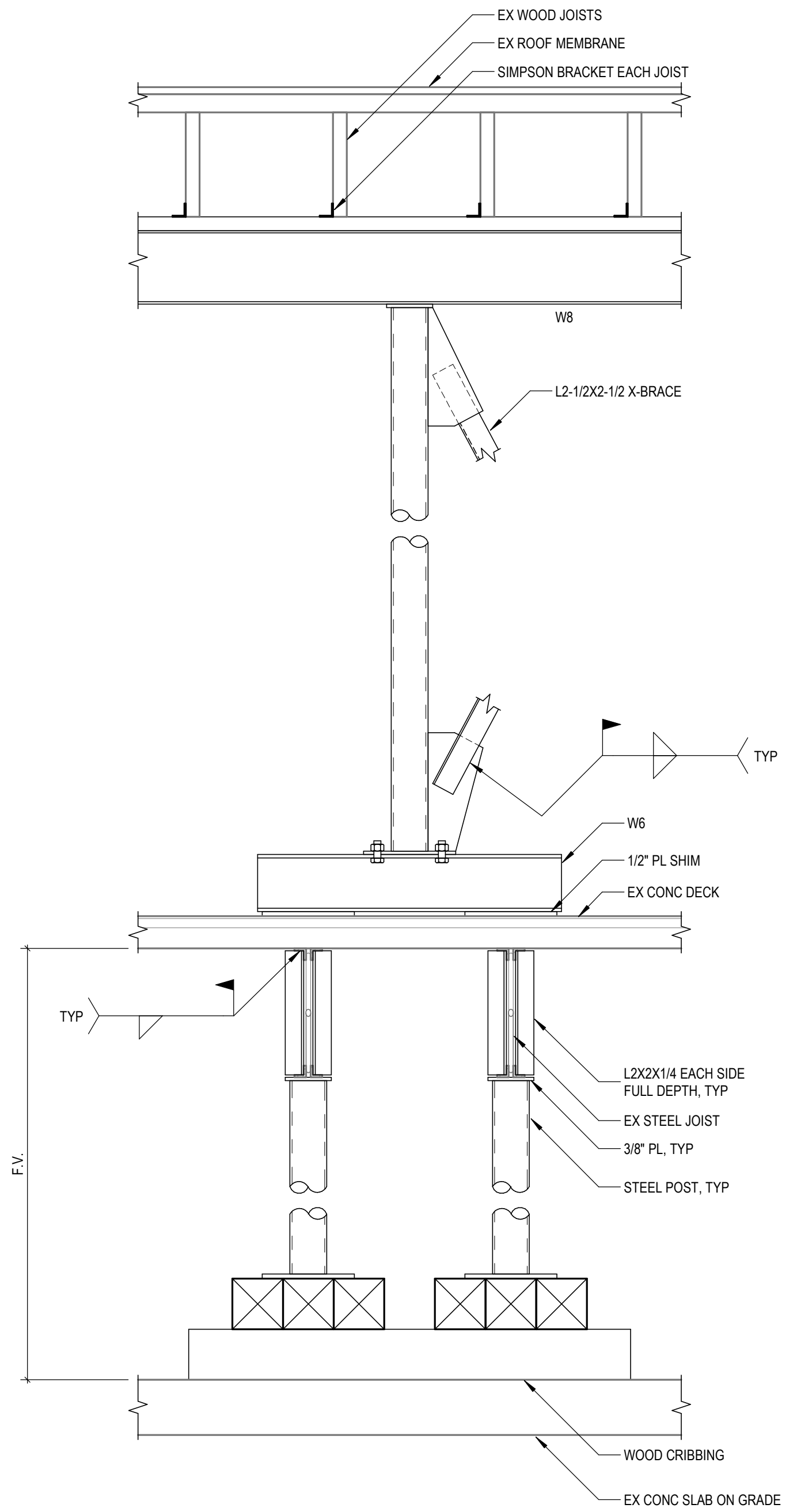
PARTIAL ROOF FRAMING PLAN
 SCALE: 1/8" = 1'-0"

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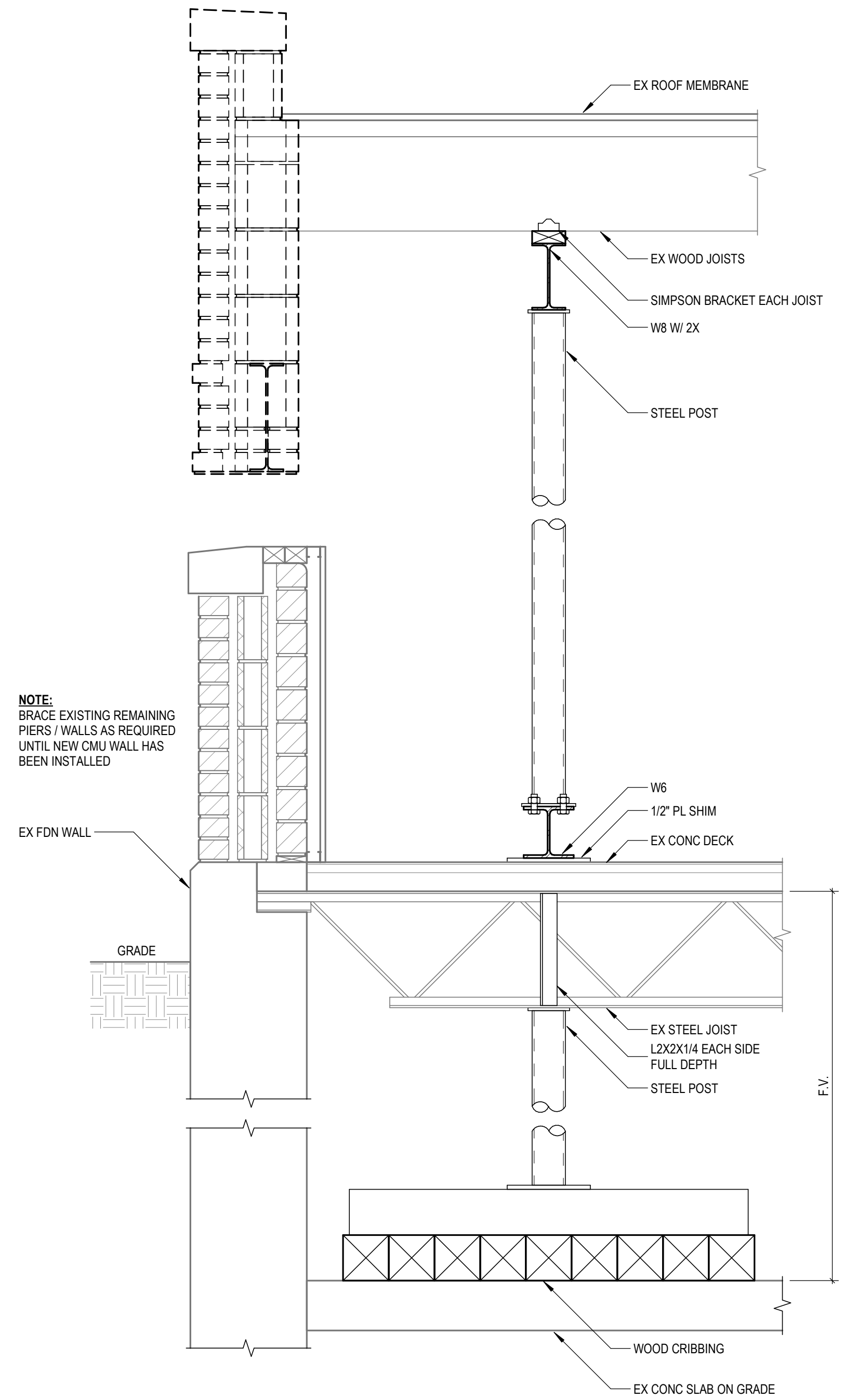
DATE	11/07/2024
STATUS / REVISIONS	ISSUED FOR BIDS
NO.	
CHKD BY:	E. MANNOR
DES'D BY:	E. MANNOR
DRAWN BY:	D. BART
PROJ #:	24-0206-0289



3 DETAIL
S2.0 SCALE: 1" = 1'-0"



2 DETAIL
S2.0 SCALE: 1" = 1'-0"



1 DETAIL
S2.0 SCALE: 1" = 1'-0"

NOTE:
THIS IS A CONCEPTUAL PLAN WITH ASSOCIATED DETAILS FOR A SHORING CONCEPT. THE CONTRACTOR SHALL PROVIDE A SHORING PLAN AND PROCEDURE FOR THE LINTEL REPLACEMENTS DESIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN MICHIGAN.

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STANDARD ABBREVIATIONS

at	air conditioning	KO	knockout
ACCUST	acoustical	LAM	laminated
AD	adjustable	LAV	lavatory
AF	above Finish Floor	LH	left hand
ALT	alter	LL	live load
ALUM	aluminum	LLH	long leg horizontal
ANCH	anchor, anchorage	LLV	long leg vertical
ARCH	architect/architectural	LTX	light weight
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	blotting	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NIC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRG	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHWR	chilled water return	OA	overall
CHWS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit		
CO	clean out		
COL	column		
CONC	concrete		
CONSTR	construction		
CONT	continuous/continuing	PCF	pounds per cubic foot
CONTR	contract/contractor	PLAS	plaster
CONV	convector	+/-	plus or minus
CRS	course(s)	PLF	pounds per linear foot
CT	ceramic tile	PSF	pounds per square foot
CUH	cabinet unit ventilator	PSI	pounds per square inch
CW	domestic cold water	PART	partition
CY	cubic yard	PVC	polyvinyl chloride
		PMT	pavement
°	degree		
DET	detail	R	riser/radius
DF	drinking fountain	RA	return air
DIAS	diagonal	RD	roof drain
DIA or Ø	diameter	RE	reference
DM	dimension	REF	refrigerator
DIV	division	REIN	reinforce(d)/reinforcing
DP	dampening	RES	resilient
DS	downspout	REV	revision(s)/revised
DWG	drawing	RH	right hand
		RM	room
		RO	rough opening
EA	each	ROV	right of way
EFS	exterior insulation finish system	RS	roof sump
	(synthetic plaster)	RWC	rainwater conductor
ELEG	electric/electrical		
EQ	equal	SAN	sanitary
EQUIP	equipment	SD	storm drain
EWAC	electric water cooler	SECT	section
EXIST	existing	SHT	sheet
EXH	exhaust	SIM	similar
EXT	exterior	SPCC	specification(s)
		SQ	squares
FA	fire alarm	SS	service sink
FAI	fresh air intake	SSS	stainless steel
FD	floor drain	STD	standard
FE	fire extinguisher	STL	steel
FEC	fire extinguisher cabinet	STD	standard
FIN	Finish(ed)	SUSP	suspended
FL	flooring	SYM	symmetry/symmetrical
FOUND	foundation		
FTR	fin tube radiation	T&G	tongue/groove
FTG	footing	T&G	tread
		TB	tackboard
G	gas	TEL	telephone
GA	gauge/gauge	TERR	terrace
GC	general contractor	THR	threshold
GI	galvanized iron	TV	television
GL	glass/glazing	TYP	typical
GST	glazed structural tile		
GALV	galvanized	UH	unit heater
		UR	urinal
HB	hose bibb	UV	unit ventilator
HDX	hardware	V	vent
HM	hollow metal	VERT	vertical
HORIZ	horizontal		
HGT	height	W	width/wide
HTG	heating	W/W	with
HVAC	heating/ventilating/air conditioning	WC	water closet
HX	domestic hot water	WD	wood
HNHR	hot water heating return	WH	water heater
HNHS	hot water heating supply	WI	wrought iron
HNR	domestic hot water return	W/W	welded wire reinforcement
		WNR	
ID	inside dimension		
INT	interior		
INV	invert		

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACOUST TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	PLYWOOD

GENERAL NOTES

ANY PENETRATIONS OF CORRIDOR WALLS MUST MAINTAIN 1-HOUR FIRE RATING AND RESIST THE PASSAGE OF SMOKE

SYMBOLS KEY

	NORTH		NORTH ARROW
	EXISTING ELEVATION POINT		NEXT ELEVATION POINT
	ELEVATION TARGET		COLUMN NUMBER
	COLUMN CENTERLINE		BUILDING SECTION
	WALL SECTION		DETAIL BUBBLE
	ROOM NUMBER		ROOM NUMBER
	DOOR NUMBER		WINDOW NUMBER
	INTERIOR ELEVATION		DEMOLITION NOTE

DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES
 2015 MICHIGAN REHABILITATION CODE
 ALTERATIONS LEVEL 2
 2015 MICHIGAN BUILDING CODE
 2021 MICHIGAN MECHANICAL CODE
 2021 MICHIGAN PLUMBING CODE
 2011 MICHIGAN ELECTRICAL CODE
 NFPA 101 LIFE SAFETY CODE 1991 AS ADOPTED BY MICHIGAN BUREAU OF FIRE SAFETY

BUILDING USE
 EXISTING: E, EDUCATION

BUILDING CONSTRUCTION TYPE
 TYPE II-B (O.O.O.)

BUILDING AREA
 EXISTING GROSS AREA = 146,800 SF

BUILDING OCCUPANCY
 TOTAL DESIGN OCCUPANT LOAD: 1615
 WEIGHT ROOM, GYM & AUDITORIUM ARE NON-SIMULTANEOUS USE

TOTAL FIXTURE COUNT REQUIRED:

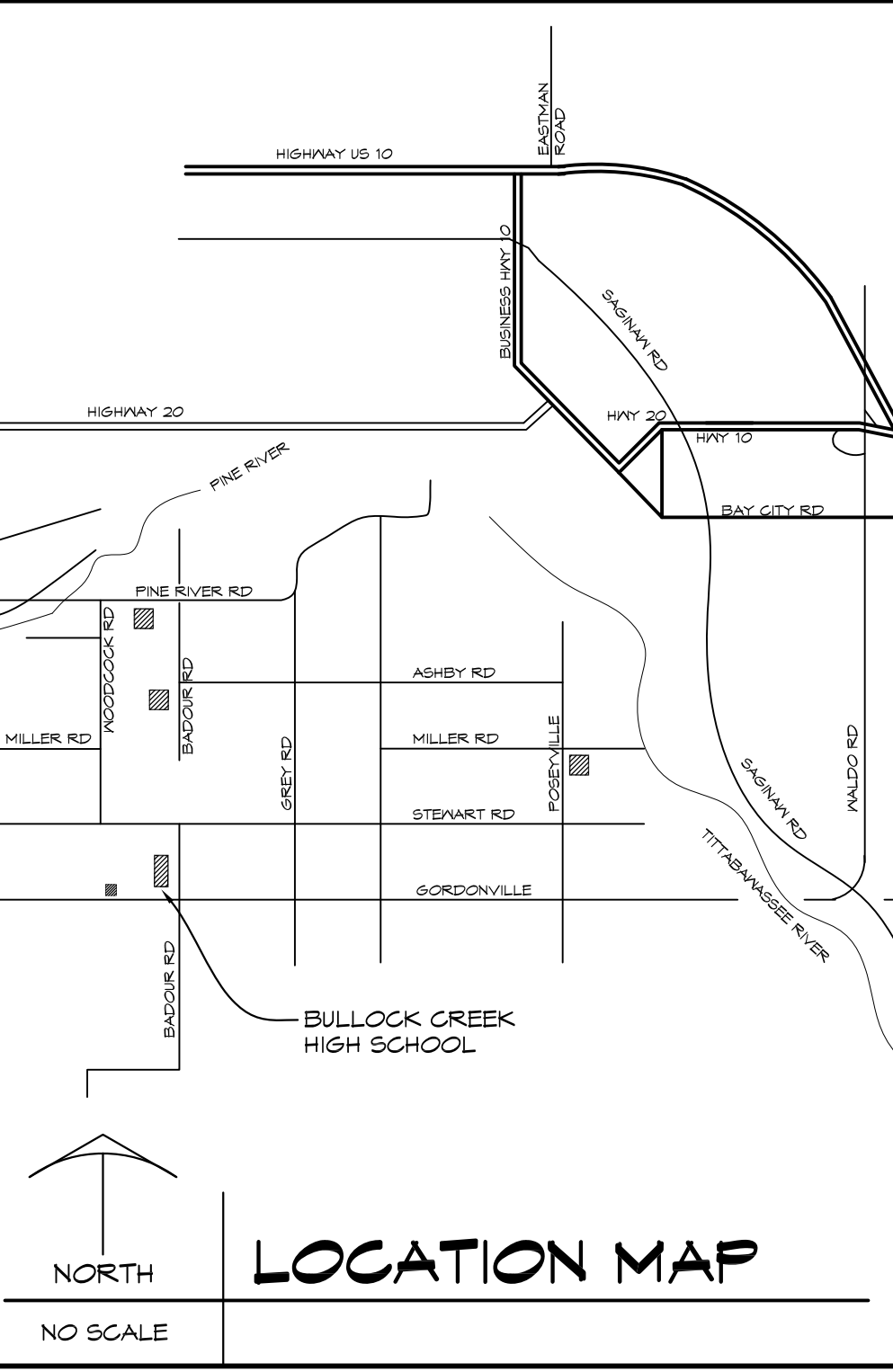
TOILETS:	UNI-SEX	MEN'S	WOMEN'S
LAVATORIES:	-	17	17

TOTAL FIXTURE COUNT EXISTING:

TOILETS (URINALS):	UNI-SEX	MEN'S	WOMEN'S
LAVATORIES:	9	22 (24)	44
	9	25	26

TOTAL FIXTURE COUNT PROPOSED:

TOILETS (URINALS):	UNI-SEX	MEN'S	WOMEN'S
LAVATORIES:	9	19 (25)	39
	9	25	26



**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT #24-120**

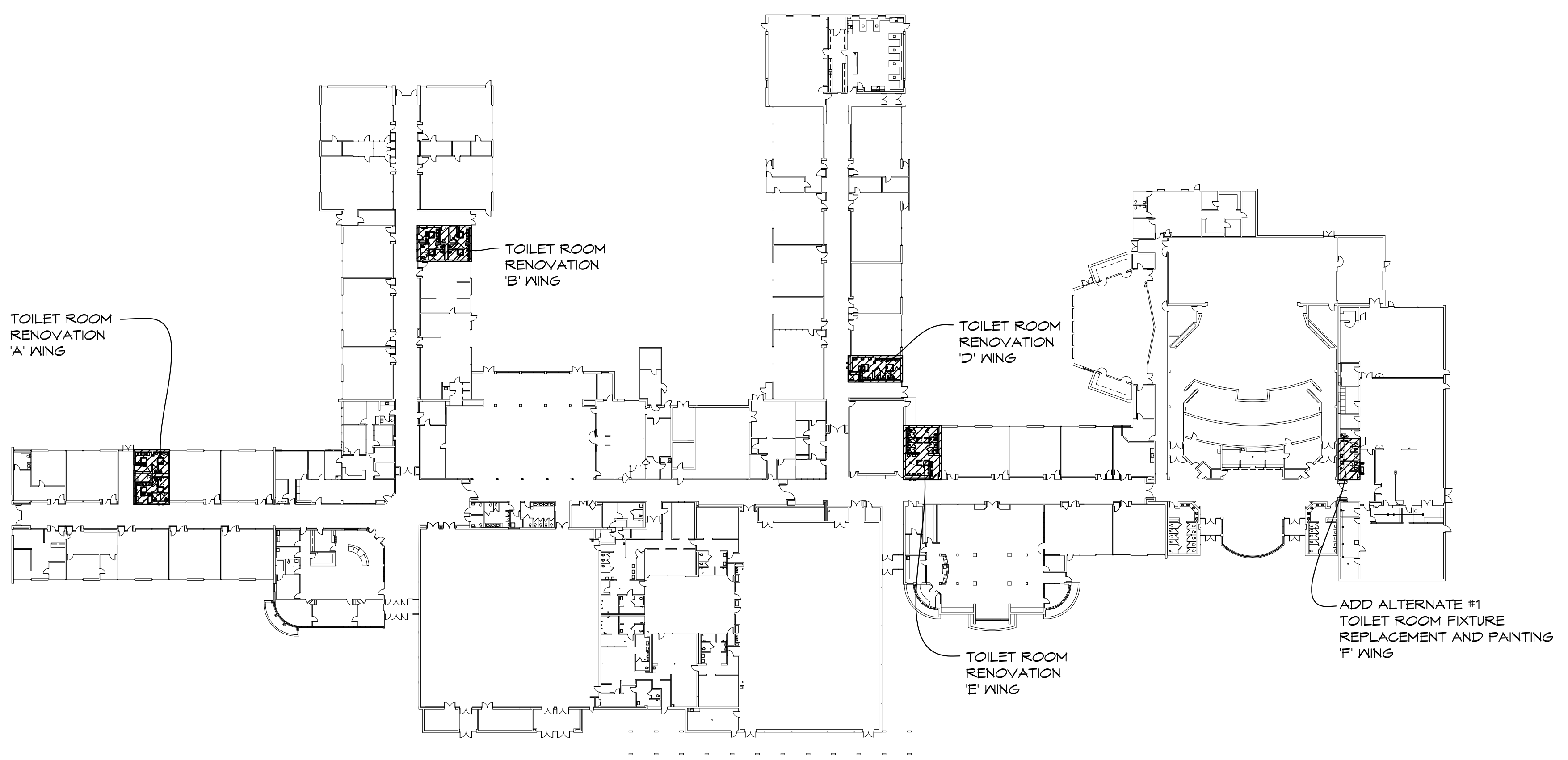
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

**PROJECT 'A'
 RENOVATIONS TO:
 BULLOCK CREEK HIGH SCHOOL**

1420 SOUTH BADOUR ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

- A-G001 TITLE SHEET
- A-A101 TOILET ROOM DEMOLITION PLANS
- A-A102 TOILET ROOM ENLARGED PLANS
- A-A103 TOILET ROOM REFLECTED CEILING PLANS
- A-A601 DOOR SCHEDULE, ROOM FINISH SCHEDULE, & DETAILS
- A-M101 MECHANICAL TOILET ROOM ENLARGED PLUMBING PLAN
- A-M102 MECHANICAL PARTIAL ROOF PLANS
- A-P101 'A' WING ENLARGED TOILET ROOM PLUMBING PLAN
- A-P102 'B' WING ENLARGED TOILET ROOM PLUMBING PLAN
- A-P103 'D' WING ENLARGED TOILET ROOM PLUMBING PLAN
- A-P104 'E' WING ENLARGED TOILET ROOM PLUMBING PLAN
- A-P105 'F' WING ENLARGED TOILET ROOM PLUMBING PLAN
- A-E000 ELECTRICAL COVER SHEET
- A-E101 TOILET ROOM ELECTRICAL DEMOLITION PLANS
- A-E102 TOILET ROOM ELECTRICAL PLANS
- A-E601 ELECTRICAL DETAILS AND SCHEDULES



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 Fax: (989) 798-9063
 www.wolgastconstruction.com

**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT# 24-120**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640

**PROJECT 'A'
 RENOVATIONS TO:
 BULLOCK CREEK HIGH SCHOOL**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640

1	APPENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. A-G001
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-G001
	SCALE N.T.S.	SHEET NO. 1 OF 16

R
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PROJECT 'A'

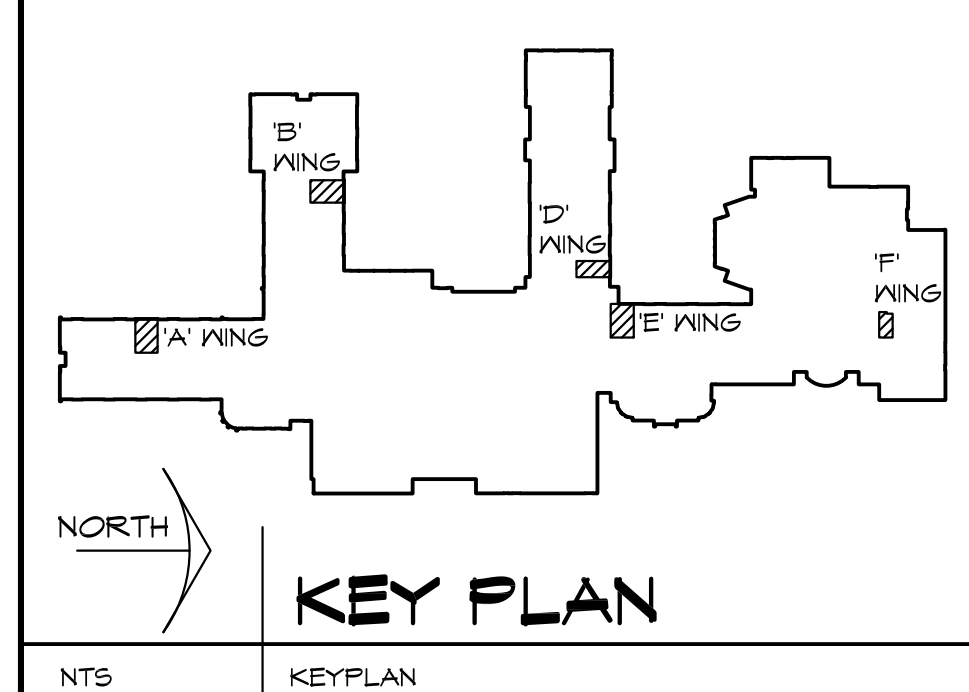
ACCESSORY LEGEND	
HD	HAND DRYER, RE: SPEC
M	MIRROR, RE: SPEC
SND	SANITARY NAPKIN DISPOSAL, RE: SPEC
GB	GRAB BAR, RE: SPEC
TPD	REINSTALL EXISTING TOILET PAPER DISPENSER
SD	REINSTALL EXISTING SOAP DISPENSER

GENERAL NOTES	
1.	EXISTING FINISH FLOOR ELEVATION VARIES, SEE PLAN.
2.	ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
3.	FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
4.	COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
5.	REPAIR ALL WALLS, AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.
6.	CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS TO REMAIN DURING CONSTRUCTION TO PREVENT DAMAGE.
7.	DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
8.	TOUCH UP PAINT AT ALL AREAS DISTURBED BY DEMOLITION AND NEW WORK.

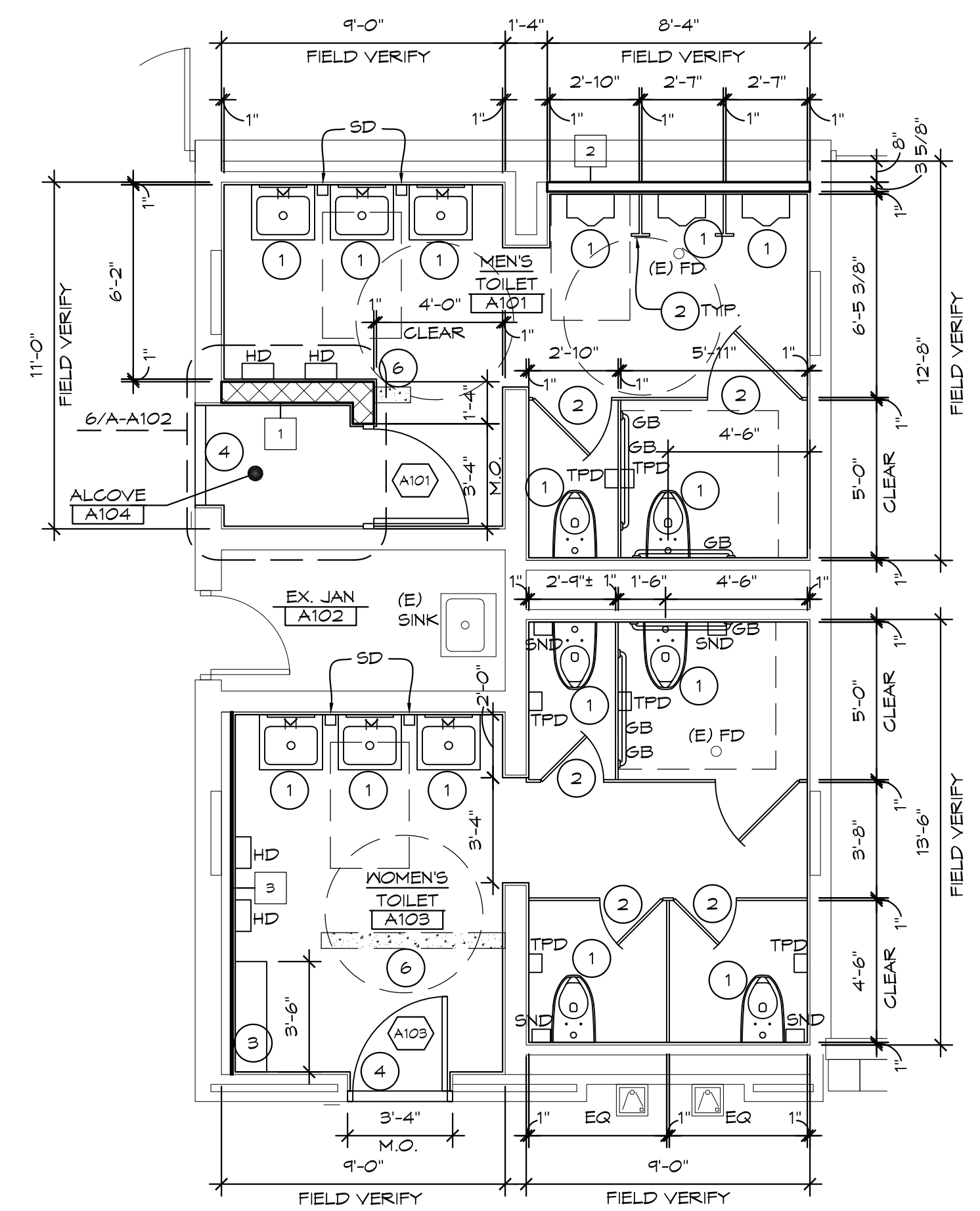
CONSTRUCTION NOTES	
1.	REINSTALL EXISTING PLUMBING FIXTURE, RE: PLUMBING DRAWINGS
2.	TOILET PARTITION/URINAL SCREEN, RE: SPEC
3.	SHELVING, RE: DETAIL 1/A-A102
4.	MARBLE THRESHOLD
5.	NEW PLUMBING FIXTURE, RE: PLUMBING DRAWINGS
6.	REPAIR EXISTING CONCRETE FLOOR, DOVEL INTO EXISTING CONCRETE SUBFLOOR 8" #4 BARS AT 12" O.C.

WALL TYPES	
1.	8" CMU WALL, EXTEND TO ROOF DECK, SEAL TIGHT FOR 1-HOUR RATING
2.	4" CMU WALL, EXTEND TO ROOF DECK
3.	3 5/8" METAL STUD FRAMING AT 16" O.C. WITH 5/8" GYPSUM BOARD ONE SIDE, EXTEND TO ROOF DECK

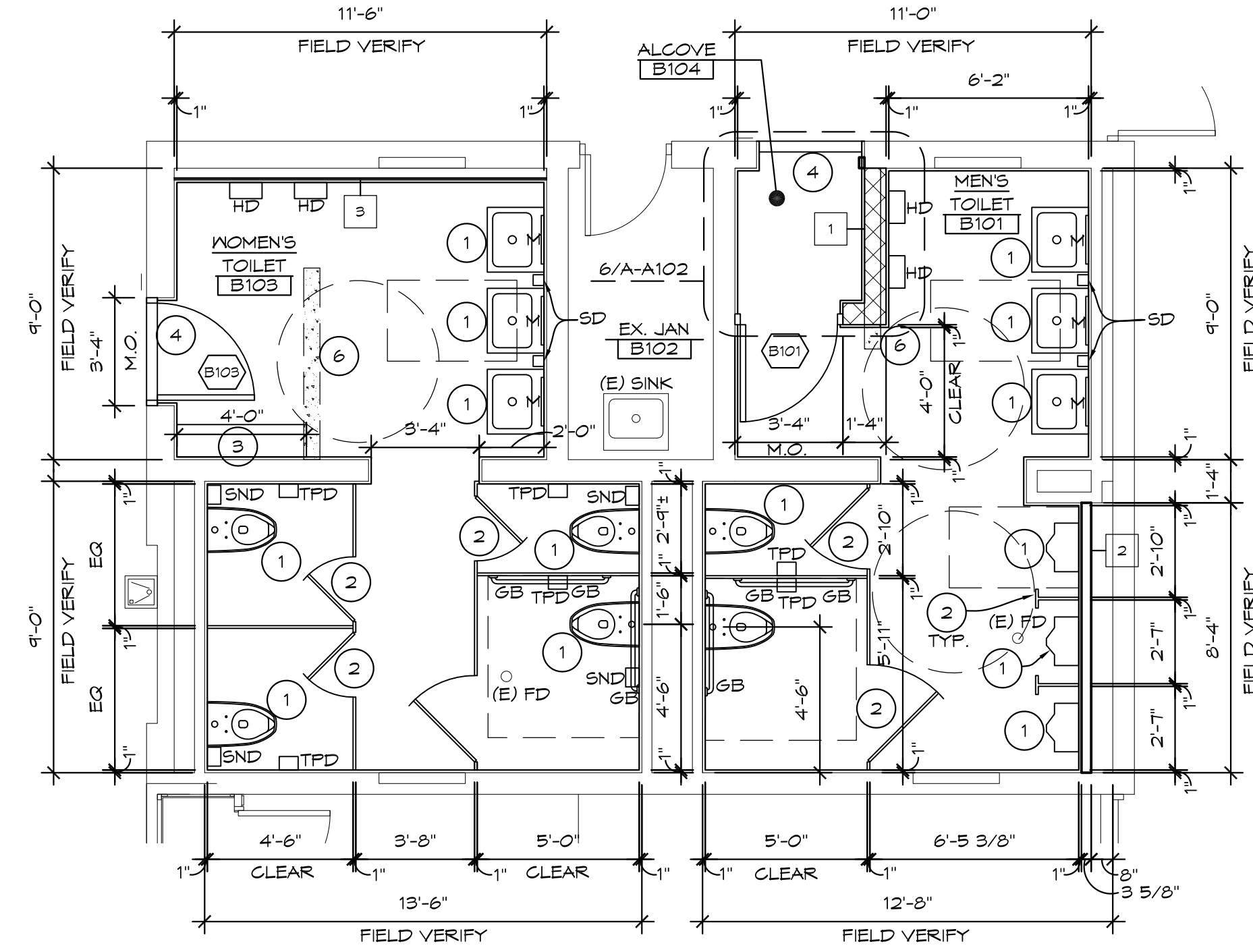
NOTE: REFER TO SHEET A-A101 FOR ADDITIONAL GENERAL CONSTRUCTION NOTES



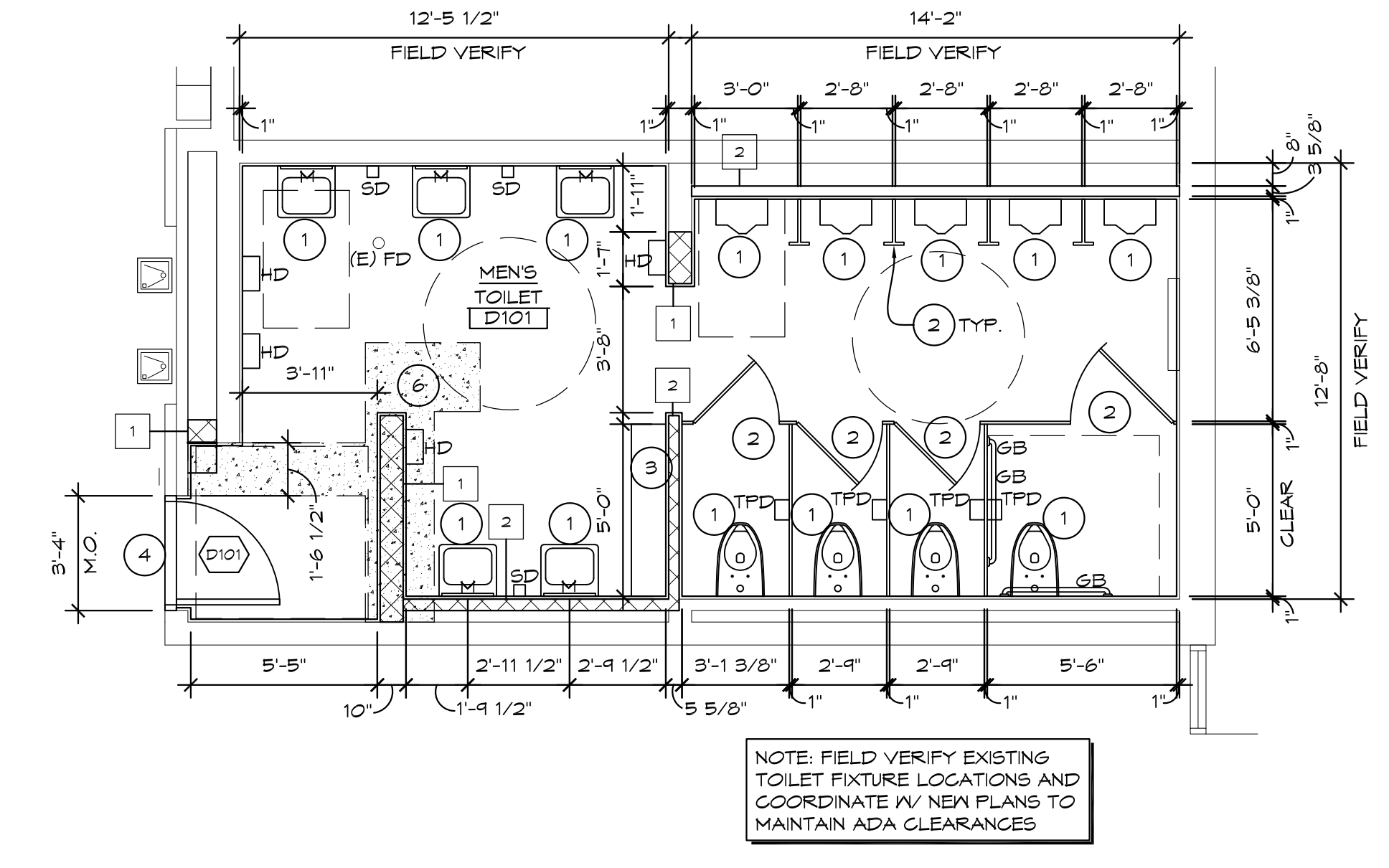
KEY PLAN	
NTS	KEYPLAN
1	APPENDUM #1
NO.	REVISIONS / SUBMISSIONS
	DATE



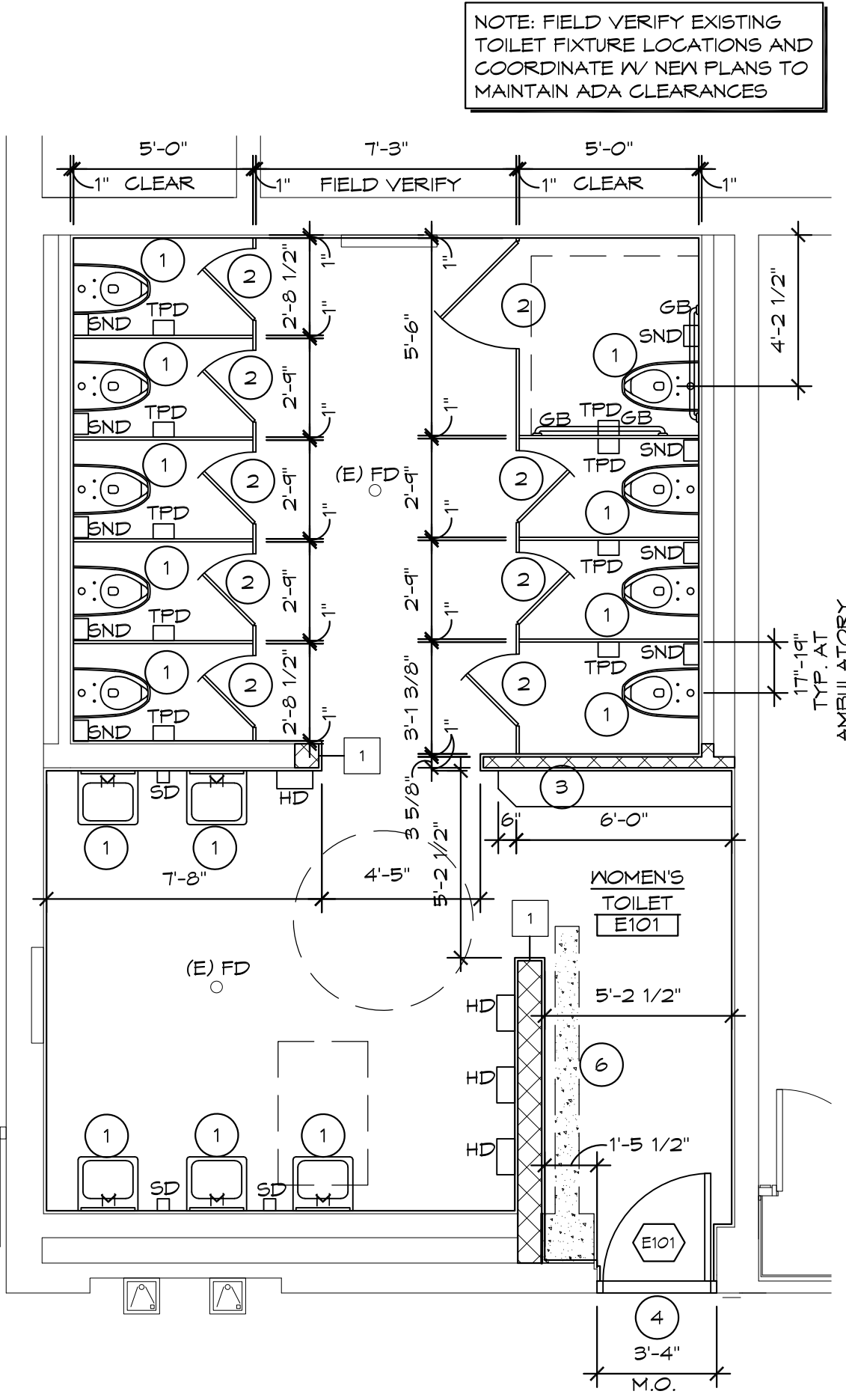
1 'A' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



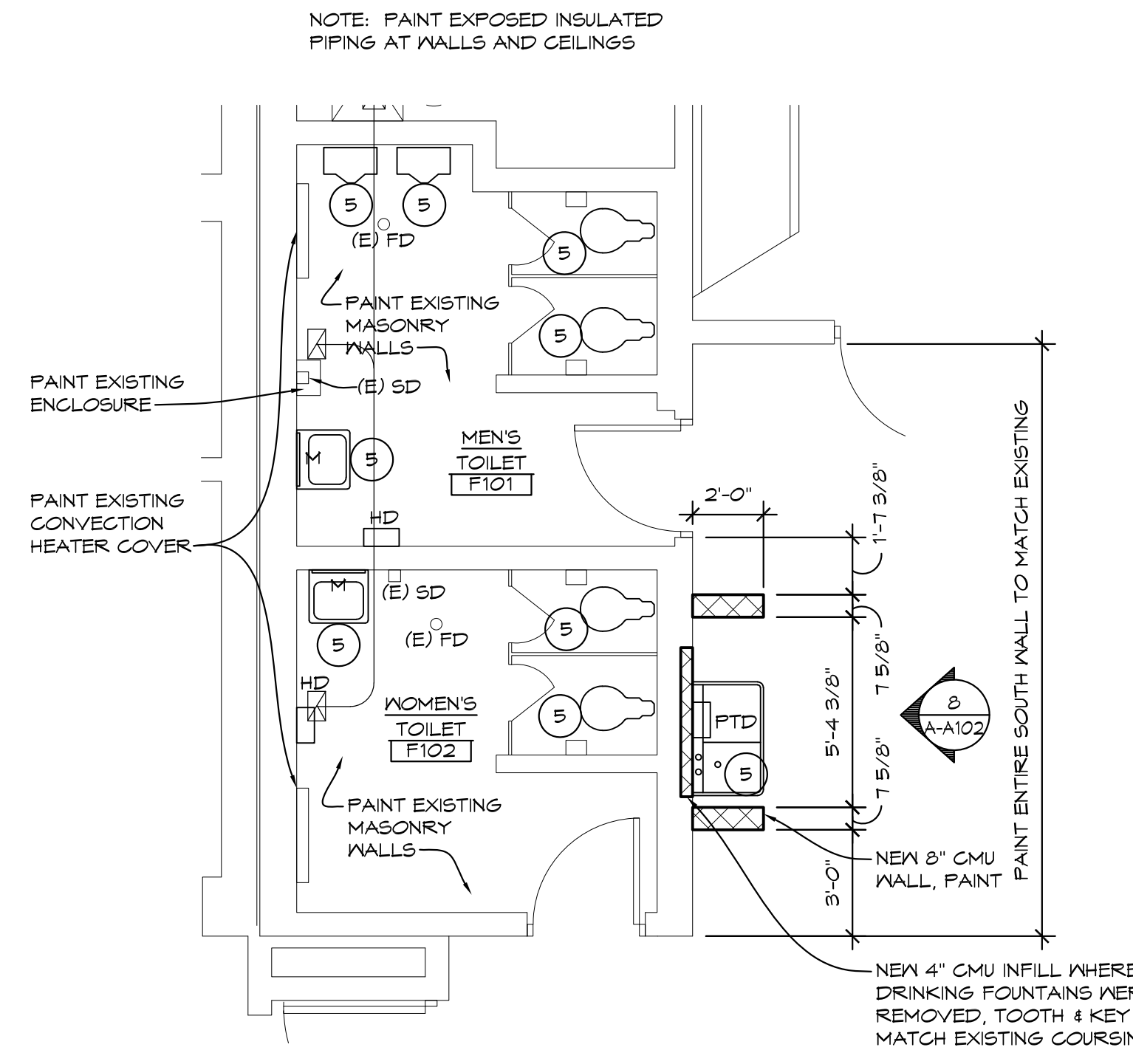
2 'B' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



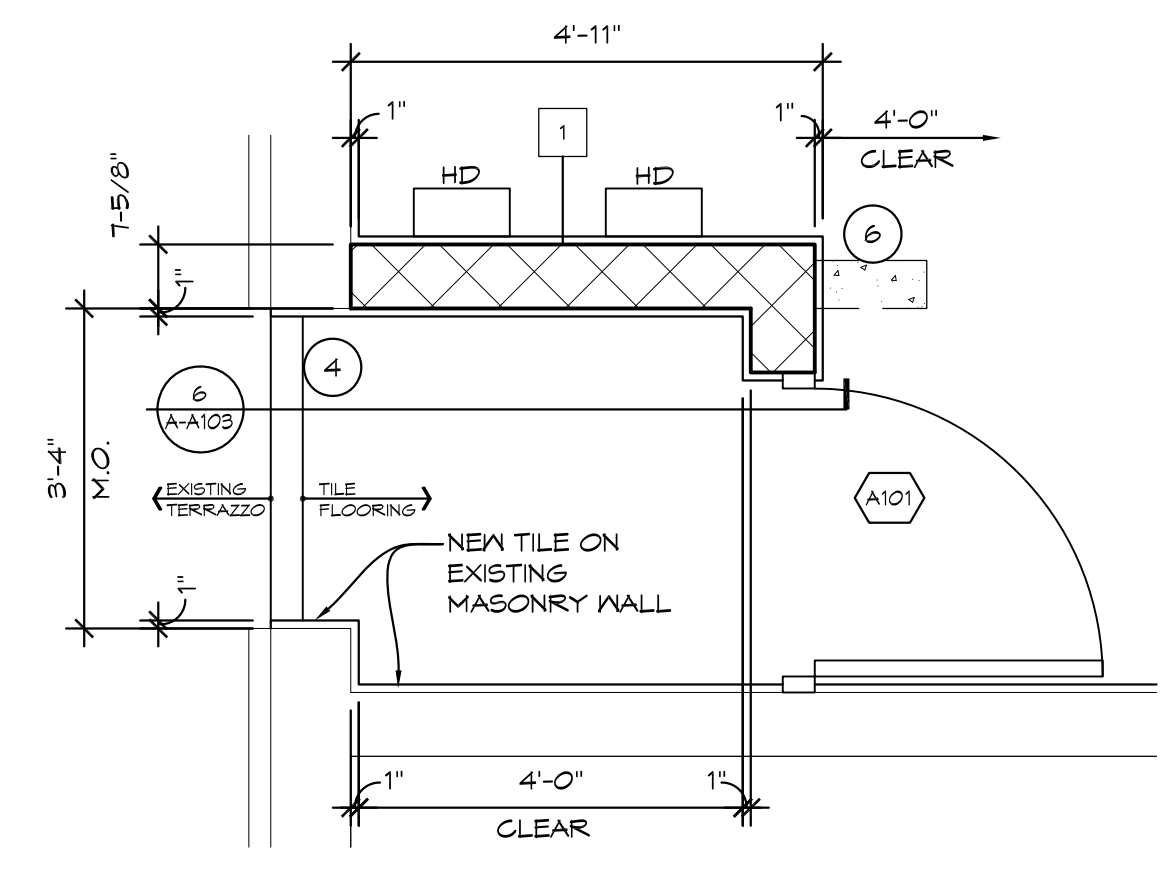
3 'D' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



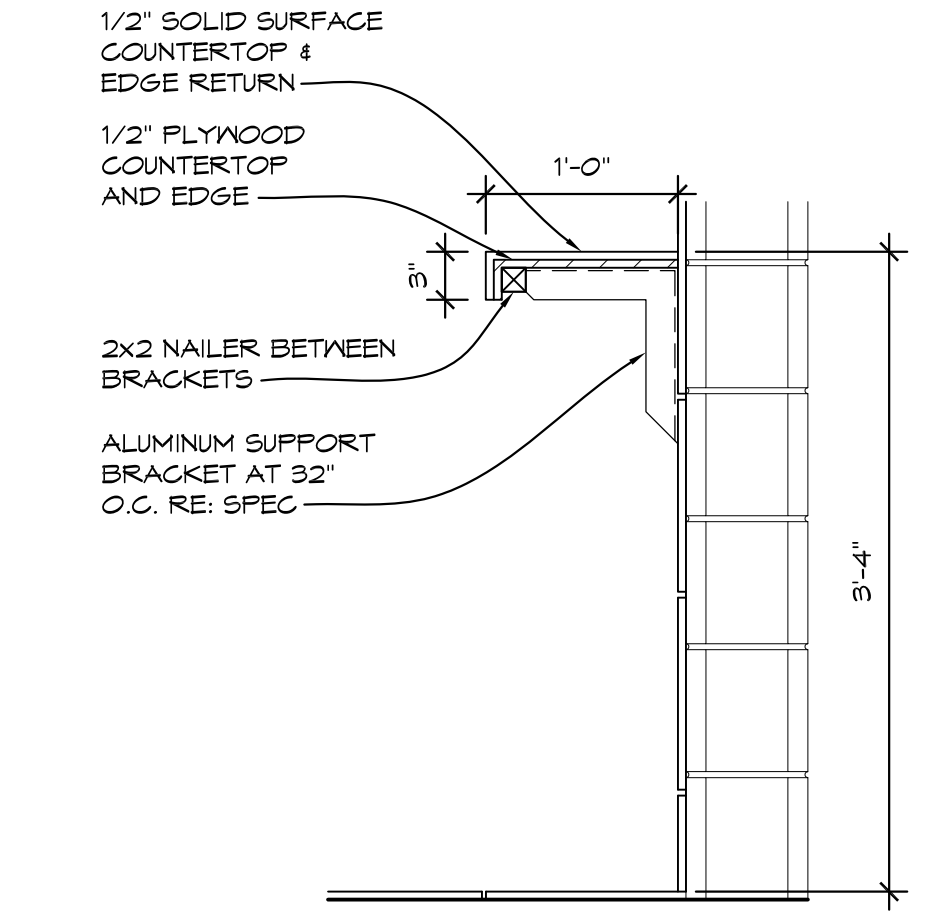
4 'E' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



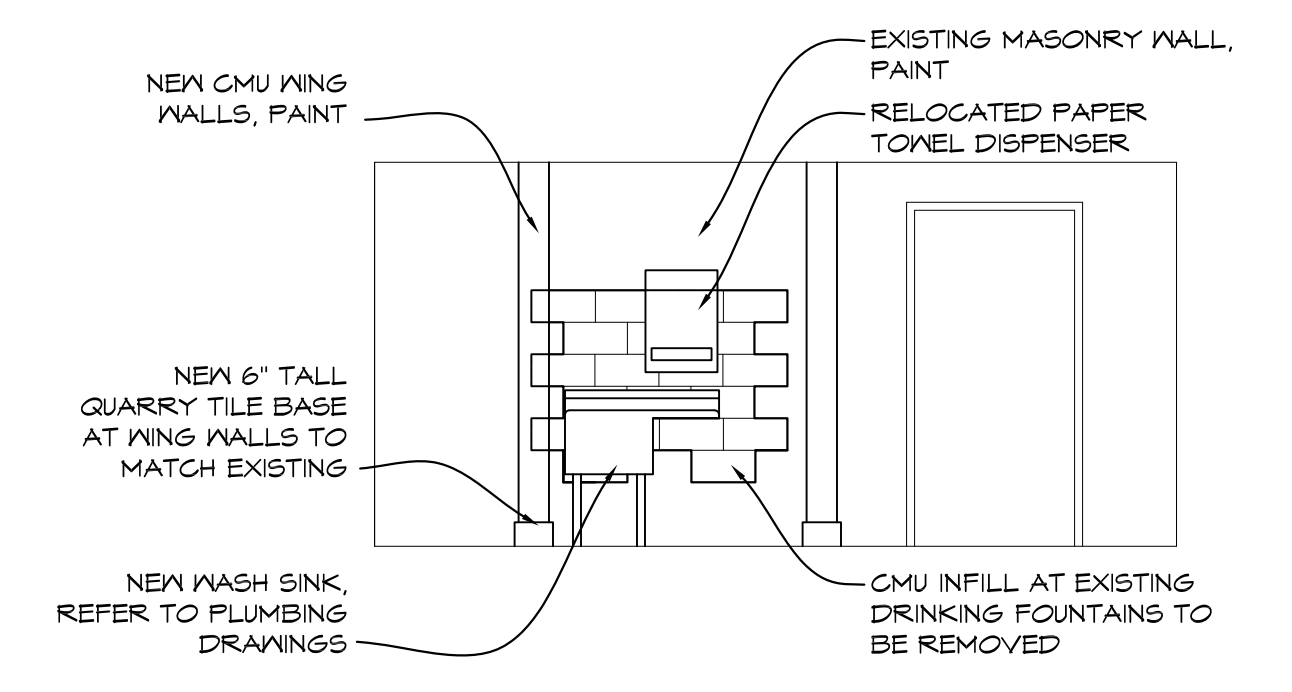
5 ADD ALTERNATE #1 'F' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



6 ENLARGED PLAN
1/2" = 1'-0" X01



7 SHELF DETAIL
1" = 1'-0" DETL01



8 ADD ALTERNATE #1 INTERIOR ELEVATION
1/4" = 1'-0" ELEV01

THA
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Ph: 810-767-5600 | THA-Flint.com

PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
TOILET ROOM ENLARGED PLANS

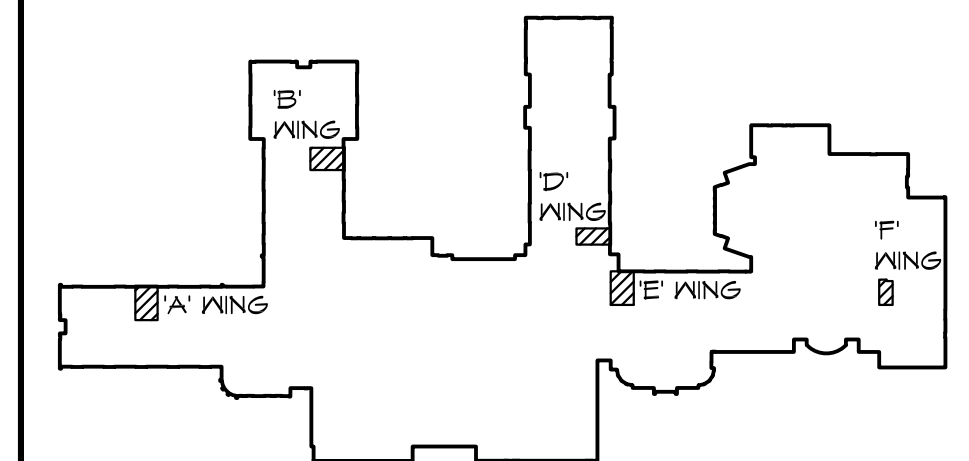
SEAL	DRAWN	PROJECT NO.
	KRS	24-120
	CHECKED	CAD FILE NO.
	JESS	A-A102
	REVIEWED	DRAWING NO.
	MLB	A-A102
	DATE	SHEET NO.
	OCT 18, 2024	3 OF 12
	SCALE	
	AS NOTED	

GENERAL NOTES

- EXISTING FINISH FLOOR ELEVATION VARIES, SEE PLAN.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
- COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
- REPAIR ALL WALLS, AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS TO REMAIN DURING CONSTRUCTION TO PREVENT DAMAGE.
- DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
- TOUCH UP PAINT AT ALL AREAS DISTURBED BY DEMOLITION AND NEW WORK.

CEILING LEGEND

- 2x2 SUSPENDED LAY-IN CEILING w/ HOLD DOWN CLIPS
- NEW 1x4 LIGHT FIXTURE, RE: ELECTRICAL PLANS
- NEW DOWNLIGHT FIXTURE, RE: ELECTRICAL PLANS
- NEW SURFACE MOUNTED LIGHT FIXTURE, RE: ELECTRICAL PLANS
- NEW EXHAUST GRILLE, RE: MECHANICAL PLANS



KEY PLAN

NTS KEYPLAN

NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM #1	11/14/24

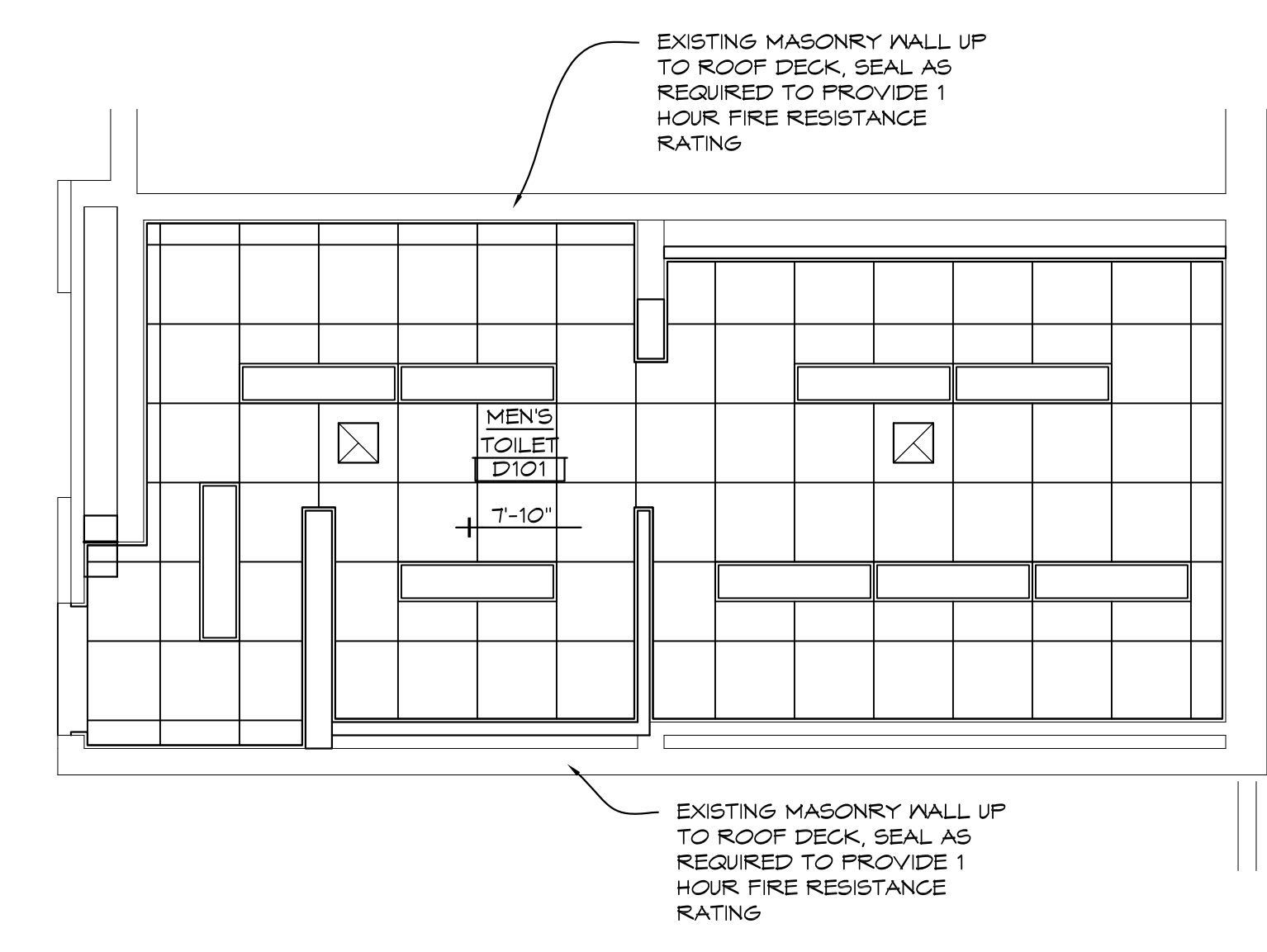
THA
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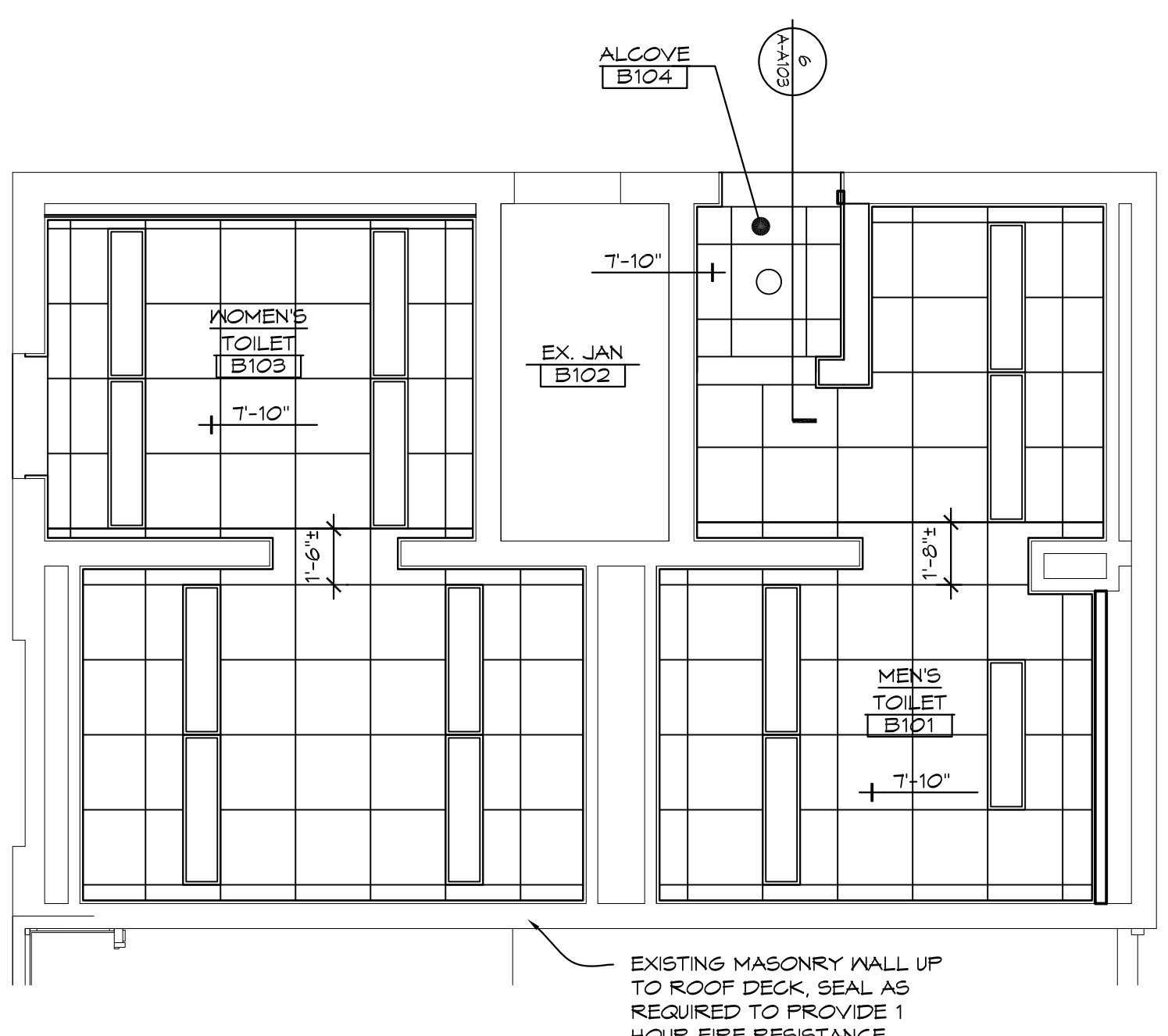
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

TOILET ROOM REFLECTED CEILING PLANS

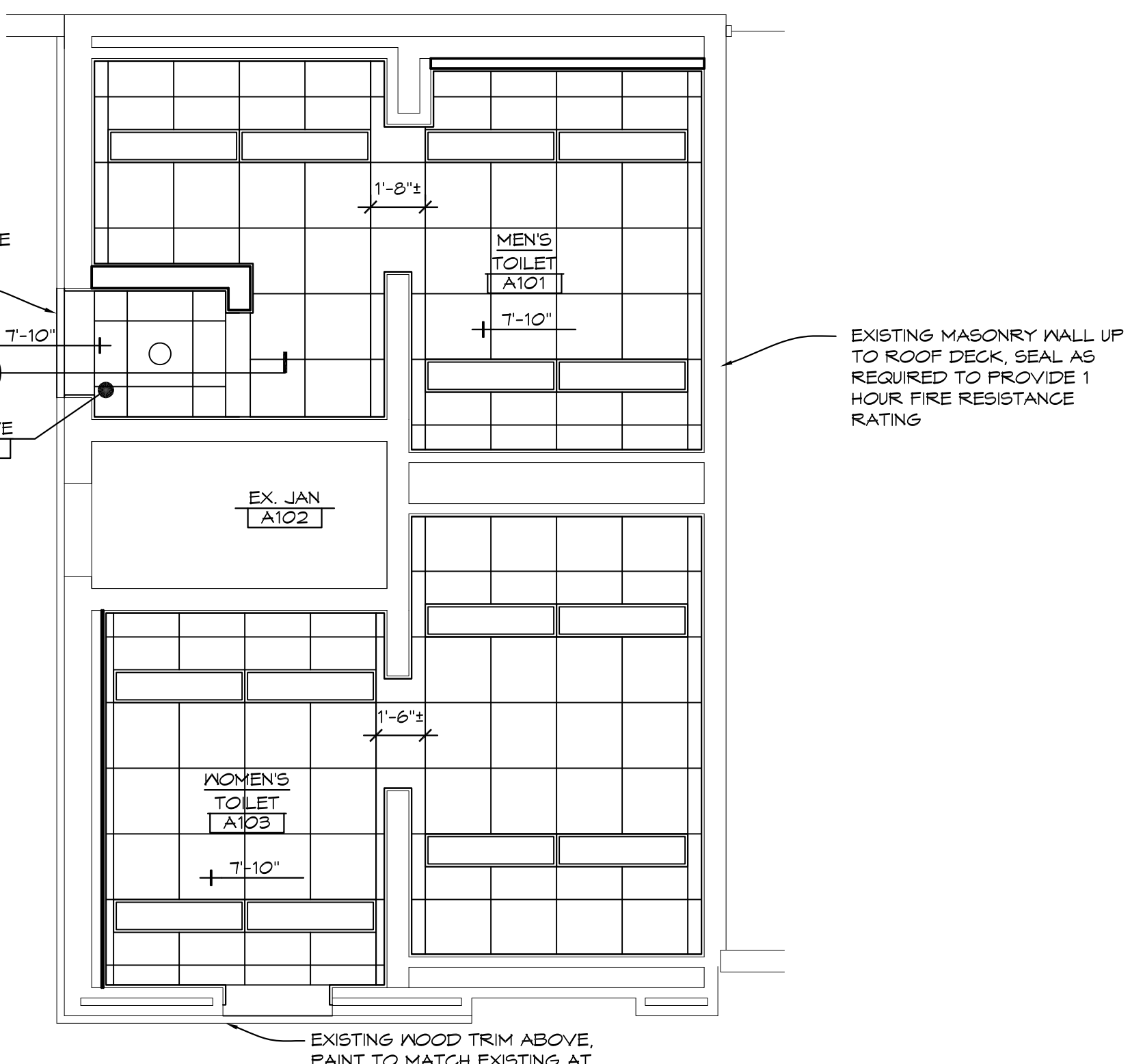
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. A-A103
	REVIEWED MLB	DRAWING NO. A-A103
	DATE OCT 18, 2024	SHEET NO. 4 OF 16
	SCALE AS NOTED	



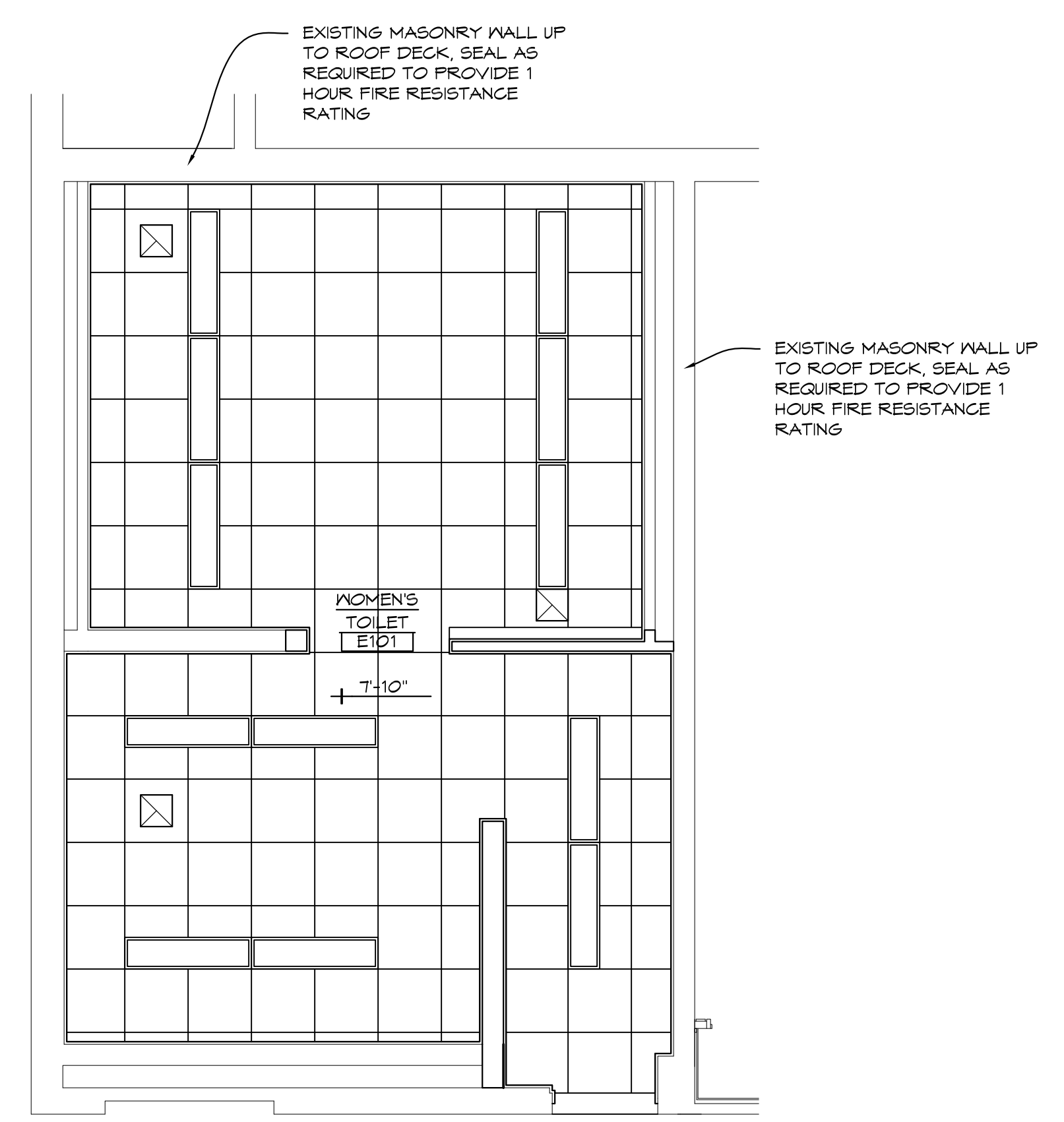
3 'D' WING TOILET ROOM REFLECTED CEILING PLAN
1/4" = 1'-0" X01



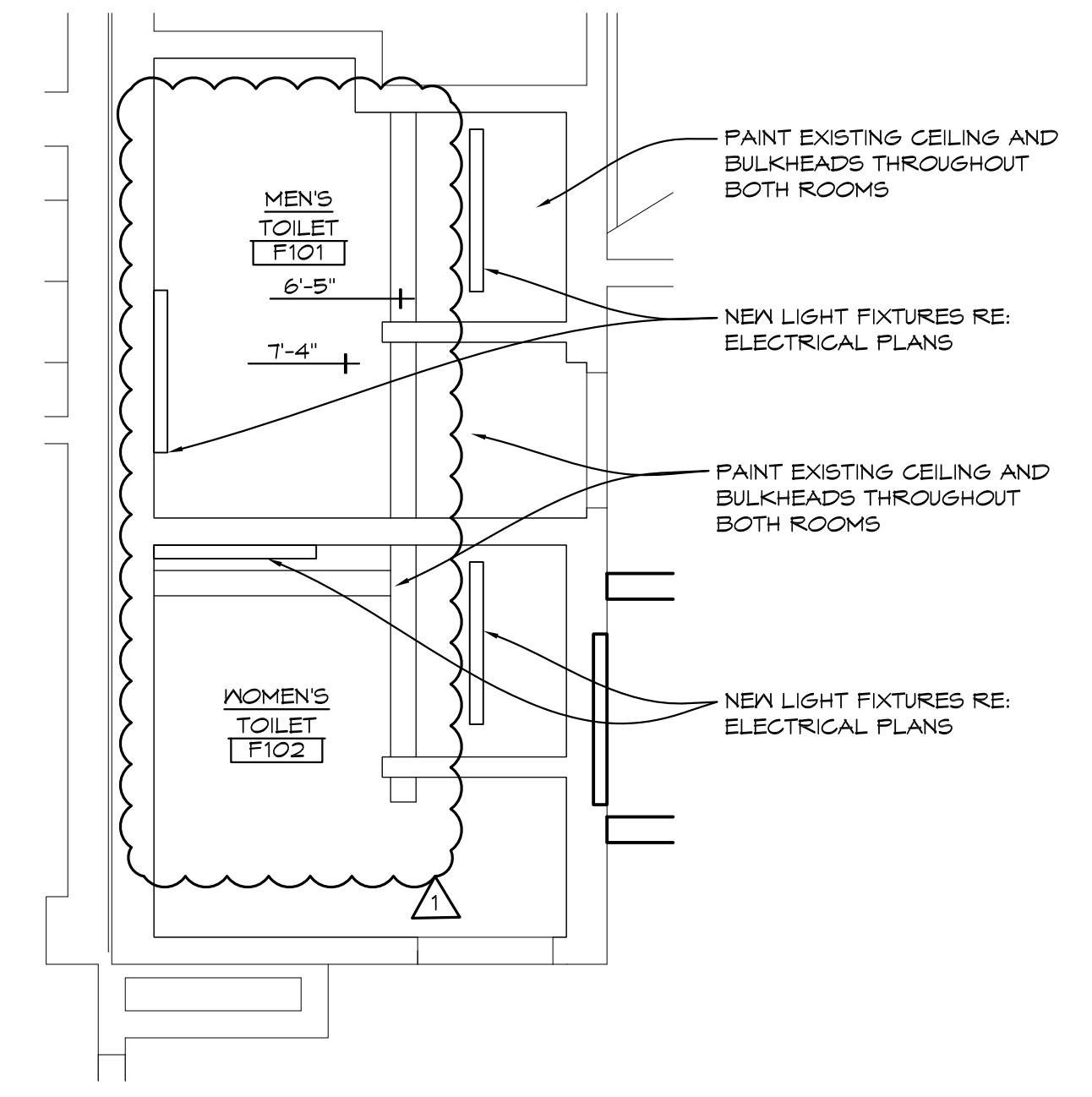
2 'B' WING TOILET ROOMS REFLECTED CEILING PLAN
1/4" = 1'-0" X01



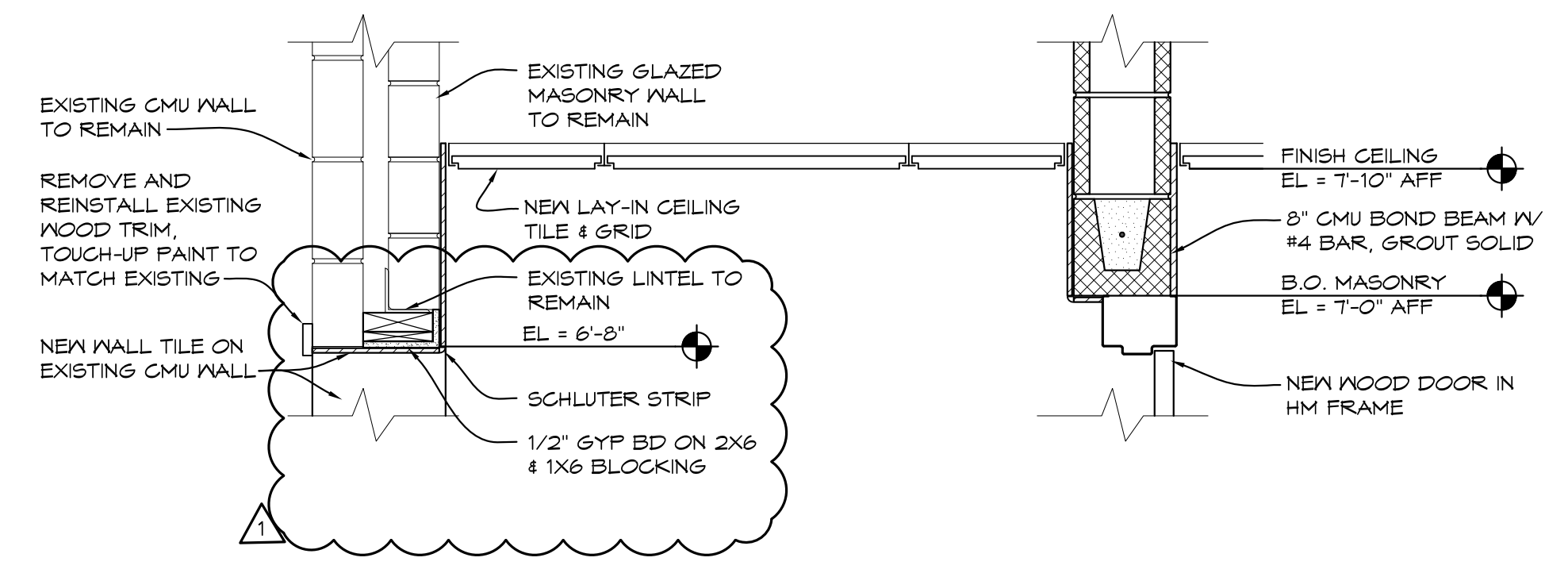
1 'A' WING TOILET ROOMS REFLECTED CEILING PLAN
1/4" = 1'-0" X01



4 'E' WING TOILET ROOM REFLECTED CEILING PLAN
1/4" = 1'-0" X01



5 'F' WING TOILET ROOMS REFLECTED CEILING PLAN
1/4" = 1'-0" X01



6 BULKHEAD DETAIL
1" = 1'-0" DETL02

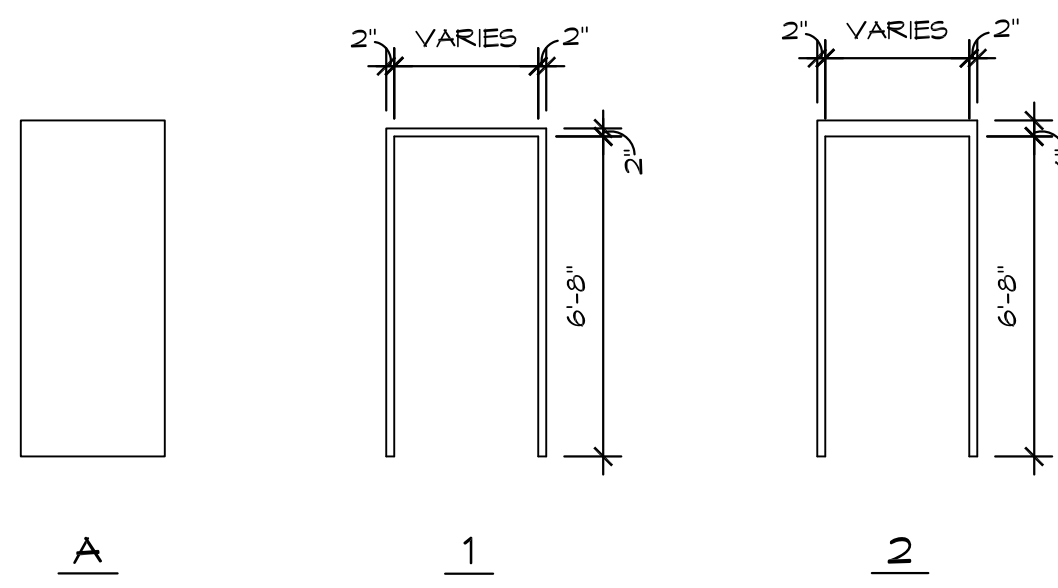
R
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

DOOR & FRAME SCHEDULE

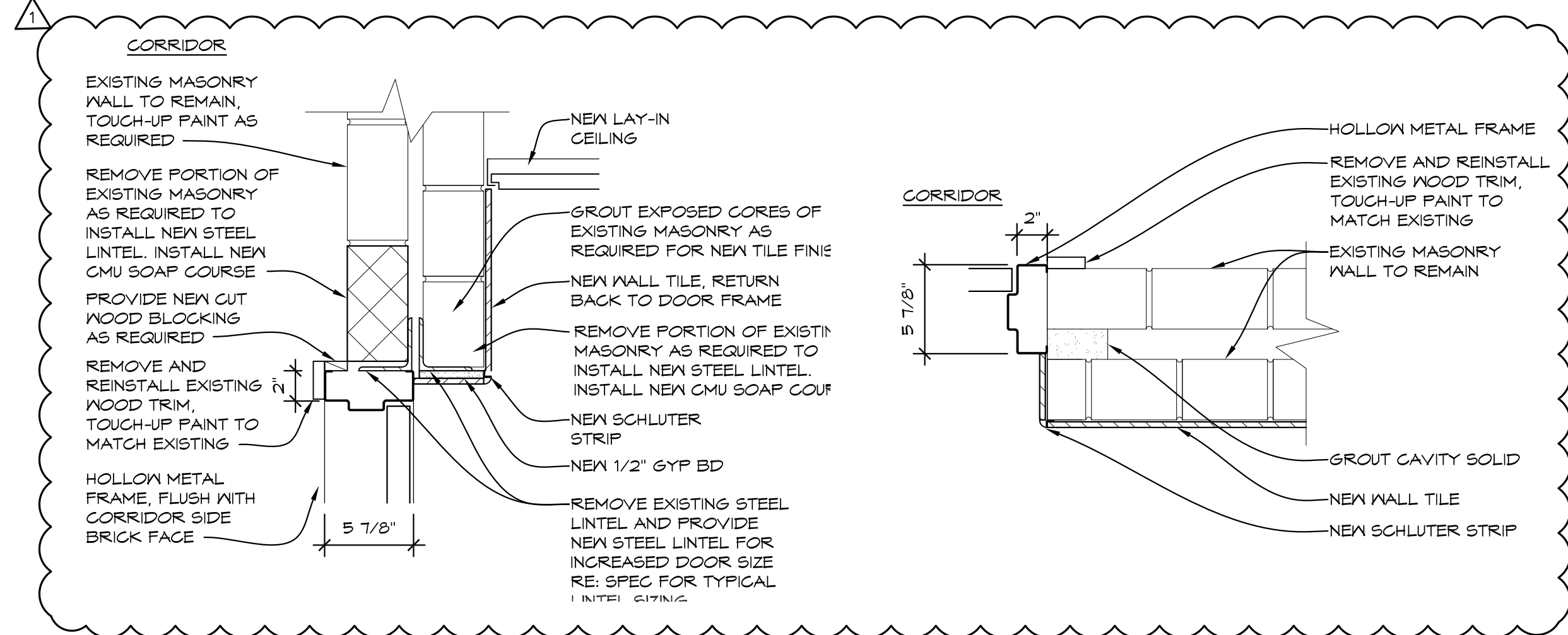
DOOR NO.	DOOR			FRAME			FIRE RATING (MINUTES)	HARDWARE	NOTES	
	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD				JAMB
A101	3'-0" x 6'-8"	A	ND	2	HM	3/A-A601	4 4 5/A-A601	0	01	1, 2
A103	3'-0" x 6'-8"	A	ND	1	HM	1/A-A601	2/A-A601	0	0B	1, 2
B101	3'-0" x 6'-8"	A	ND	2	HM	3/A-A601	4 4 5/A-A601	0	01	1, 2
B103	3'-0" x 6'-8"	A	ND	1	HM	1/A-A601	2/A-A601	0	0B	1, 2
D101	3'-0" x 6'-1 1/4"	A	ND	1	HM	1/A-A601	2/A-A601	0	01	1, 2
E101	3'-0" x 6'-1 1/4"	A	ND	1	HM	1/A-A601	2/A-A601	0	01	1, 2

- NOTES:
 1. UNDER CUT DOORS
 2. FIELD VERIFY ALL EXISTING DOOR SIZES



DOOR AND FRAME ELEVATIONS

1/4" = 1'-0"



1 HEAD DETAIL

1 1/2" = 1'-0" JAMB01

2 JAMB DETAIL

1 1/2" = 1'-0" JAMB01

3 HEAD DETAIL

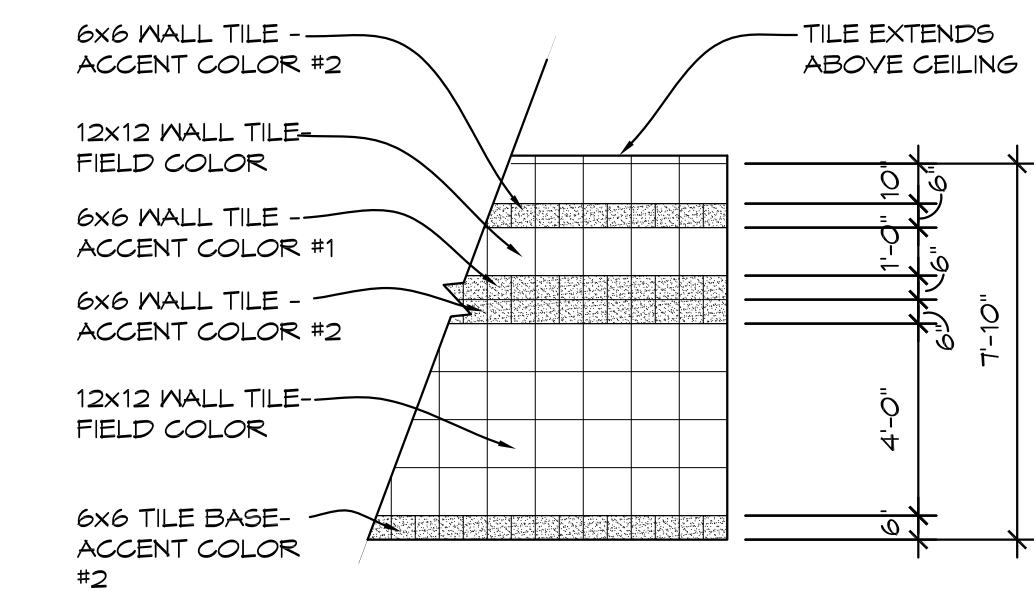
1 1/2" = 1'-0" JAMB01

4 JAMB DETAIL

1 1/2" = 1'-0" JAMB01

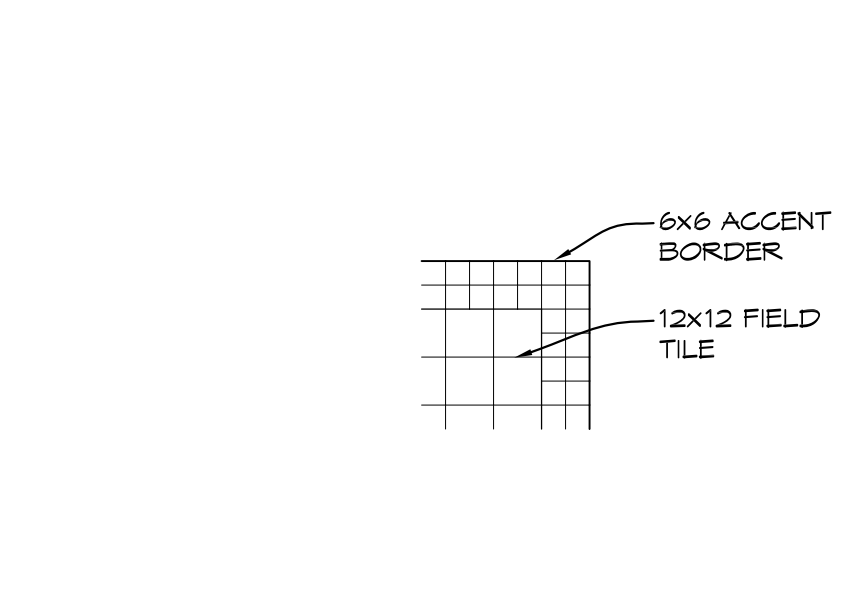
5 JAMB DETAIL

1 1/2" = 1'-0" JAMB01



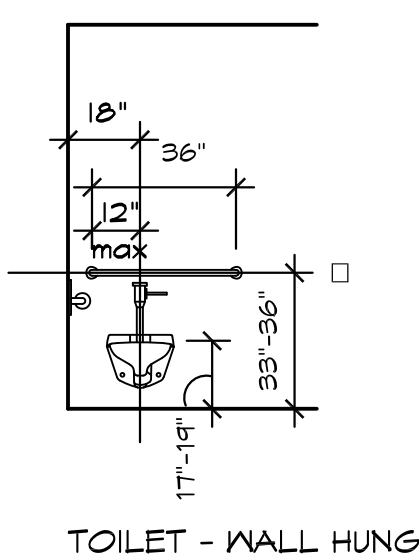
6 TYPICAL WALL TILE PATTERN ELEVATION

1/4" = 1'-0" INTELEV

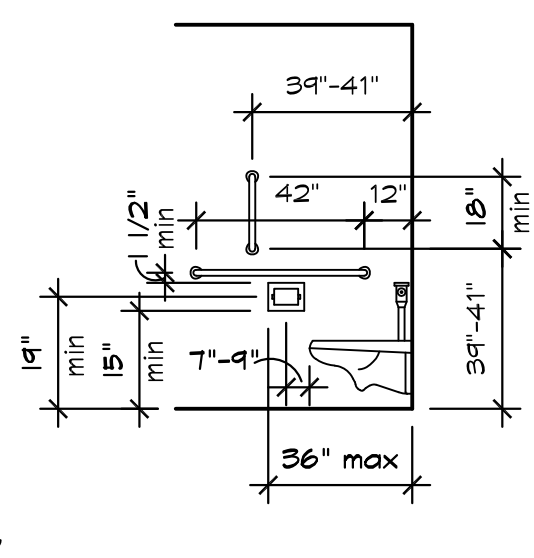


7 TYPICAL FLOOR TILE PATTERN DETAIL

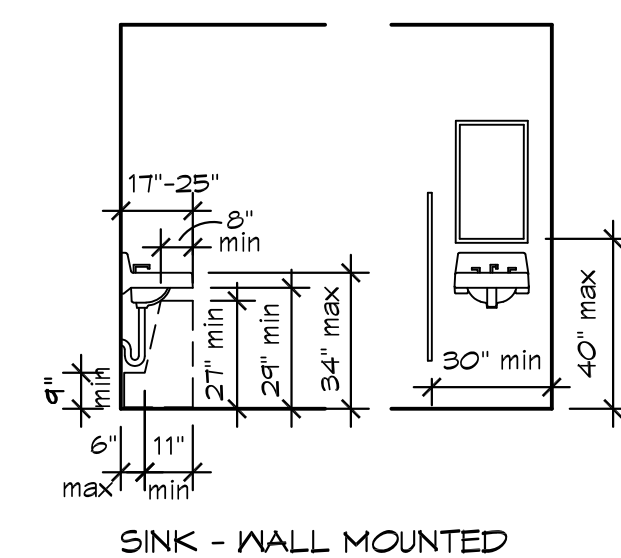
1/4" = 1'-0" INTELEV



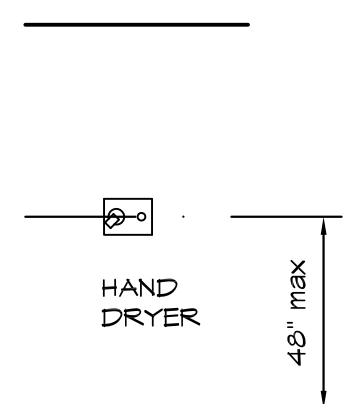
TOILET - WALL HUNG



URINAL - WALL MTD



SINK - WALL MOUNTED



MOUNTING HEIGHTS - MISCELLANEOUS

8 TYPICAL BARRIER FREE MOUNTING HEIGHTS

1/4" = 1'-0"

ROOM FINISH SCHEDULE

ROOM NO.	ROOM TITLE	FLOOR		BASE				WALLS				CEILING		ACCESSORIES	NOTES
		MATERIAL	MATERIAL	NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	MATERIAL	HEIGHT				
A101	MEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01					N01, N02
A102	EX JANITOR	F02	B02	A02	A02	A02	A02	C02	---						
A103	WOMEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02					N01, N02
A104	ALCOVE	F01	B01	A01	A01	A01	A01	C01	7'-10"						N04
B101	MEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01					N01, N02
B102	EX JANITOR	F02	B02	A02	A02	A02	A02	C02	---						
B103	WOMEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02					N01, N02
B104	ALCOVE	F01	B01	A01	A01	A01	A01	C01	7'-10"						N04
D101	MEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02					N01, N02
E101	WOMEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02					N01, N02
F101	MEN'S TOILET	F02	B02	A03	A03	A03	A03	C03	---	A01					N03
F102	WOMEN'S TOILET	F02	B02	A03	A03	A03	A03	C03	---	A01					N03

ROOM FINISH LEGEND

FLOOR	BASE	WALLS	CEILING	ACCESSORIES	NOTES
F01: PORCELAIN TILE OVER EXISTING TERRAZZO FLOOR	B01: 6" PORCELAIN TILE	A01: PORCELAIN TILE, RE: 6/A-A601	C01: 2x2 LAY-IN CEILING TILE	A01: TOILET ROOM ACCESSORIES, RE: SPEC	N01: REMOVE EXISTING CONVECTION HEATER UNIT COVERS AND INSTALL NEW RE: MESH/ANGULAR PLANS
F02: EXISTING	B02: EXISTING	A02: EXISTING	C02: EXISTING	A02: SHELF, RE: 1/A-A102	N02: REINSTALL EXISTING FIRE ALARM NOTIFICATION DEVICES
		A03: PAINT EXISTING MASONRY	C03: EXISTING CONC. PAINT		N03: PAINT EXISTING CONVECTION HEATER UNIT COVERS
					N04: PAINT HEADER WHERE EXISTING DOOR WAS REMOVED

GENERAL NOTES

- EXISTING FINISH FLOOR ELEVATION VARIES. SEE PLAN.
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- COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
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- DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
- TOUCH UP PAINT AT ALL AREAS DISTURBED BY DEMOLITION AND NEW WORK.

1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

THA
 Architects Engineers
 817 E. Kearsley St. | Flint, MI 48503
 Ph: 810-767-5600 | THA-Flint.com

PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
 1420 SOUTH BADOUR ROAD
 MIDLAND, MI

DRAWING TITLE

DOOR SCHEDULES, ROOM FINISH SCHEDULE, & DETAILS

DRAWN	KRS	PROJECT NO.	24-120
CHECKED	JESS	CAD FILE NO.	A-A601
REVIEWED	MLB	DRAWING NO.	A-A601
DATE	OCT 18, 2024	SHEET NO.	5 OF 16
SCALE	AS NOTED		

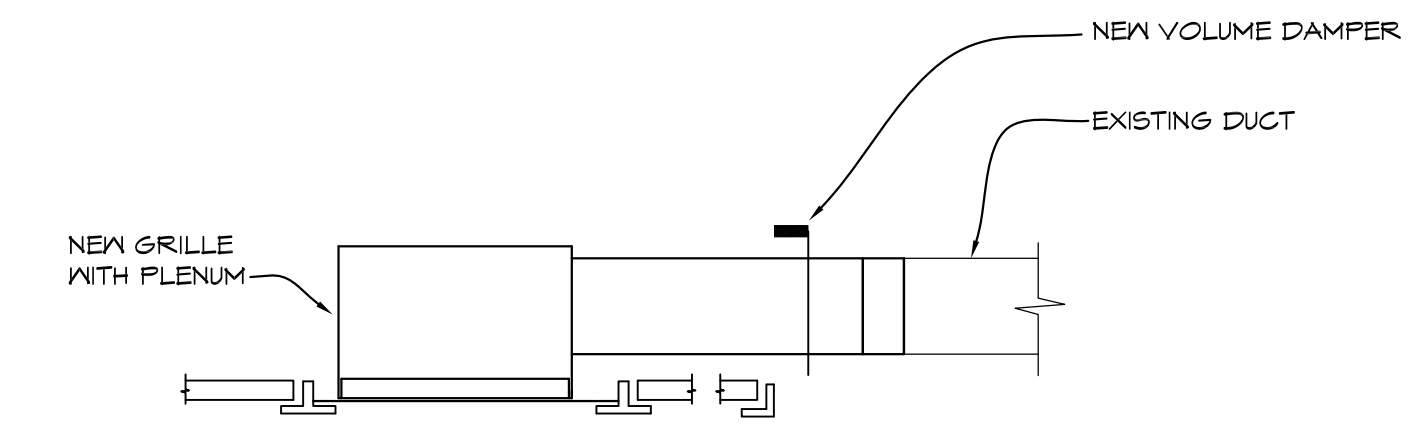
GENERAL MECHANICAL NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONVECTOR COVERS FOR SIZES & GRILLE OPENINGS PRIOR TO ORDERING

PROJECT 'A'

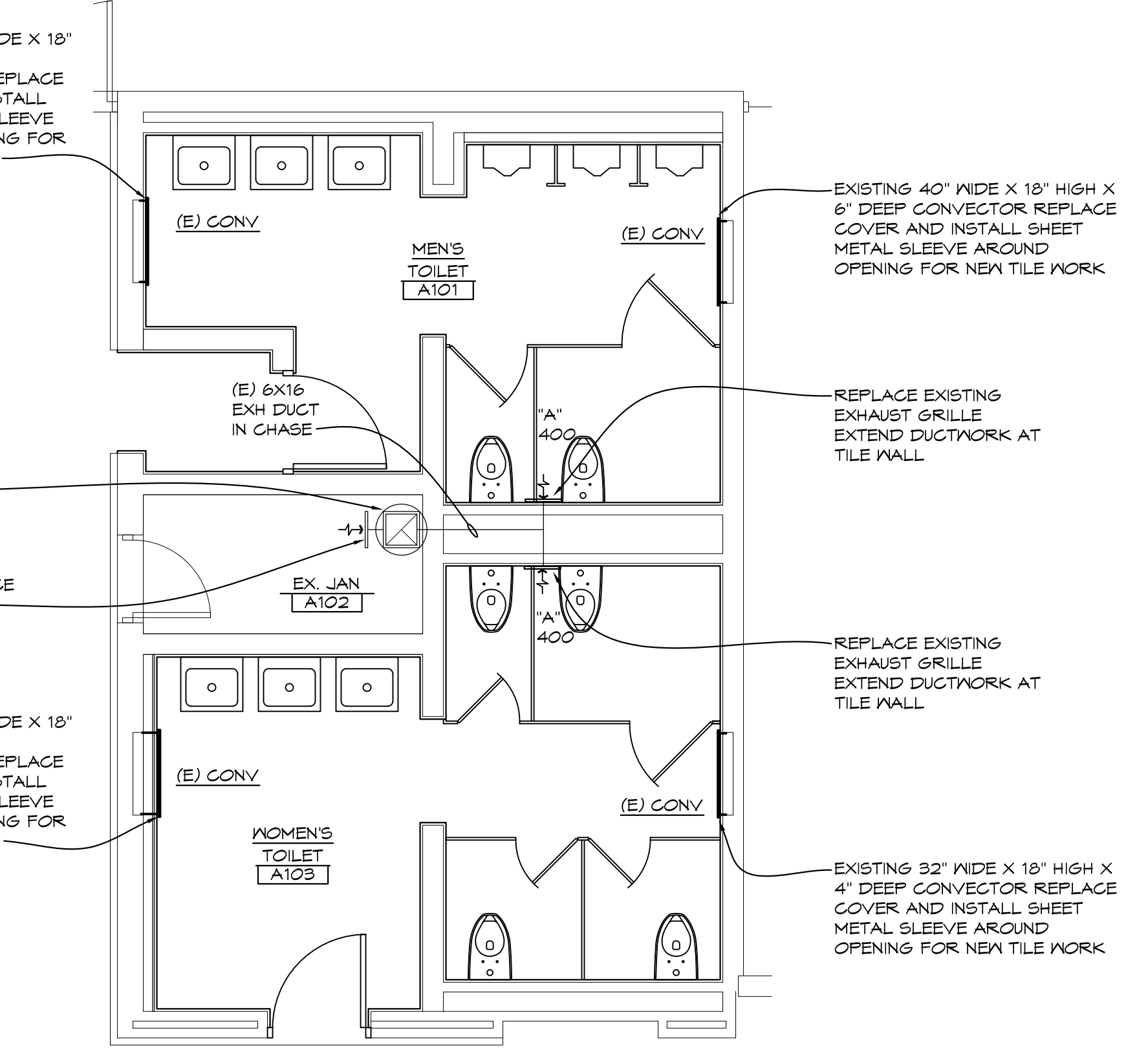
GRILLE AND DIFFUSER SCHEDULE

- 'A' TITUS EXHAUST GRILLE MODEL 4FL, 45° FIXED DEFLECTION, SURFACE MOUNTED, WITH OPPOSED BLADE DAMPERS, WHITE FINISH, 12X16 GRILLE, (FIELD VERIFY GRILLES OPENING PRIOR TO ORDERING)
- 'B' TITUS EXHAUST/RETURN GRILLE MODEL 50F, 1/2X1/2X1/2 ALUMINUM EGG GRATE, 20X20 NECK, PANEL MOUNTED FOR LAY-IN CEILING, WHITE FINISH, PROVIDE WITH 20X20X10 PLENUM PAINTED FLAT BLACK ON INSIDE



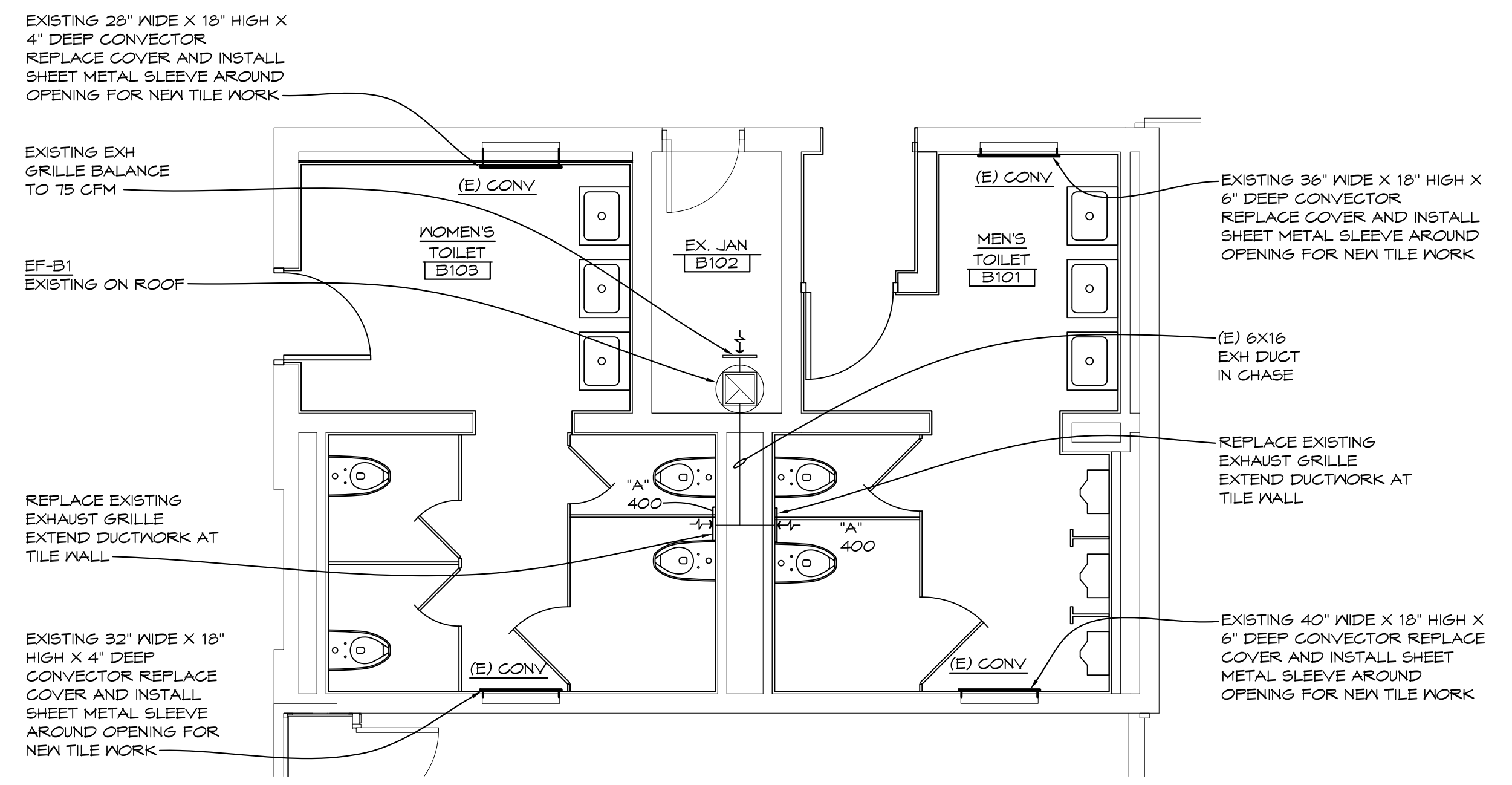
EXHAUST GRILLE DETAIL

NO SCALE



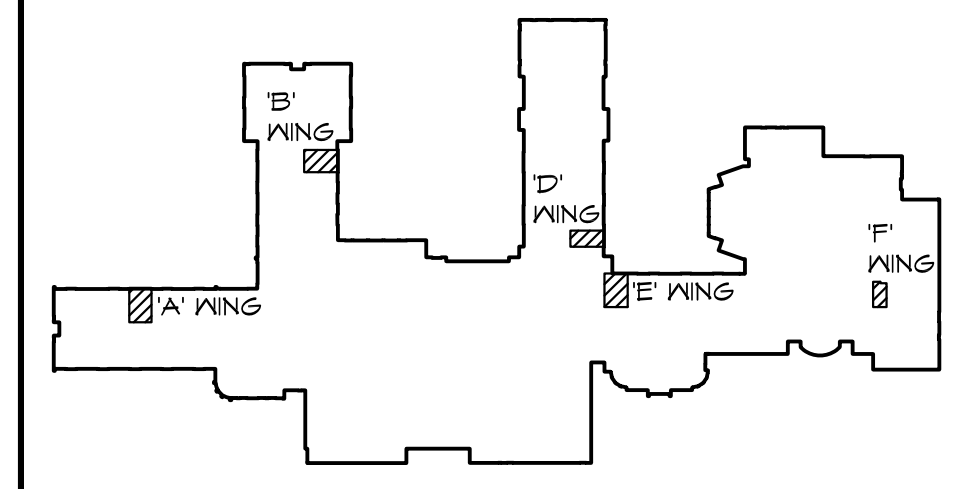
'A' WING TOILET ROOMS ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



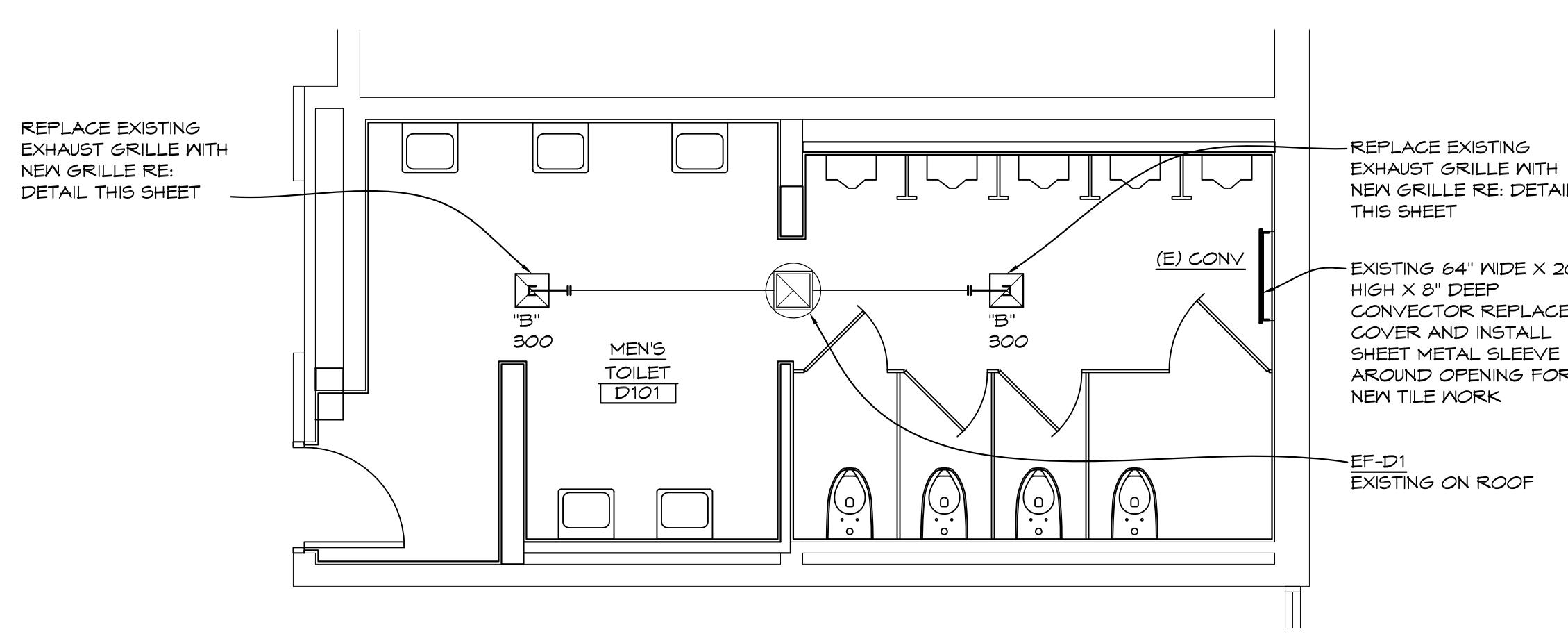
'B' WING TOILET ROOMS ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



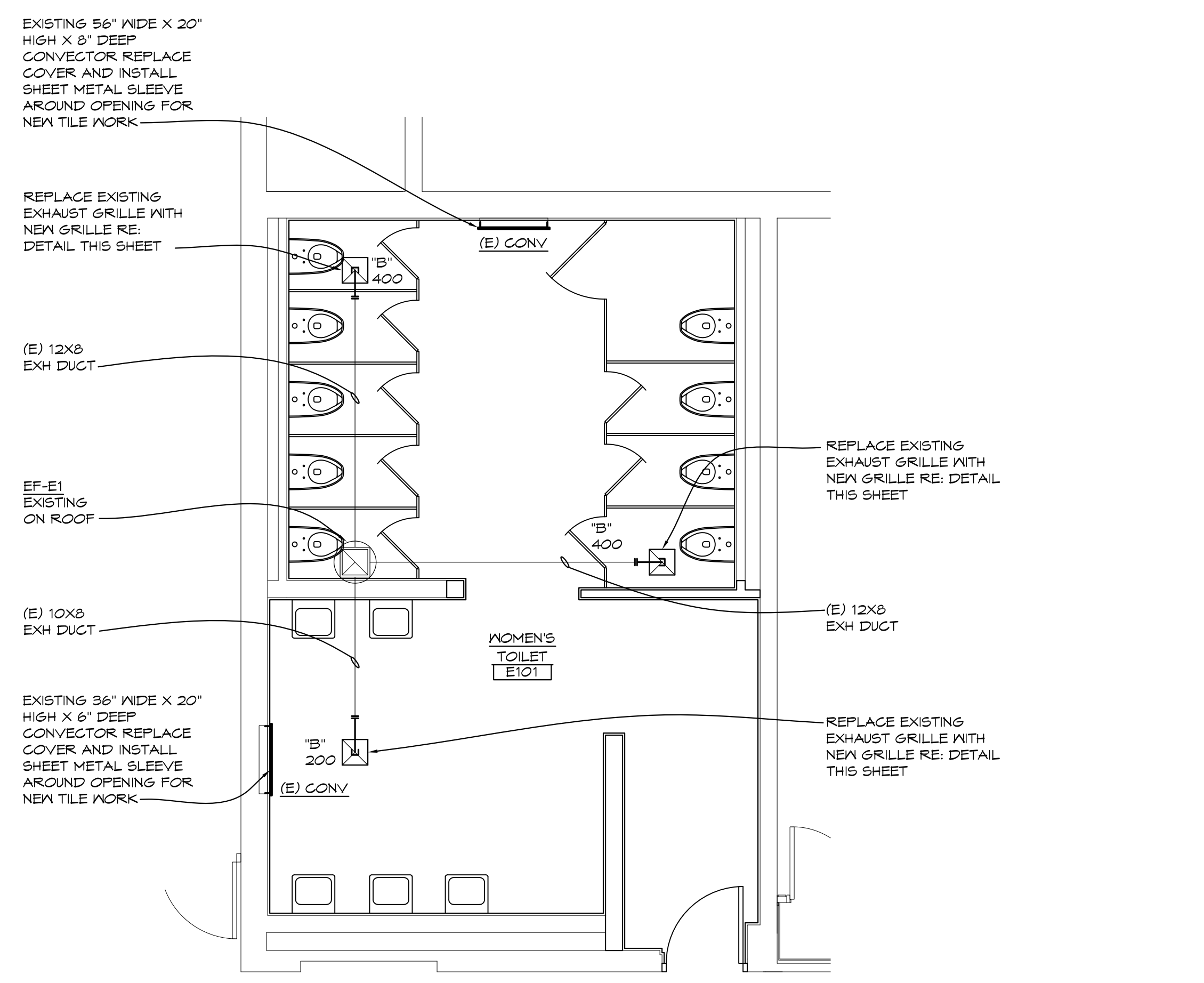
NORTH

NO.	REVISIONS / SUBMISSIONS	DATE
1	APPENDUM #1	11/14/2024



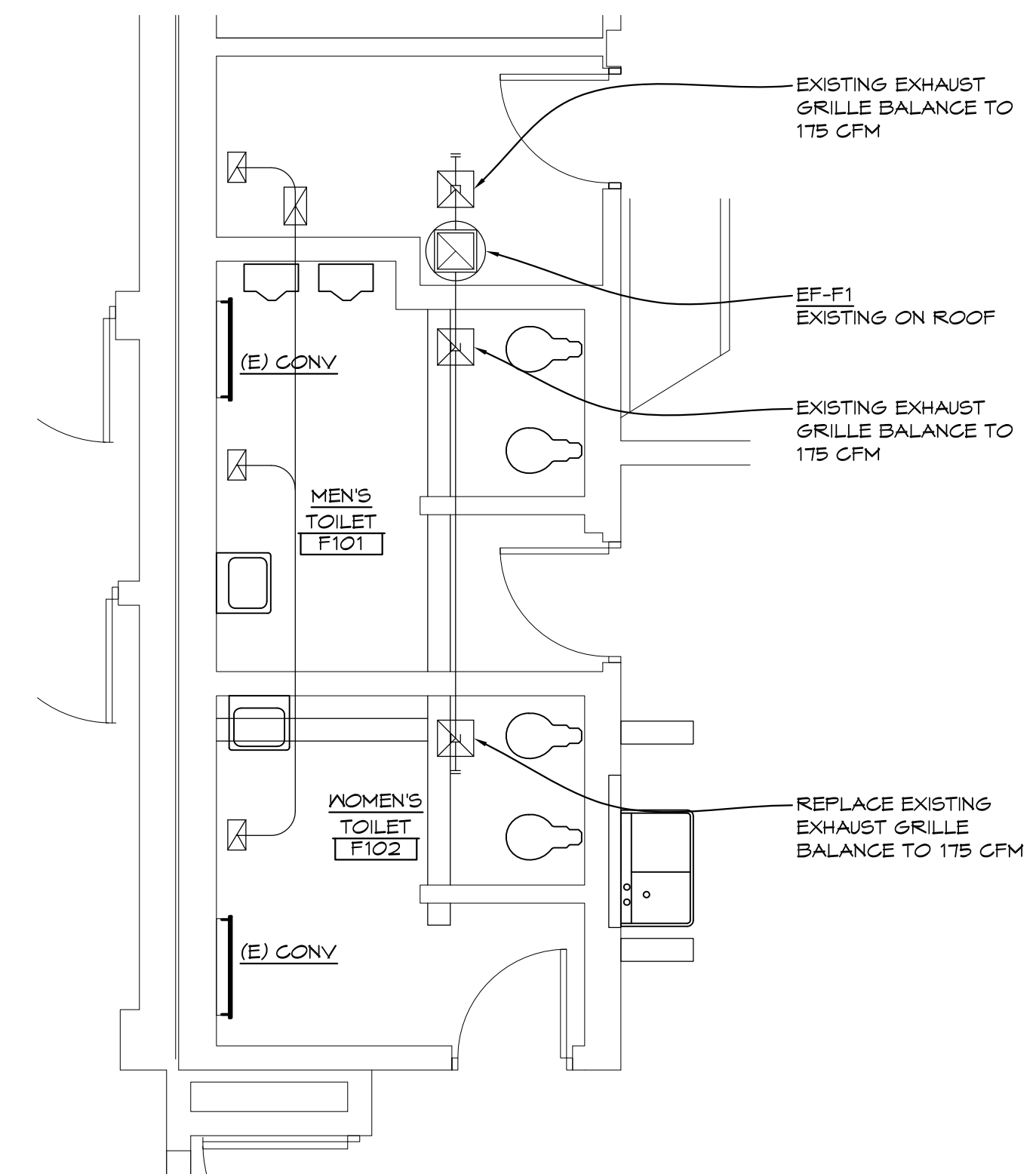
'D' WING TOILET ROOMS ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



'E' WING TOILET ROOMS ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



ADD ALTERNATE #1 'F' WING TOILET ROOMS ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01

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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
MECHANICAL TOILET ROOM ENLARGED PLUMBING PLANS

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-M101
	REVIEWED MLB	DRAWING NO. A-M101
	DATE OCT 18, 2024	SHEET NO. 6 OF 16
	SCALE AS NOTED	

EXHAUST FAN SCHEDULE									
TAG	AREA SERVED	GREENHECK MODEL NO.	ELEC.	CFM	'SP	FAN HP	FAN RPM	SONES	NOTES
EF-C3	DISHWASHING ROOM	G-095-VG	120V/1Ø	300	0.375	1/6	1810	5.6	1,2,3,4
EF-C4	FOOD STORAGE	G-090-VG	120V/1Ø	250	0.25	1/10	1021	4.0	1,2,3,4
EF-D2	PREP ROOM	G-090-VG	120V/1Ø	275	0.25	1/10	1044	4.2	1,2,3,4
EF-D3	PREP ROOM	G-090-VG	120V/1Ø	275	0.25	1/10	1044	4.2	1,2,3,4
EF-F1	STORAGE ROOMS	G-095-VG	120V/1Ø	710	0.25	1/6	1523	8.5	1,2,3,4
EF-F3	TOILET ROOMS	G-095-VG	120V/1Ø	400	0.375	1/6	1231	6.0	1,2,3,4

- NOTES:
1. PROVIDE WITH BACK DRAFT DAMPER, DISCONNECT, ROOF CURB.
 2. PROVIDE WITH CURB ADAPTER TO FIT EXISTING CURB (FIELD VERIFY SIZE)
 3. CONNECT EXHAUST FAN TO EXISTING CIRCUIT/SWITCH
 4. PROVIDE SPEED CONTROLLER IN FAN

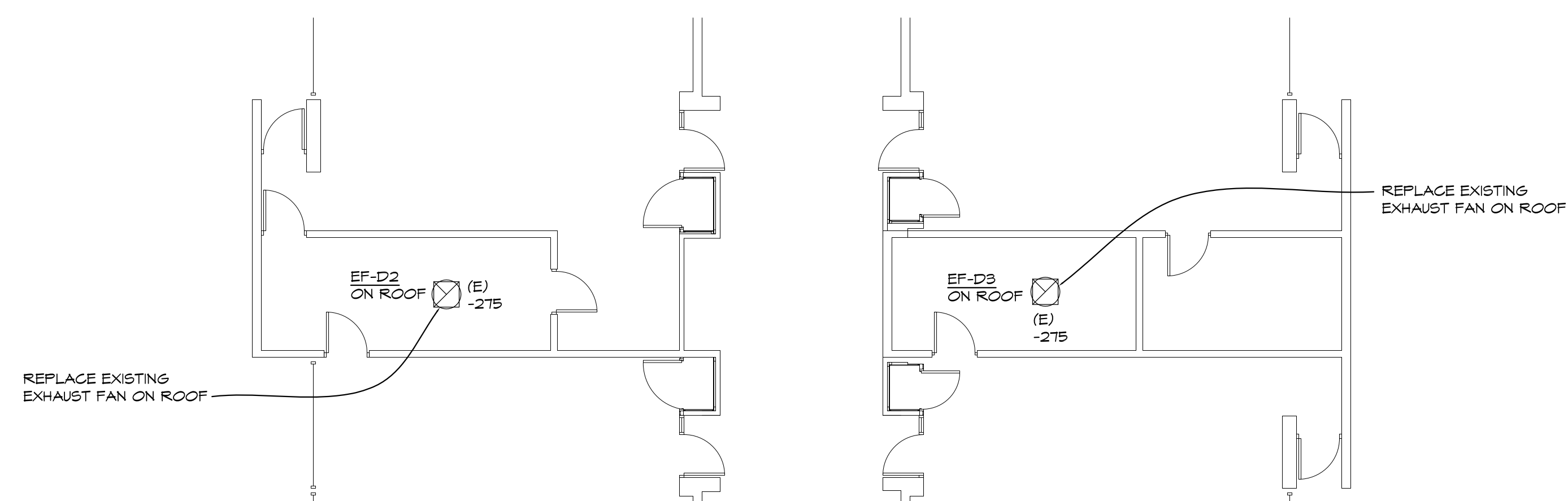
RELIEF AIR HOOD SCHEDULE							
TAG	MANUFACTURER	MODEL #	CFM	TOTAL PRESSURE	THROAT VEL.	FREE AREA	NOTES
RH-F1	GREENHECK	GR51-20	500	0.01	222	2.0 SF	1

- NOTES:
1. PROVIDE WITH INSULATED CURB ADAPTER TO FIT EXISTING CURB (FIELD VERIFY SIZE)

GENERAL MECHANICAL NOTES

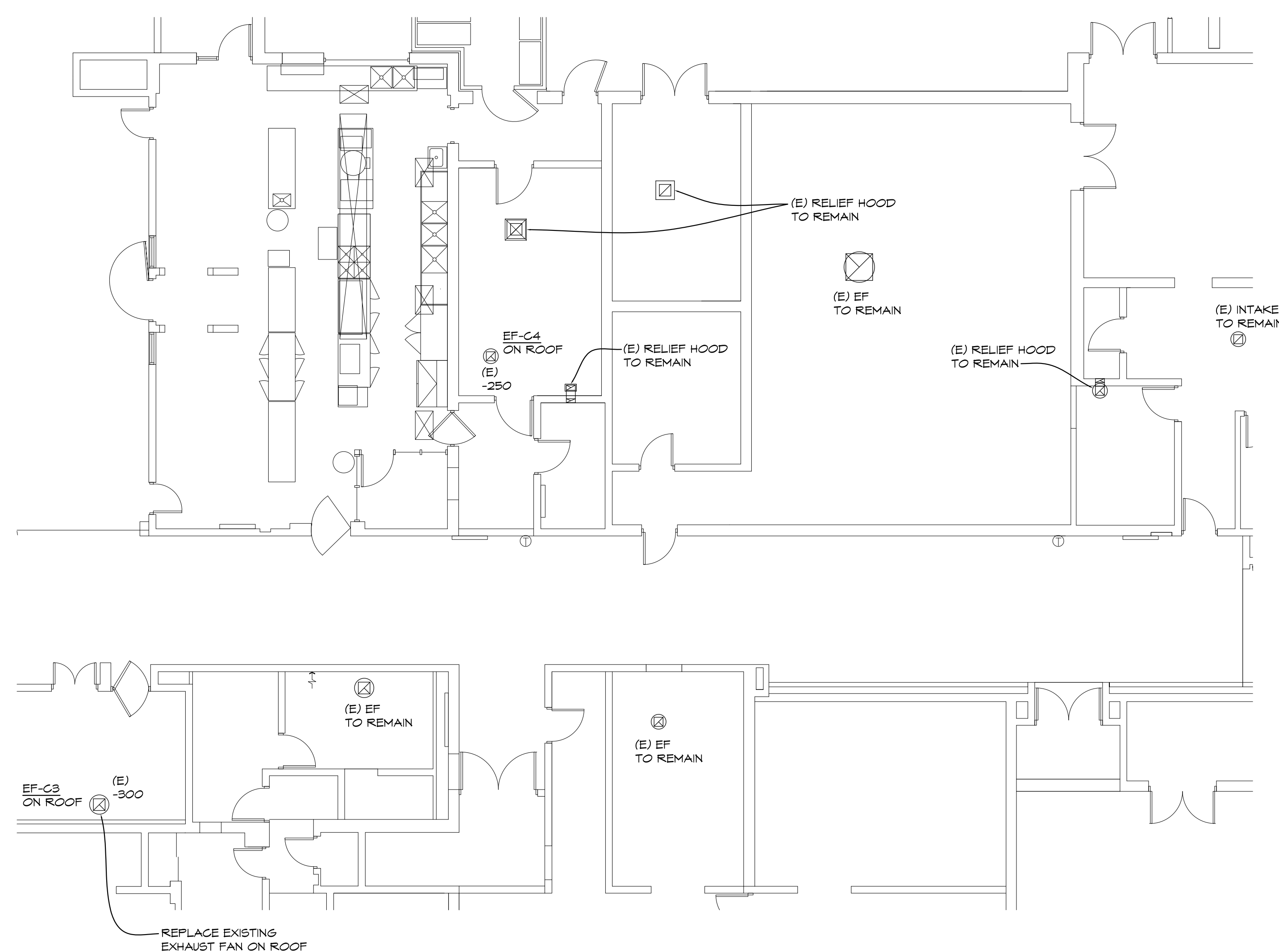
1. CONTRACTOR TO FIELD VERIFY EXISTING CONVECTOR COVERS FOR SIZES & GRILLE OPENINGS PRIOR TO ORDERING

PROJECT 'A'



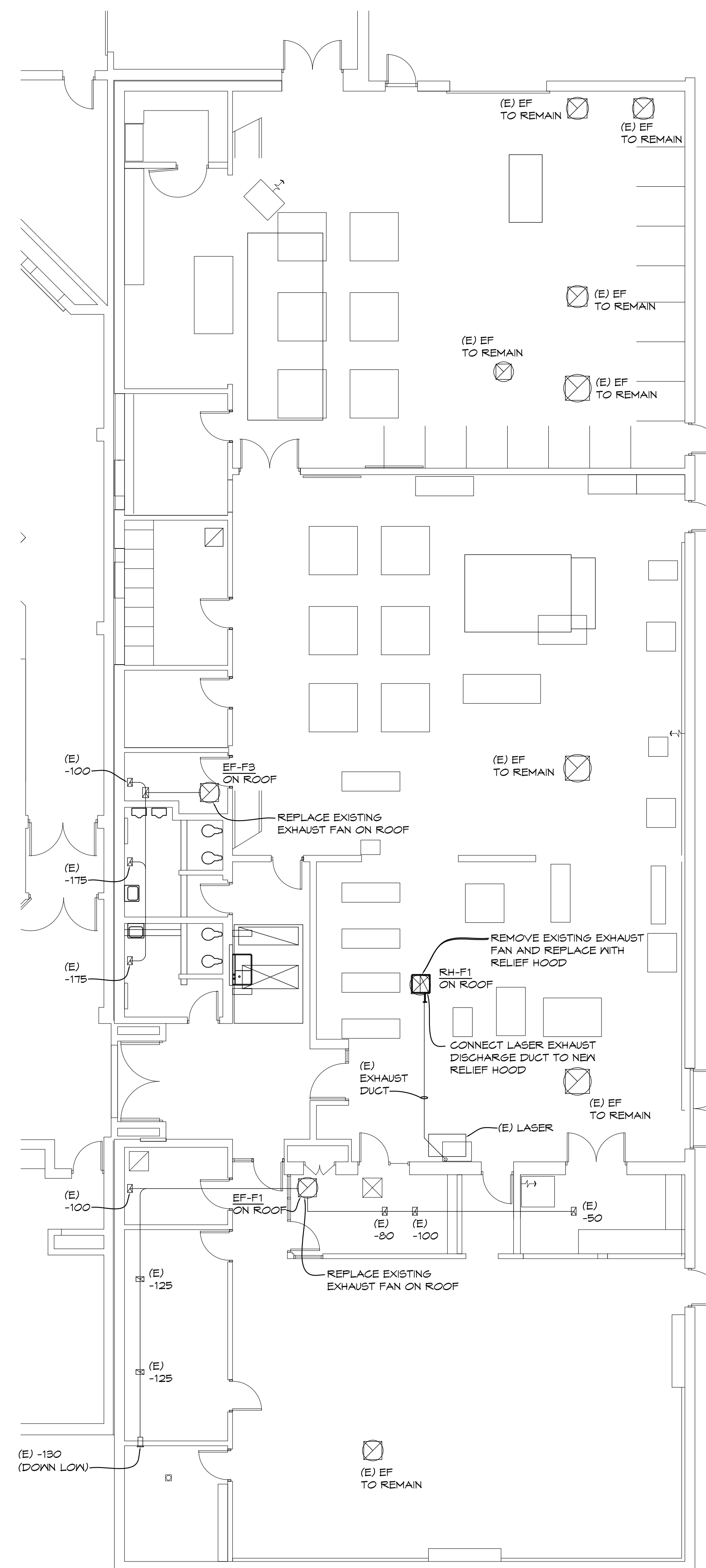
'D' WING PARTIAL MECHANICAL PLAN

1/4" = 1'-0" X01



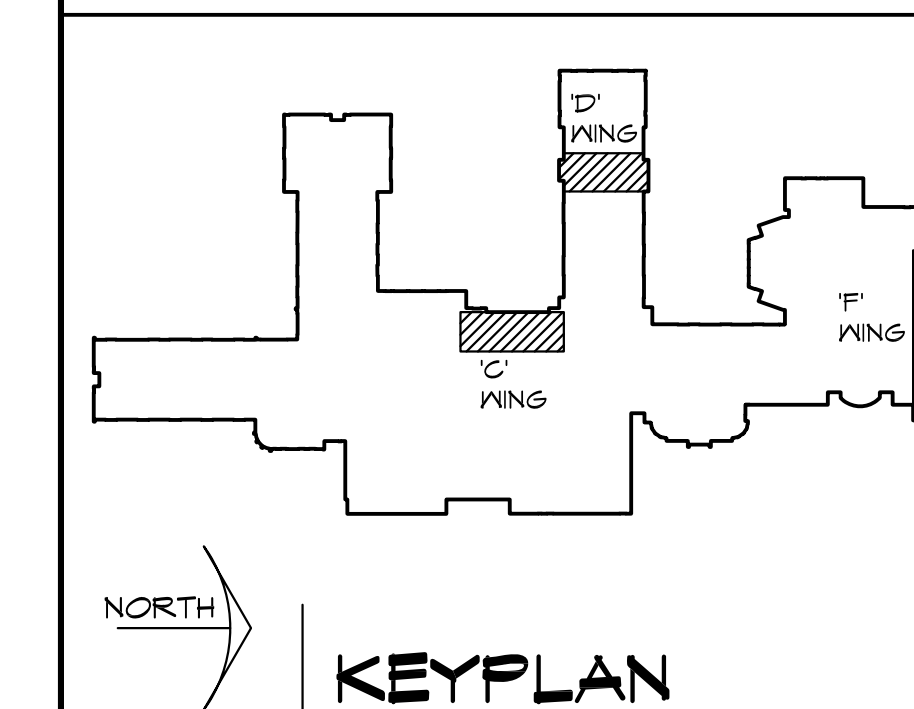
'C' WING PARTIAL MECHANICAL FLOOR PLAN

1/8" = 1'-0" X01



'F' WING PARTIAL MECHANICAL FLOOR PLAN

1/8" = 1'-0" X01



KEYPLAN

NTS KEYPLAN

1	ADDENDUM #1	11/14/2024
NO.	REVISIONS / SUBMISSIONS	DATE

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Architects Engineers
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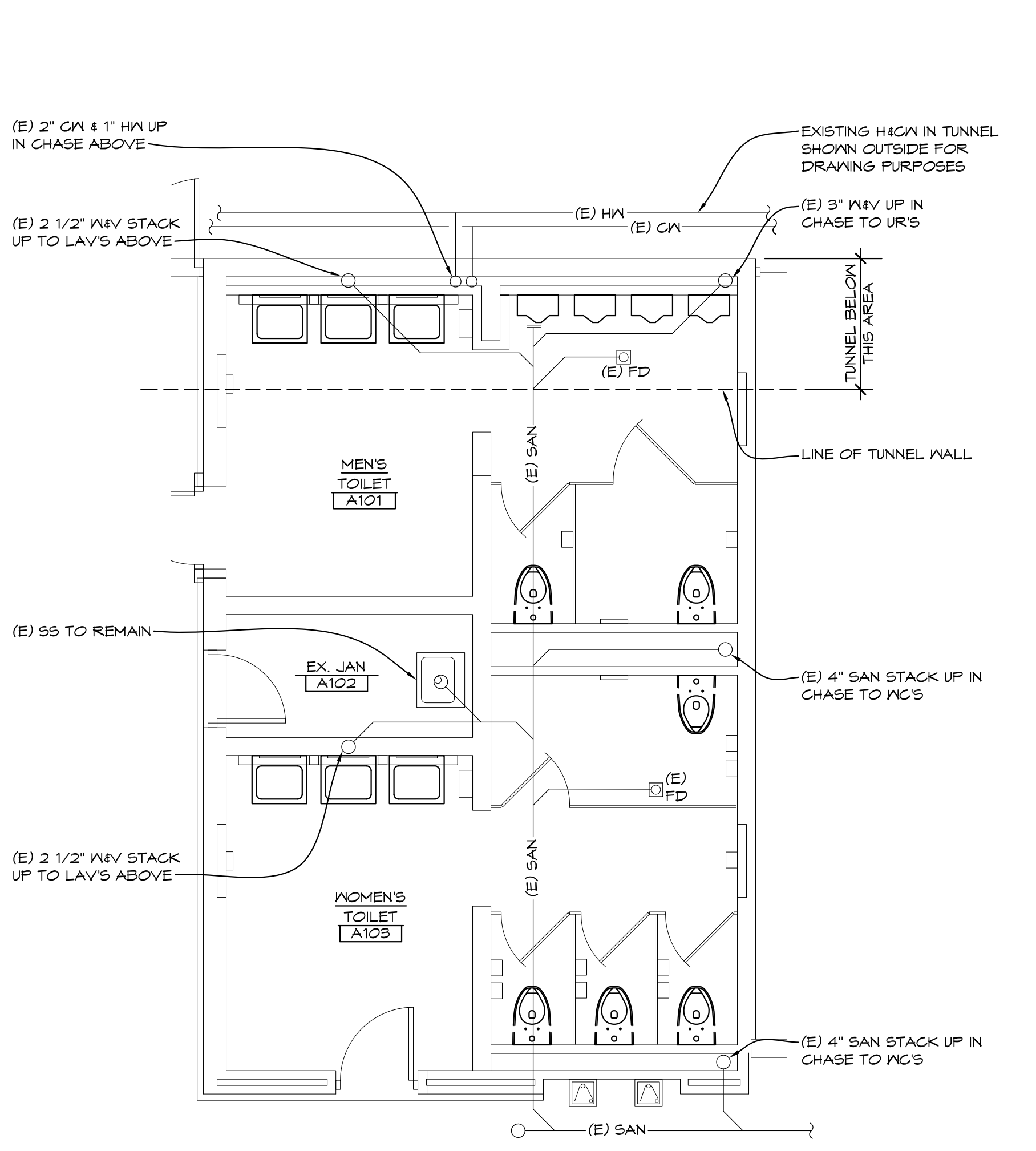
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
MECHANICAL PARTIAL ROOF PLANS

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-M102
	REVIEWED MLB	DRAWING NO. A-M102
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	7 OF 16

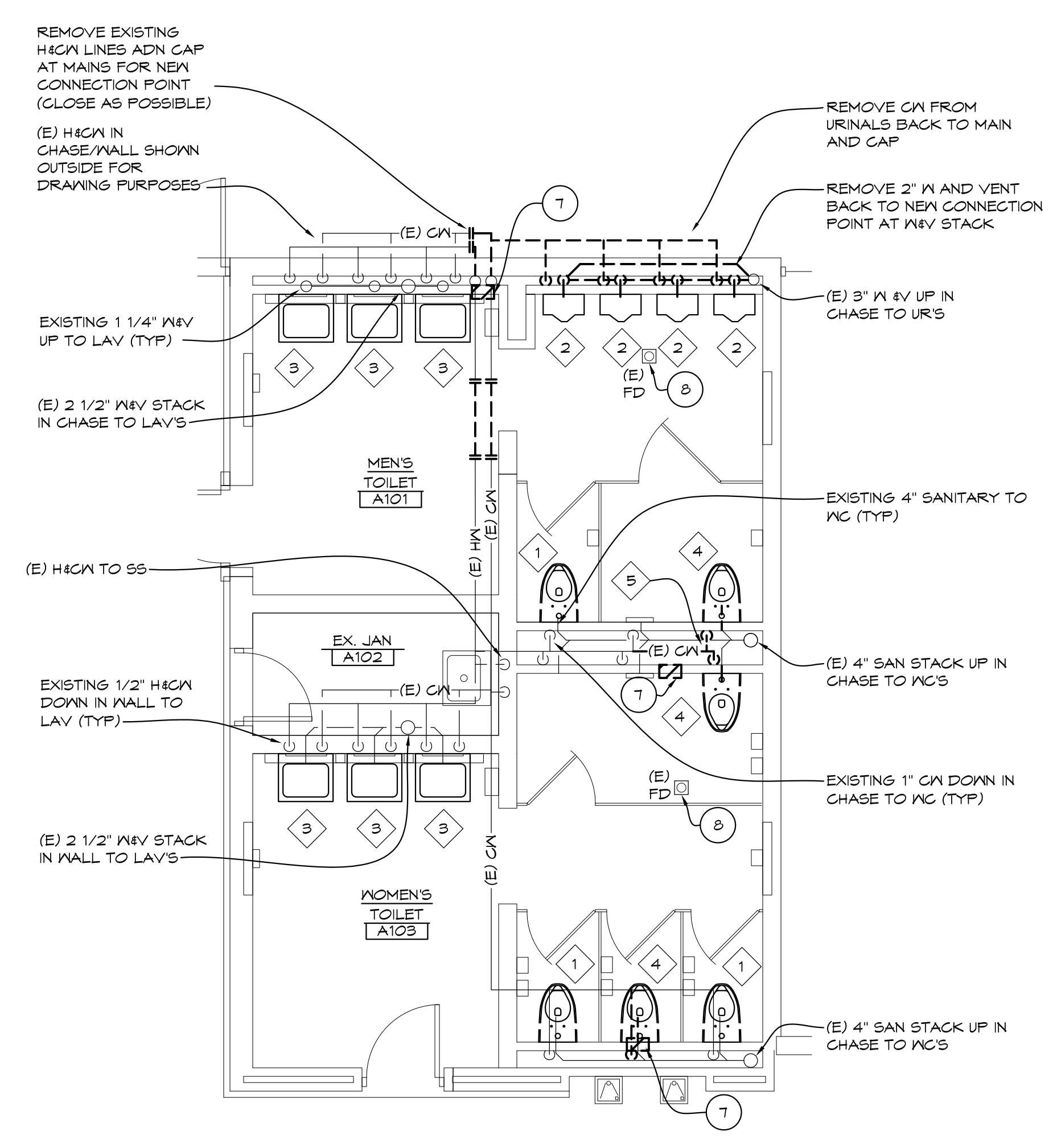
GENERAL PLUMBING NOTES

- 1. SEE ALL PLANS FOR REQUIRED WORK
2. OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING COLD WATER, HOT WATER AND SANITARY CONNECTIONS PRIOR TO ORDERING PLUMBING FIXTURES.
4. FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK.
5. ALL WORK SHALL BE SCHEDULED WITH SCHOOL, ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK.
6. COORDINATE ALL WORK WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
7. AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
8. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
9. CONTRACTOR FIELD VERIFY EXISTING PLUMBING AND REWORK CONNECTIONS FOR NEW TILE WALLS. EXTEND PIPING AND WALL SUPPORTS FOR NEW CONNECTIONS.
10. CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK.
11. CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.



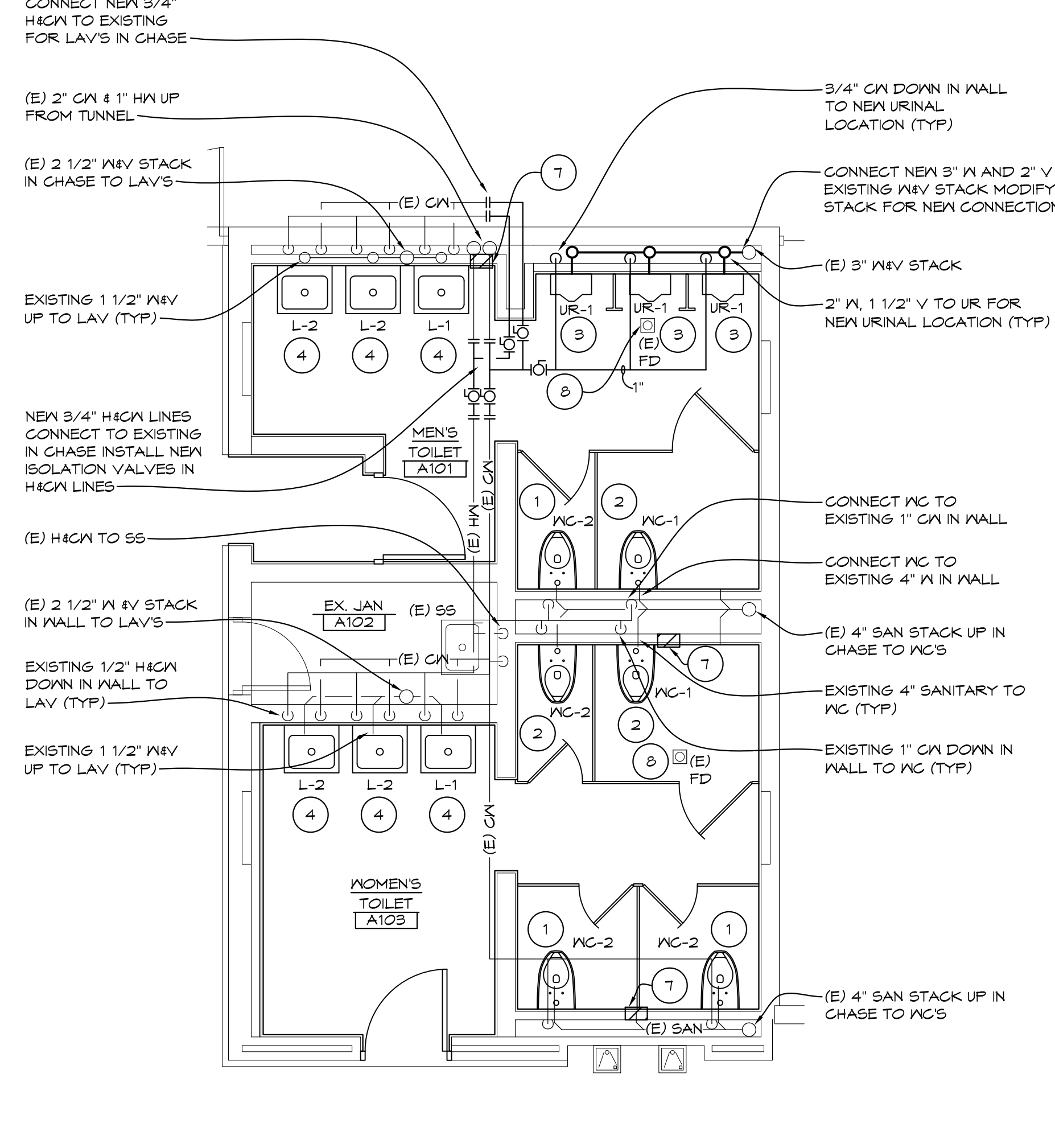
'A' WING TOILET ROOMS UNDER FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



'A' WING TOILET ROOMS ABOVE FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



'A' WING TOILET ROOMS ABOVE FLOOR ENLARGED PLUMBING PLAN

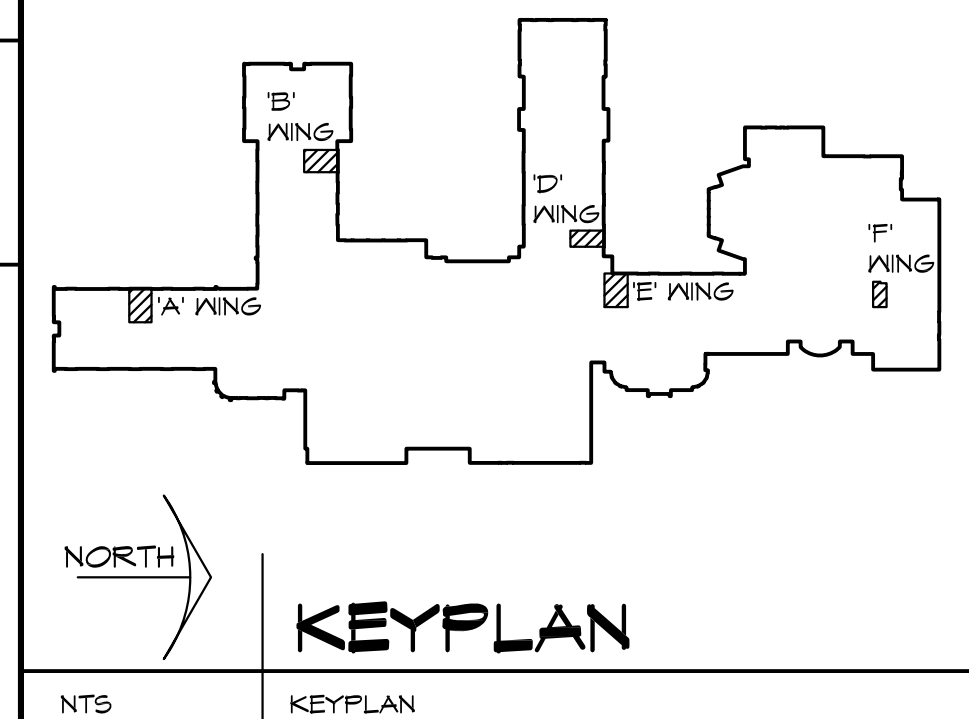
1/4" = 1'-0" X01

PLUMBING FIXTURE SCHEDULE

- MC-1 (PH) (SEE GENERAL NOTES) EXISTING WATER CLOSET, 3-BOLT WALL MOUNTED, REINSTALL WATER CLOSET & FLUSH VALVE AT PH HEIGHT, REWORK CARRIER, BOLTS, HEIGHT (WHERE REQUIRED FOR PH), EXTEND CW FOR NEW TILE WORK AND INSTALL EXISTING FLUSH VALVE.
MC-2 EXISTING WATER CLOSET, 3-BOLT WALL MOUNTED, REINSTALL WATER CLOSET & FLUSH VALVE AT PH HEIGHT, REWORK CARRIER, BOLTS, EXTEND CW FOR NEW TILE WORK AND INSTALL EXISTING FLUSH VALVE.
MC-3 NEW WATER CLOSET - AMERICAN STANDARD MODEL "MADERA" - 2234.001, 15" HIGH, SIPHON JET VITREOUS CHINA, ELONGATED BOWL, PROVIDE MANUAL FLUSH VALVE WITH MANUAL FLUSH VALVE BURN MODEL 26003-MS1, ALL METAL, DUAL SEAL DIAPHRAGM, 1.0 GALLON FLUSH, STOP, VACUUM BREAKER, ETC. PROVIDE CARRIER & HANGERS FOR SUPPORT.
UR-1 NEW URINAL AMERICAN STANDARD MODEL "WASHBROOK" 6590.001, WALL HUNG, VITREOUS CHINA, 3/4" TOP SPID, WHITE, WASH OUT URINAL, INTEGRAL TRAP, PROVIDE WITH MANUAL FLUSH VALVE BURN MODEL 26003-MS1, ALL METAL, DUAL SEAL DIAPHRAGM, 1.0 GALLON FLUSH, STOP, VACUUM BREAKER, ETC. PROVIDE CARRIER & HANGERS FOR SUPPORT.
UR-2 EXISTING LAVATORY AMERICAN STANDARD "LUCERNE" MODEL 0355.012, WALL MOUNTED, VITREOUS CHINA, 4" CENTERS, EXISTING AMERICAN STANDARD FAUCET MODEL 6114.116.002, REINSTALL & PROVIDE WITH NEW STOPS, RISERS, TRAP, ETC. REWORK (EXTEND FOR NEW TILE WORK).
L-1 EXISTING LAVATORY AMERICAN STANDARD "LUCERNE" MODEL 0355.012, WALL MOUNTED, VITREOUS CHINA, 4" CENTERS, PROVIDE NEW AMERICAN STANDARD FAUCET MODEL 6114.116.002.
L-2 EXISTING LAVATORY AMERICAN STANDARD "LUCERNE" MODEL 0355.012, WALL MOUNTED, VITREOUS CHINA, 4" CENTERS, EXISTING AMERICAN STANDARD FAUCET MODEL 6114.116.002, REINSTALL & PROVIDE WITH NEW STOPS, RISERS, TRAP, ETC. REWORK (EXTEND FOR NEW TILE WORK).
S-1 NEW SINGLE COMPARTMENT WALL MOUNTED SINK BY ADVANCE TABCO (OR EQUAL) MODEL FE-11012-10R, 18"X18"X12 BOWL, 18" DRAIN BOARD, 18 GAUGE 304 STAINLESS STEEL WITH BACK SPLASH, ROLLED EDGES, LEGS, ETC. PROVIDE WITH BRISTLE BRUSH CHROME PLATED BRASS FAUCET, FOR MOUNTING AT 8" CENTERS ON BACK SPLASH AND JAY 8" SMITH PASTER TRAP MODEL 011-10150 (MOUNTED WITH ACCESS ABOVE TRAP).

KEYED PLUMBING DEMOLITION NOTES

- 1 REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK, FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
2 REMOVE EXISTING URINAL & FLUSH VALVE.
3 REMOVE EXISTING LAVATORY, FAUCET, TRAP, ETC. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
4 REMOVE EXISTING WATER CLOSET & FLUSH VALVE, FIXTURE TO BE REINSTALLED AT NEW LOCATION, SEAL SANITARY & COLD WATER IN WALL, REMOVE ANY SUPPORTS, BOLTS, ETC. THAT PENETRATE OUT WALL & INTERFERE WITH NEW TILE WORK.
5 REMOVE SECTION OF COLD WATER PIPING IN CHASE, GAP & PROVIDE NEW AIR CHAMBER, REMOVE BLOCK FOR WORK REQUIRED, COORDINATE WITH GENERAL TRADES.
6 REMOVE LAVATORY HW, CW, VENT, SANITARY, STOPS, ETC. LAVATORY TO BE REINSTALLED AT A NEW LOCATION.
7 REMOVE EXISTING URINAL, FLUSH VALVE BACK TO NEW CONNECTION POINT FOR NEW URINAL.
8 REMOVE EXISTING FLOOR MOUNTED WATER CLOSET & FLUSH VALVE FOR NEW WATER CLOSET.
9 REMOVE EXISTING LAVATORY, FAUCET, RISER, TRAP, ETC. FOR NEW LAVATORY.
10 REMOVE EXISTING FOUNTAIN & PIPING BACK TO NEW CONNECTION POINT AT NEW SINK.



SYMBOLS & ABBREVIATIONS LEGEND

Table with 4 columns: Symbol, Abbreviation, Description, and Notes. Includes symbols for pipe types (CW, HW, SAN, VENT, STORM, etc.), duct sizes, diffusers, valves, and other plumbing components.

KEYED PLUMBING NOTES

- 1 REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY CONNECTIONS REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
2 INSTALL EXISTING WATER CLOSET AT ABANDONED MC LOCATION, REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET, EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
3 INSTALL NEW URINAL AT NEW LOCATION, PROVIDE NEW CARRIER, SUPPORTS, CW, WASTE & VENT CONNECTIONS, COORDINATE WITH NEW WALL.
4 INSTALL EXISTING LAVATORY AT EXISTING LAVATORY LOCATION, REMOVE GAP AND REINSTALL FOR NEW TILE WORK, EXTEND SUPPORTS, HW, CW, WASTE & VENT CONNECTIONS, PROVIDE NEW STOPS, RISERS, TRAP & PIPING.
5 INSTALL EXISTING LAVATORY AT NEW LAVATORY LOCATION, CONNECT TO NEW HGA, HW, PROVIDE NEW CARRIER, SUPPORTS, STOPS, RISERS, TRAP & PIPING.
6 INSTALL NEW URINAL AT EXISTING LOCATION, PROVIDE NEW SUPPORT AND SANITARY CONNECTIONS RECONNECT EXISTING FLUSH VALVE TO EXISTING CW AT WALL.
7 OPEN EXISTING WALL FOR NEW PIPING WORK COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
8 ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT.

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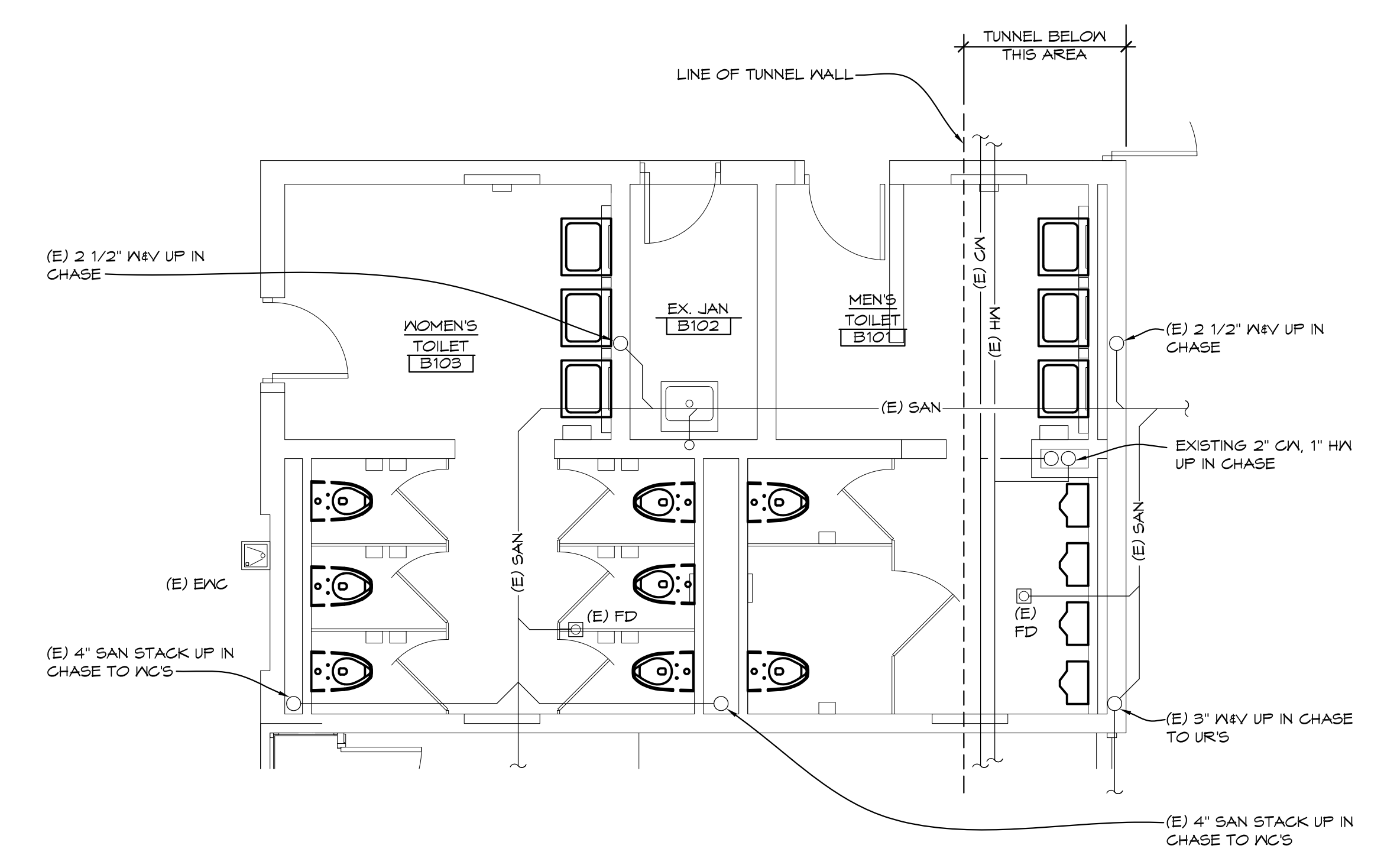
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD MIDLAND, MI

'A' WING ENLARGED TOILET ROOM PLUMBING PLANS

Table with 3 columns: DRAWN, CHECKED, REVIEWED, DATE, PROJECT NO., CAD FILE NO., DRAWING NO., SHEET NO. Includes drawing number A-P101 and sheet number 8 of 16.

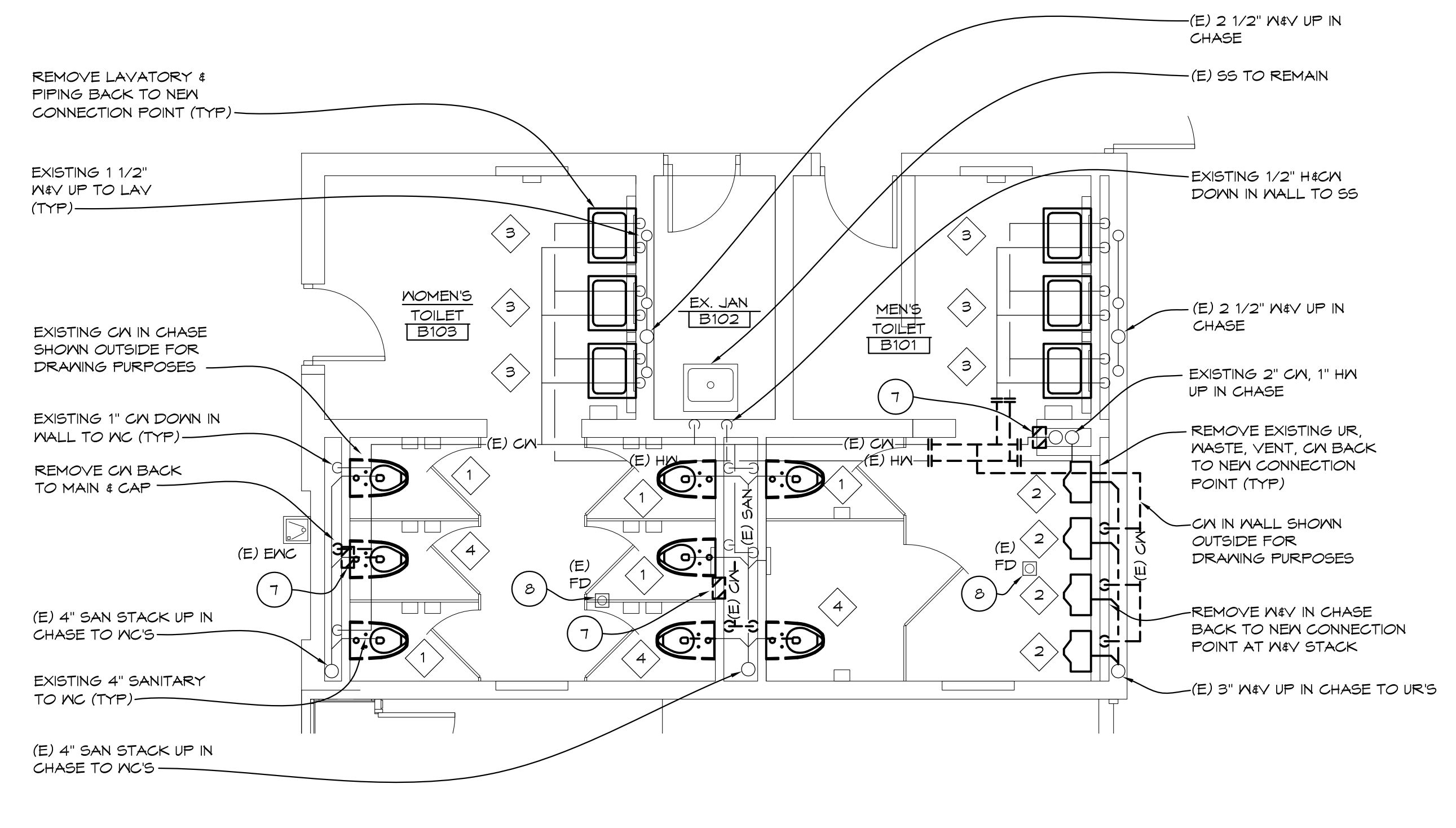
GENERAL PLUMBING NOTES

- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- CONTRACTOR SHALL FIELD VERIFY EXISTING COLD WATER, HOT WATER AND SANITARY CONNECTIONS PRIOR TO ORDERING PLUMBING FIXTURES.
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK.
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL. ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK.
- COORDINATE ALL WORK WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- CONTRACTOR FIELD VERIFY EXISTING PLUMBING AND REWORK CONNECTIONS FOR NEW TILE WALLS. EXTEND PIPING AND WALL SUPPORTS FOR NEW CONNECTION POINT (TYP).
- CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK.
- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.



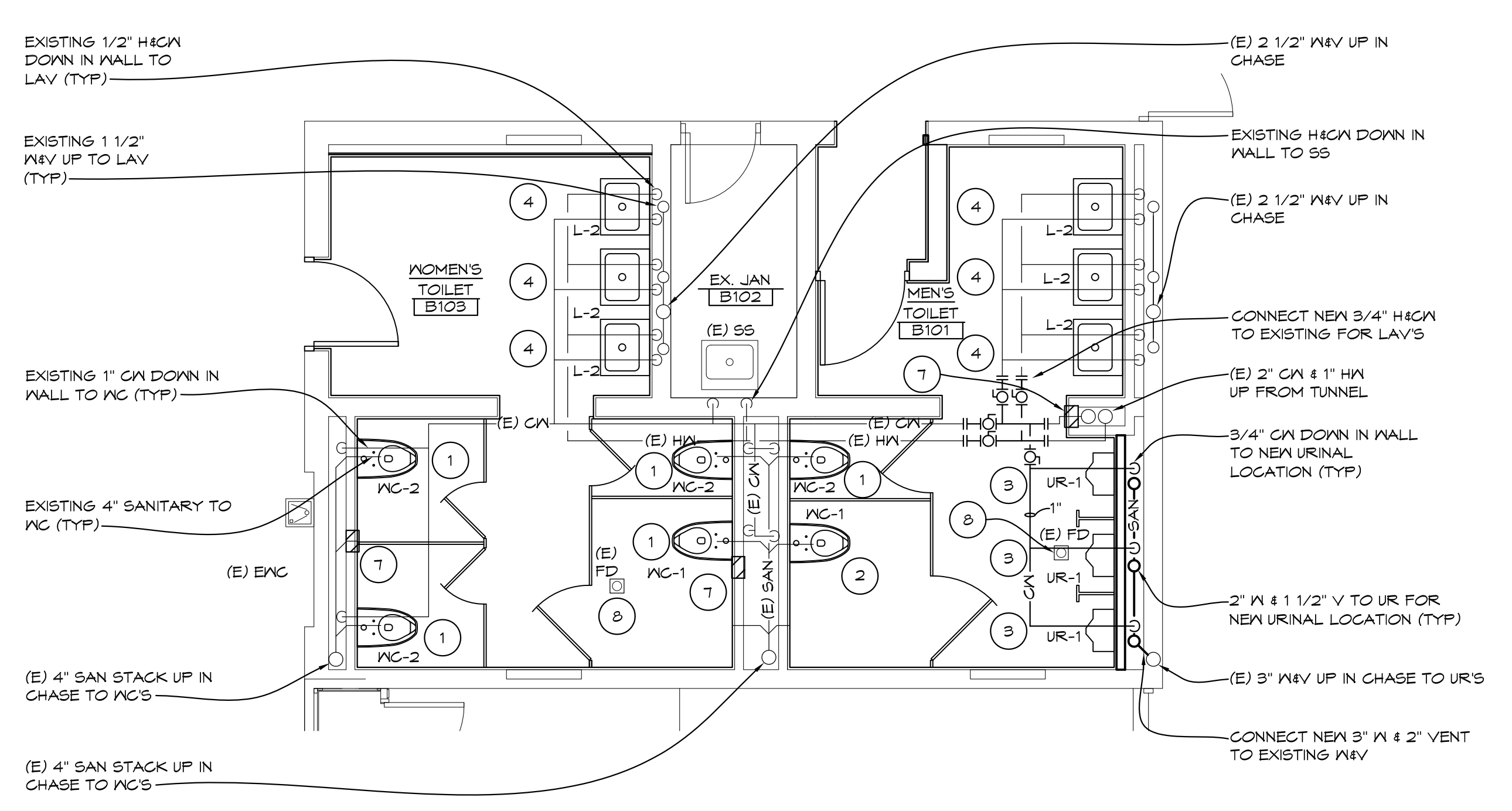
'B' WING TOILET ROOMS UNDER FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



'B' WING TOILET ROOMS ABOVE FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01

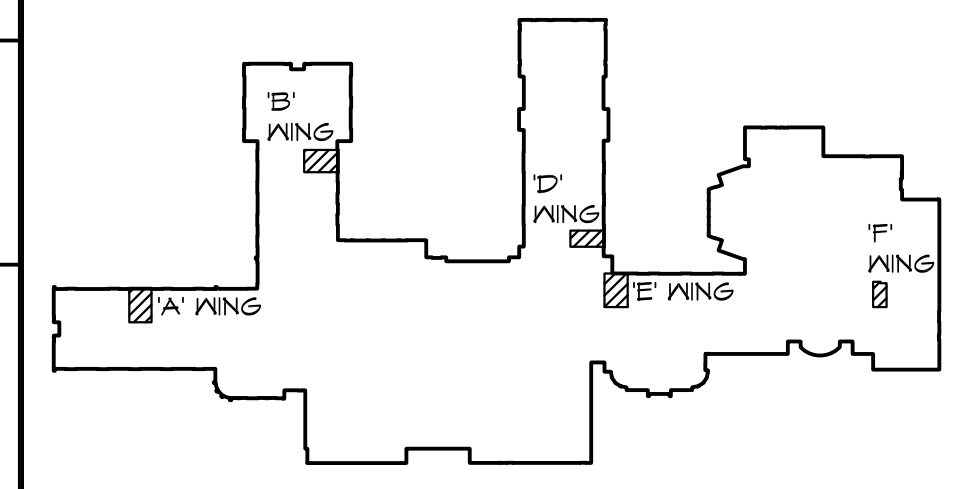


'B' WING TOILET ROOMS ABOVE FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01

KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING LAVATORY, FAUCET, TRAP, ETC. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING WATER CLOSET & FLUSH VALVE. FIXTURE TO BE REINSTALLED AT NEW LOCATION. SEAL SANITARY & COLD WATER IN WALL. REMOVE ANY SUPPORTS, BOLTS, ETC. THAT PENETRATE OUT WALL & INTERFERE WITH NEW TILE WORK.
- REMOVE SECTION OF COLD WATER PIPING IN CHASE. GAP & PROVIDE NEW AIR CHAMBER. REMOVE BLOCK FOR WORK REQUIRED. COORDINATE WITH GENERAL TRADES.
- REMOVE LAVATORY HN, CN, VENT, SANITARY, STOPS, ETC. LAVATORY TO BE REINSTALLED AT A NEW LOCATION.
- REMOVE EXISTING URINAL. FLUSH VALVE BACK TO NEW CONNECTION POINT FOR NEW URINAL.
- REMOVE EXISTING FLOOR MOUNTED WATER CLOSET & FLUSH VALVE FOR NEW WATER CLOSET.
- REMOVE EXISTING LAVATORY, FAUCET, RISER, TRAP, ETC. FOR NEW LAVATORY.
- REMOVE DRINKING FOUNTAIN & PIPING BACK TO NEW CONNECTION POINT AT NEW SINK.



KEYPLAN

KEYED PLUMBING NOTES

- REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY COUPLING. PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL EXISTING WATER CLOSET AT ABANDONED WC LOCATION. REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL NEW URINAL AT NEW LOCATION. PROVIDE NEW CARRIER, SUPPORTS, CN, WASTE & VENT CONNECTIONS. COORDINATE WITH NEW WALL.
- INSTALL EXISTING LAVATORY AT EXISTING LAVATORY LOCATION. REMOVE & REINSTALL FOR NEW TILE WORK. EXTEND SUPPORTS, HN, CN, WASTE & VENT CONNECTIONS. PROVIDE NEW STOPS, RISERS, TRAP & PIPING.
- INSTALL EXISTING LAVATORY AT NEW LAVATORY LOCATION. CONNECT TO NEW HCN, HW, PROVIDE NEW CARRIER, SUPPORTS, STOPS, RISERS, TRAP & PIPING.
- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING CN AT WALL.
- OPEN EXISTING WALL FOR NEW PIPING WORK. COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT.

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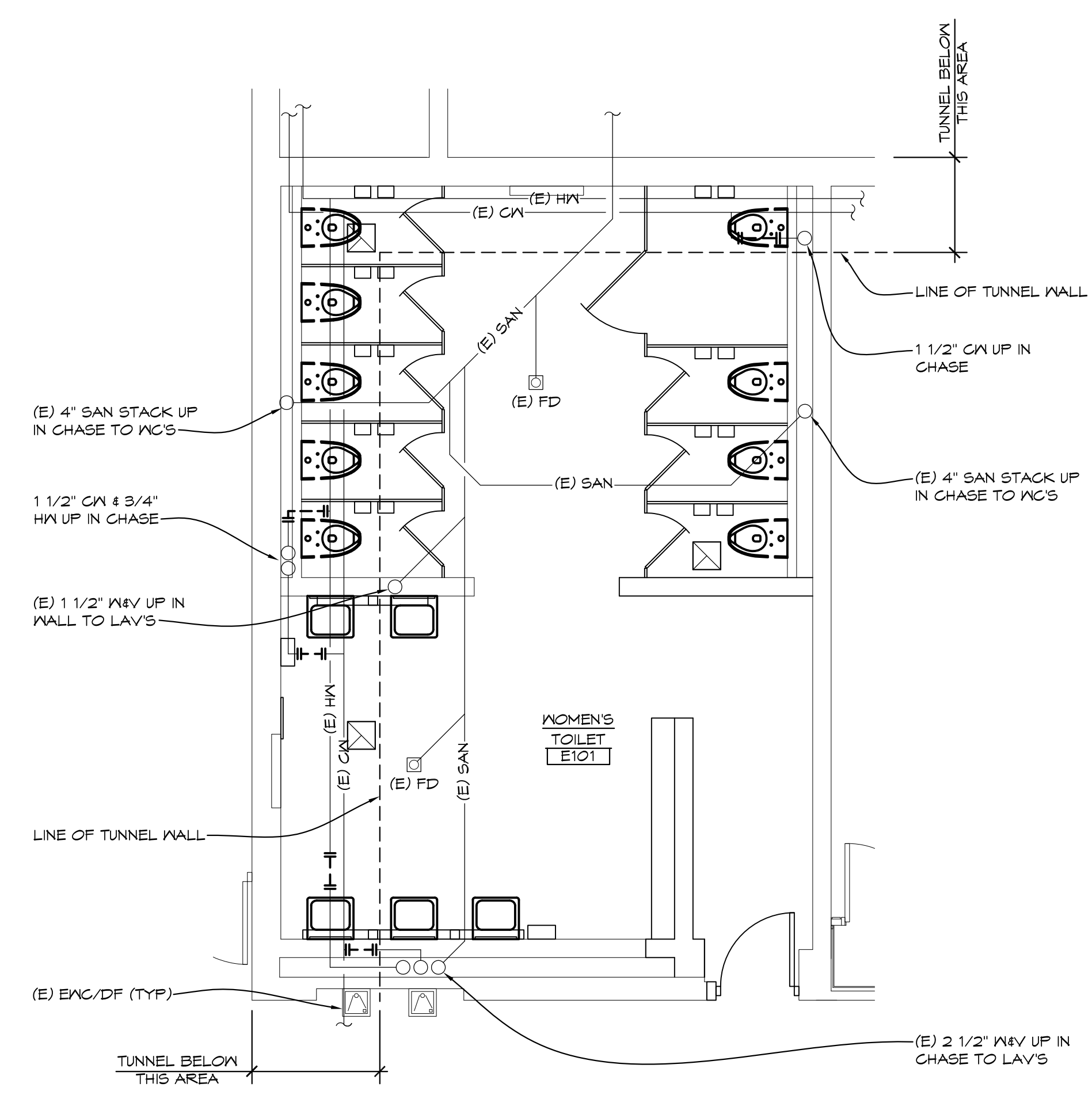
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

'B' WING ENLARGED TOILET ROOM PLUMBING PLANS

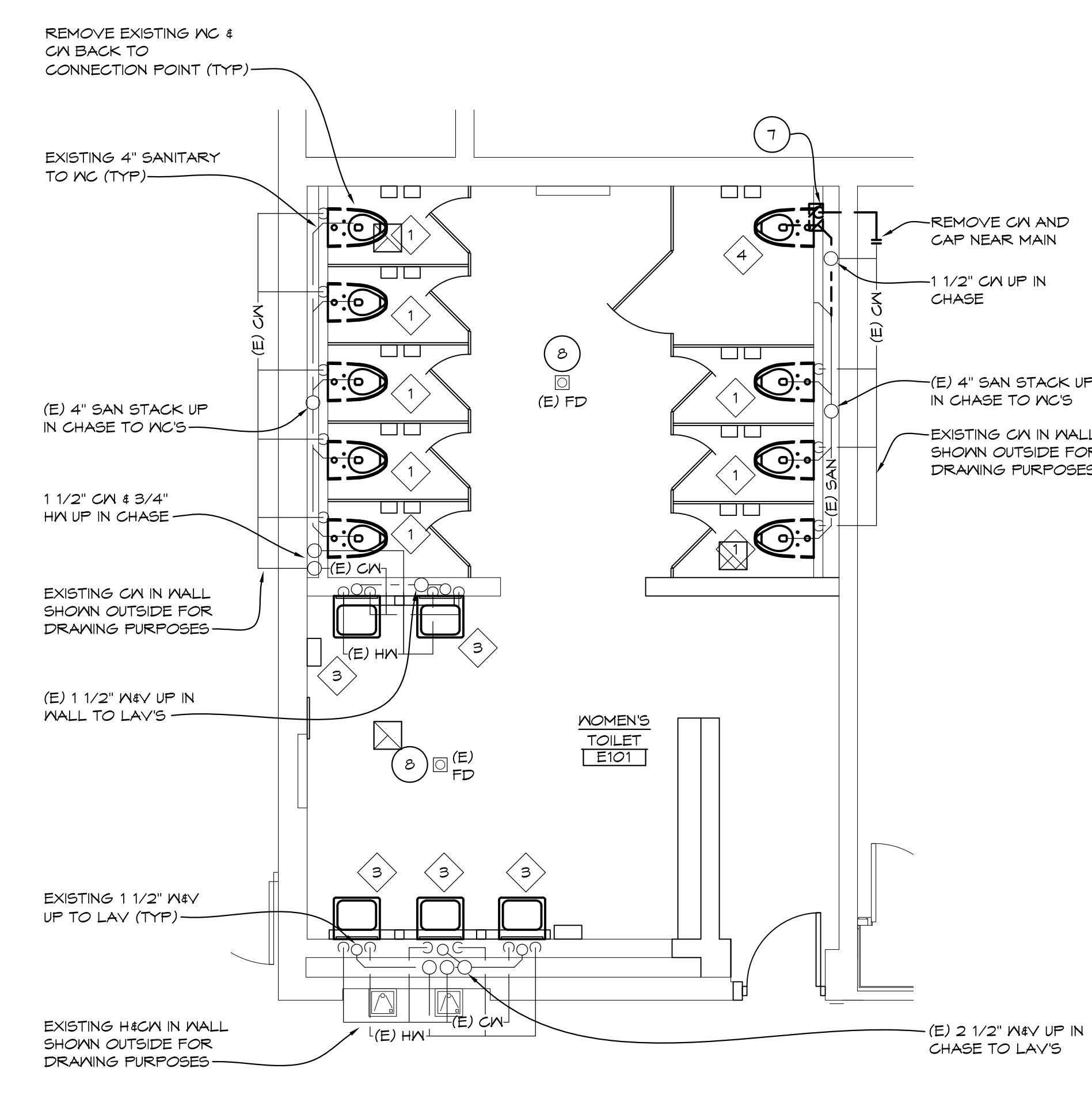
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	CHECKED KLS	CAD FILE NO. A-P102
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	DATE OCT 18, 2024	SHEET NO. A-P102
	SCALE AS NOTED	OF 16

GENERAL PLUMBING NOTES

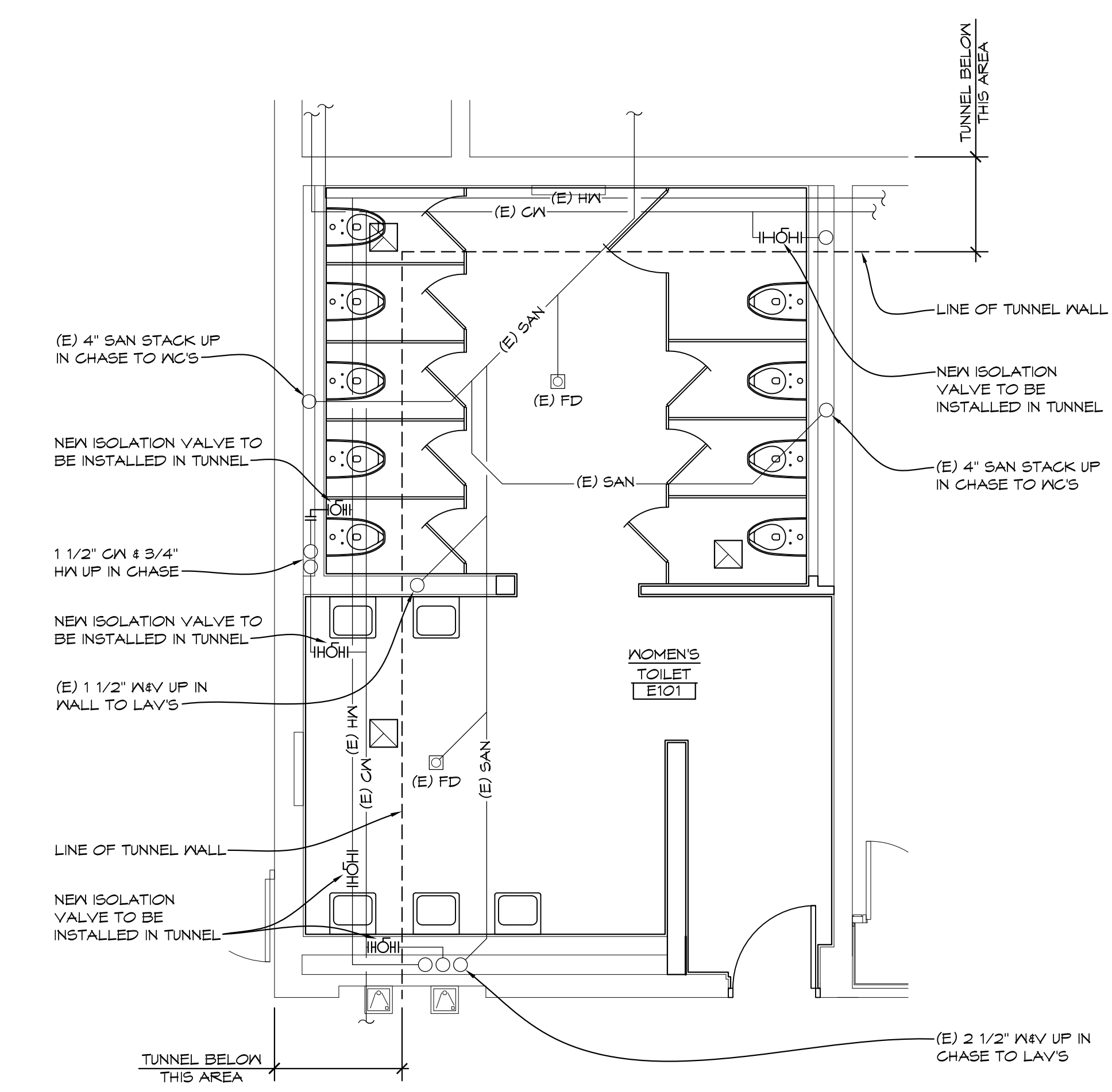
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- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.



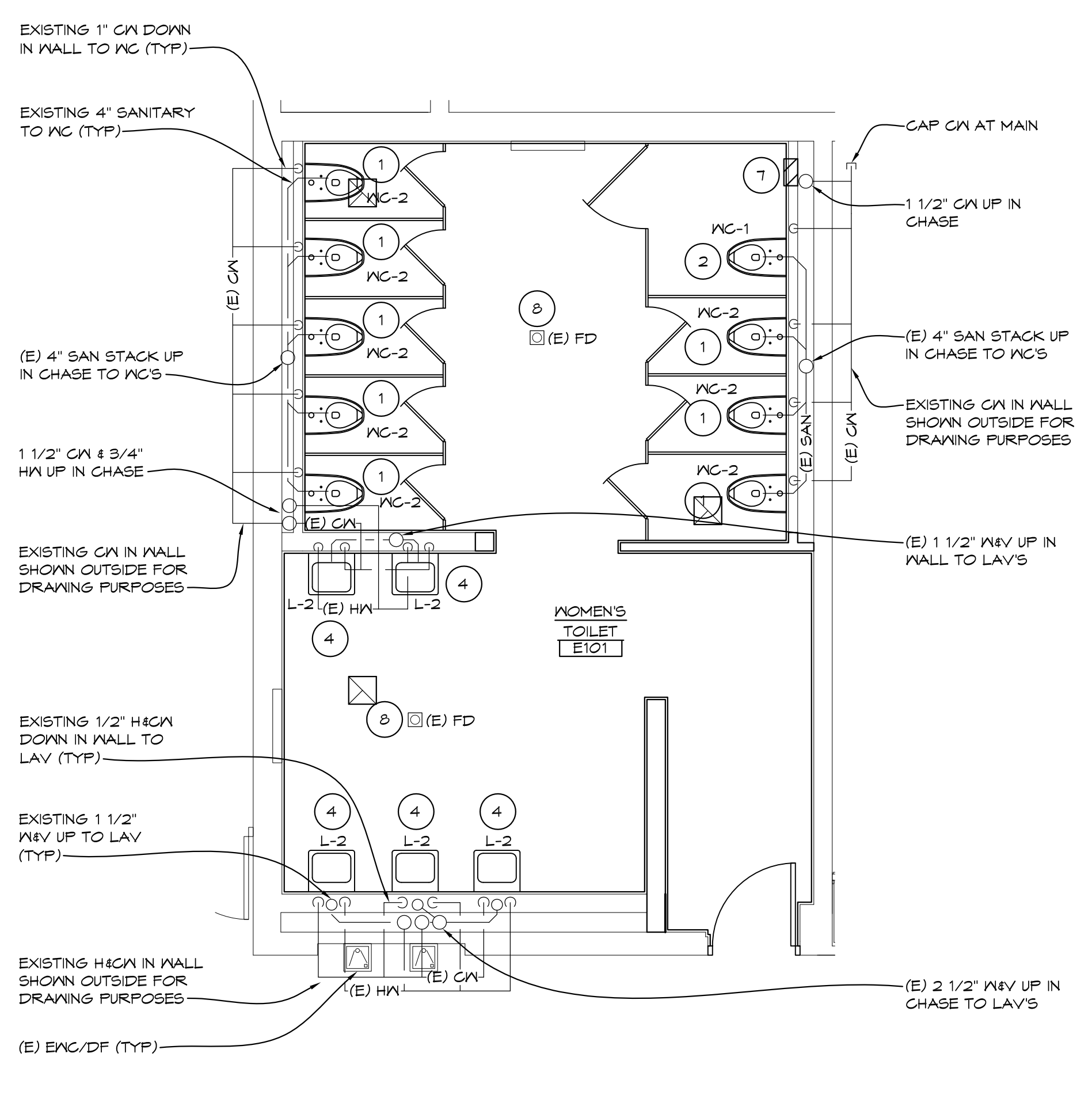
'E' WING TOILET ROOM UNDER FLOOR PLUMBING DEMOLITION PLAN
1/4" = 1'-0" X01



'E' WING TOILET ROOM ABOVE FLOOR PLUMBING DEMOLITION PLAN
1/4" = 1'-0" X01



'E' WING TOILET ROOM UNDER FLOOR ENLARGED PLUMBING PLAN
1/4" = 1'-0" X01



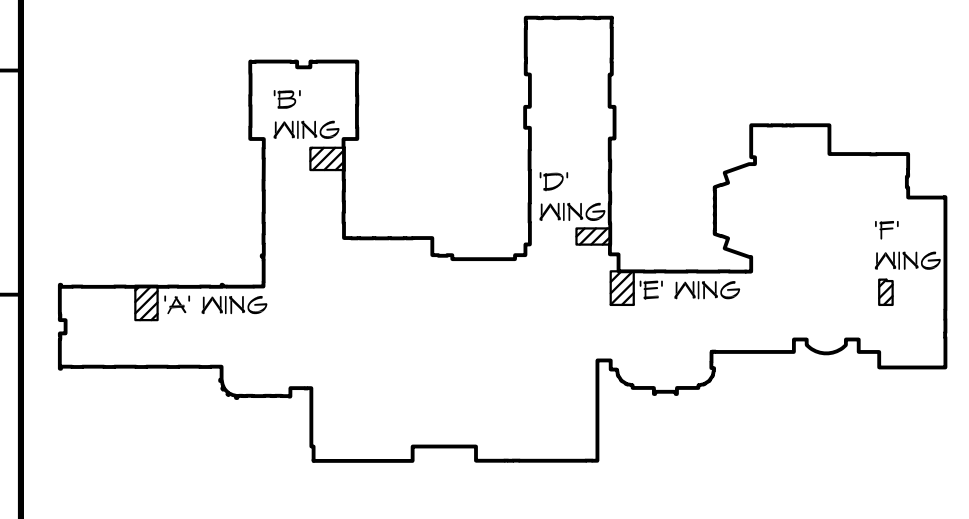
'E' WING TOILET ROOM ABOVE FLOOR ENLARGED PLUMBING PLAN
1/4" = 1'-0" X01

KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE URINAL & FLUSH VALVE
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- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING CW AT WALL.
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- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT



KEYPLAN
NORTH
NTS

NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM #1	11/14/2024

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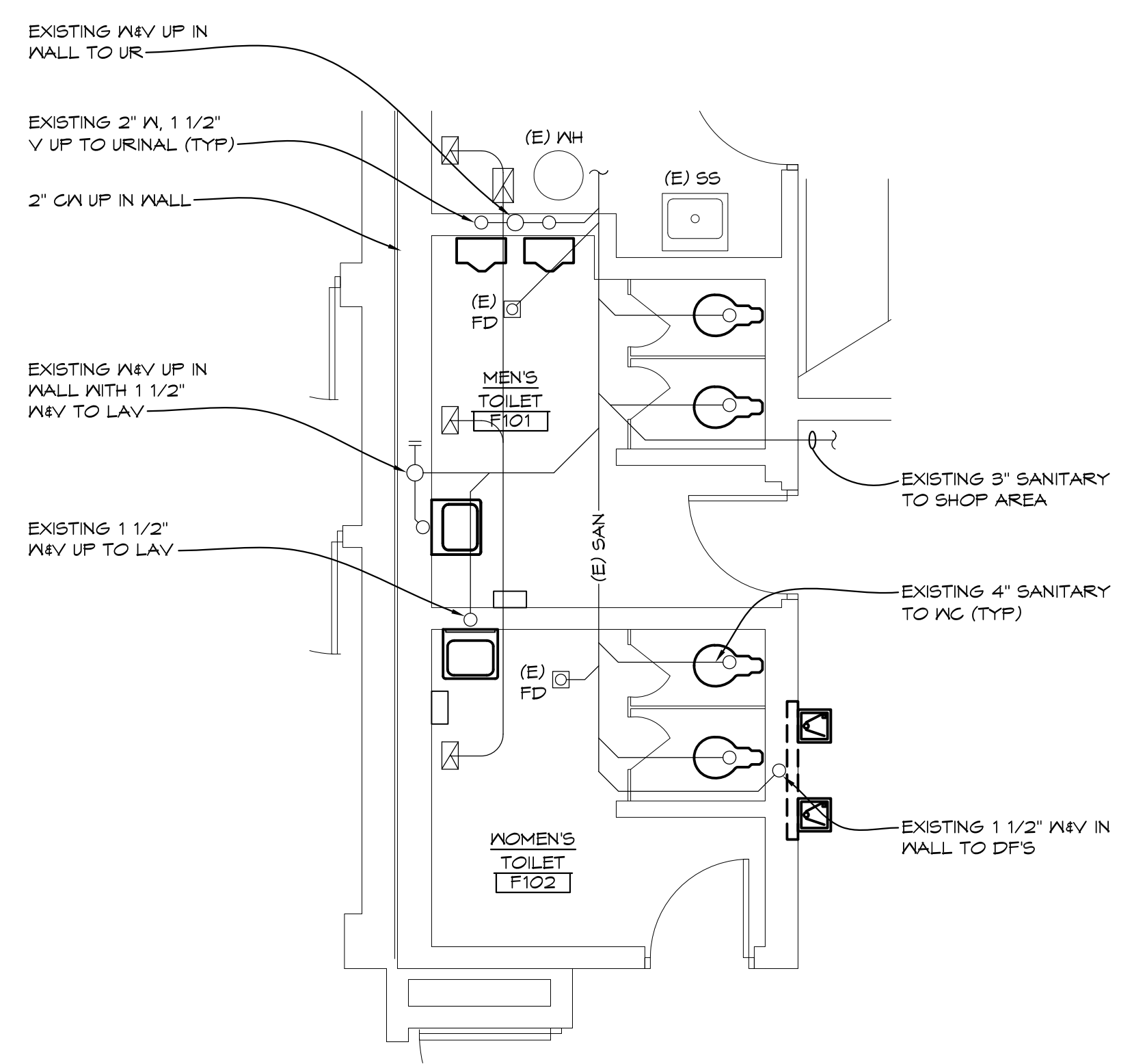
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
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MIDLAND, MI

'E' WING ENLARGED TOILET ROOM PLUMBING PLANS

SEAL	DRAWN CW/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-P104
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-P104
	SCALE AS NOTED	SHEET NO. 11 OF 16

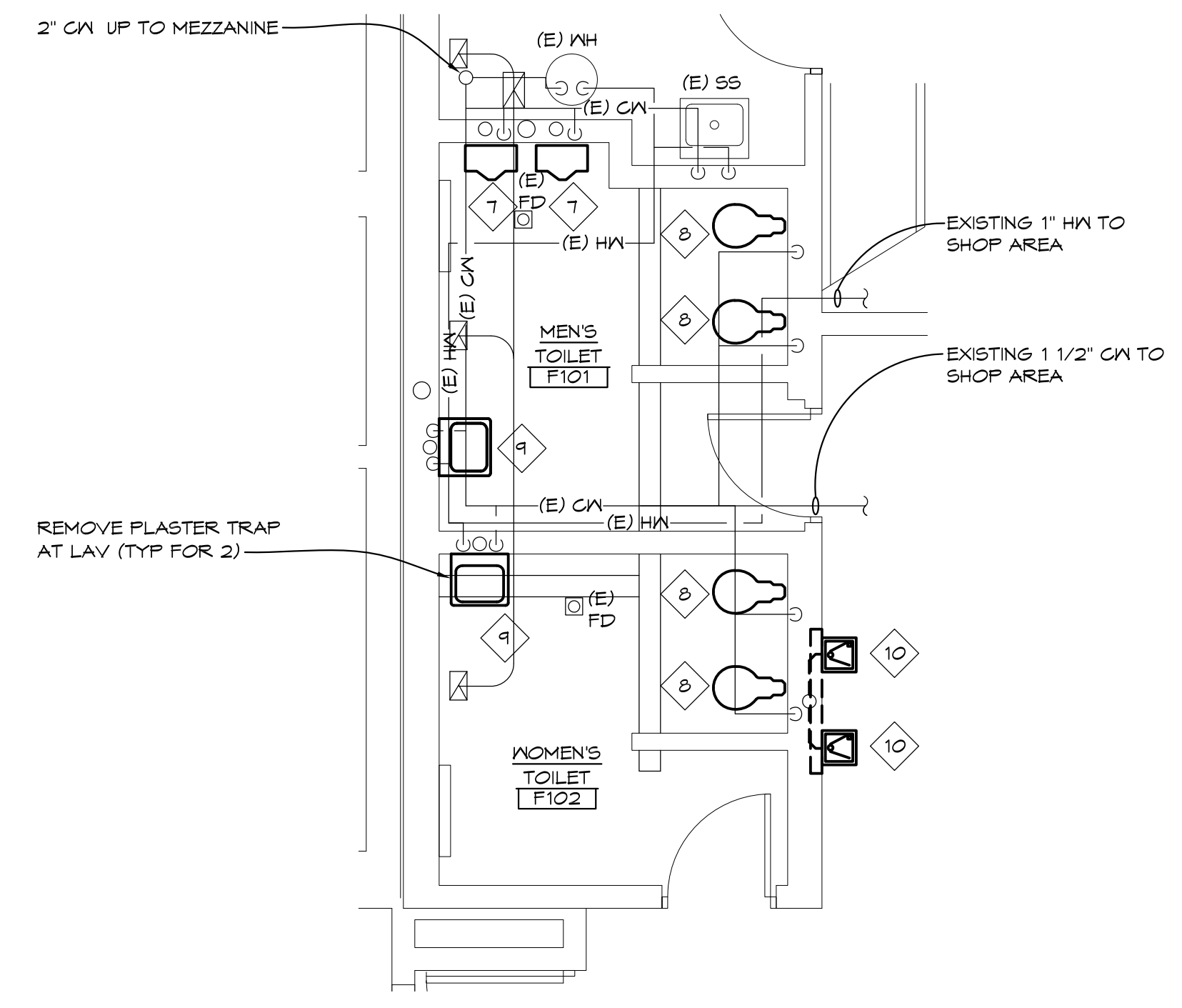
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- CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK
- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING



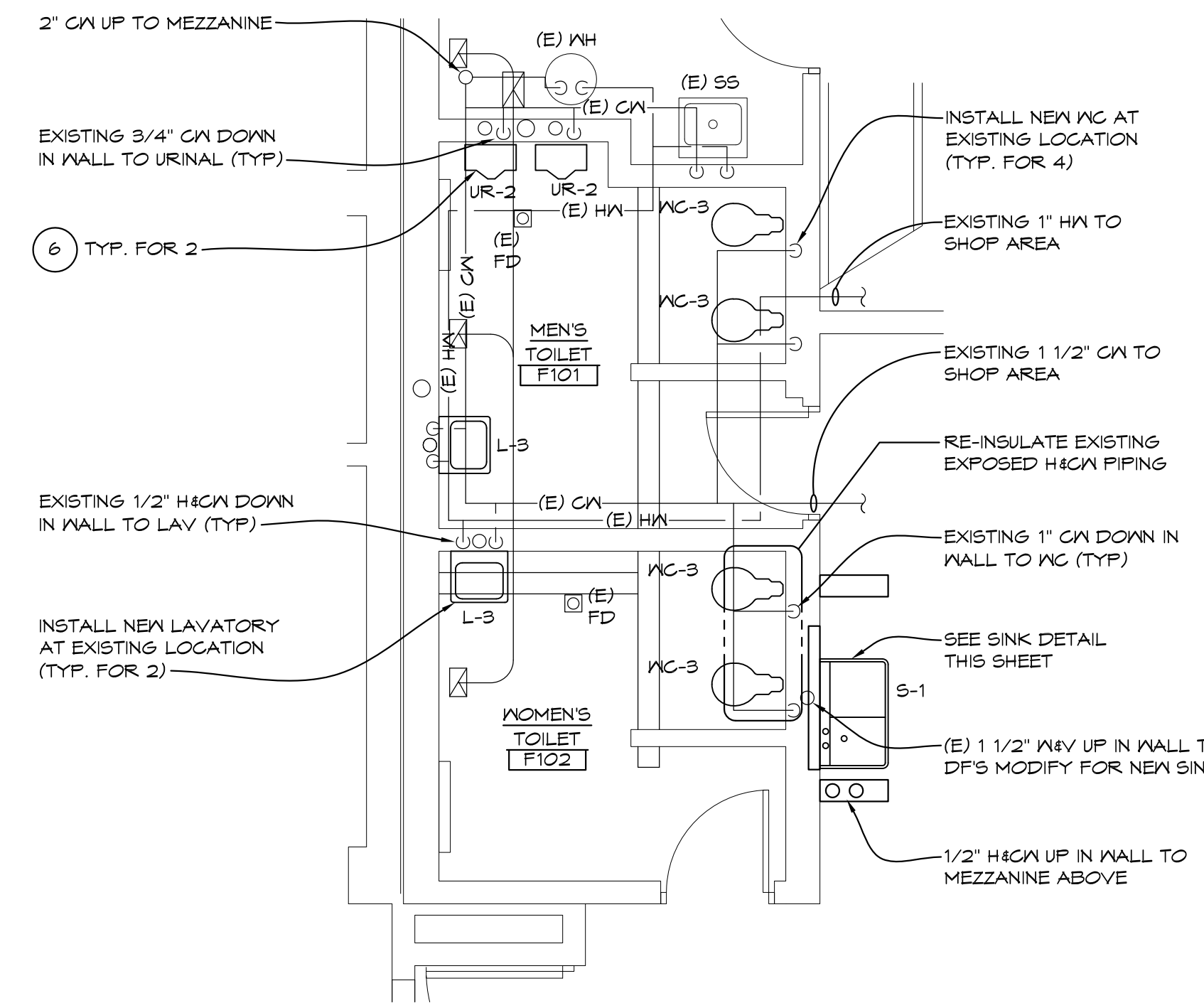
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'F' WING TOILET ROOMS UNDER FLOOR
PLUMBING DEMOLITION PLAN**

1/4" = 1'-0" X01



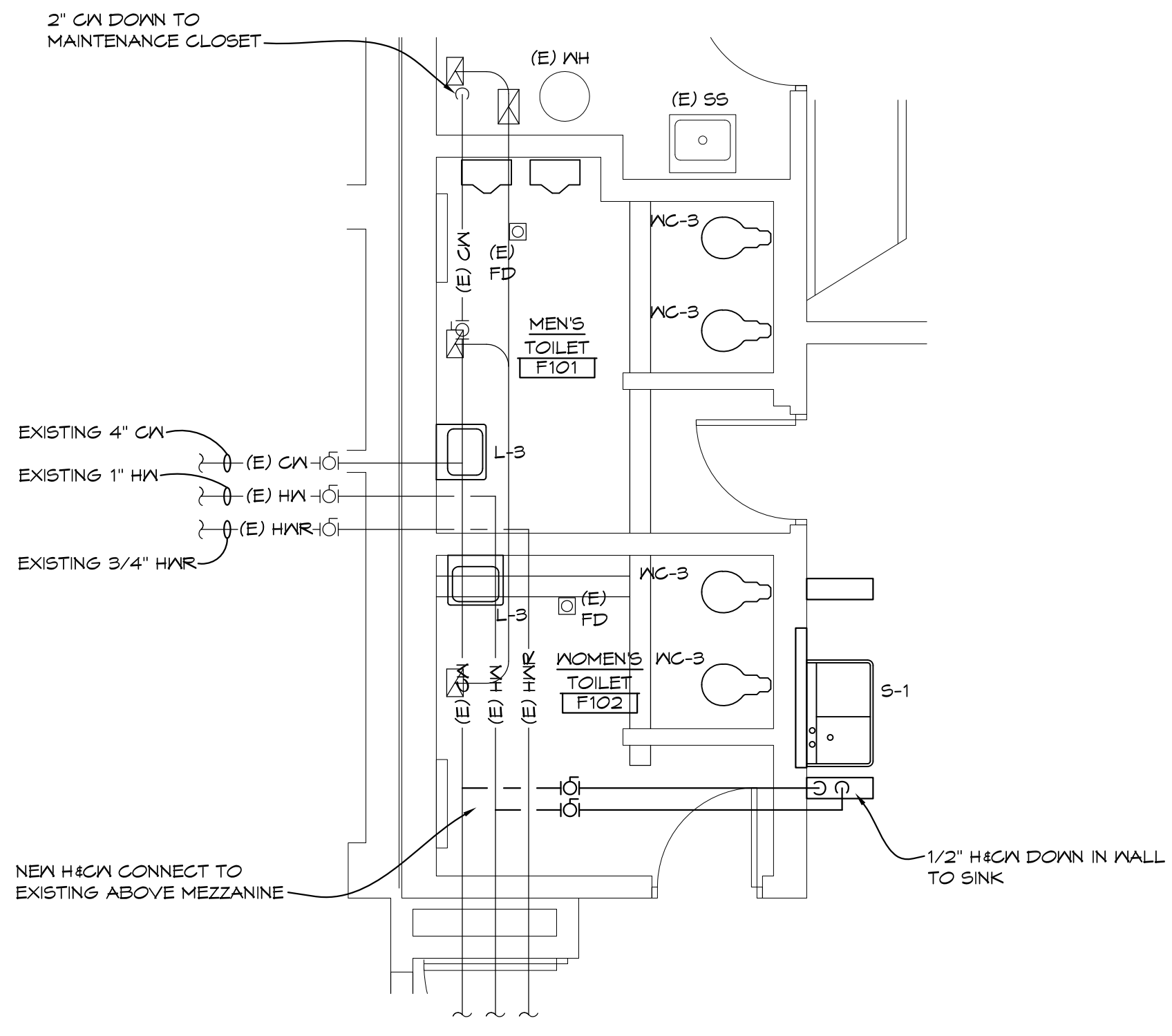
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'F' WING TOILET ROOMS ABOVE FLOOR
PLUMBING DEMOLITION PLAN**

1/4" = 1'-0" X01



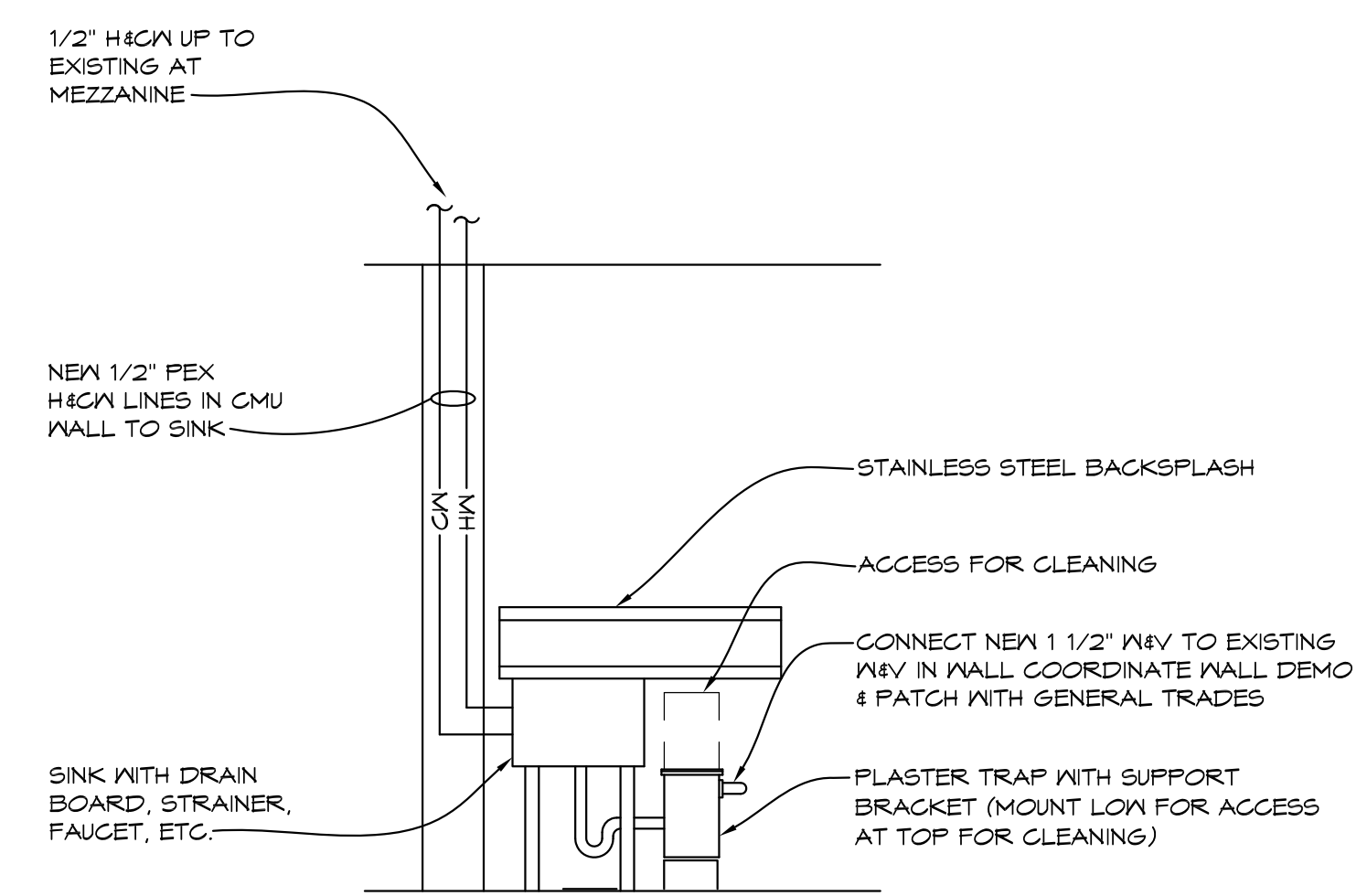
**ADD ALTERNATE #1
'F' WING TOILET ROOMS ABOVE FLOOR
ENLARGED PLUMBING PLAN**

1/4" = 1'-0" X01



**ADD ALTERNATE #1
'F' WING TOILET ROOMS ABOVE MEZZANINE
PLUMBING PLAN**

1/4" = 1'-0" X01



**ADD ALTERNATE #1
SINK DETAIL**

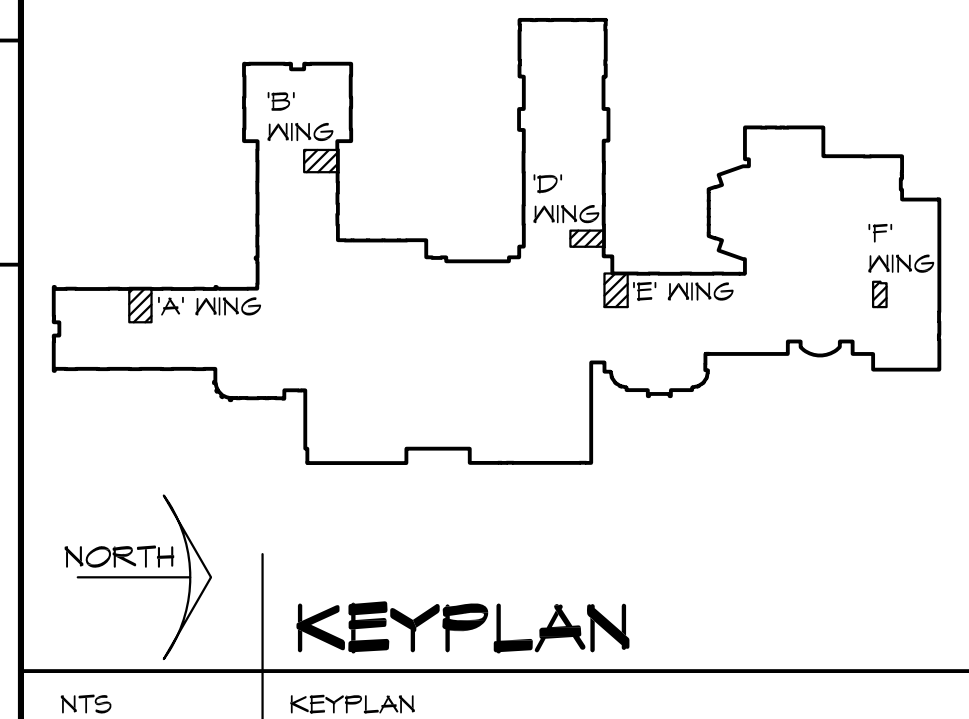
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KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
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KEYED PLUMBING NOTES

- REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY COUPLING. PROVIDE NEW GASKET, EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
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- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING CW AT WALL.
- OPEN EXISTING WALL FOR NEW PIPING WORK. COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT



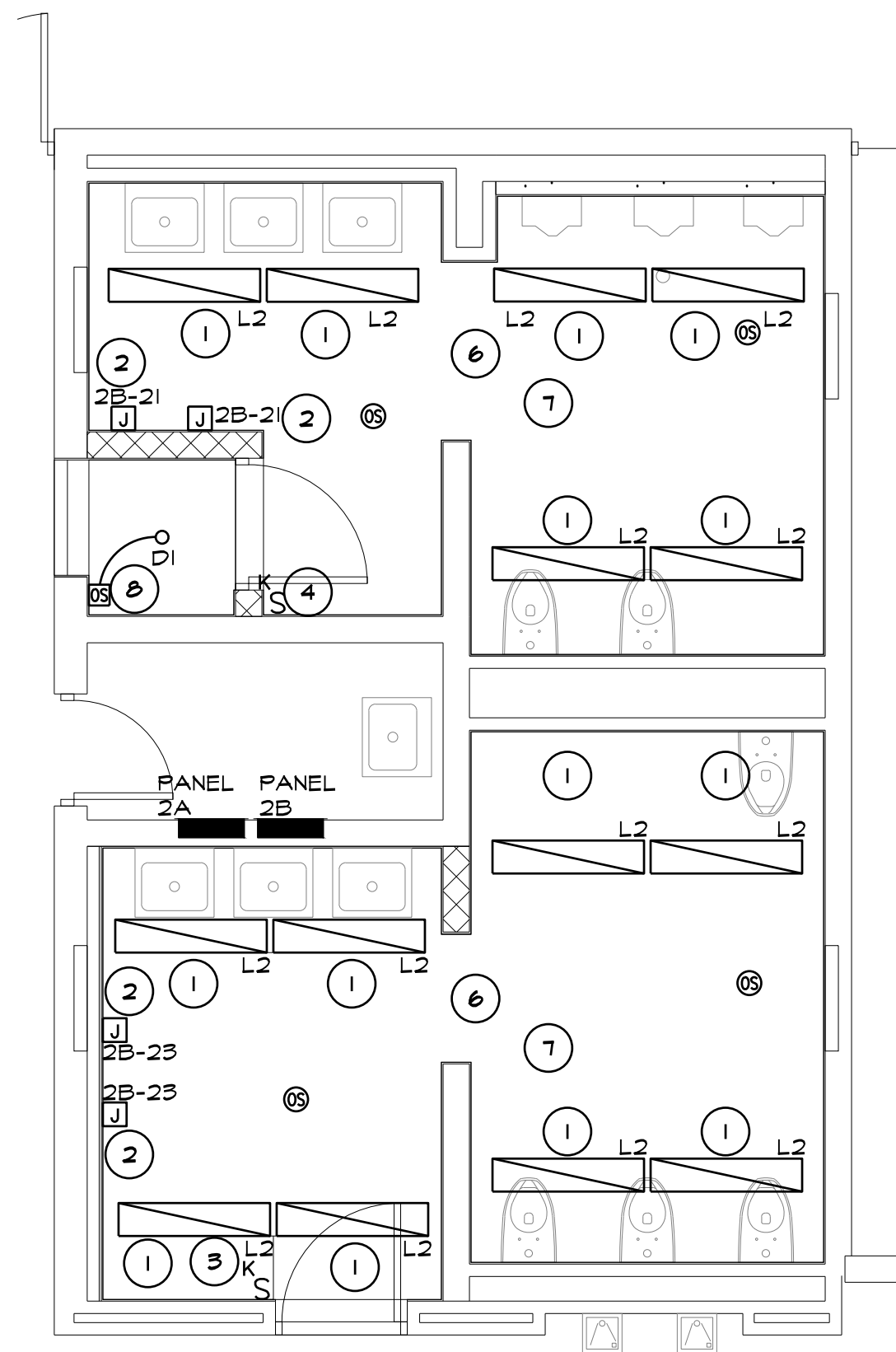
NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM #1	11/14/2024

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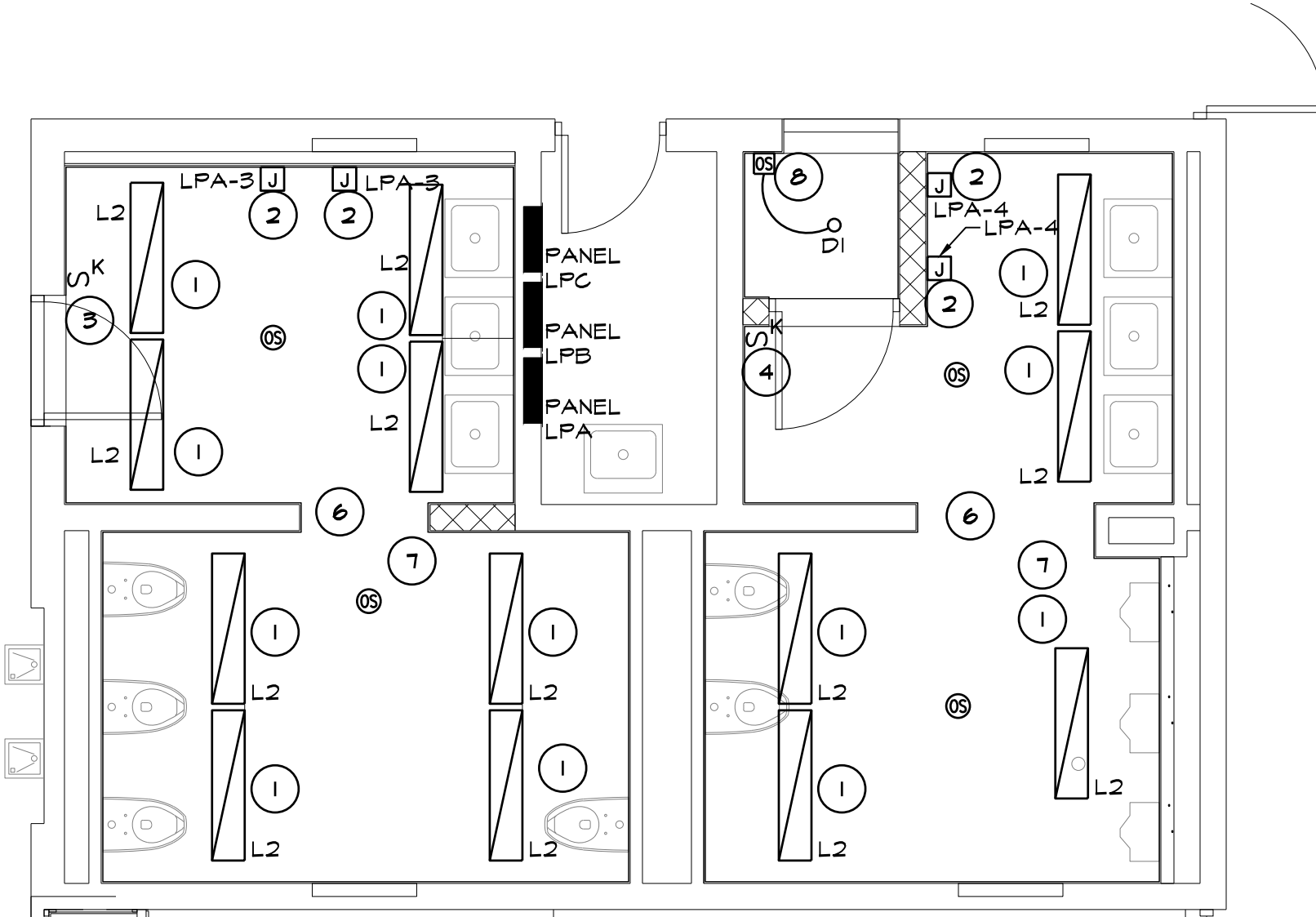
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE		
'F' WING ENLARGED TOILET ROOM PLUMBING PLANS		
SEAL	DRAWN CW/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-F105
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-P105
	SCALE AS NOTED	SHEET NO. 12 OF 16

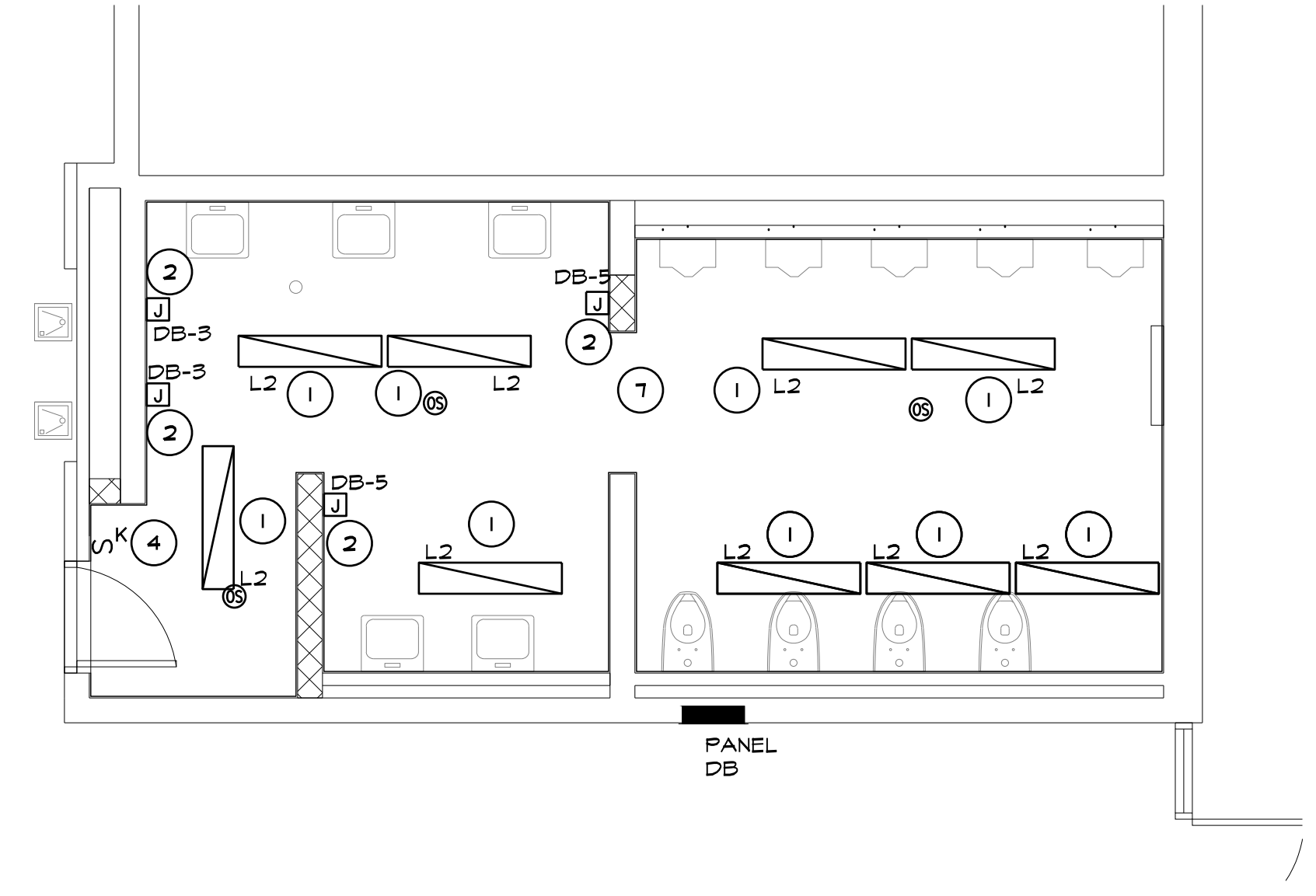
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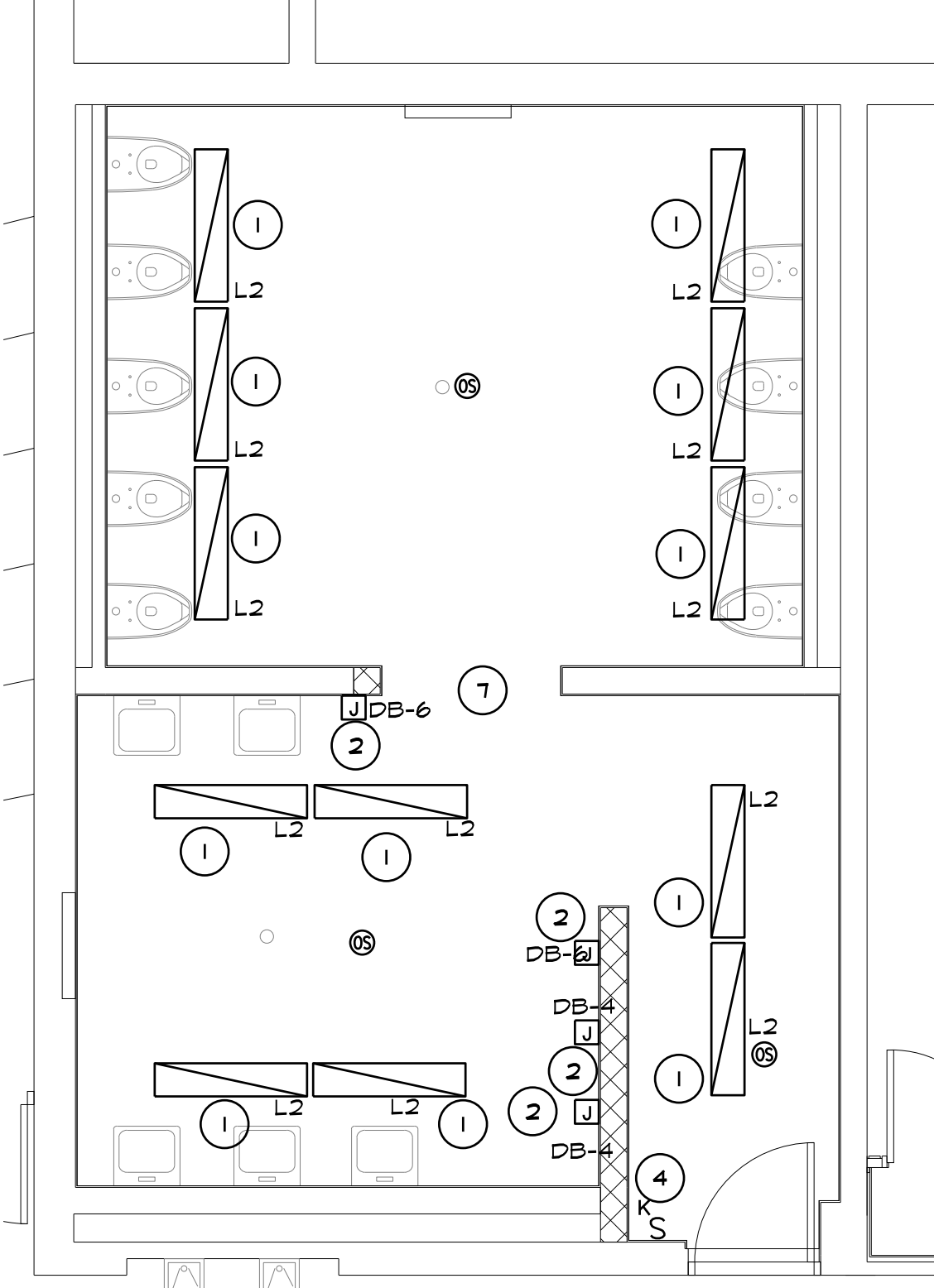
1 'A' WING TOILET ROOMS
ENLARGED PLAN
1/4" = 1'-0" X01



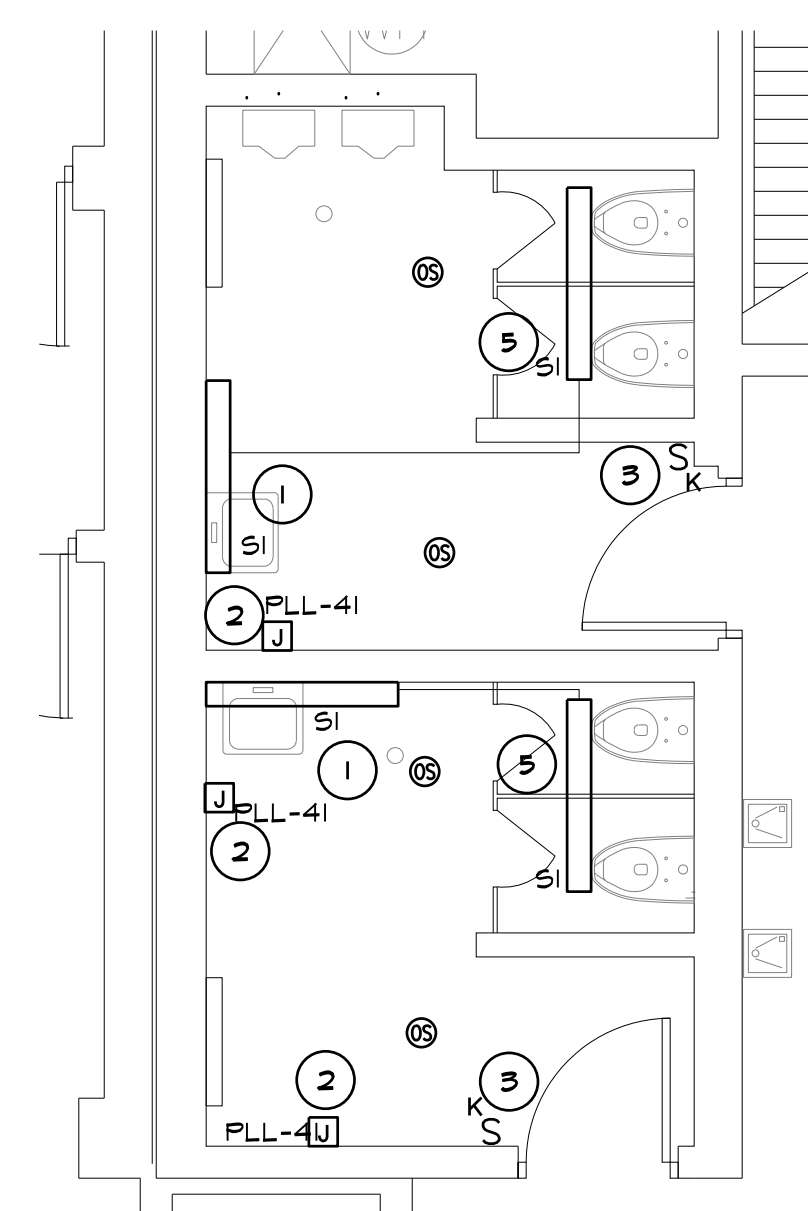
2 'B' WING TOILET ROOMS
ENLARGED PLAN
1/4" = 1'-0" X01



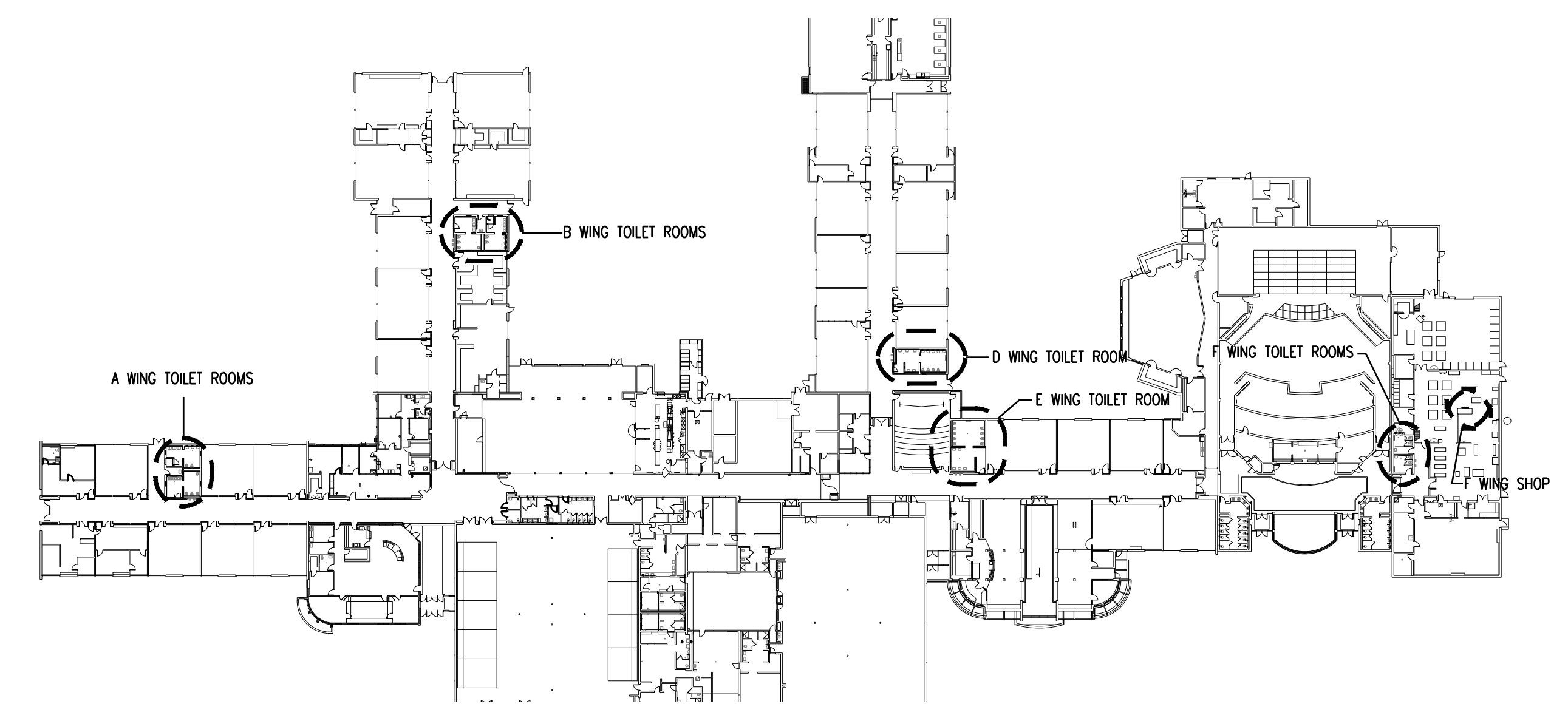
3 'D' WING TOILET ROOM
ENLARGED PLAN
1/4" = 1'-0" X01



4 'E' WING TOILET ROOM
ENLARGED PLAN
1/4" = 1'-0" X01



5 ADD ALTERNATE #1
'F' WING TOILET ROOMS
ENLARGED PLAN
1/4" = 1'-0" X01



6 KEY PLAN
1/8" = 1'-0" X01

CONSTRUCTION NOTES

1. PROVIDE CONNECTION TO NEW LIGHT FIXTURES FROM EXISTING CIRCUIT. EXTEND FEEDERS FROM JUNCTION BOX TO NEW LIGHT FIXTURES.
2. PROVIDE CONNECTION TO NEW HAND DRYER FROM CIRCUIT BREAKER AS SHOWN.
3. PROVIDE NEW KEYED SWITCH IN EXISTING BOX.
4. PROVIDE NEW SWITCH FOR CONTROLS TO SPACE.
5. EXTEND LIGHTING CIRCUIT AND CONTROLS TO NEW FIXTURE. SURFACE MOUNTED CONDUIT IS ACCEPTABLE FOR EXTENSION TO NEW FIXTURES.
6. NEW CEILING MOUNTED SPEAKER. EXTEND EXISTING SPEAKER WIRE AS NEED FOR NEW SPEAKER.
7. RE-INSTALL EXISTING FIRE ALARM ON NEW WALL TILE. REWORK WIRE MOLD AS REQUIRED FOR NEW DEVICE.
8. PROVIDE NEW WALL OCCUPANCY SENSOR/SWITCH IN EXISTING BOX.

1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE



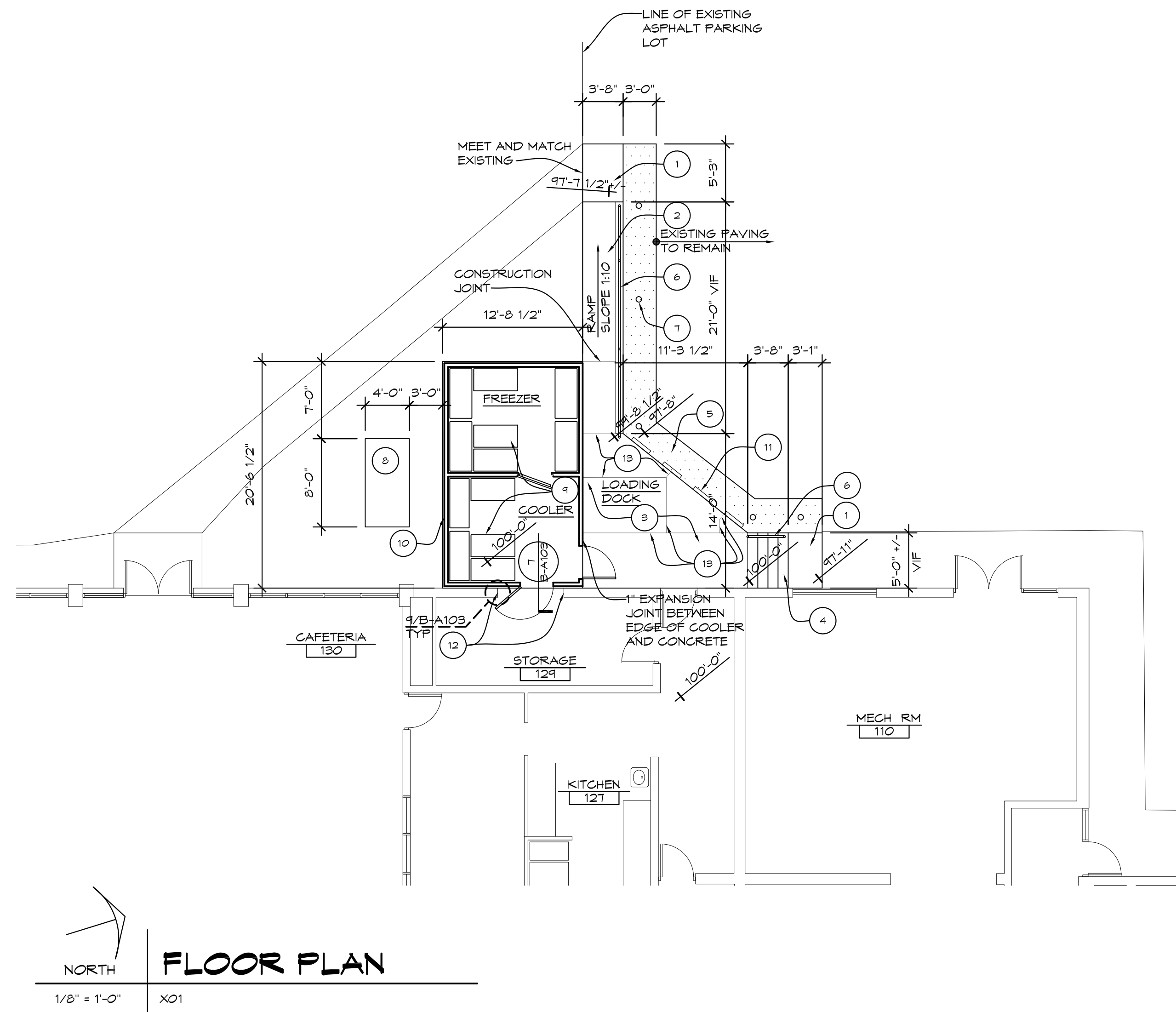
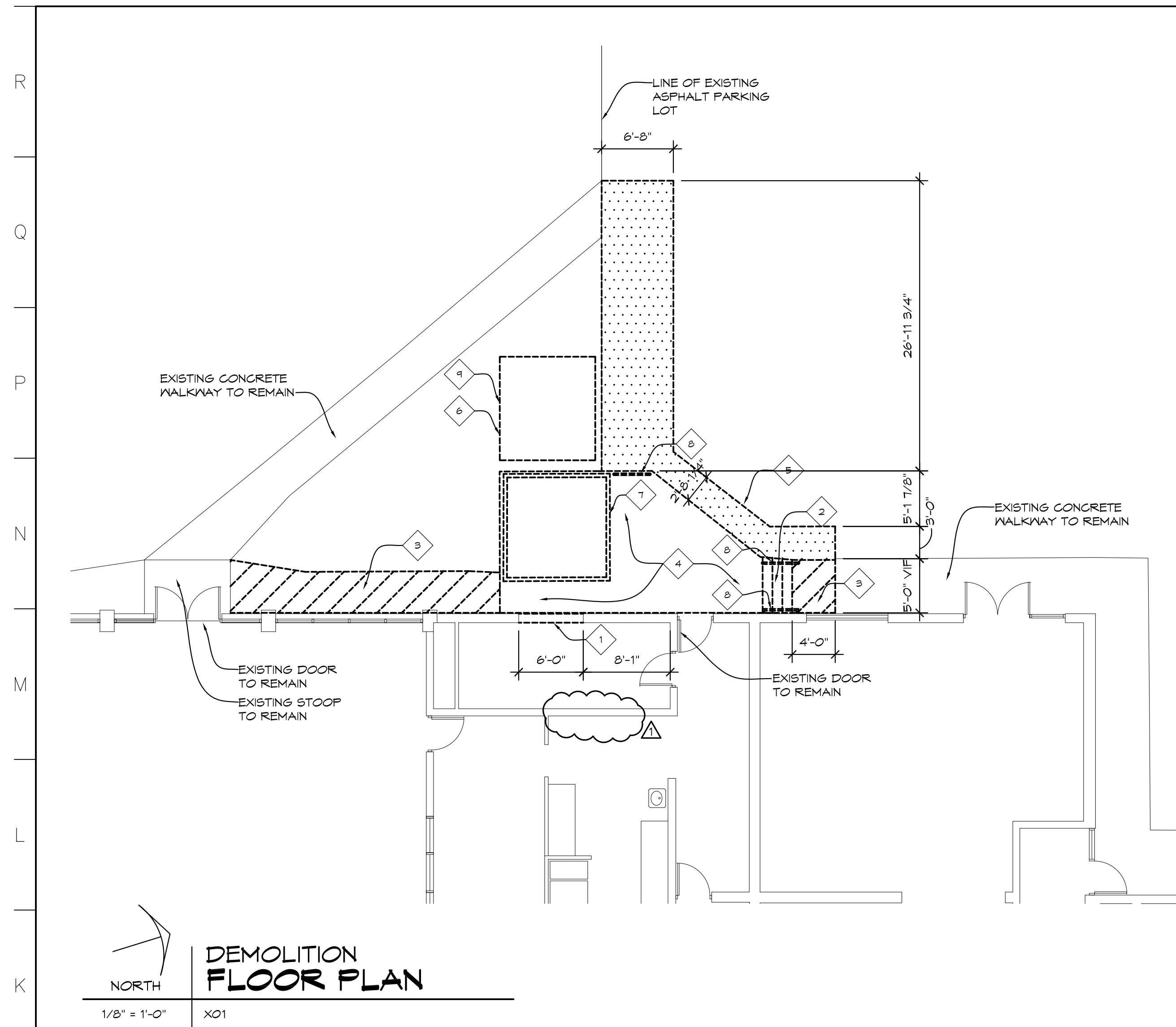
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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
TOILET ROOM ELECTRICAL PLANS

SEAL	DRAWN TJA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. A-E102
	REVIEWED RCH	DRAWING NO.
	DATE OCT 18, 2024	A-E102
	SCALE AS NOTED	SHEET NO. 14 OF 15

PROJECT 'A'

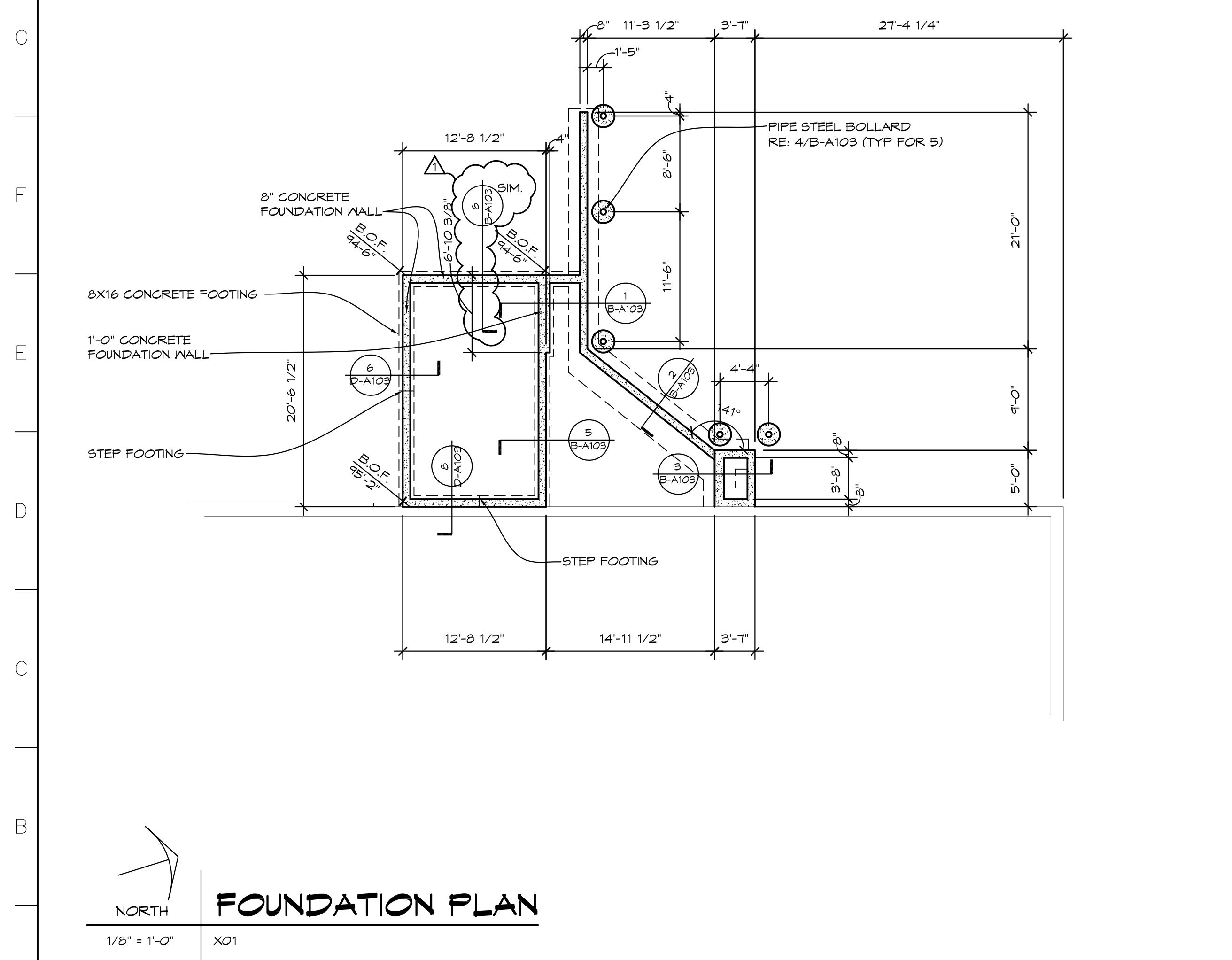


- ### DEMOLITION GENERAL NOTES
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - AT ALL DEMOLITION AREAS, PATCH AND FINISH TO MATCH EXISTING FINISHES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACINGS AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL ITEMS SCHEDULED FOR REMOVAL.
 - UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. NO GUARANTEE IS MADE EITHER TO COMPLETENESS OR ACCURACY.
 - CONTACT "MISS DIG" AT 1-800-482-1111 PRIOR TO EXCAVATION OR DEMOLITION.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
 - NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

- ### DEMOLITION NOTES
- REMOVE PORTION OF EXISTING MASONRY WALL.
 - REMOVE EXISTING CONCRETE STAIR AND FOUNDATIONS.
 - REMOVE EXISTING CONCRETE WALKWAY AND BASE.
 - REMOVE EXISTING CONCRETE LOADING DOCK COMPLETE, INCLUDING CONCRETE FOUNDATIONS.
 - REMOVE PORTION OF EXISTING ASPHALT AND BASE.
 - EXISTING SHED TO BE REMOVED BY OWNER.
 - EXISTING COOLER TO BE REMOVED BY OTHERS.
 - REMOVE EXISTING HANDRAIL.
 - REMOVE EXISTING CONCRETE PAD.

- ### CONSTRUCTION GENERAL NOTES
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD, AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
 - COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS TO REMAIN DURING CONSTRUCTION TO PREVENT DAMAGE.
 - DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.

- ### CONSTRUCTION NOTES
- PROVIDE NEW CONCRETE WALKWAY AND BASE, RE: 000/B-A103.
 - PROVIDE NEW CONCRETE RAMP, RE: 1/B-A103.
 - PROVIDE NEW CONCRETE LOADING DOCK, RE: 2/B-A103.
 - PROVIDE NEW CONCRETE STAIR, RE: 3/B-A103.
 - PROVIDE NEW ASPHALT PAVING TO MATCH EXISTING.
 - PROVIDE NEW 1 1/2" DIAMETER STEEL TUBE GUARDRAIL, RE: SHEET B-A103.
 - STEEL PIPE BOLLARD, TYP OF 5, RE: 4/ B-A103.
 - PROVIDE 6" CONCRETE PAD, WITH 6x6x1.4x1.4 WWR ON 4" COMPACTED FILL.
 - SHELVING BY FSE CONTRACTOR.
 - NEW WALK-IN COOLER/ FREEZER, RE: SHEET B-F51.
 - PROVIDE DOCK BUMPERS, RE: SPEC.
 - TOOTH IN NEW MASONRY AND PROVIDE JAMB COVER, RE: 4/B-A103.
 - PROVIDE EXPANSION JOINT.



MICHIGAN UNIFIED KEYING SYSTEM

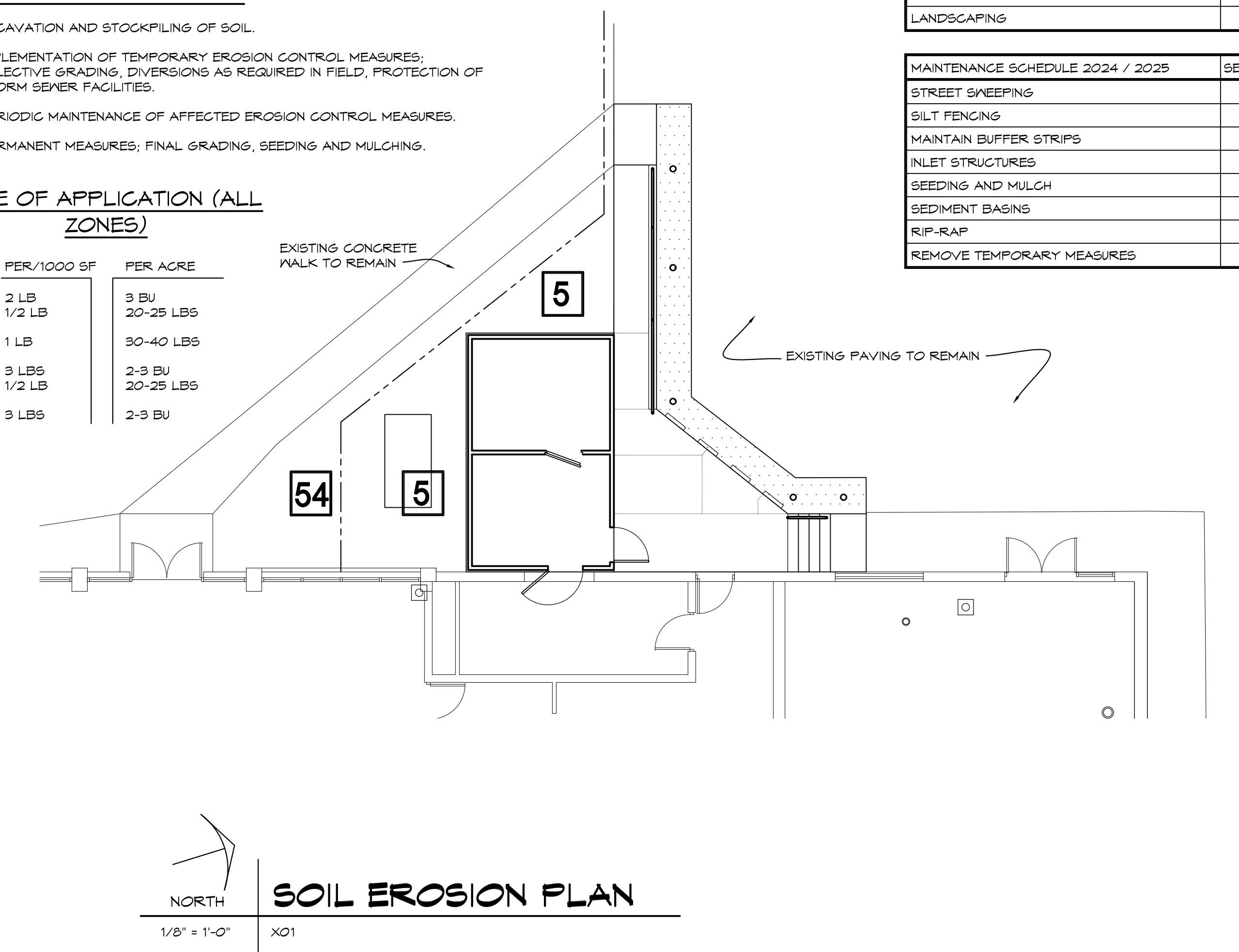
KEY	DETAIL	CHARACTERISTICS
5	SEEING	NONPERFORATED AND 45° SLOTTED. FINISHED WITH POLYURETHANE EPOXY. REMOVE RUBBER TO EXPOSE CONC. REVISIONS RANOFF VOLUME SHOULD INCLUDE PREPARED FORMS, SEE 54.
54	SOIL FENCE	SEE DETAIL FOR MARKING AND POSTS OR POLES. SEE 50 FOR CONSTRUCTION AND DETAILS AS NECESSARY.

CONSTRUCTION SEQUENCE

- EXCAVATION AND STOCKPILING OF SOIL.
- IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING; DIVERSIONS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
- PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
- PERMANENT MEASURES: FINAL GRADING, SEEDING AND MULCHING.

RATE OF APPLICATION (ALL ZONES)

PER/1000 SF	PER ACRE
2 LB	3 BU
1/2 LB	20-25 LBS
1 LB	30-40 LBS
3 LBS	2-3 BU
1/2 LB	20-25 LBS
3 LBS	2-3 BU



SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
TEMPORARY BESS MEASURES														
STRIP AND STOCKPILE SOIL														
ROUGH GRADING														
UNDERGROUND UTILITIES														
ROAD INSTALLATION														
BUILDING CONSTRUCTION (REMODEL)														
PERMANENT BESS MEASURES														
FINAL GRADE														
LANDSCAPING														

MAINTENANCE SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
STREET SWEEPING														
SILT FENCING														
MAINTAIN BUFFER STRIPS														
INLET STRUCTURES														
SEEDING AND MULCH														
SEDIMENT BASINS														
RIP-RAP														
REMOVE TEMPORARY MEASURES														

SOIL EROSION AND SEDIMENTATION CONTROL

- DEVELOPER / PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND / OR GRADING OPERATIONS.
- BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF PLAN REVIEW.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
- ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE REMOVED FROM ROAD RIGHT-OF-WAY AREAS PRIOR TO ACCEPTANCE OF STREETS FOR ROUTINE MAINTENANCE.
- VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION GUARANTEE BY THE ROAD COMMISSION.

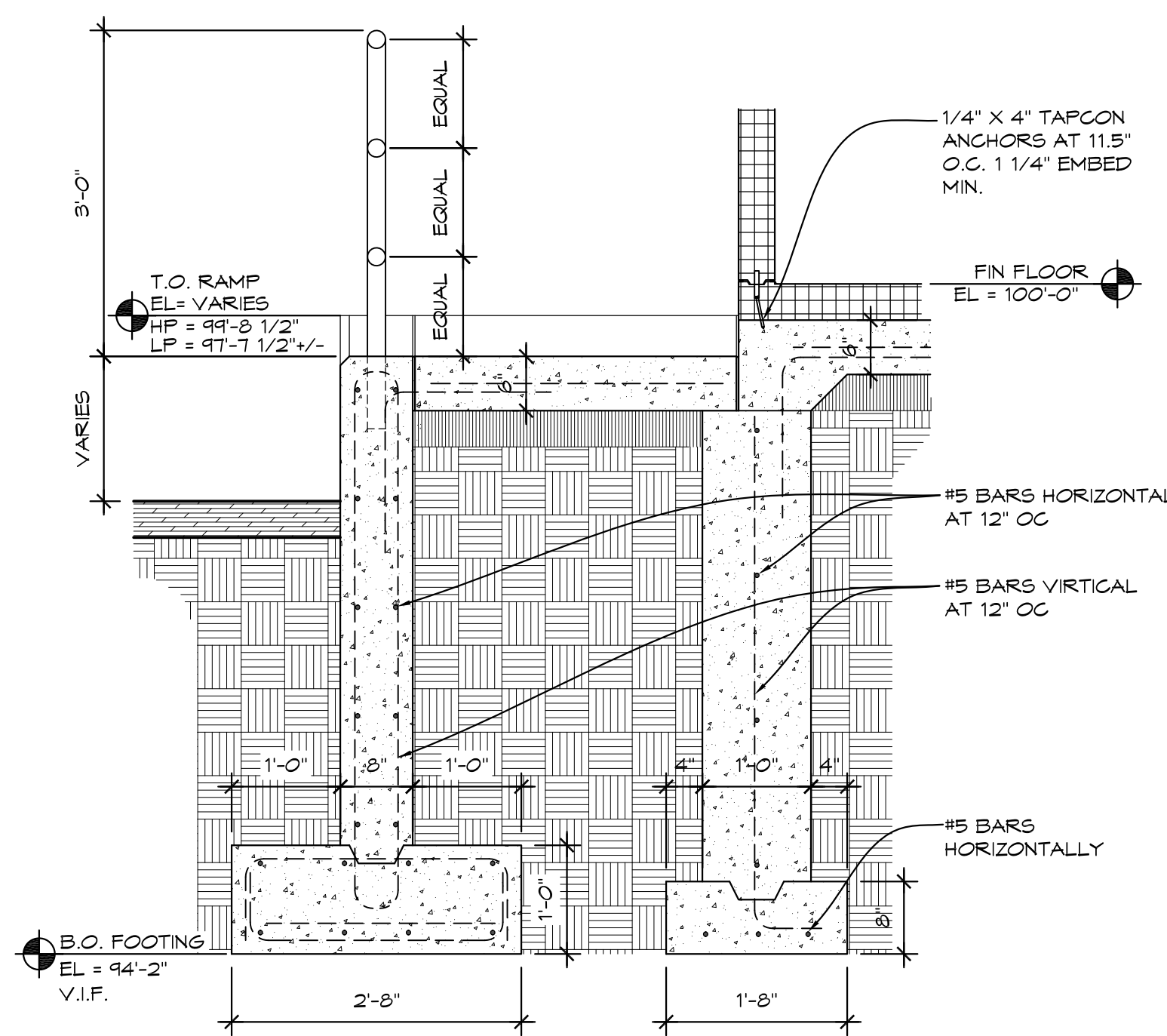
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PROJECT 'B'
BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

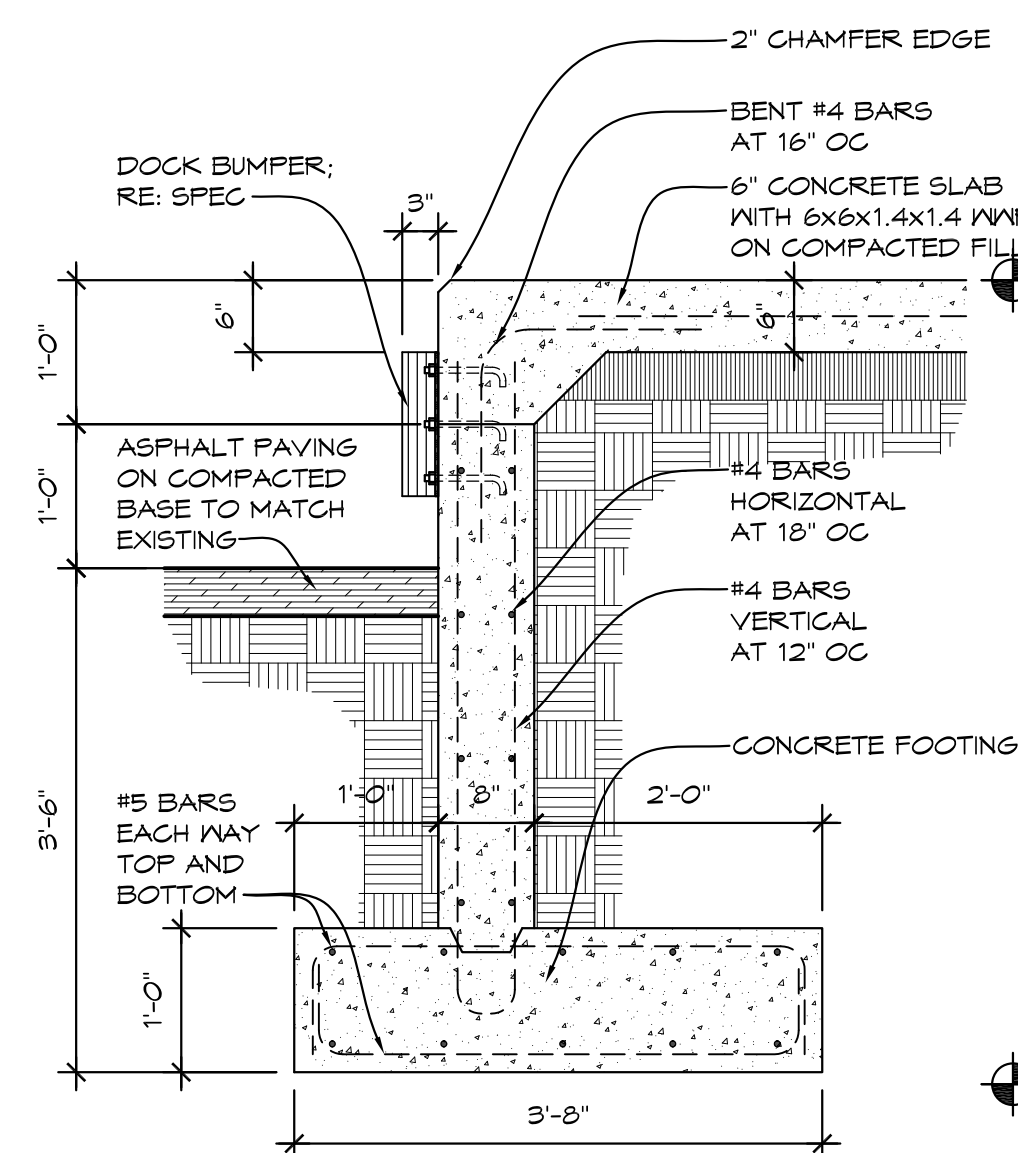
DRAWING TITLE
COOLER/ REFRIGERATOR DEMOLITION PLAN, FLOOR PLAN

SEAL	DRAWN	PROJECT NO.
	EVA	24-120
	CHECKED	CAD FILE NO.
	JESS	B-A102
	REVIEWED	DRAWING NO.
	MLB	B-A102
	DATE	SHEET NO.
	OCT 18, 2024	
	SCALE	
	1/8" = 1'-0"	3 OF 7

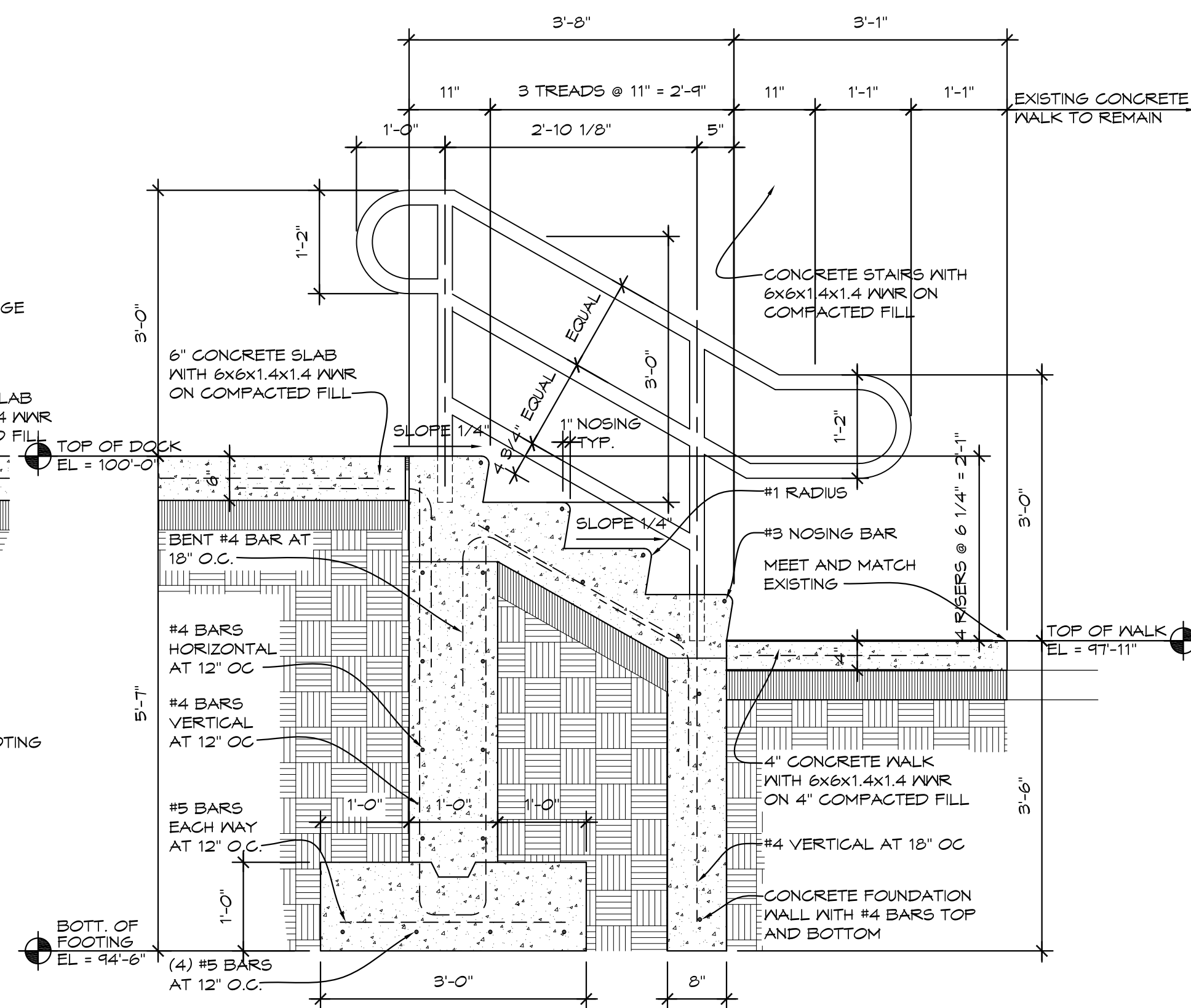
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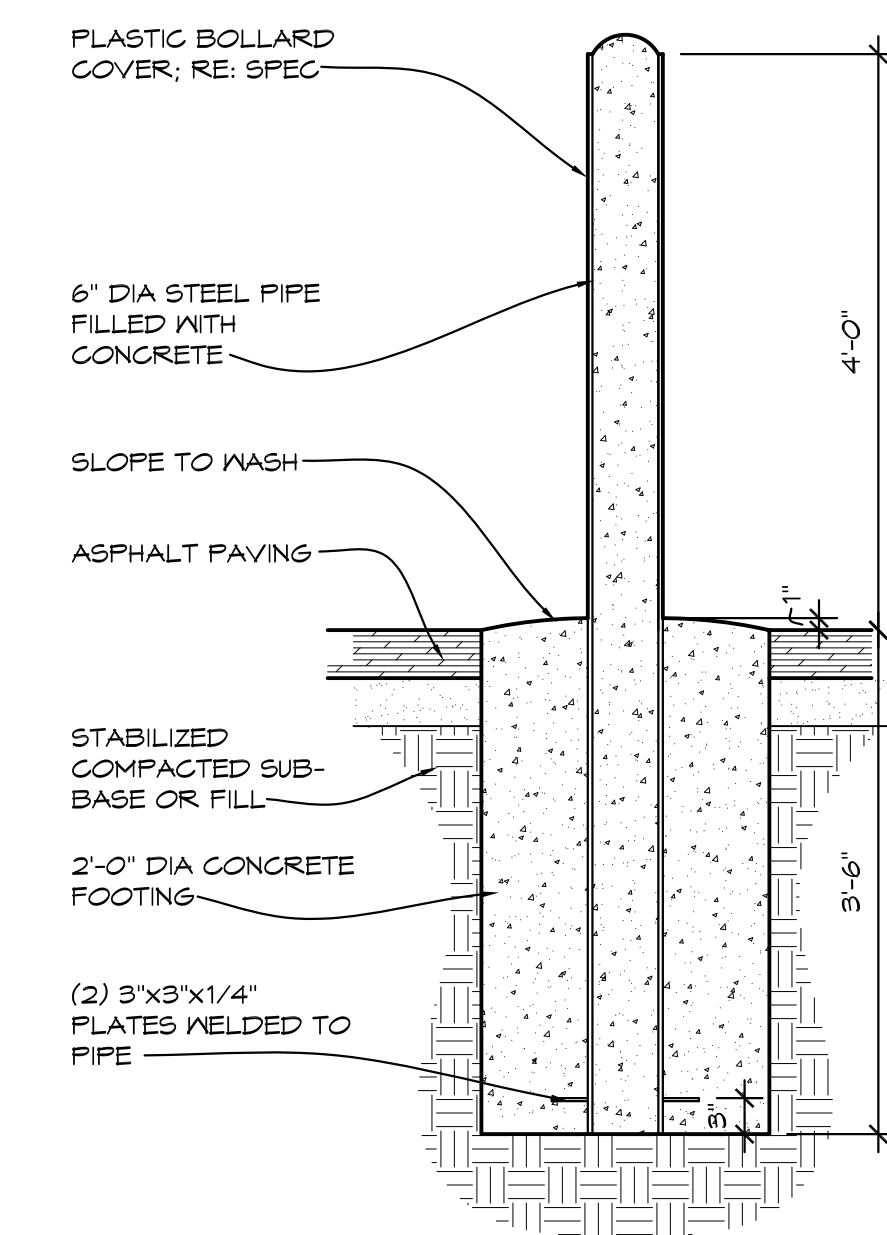
1 RAMP DETAIL
3/4" = 1'-0" WSECO2



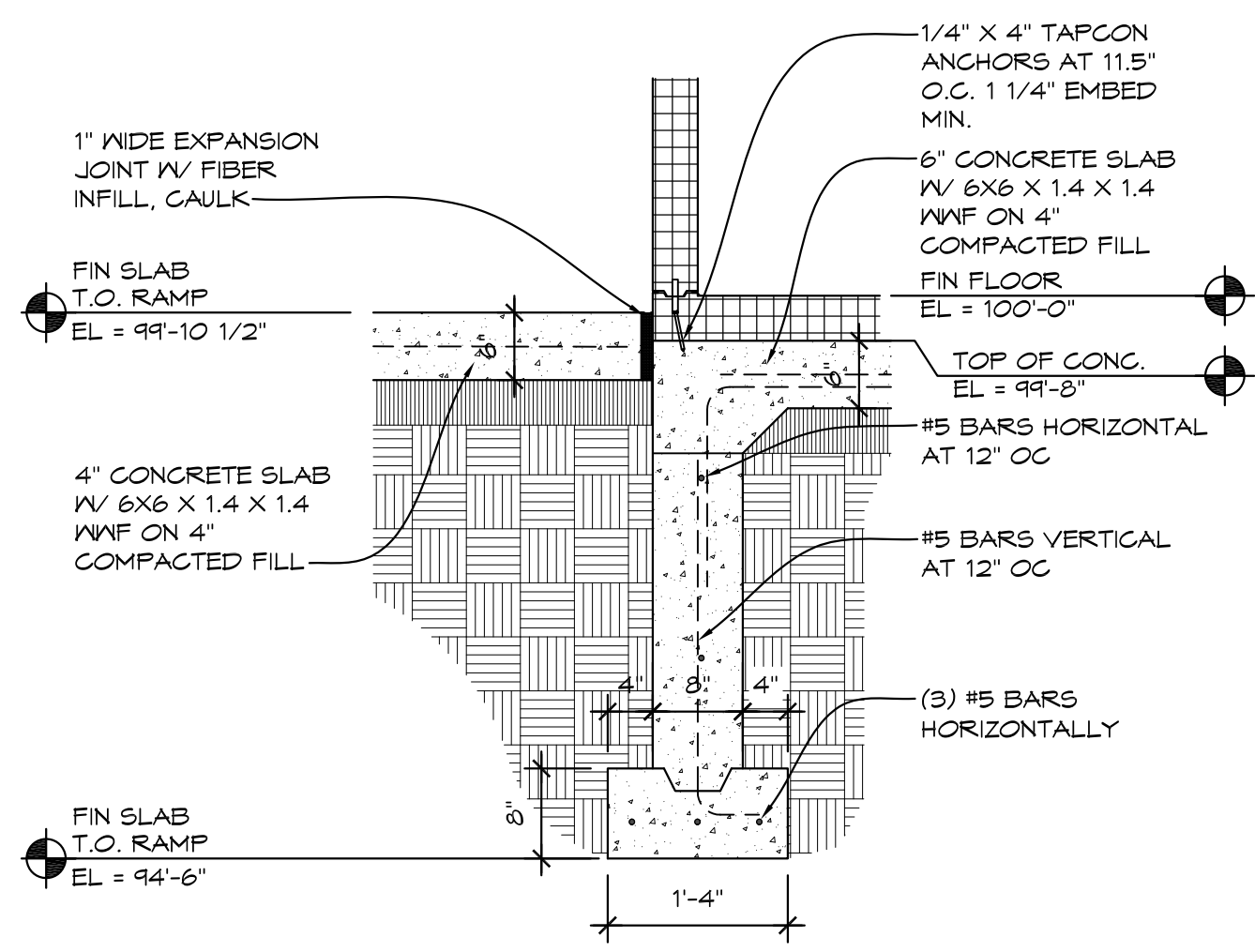
2 LOADING DOCK DETAIL
3/4" = 1'-0" WSECO1



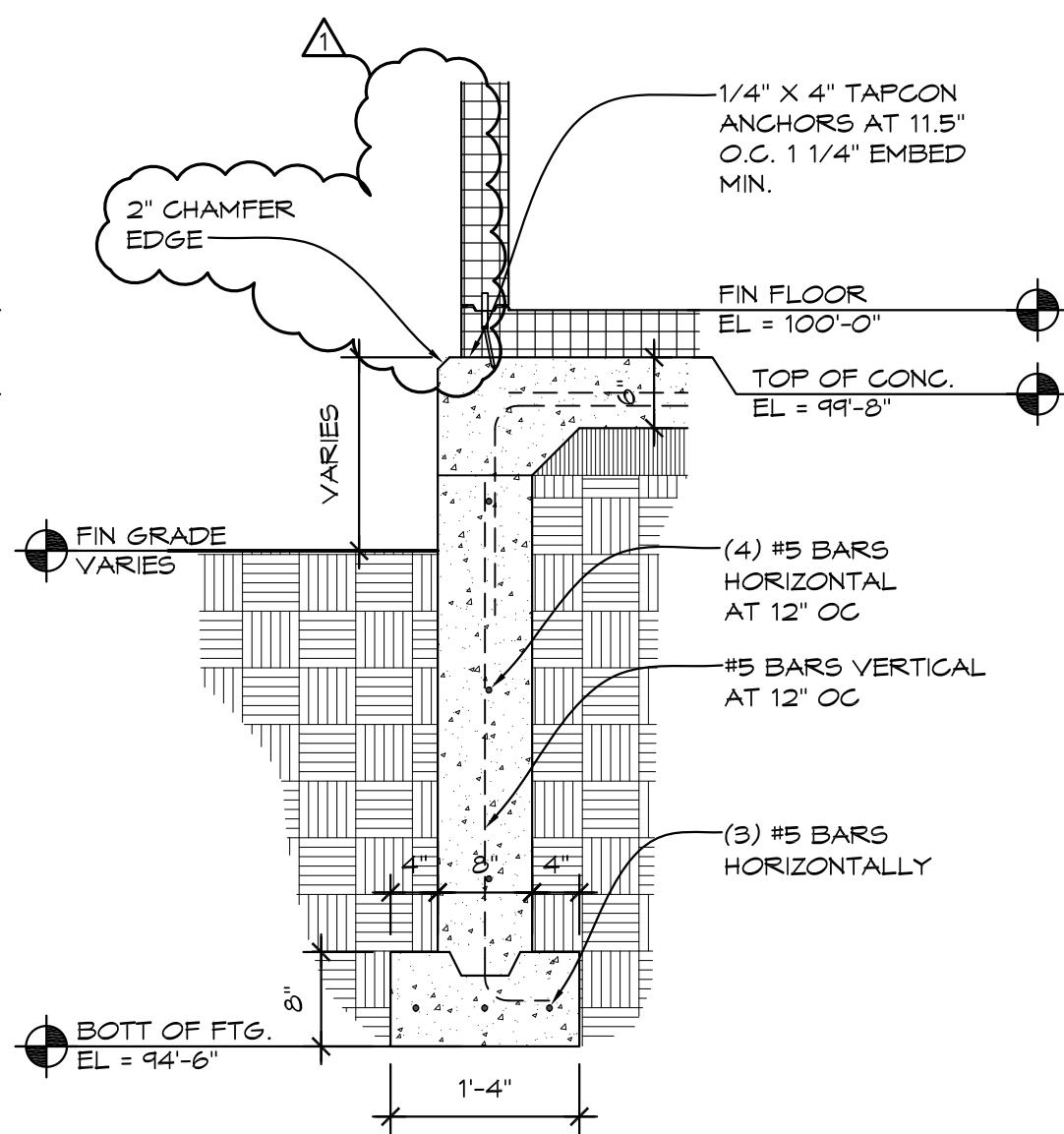
3 STAIR DETAIL
3/4" = 1'-0" WSECO4



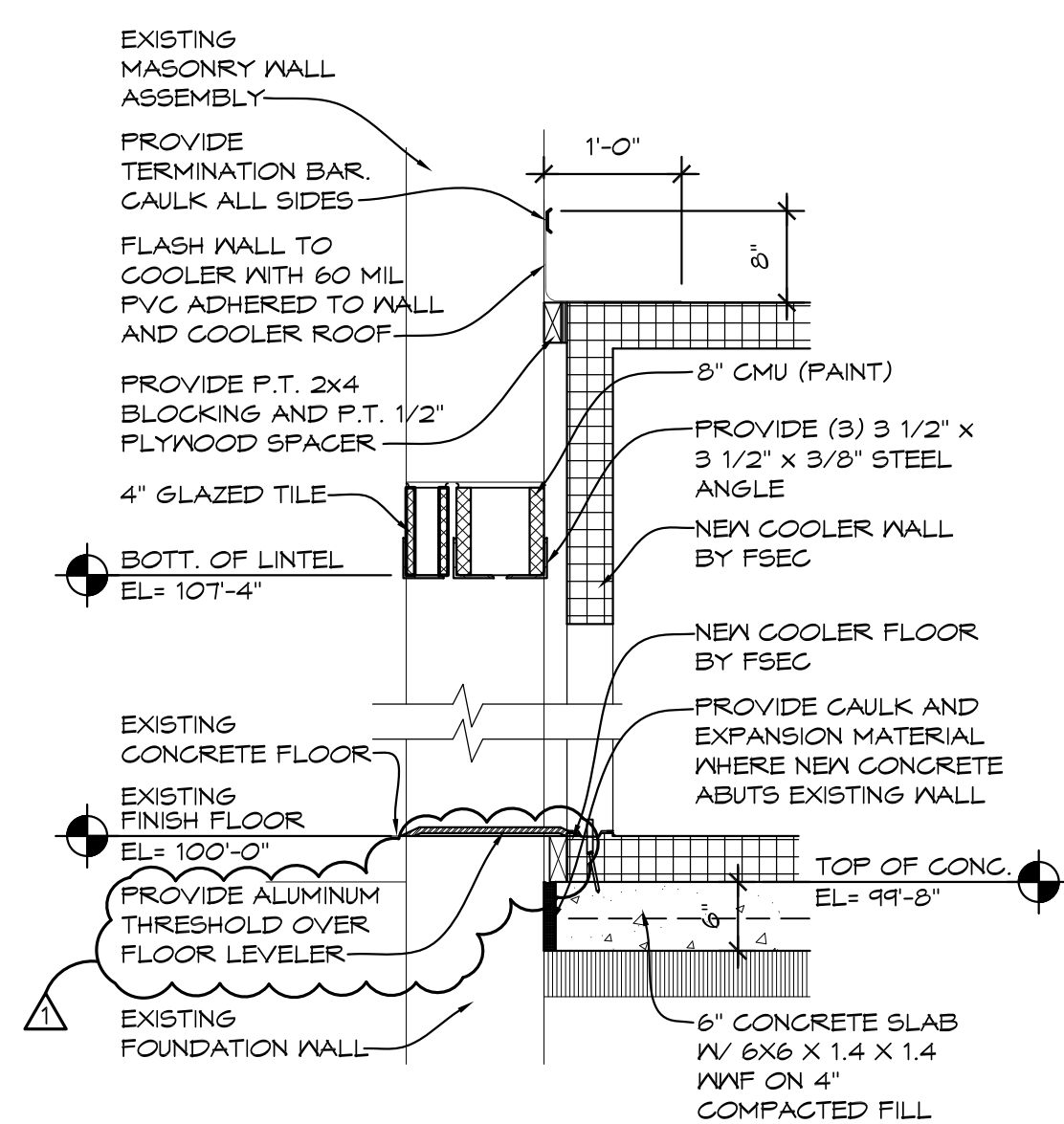
4 BOLLARD DETAIL
3/4" = 1'-0" WSECO4



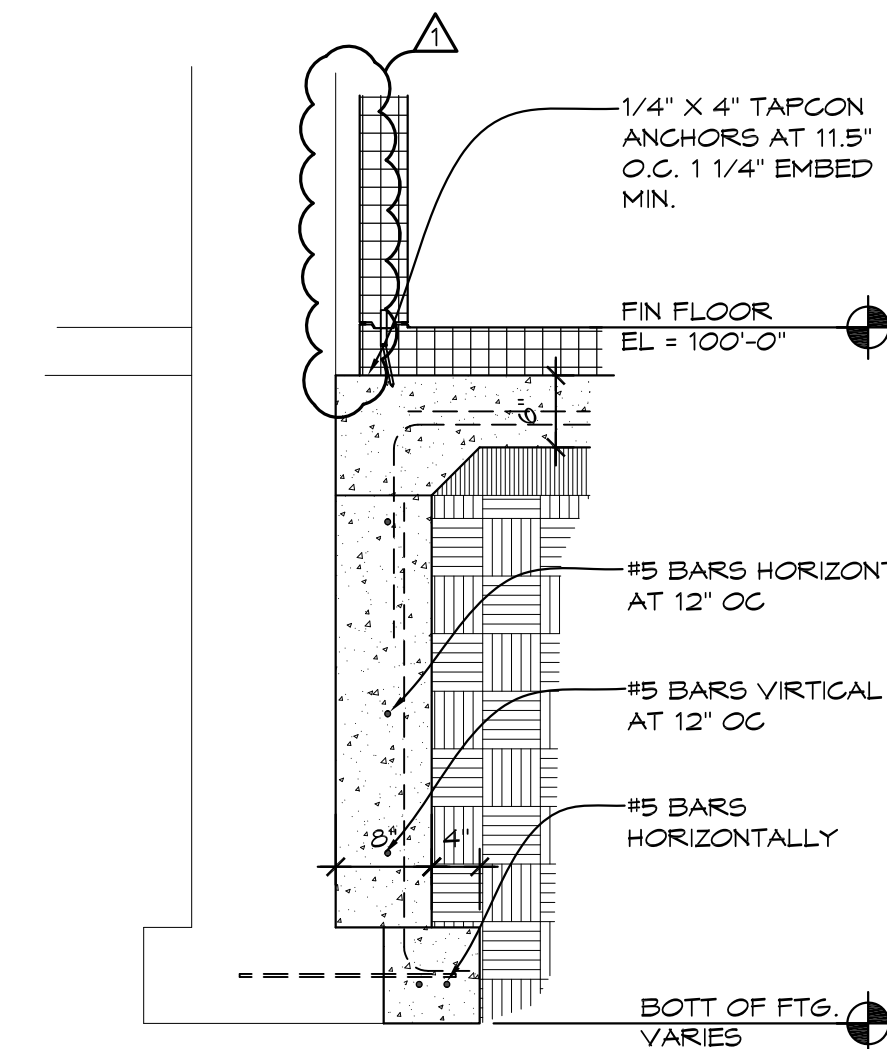
5 LOADING DOCK DETAIL
3/4" = 1'-0" WSECO3



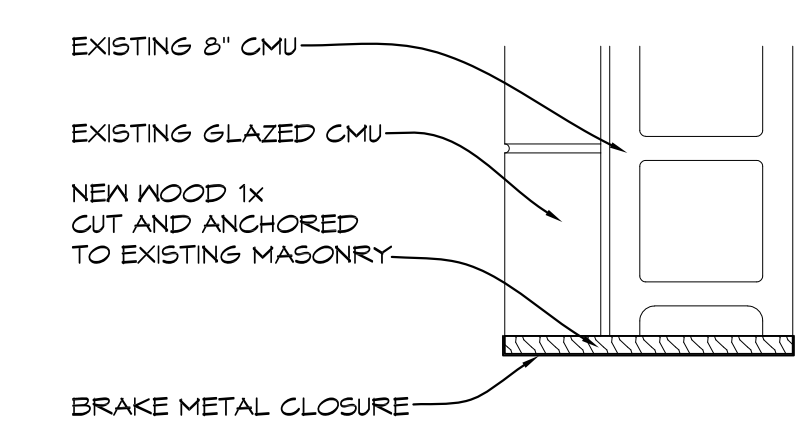
6 LOADING DOCK DETAIL
3/4" = 1'-0" WSECO5



7 DETAIL
3/4" = 1'-0" WSECO6



8 DETAIL
3/4" = 1'-0" WSECO6



9 DETAIL
1 1/2" = 1'-0" WSECO6

1	APPENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

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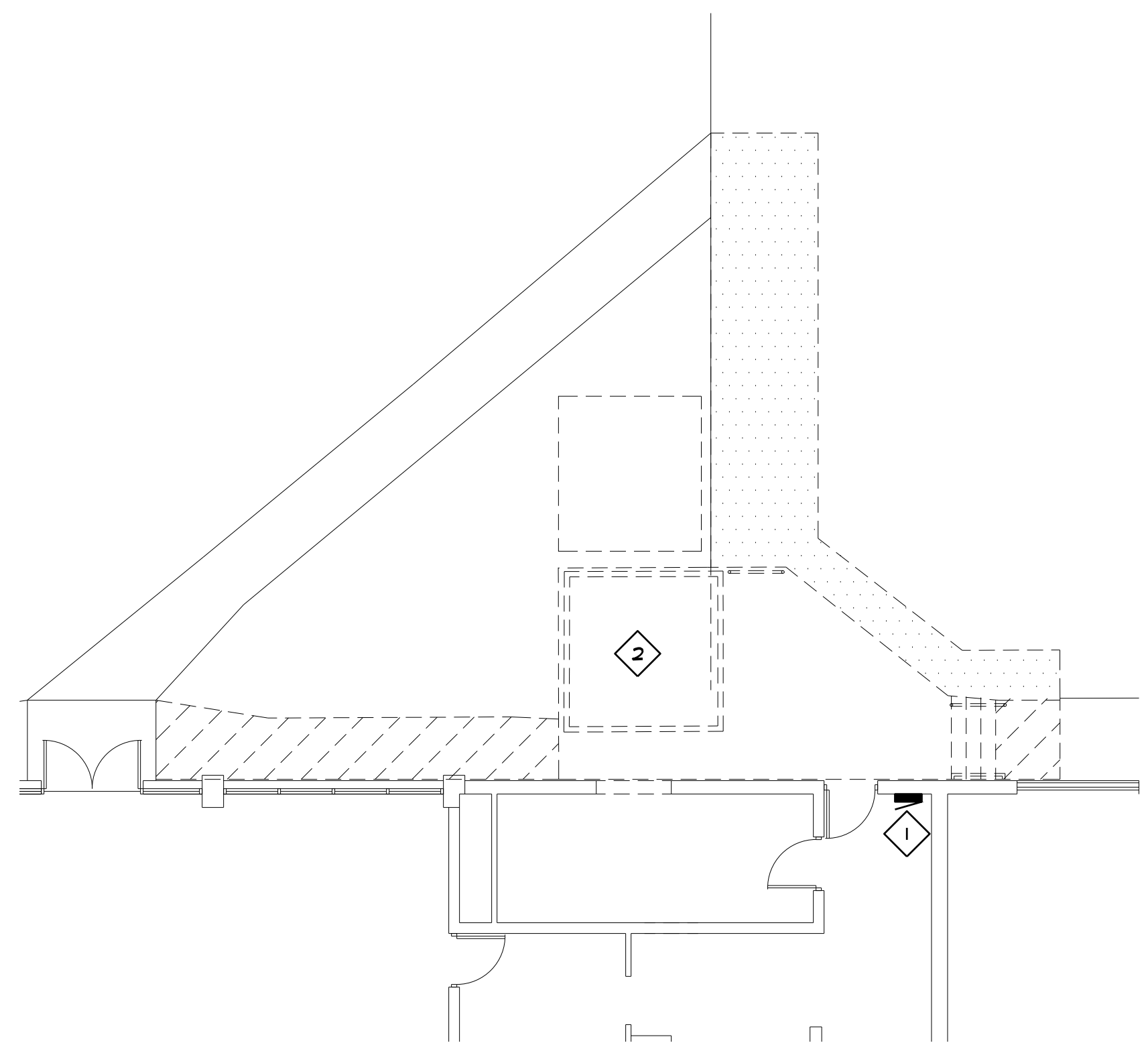
PROJECT 'B'
**BULLOCK CREEK
MIDDLE SCHOOL
IMPROVEMENTS**
664 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
DETAILS

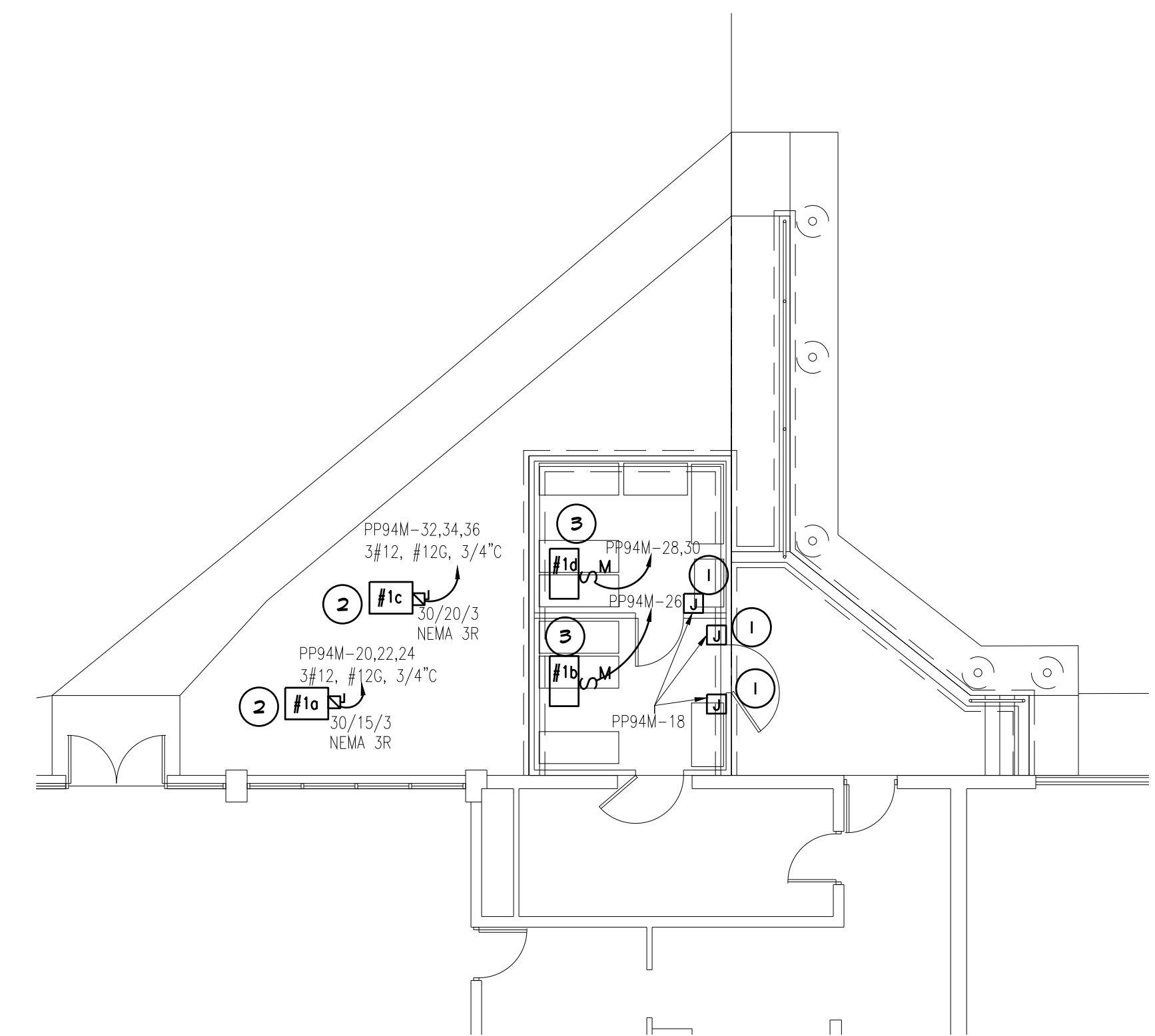
SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. B-A103
	REVIEWED MLB	DRAWING NO. B-A103
	DATE OCT 18, 2024	SHEET NO. 4 OF 7
	SCALE 3/4" = 1'-0"	

PROJECT 'B'

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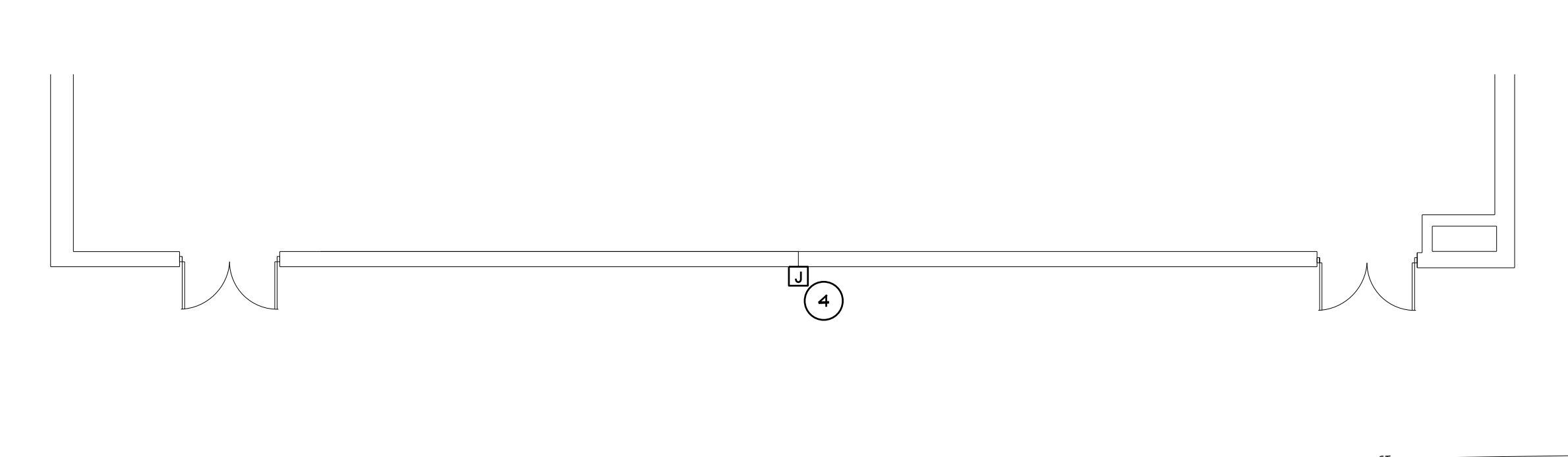
DEMOLITION COOLER PLAN
1/8" = 1'-0" X01



NEW COOLER PLAN
1/8" = 1'-0" X01



DEMOLITION SIGNAGE PLAN
1/8" = 1'-0" X01

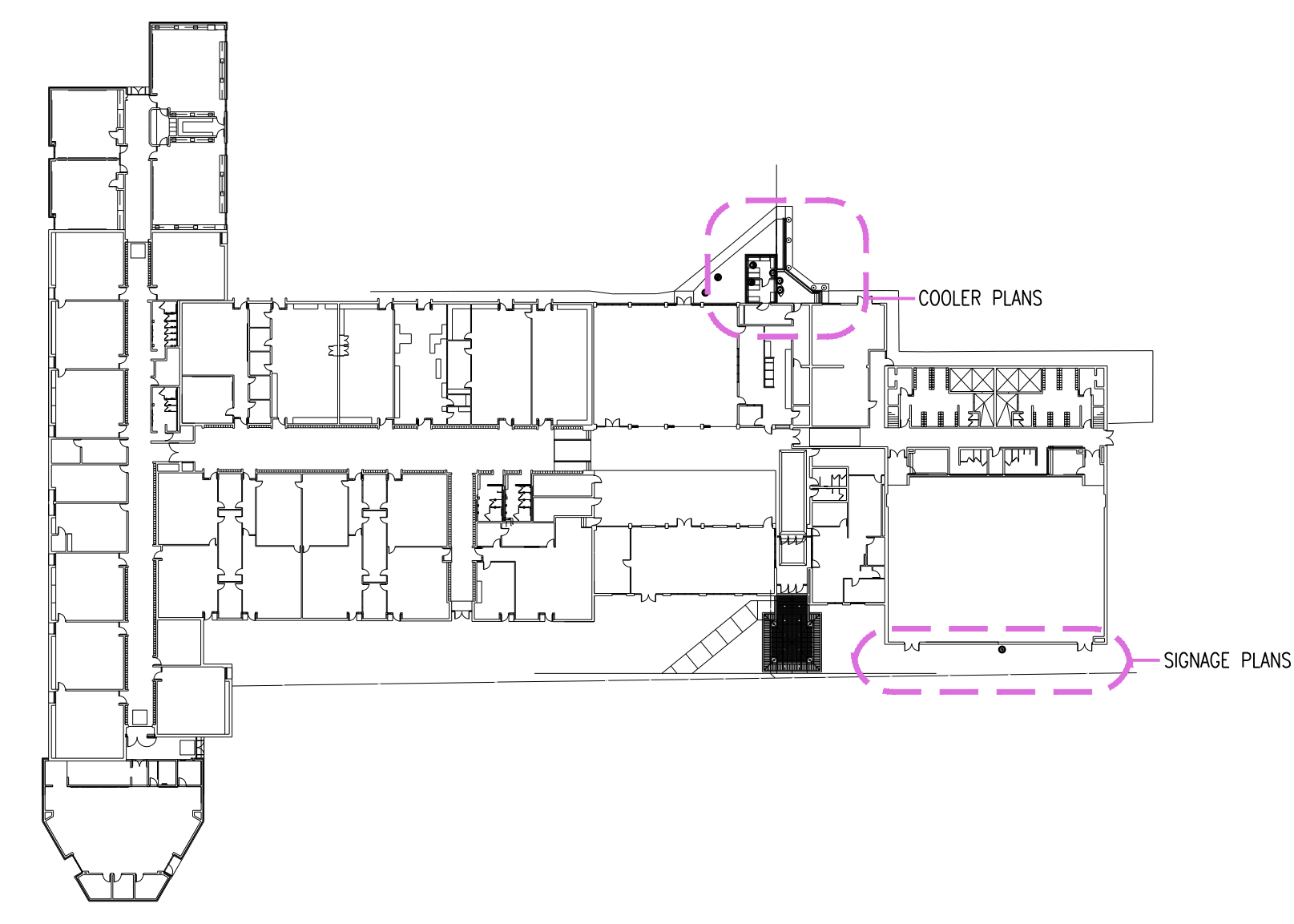


NEW SIGNAGE PLAN
1/8" = 1'-0" X01

PANEL NAME: PP94M																
SECTION: 1 OF 1				BUS: 100A		L-L VOLTS: 208		PROJECT #: 24570.00		* DENOTES GFCI CIRCUIT BREAKER						
POLES: 42				MAIN: MLO		PHASE: 3		FED FROM: MDP		** DENOTES SCREW ON TYPE LOCKING DEVICE						
LOCATION: D WING HALLWAY				MIN KAIC: EXISTING		WIRE: 4				BOLD DENOTES NEW BREAKERS						
MOUNTING: RECESSED				ISO GRID BUS: NO												
CKT	LOAD DESCRIPTION	LTS	REC	MOTOR	OTHER	KIT	OCPD	P	CKT	PH	CKT	P	LOAD VOLT-AMPERES	LOAD DESCRIPTION	CKT	
1	EXISTING						20	1	1	A	2	1		EXISTING	2	
3	EXISTING						20	1	3	B	4	1		EXISTING	4	
5	EXISTING						20	2	5	C	6	1		EXISTING	6	
7	-	-	-	-	-	-	-	-	7	A	8	1		EXISTING	8	
9	EXISTING						20	1	9	B	10	1		EXISTING	10	
11	EXISTING						20	1	11	C	12	1		EXISTING	12	
13	EXISTING						20	1	13	A	14	1		EXISTING	14	
15	EXISTING						20	2	15	B	16	1		EXISTING	16	
17	-	-	-	-	-	-	-	-	17	C	18	1		1,800	#1 WALK-IN FRIDGE/FREEZE	18
19	EXISTING						20	1	19	A	20	3	15	798	#1a FRIDGE COMPRESSOR	20
21	EXISTING						20	2	21	B	22	-	-	798	-	22
23	-	-	-	-	-	-	-	-	23	C	24	-	-	798	-	24
25	EXISTING						30	2	25	A	26	1	20		EXISTING	26
27	-	-	-	-	-	-	-	-	27	B	28	2	30	1,000	#1b FREEZE EVAPORATOR COIL	28
29	EXISTING						30	2	29	C	30	-	-	1,000	-	30
31	-	-	-	-	-	-	-	-	31	A	32	3	20	1,476	#1c FREEZER COMPRESSOR	32
33	EXISTING						20	1	33	B	34	-	-	1,476	-	34
35	EXISTING						20	1	35	C	36	-	-	1,476	-	36
37	EXISTING						30	2	37	A	38	1	20	192	#1d FRIDGE EVAPORATOR COIL	38
39	-	-	-	-	-	-	-	-	39	B	40	1	20		EXISTING SPACE	40
41	EXISTING SPACE						20	1	41	C	42	1	20		EXISTING SPACE	42

SUBTOTAL CONNECTED KVA				
PHASE	CONNECTED KVA	LTS	REC	TOTAL
PHASE A	0.0	0.0	0.0	2.4
PHASE B	0.0	0.0	0.0	3.2
PHASE C	0.0	0.0	0.0	5.0
25% OF LARGEST MOTOR				0.0
RECEPTACLE DEMAND FACTOR:	100% FIRST 10 KVA + 50% REMAINING			

LOAD SUMMARY & FEEDER CALCULATION									
LTS	REC	MOTOR	OTHER	KIT	SUBTOTAL	SPARE	TOTAL	CONNECTED KVA	DEMAND FACTOR
0.0	0.0	0.0	0.0	10.6	10.6	0%			
1.0	#1	1.0	1.0	1.0					
0.0	0.0	0.0	0.0	10.6	10.6	0.0		10.6	
								29.4	DEMAND AMPS
1.25	1.0	1.0	1.0	1.0		1.0		29.4	MIN. OVERCURRENT DEVICE AMPS



KEY PLAN
1/8" = 1'-0" X01

- ### DEMOLITION NOTES
- EXISTING PANEL TO REMAIN.
 - COOLER TO BE REMOVED BY OTHERS.
 - SIGNAGE TO BE REMOVED. DISCONNECT SIGNAGE. MAINTAIN BRANCH CIRCUIT AT SIGNAGE FOR NEW SIGNAGE.

- ### CONSTRUCTION NOTES
- PROVIDE CONNECTION TO LIGHTS AND DOOR HEATERS TO CIRCUIT AS SHOWN.
 - PROVIDE CONNECTION TO NEW COMPRESSOR TO CIRCUIT AS SHOWN. COORDINATE FINAL LOCATION WITH FSE CONTRACTOR.
 - PROVIDE CONNECTION TO NEW EVAPORATOR TO CIRCUIT AS SHOWN. COORDINATE FINAL LOCATION WITH FSE CONTRACTOR.
 - EXTEND WIRE AND CONDUIT TO NEW SIGN LOCATION. ROUTE CONDUIT ON INTERIOR OF BUILDING UP WALL AND OVER TO NEW EXTERIOR PENETRATION AT NEW SIGN LOCATION.

1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

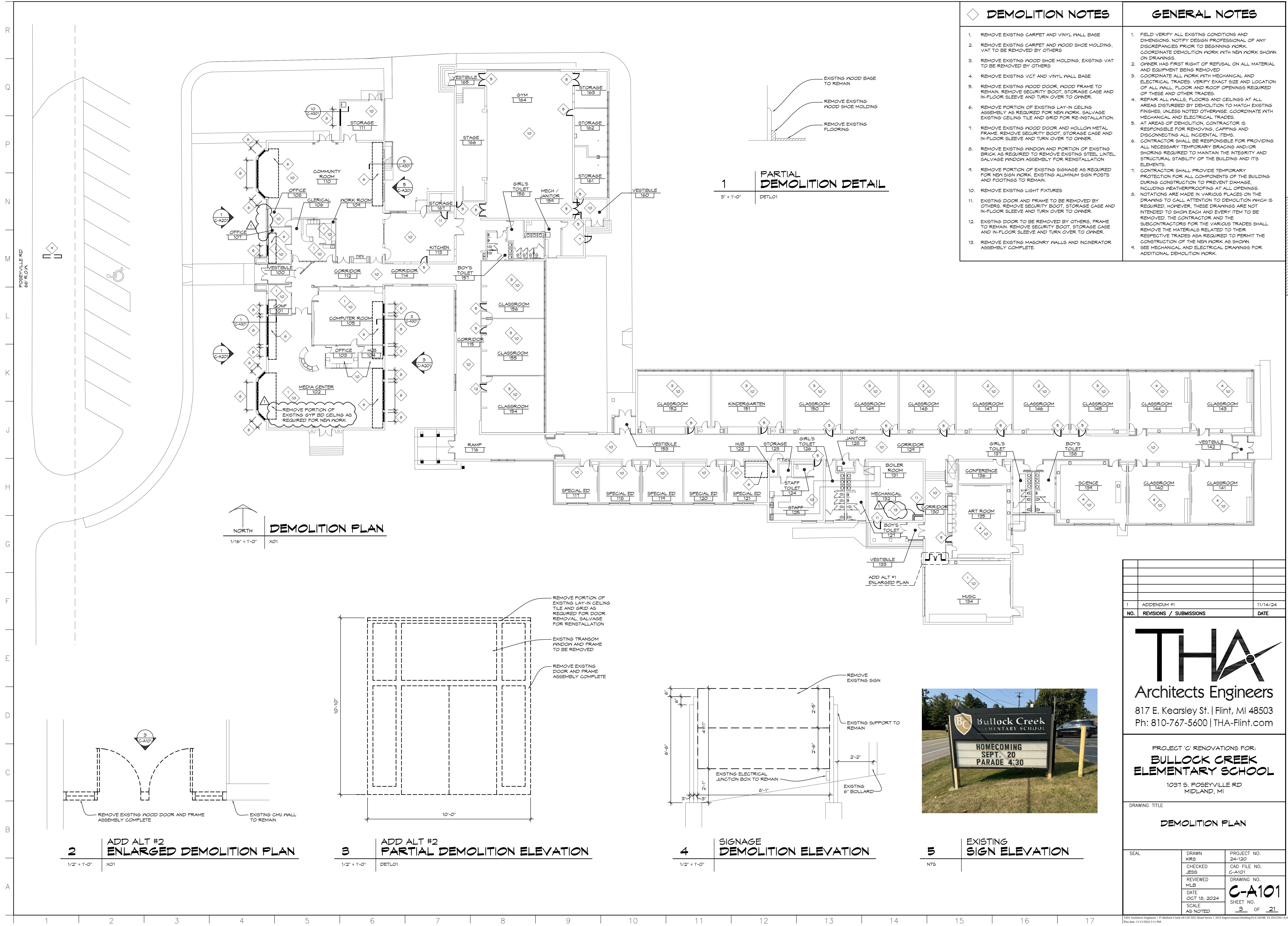
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PROJECT 'B'
BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
ELECTRICAL PLANS

SEAL	DRAWN FLJA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. B-E101
	REVIEWED RCH	DRAWING NO. B-E101
	DATE OCT 18, 2024	SHEET NO. 7 OF 7
	SCALE AS NOTED	

PROJECT B



- ### DEMOLITION NOTES
- REMOVE EXISTING CARPET AND VINYL WALL BASE
 - REMOVE EXISTING CARPET AND WOOD SHOE MOLDING. VAT TO BE REMOVED BY OTHERS
 - REMOVE EXISTING WOOD SHOE MOLDING, EXISTING VAT TO BE REMOVED BY OTHERS
 - REMOVE EXISTING VCT AND VINYL WALL BASE
 - REMOVE EXISTING WOOD DOOR, WOOD FRAME TO REMAIN. REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER.
 - REMOVE PORTION OF EXISTING LAY-IN CEILING ASSEMBLY AS REQUIRED FOR NEW WORK. SALVAGE EXISTING CEILING TILE AND GRID FOR RE-INSTALLATION.
 - REMOVE EXISTING WOOD DOOR AND HOLLOW METAL FRAME. REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER.
 - REMOVE EXISTING WINDOW AND PORTION OF EXISTING BRICK AS REQUIRED TO REMOVE EXISTING STEEL LINTEL. SALVAGE WINDOW ASSEMBLY FOR REINSTALLATION.
 - REMOVE PORTION OF EXISTING SIGNAGE AS REQUIRED FOR NEW SIGN WORK. EXISTING ALUMINUM SIGN POSTS AND FOOTINGS TO REMAIN.
 - REMOVE EXISTING LIGHT FIXTURES
 - EXISTING DOOR AND FRAME TO BE REMOVED BY OTHERS. REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER.
 - EXISTING DOOR TO BE REMOVED BY OTHERS. FRAME TO REMAIN. REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER.
 - REMOVE EXISTING MASONRY WALLS AND INCINERATOR ASSEMBLY COMPLETE.

- ### GENERAL NOTES
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
 - COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, FLOORS AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
 - AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
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 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

1 PARTIAL DEMOLITION DETAIL
3' = 1'-0" DETL01

DEMOLITION PLAN
1/16" = 1'-0" X01

2 ADD ALT #2 ENLARGED DEMOLITION PLAN
1/2" = 1'-0" X01

3 ADD ALT #2 PARTIAL DEMOLITION ELEVATION
1/2" = 1'-0" DETL01

4 SIGNAGE DEMOLITION ELEVATION
1/2" = 1'-0"

5 EXISTING SIGN ELEVATION
NTS

NO.	REVISIONS / SUBMISSIONS	DATE
1	APPENDUM #1	11/14/24



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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
DEMOLITION PLAN

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A101
	SCALE AS NOTED	SHEET NO. 3 OF 21



**ROOFING
GENERAL NOTES**

- DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
- ROOFING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ROOF MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- INSTALL INSULATION CRICKETS AS REQUIRED TO PROVIDE DRAINAGE AROUND EQUIPMENT AND ALL MAJOR ROOF PENETRATIONS.
- EXHAUST FANS, VENTS AND OTHER ROOF PENETRATIONS ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. ALL BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. RAISE CURBS OF EXISTING EQUIPMENT TO MEET CURB FLASHING REQUIREMENTS.
- REMOVE ALL METAL ROOF EDGE, GAPPING AND MEMBRANE FLASHINGS.
- INSTALL FLASHINGS AND FASCIA WITH NECESSARY NAILERS, TERMINATION BARS OR COUNTER FLASHINGS.
- REMOVE ROOF SUMP GRATES, CLEAN AND ROD SUMP LINES AND REINSTALL GRATES.
- ADJUST HEIGHT OF EXISTING ROOF TOP EQUIPMENT TO PROVIDE MINIMUM 8" FLASHING HEIGHT.

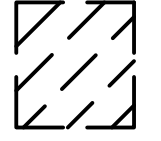
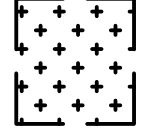
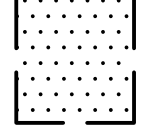


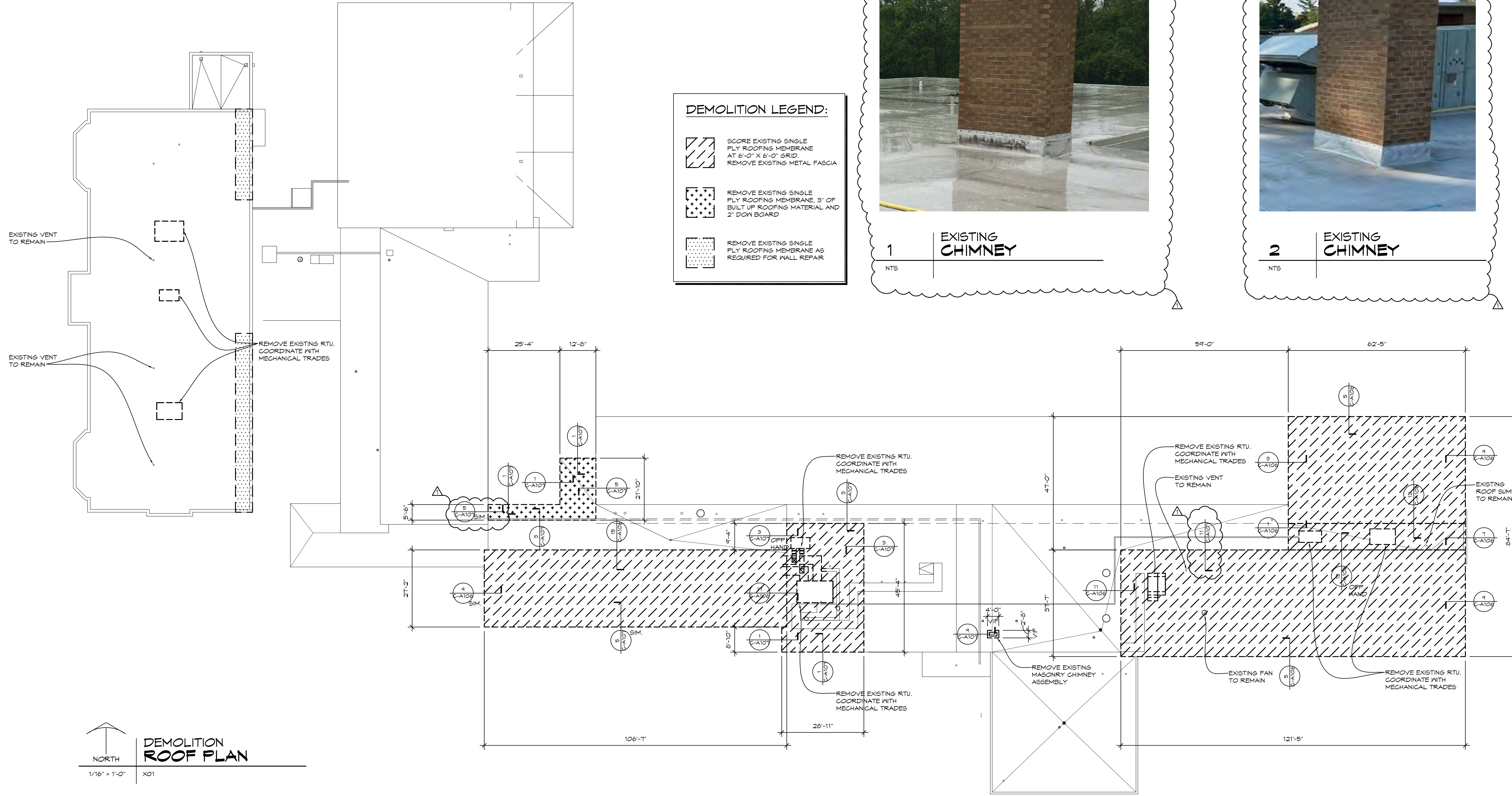
1 EXISTING CHIMNEY



2 EXISTING CHIMNEY

DEMOLITION LEGEND:

-  SCORE EXISTING SINGLE PLY ROOFING MEMBRANE AT 6'-0" X 6'-0" GRID. REMOVE EXISTING METAL FASCIA.
-  REMOVE EXISTING SINGLE PLY ROOFING MEMBRANE, 3" OF BUILT UP ROOFING MATERIAL AND 2" DOWN BOARD.
-  REMOVE EXISTING SINGLE PLY ROOFING MEMBRANE AS REQUIRED FOR WALL REPAIR.



NORTH
1/16" = 1'-0"
X01
**DEMOLITION
ROOF PLAN**

1	APPENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

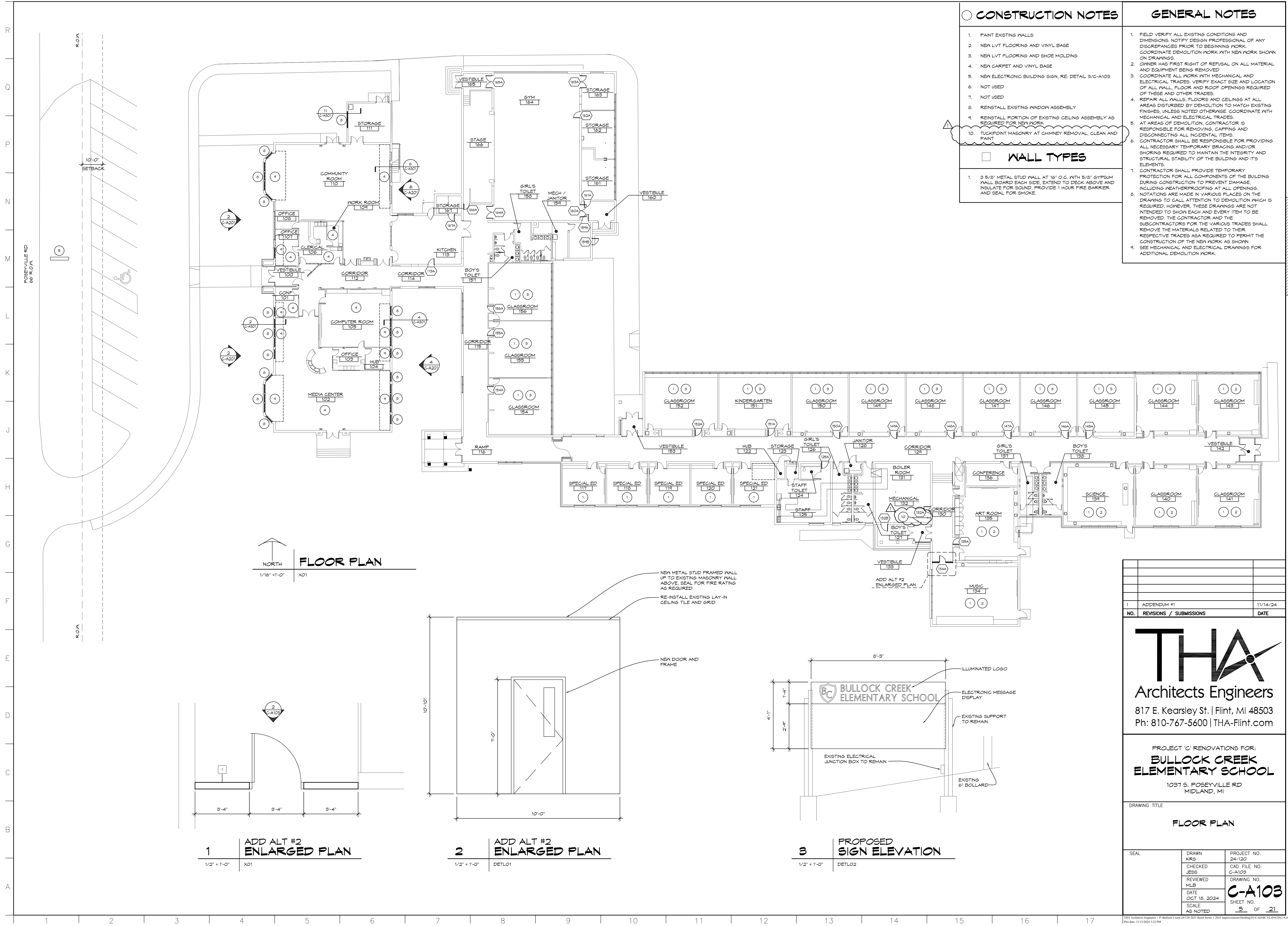
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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
**DEMOLITION
ROOF PLAN**

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A102
	REVIEWED MLB	DRAWING NO. C-A102
	DATE OCT 18, 2024	SHEET NO. 4 OF 21
	SCALE 1/16" = 1'-0"	

PROJECT 'C'



CONSTRUCTION NOTES

1. PAINT EXISTING WALLS
2. NEW LVT FLOORING AND VINYL BASE
3. NEW LVT FLOORING AND SHOE MOLDING
4. NEW CARPET AND VINYL BASE
5. NEW ELECTRONIC BUILDING SIGN, RE. DETAIL 3/C-A103
6. NOT USED
7. NOT USED
8. REINSTALL EXISTING WINDOW ASSEMBLY
9. REINSTALL PORTION OF EXISTING CEILING ASSEMBLY AS REQUIRED FOR NEW WORK
10. TUCKPOINT MASONRY AT CHIMNEY REMOVAL, CLEAN AND PAINT

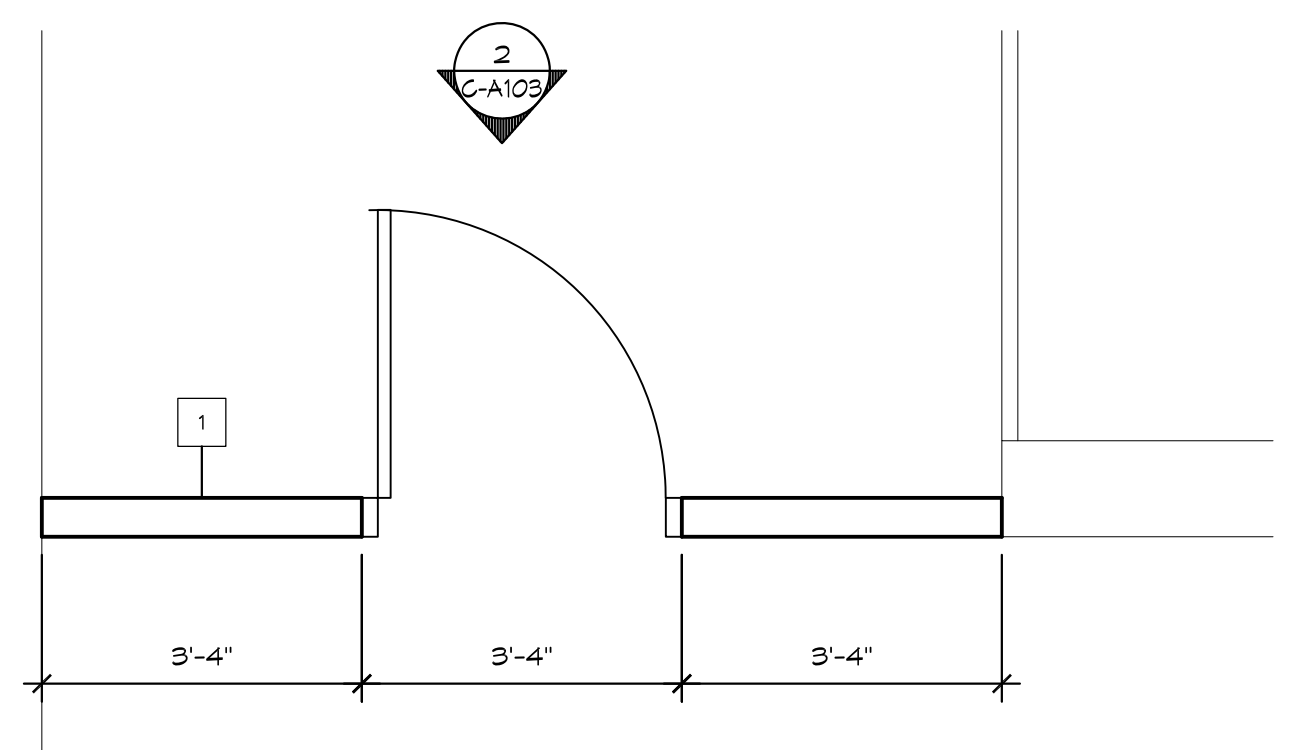
WALL TYPES

1. 3 5/8" METAL STUD WALL AT 16' O.C. WITH 5/8" GYPSUM WALL BOARD EACH SIDE. EXTEND TO DECK ABOVE AND INSULATE FOR SOUND, PROVIDE 1 HOUR FIRE BARRIER AND SEAL FOR SMOKE.

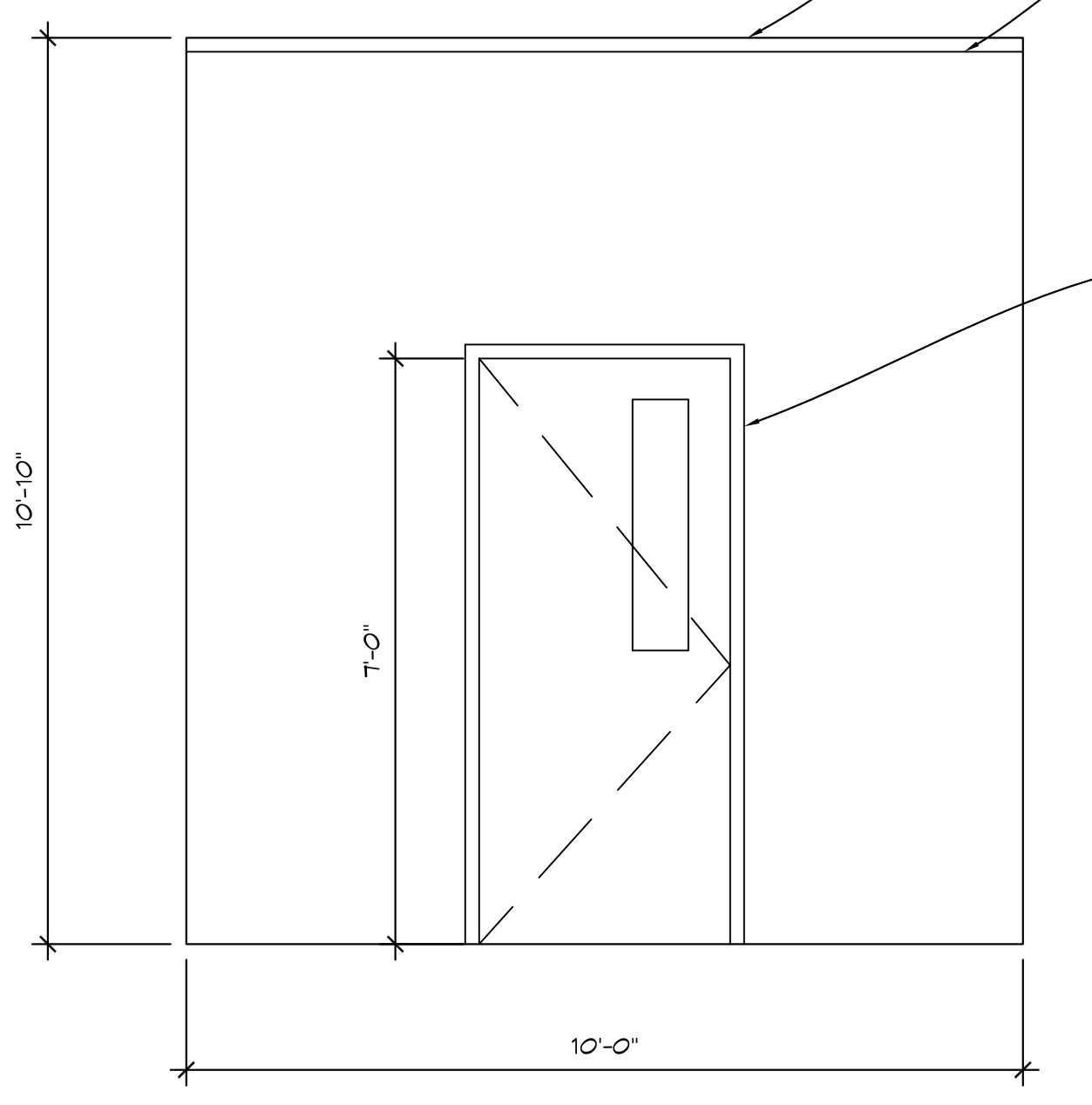
GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
2. OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
3. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
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9. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

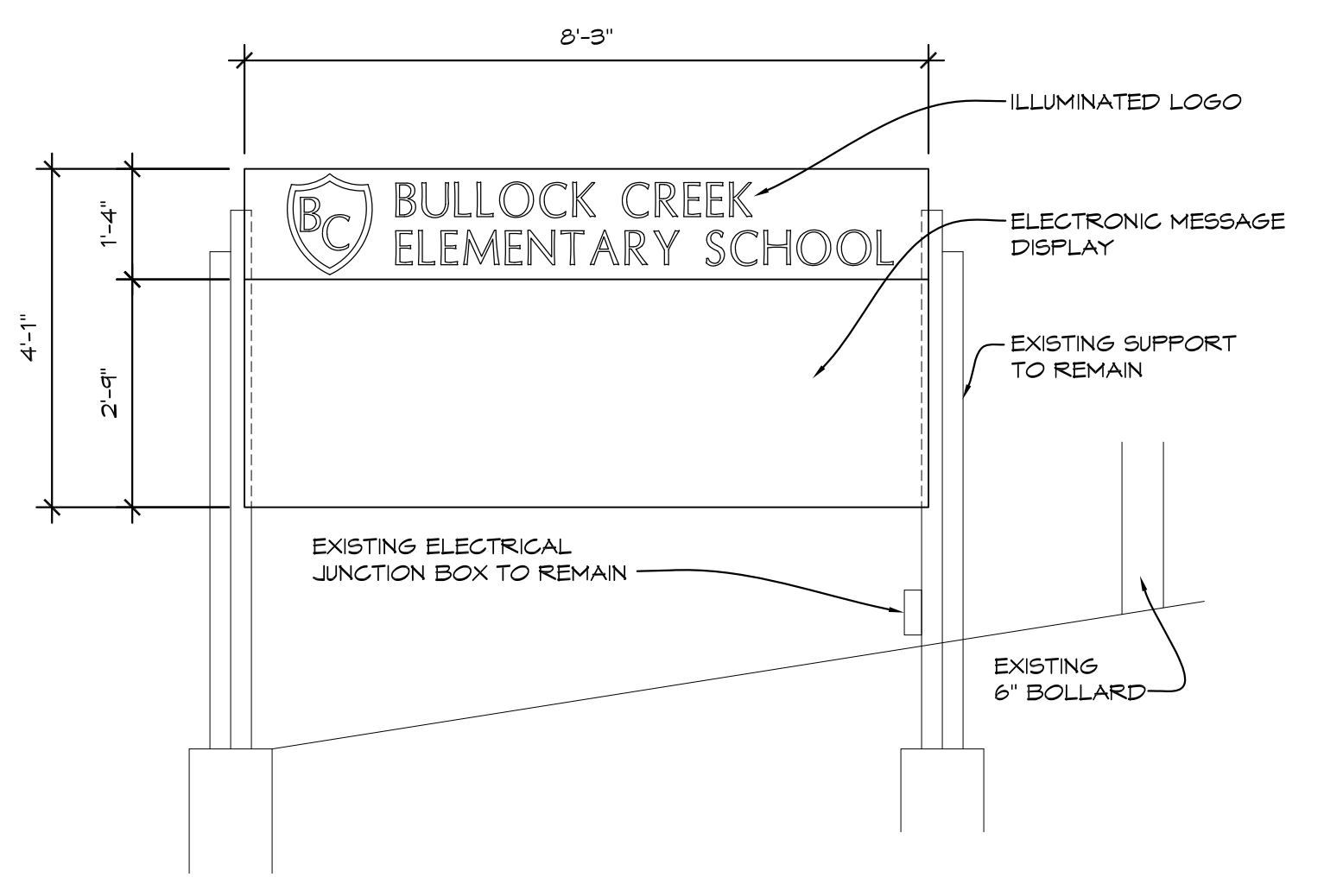
FLOOR PLAN
1/16" = 1'-0" X01



1 ADD ALT #2 ENLARGED PLAN
1/2" = 1'-0" X01



2 ADD ALT #2 ENLARGED PLAN
1/2" = 1'-0" DETLO1



3 PROPOSED SIGN ELEVATION
1/2" = 1'-0" DETLO2

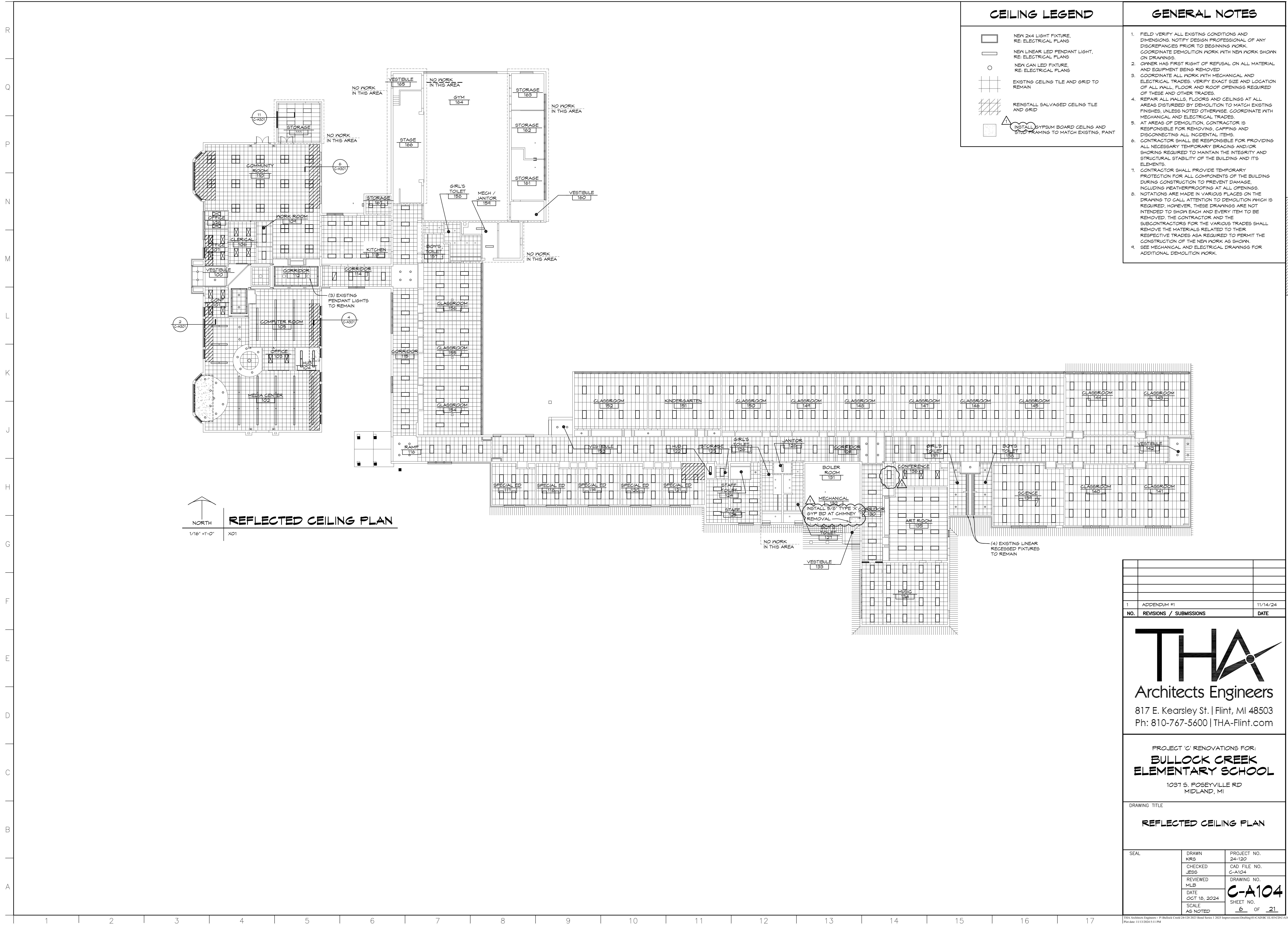
NO.	REVISIONS / SUBMISSIONS	DATE
1	APPENDUM #1	11/14/24

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
FLOOR PLAN

SEAL	DRAWN	PROJECT NO.
	KRS	24-120
	CHECKED	CAD FILE NO.
	JESS	C-A103
	REVIEWED	DRAWING NO.
	MLB	C-A103
	DATE	SHEET NO.
	OCT 18, 2024	5 OF 21
	SCALE	
	AS NOTED	



CEILING LEGEND

	NEW 2x4 LIGHT FIXTURE, RE. ELECTRICAL PLANS
	NEW LINEAR LED PENDANT LIGHT, RE. ELECTRICAL PLANS
	NEW CAN LED FIXTURE, RE. ELECTRICAL PLANS
	EXISTING CEILING TILE AND GRID TO REMAIN
	REINSTALL SALVAGED CEILING TILE AND GRID
	INSTALL GYPSUM BOARD CEILING AND STUD FRAMING TO MATCH EXISTING, PAINT

- ### GENERAL NOTES
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REFLECTED CEILING PLAN
 1/16" = 1'-0" X01

NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM #1	11/14/24

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
 1031 S. ROSEYVILLE RD
 MIDLAND, MI

DRAWING TITLE
REFLECTED CEILING PLAN

SEAL	DRAWN KRS 24-120	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A104
	REVIEWED MLB	DRAWING NO. C-A104
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	6 OF 21

THA Architects Engineers - P:\Bullock Creek\24-120\2023\Bullock Creek\11-04\REFLECTED CEILING PLAN - REFLECTED
 Plot Date: 11/13/2024 11:11 PM

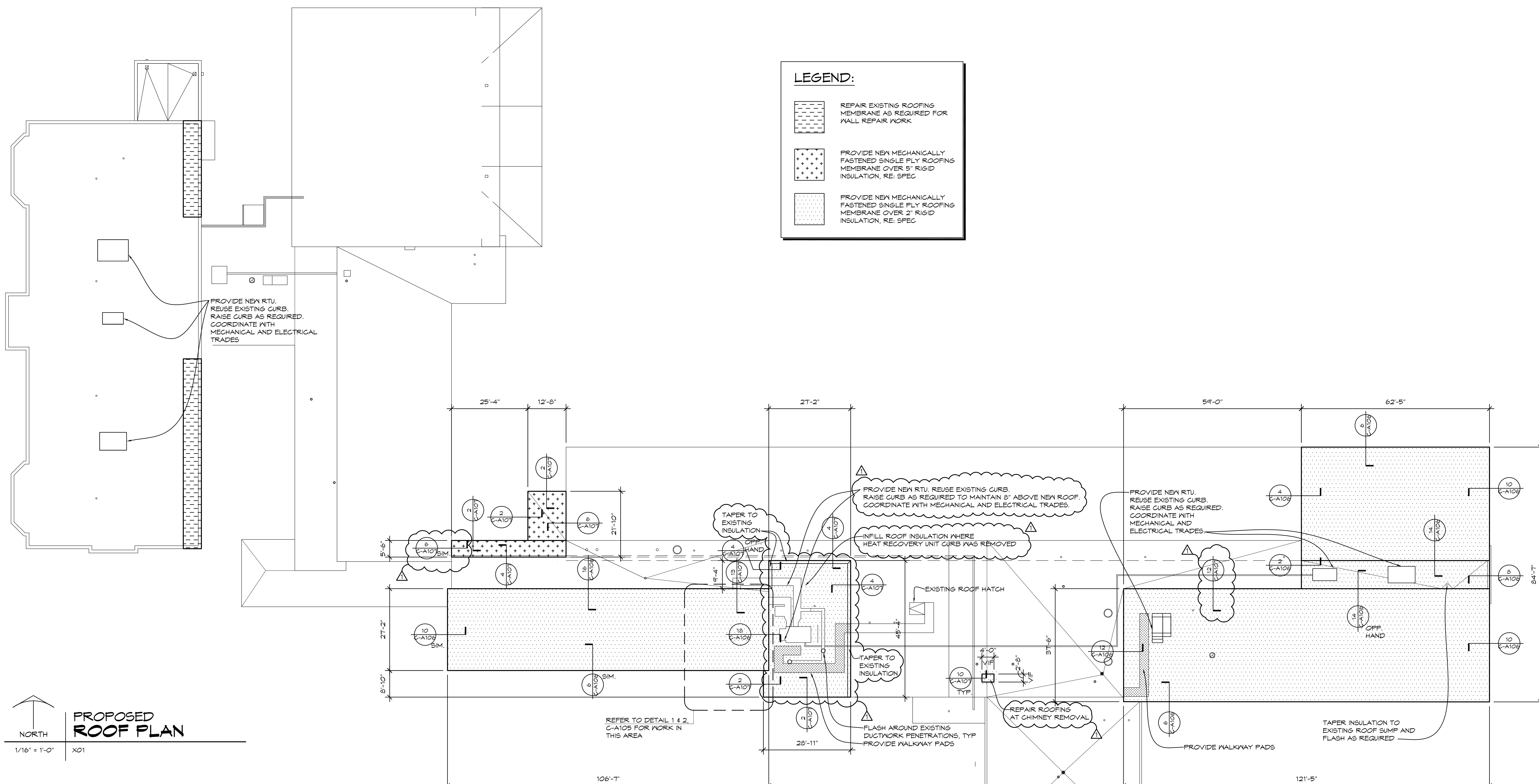
PROJECT 'C'

**ROOFING
GENERAL NOTES**

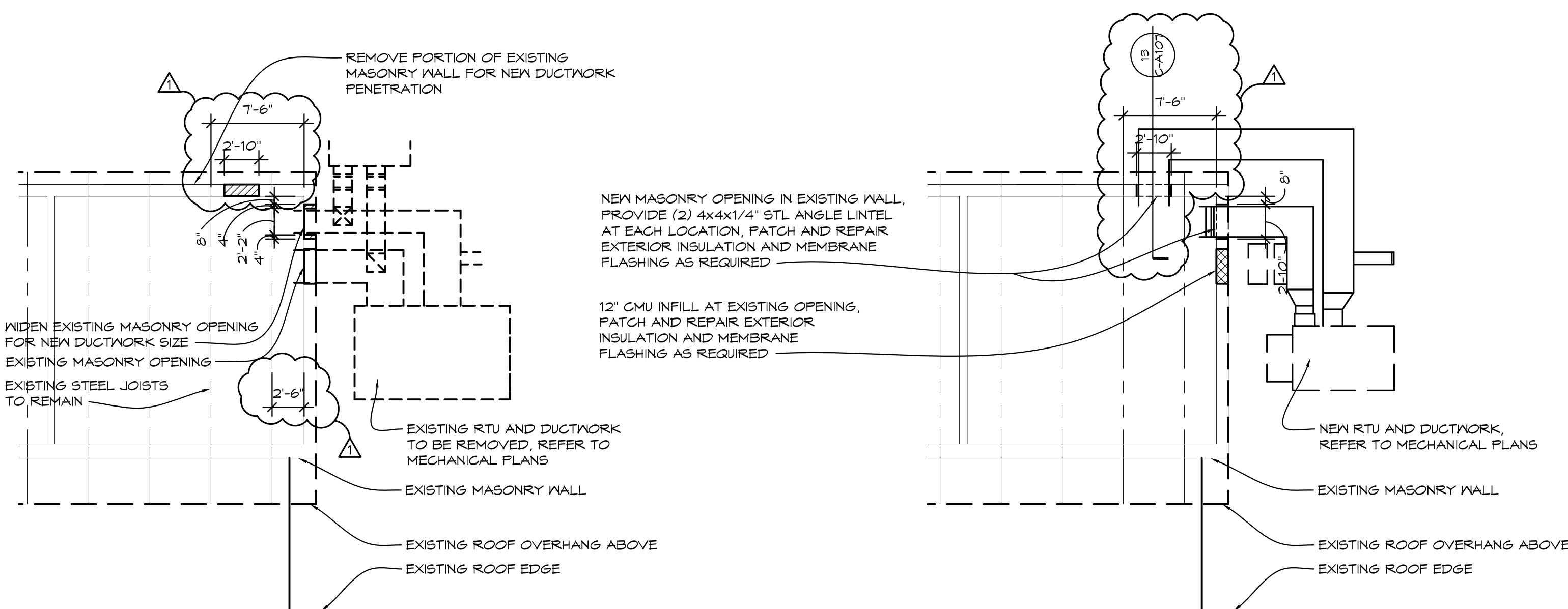
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- REMOVE ROOF SUMP GRATES, CLEAN AND ROD SUMP LINES AND REINSTALL GRATES.
- ADJUST HEIGHT OF EXISTING ROOF TOP EQUIPMENT TO PROVIDE MINIMUM 6" FLASHING HEIGHT.

LEGEND:

	REPAIR EXISTING ROOFING MEMBRANE AS REQUIRED FOR WALL REPAIR WORK
	PROVIDE NEW MECHANICALLY FASTENED SINGLE PLY ROOFING MEMBRANE OVER 5" RIGID INSULATION, RE SPEC
	PROVIDE NEW MECHANICALLY FASTENED SINGLE PLY ROOFING MEMBRANE OVER 2" RIGID INSULATION, RE SPEC



**PROPOSED
ROOF PLAN**
1/16" = 1'-0"
X01



**1
EXISTING FRAMING PLAN**
1/16" = 1'-0"
X01

**2
FRAMING PLAN**
1/16" = 1'-0"
X01

PROJECT 'C'

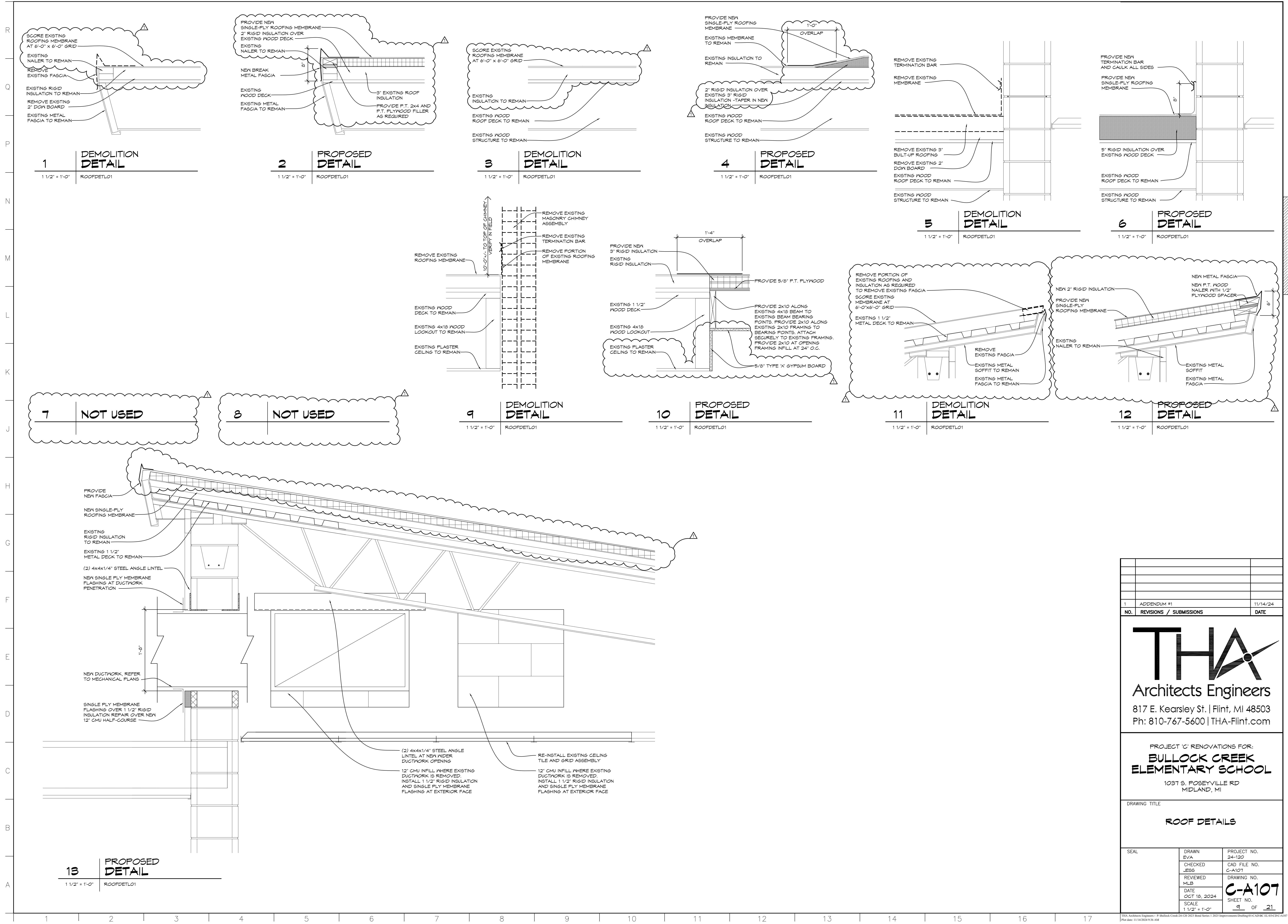
1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1031 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
ROOF PLAN

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A105
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A105
	SCALE 1/16" = 1'-0"	SHEET NO. 7 OF 21



1 | **DEMOLITION DETAIL**
1 1/2" = 1'-0" | ROOFDET01

2 | **PROPOSED DETAIL**
1 1/2" = 1'-0" | ROOFDET01

3 | **DEMOLITION DETAIL**
1 1/2" = 1'-0" | ROOFDET01

4 | **PROPOSED DETAIL**
1 1/2" = 1'-0" | ROOFDET01

5 | **DEMOLITION DETAIL**
1 1/2" = 1'-0" | ROOFDET01

6 | **PROPOSED DETAIL**
1 1/2" = 1'-0" | ROOFDET01

7 | **NOT USED**

8 | **NOT USED**

9 | **DEMOLITION DETAIL**
1 1/2" = 1'-0" | ROOFDET01

10 | **PROPOSED DETAIL**
1 1/2" = 1'-0" | ROOFDET01

11 | **DEMOLITION DETAIL**
1 1/2" = 1'-0" | ROOFDET01

12 | **PROPOSED DETAIL**
1 1/2" = 1'-0" | ROOFDET01

13 | **PROPOSED DETAIL**
1 1/2" = 1'-0" | ROOFDET01

PROJECT 'C'

1	APPENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

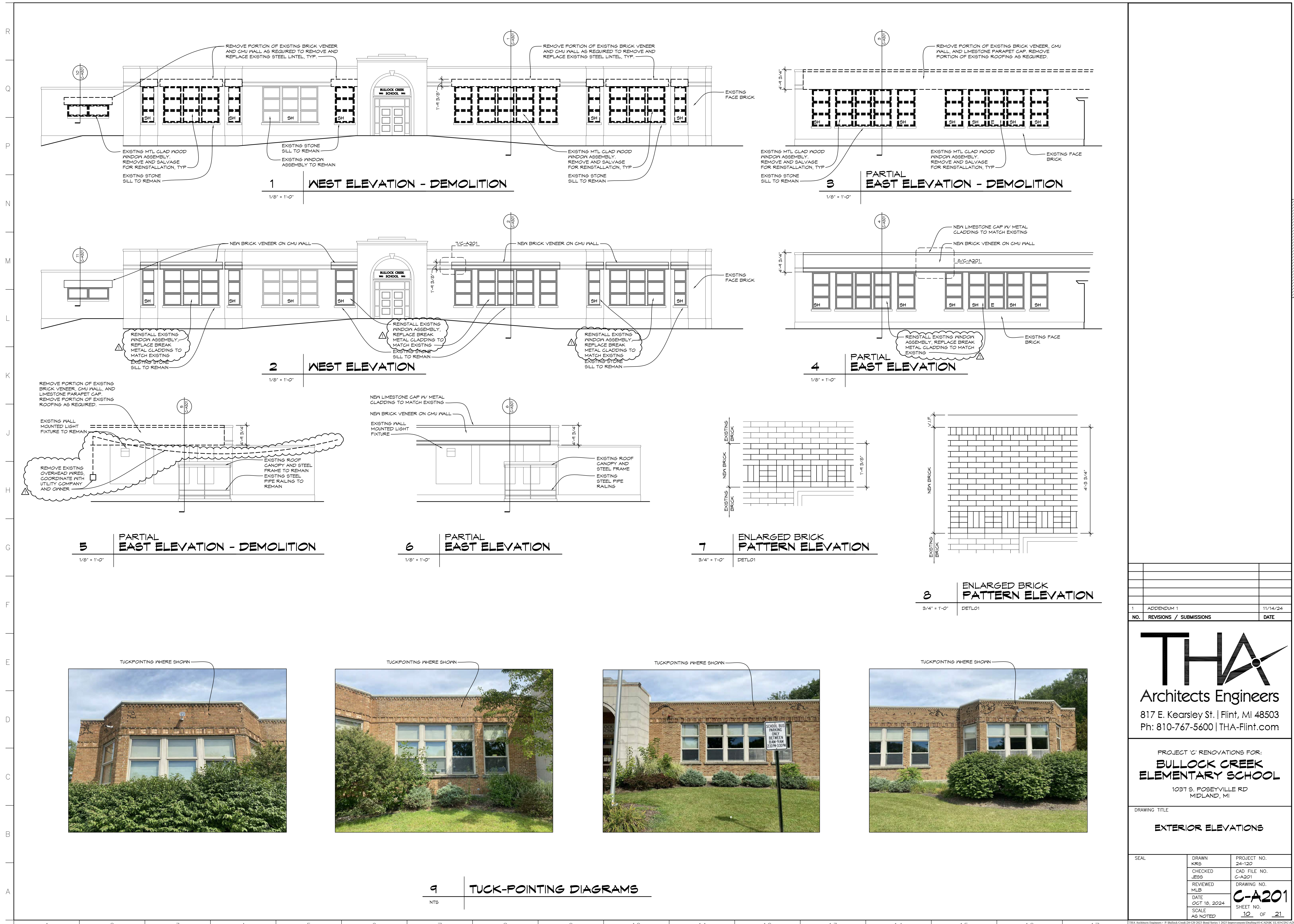
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ROOF DETAILS

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A107
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A107
	SCALE 1 1/2" = 1'-0"	SHEET NO. 9 OF 21



PROJECT 'C'

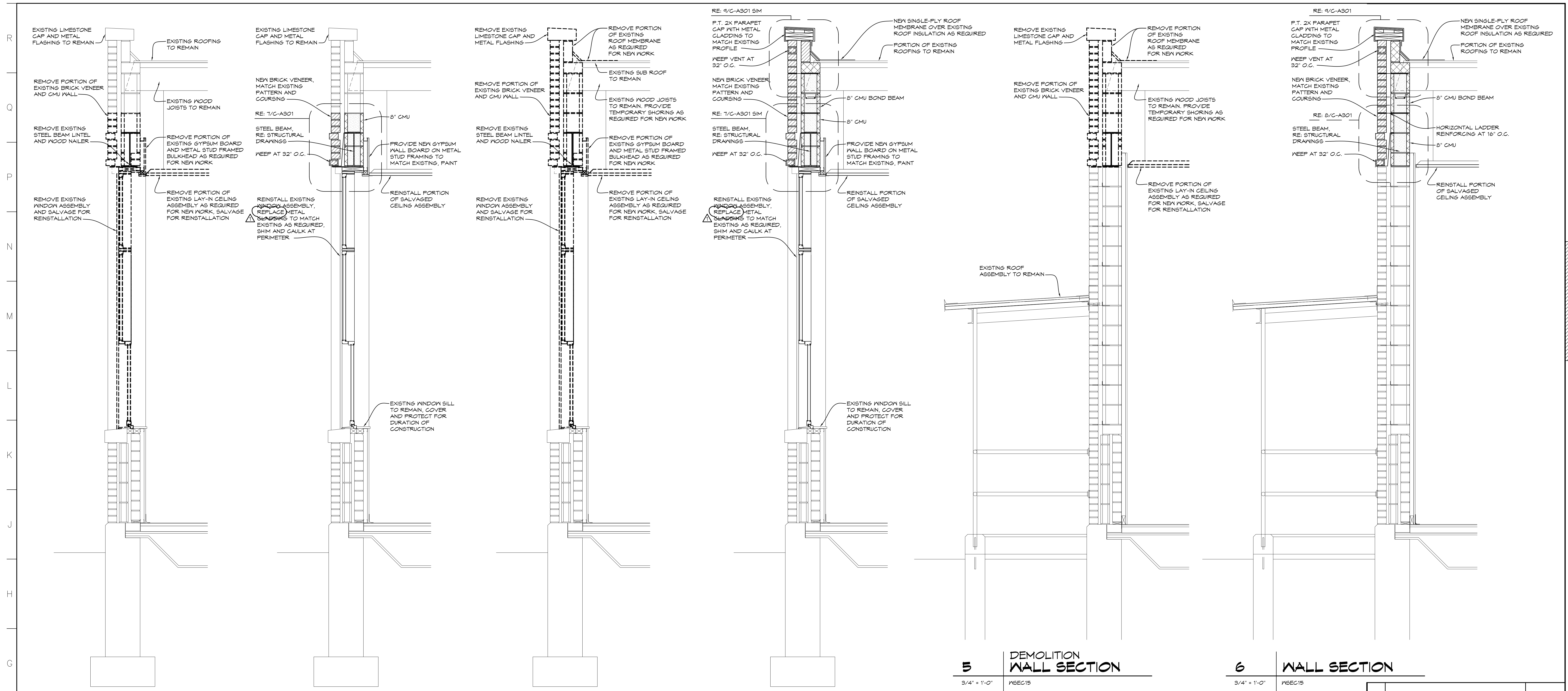
NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM 1	11/14/24

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
 ELEMENTARY SCHOOL**
 1037 S. POSEYVILLE RD
 MIDLAND, MI

DRAWING TITLE
EXTERIOR ELEVATIONS

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JEGG	CAD FILE NO. C-A201
	REVIEWED MLB	DRAWING NO. C-A201
	DATE OCT 18, 2024	SHEET NO. 10 OF 21
	SCALE AS NOTED	



1 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC01

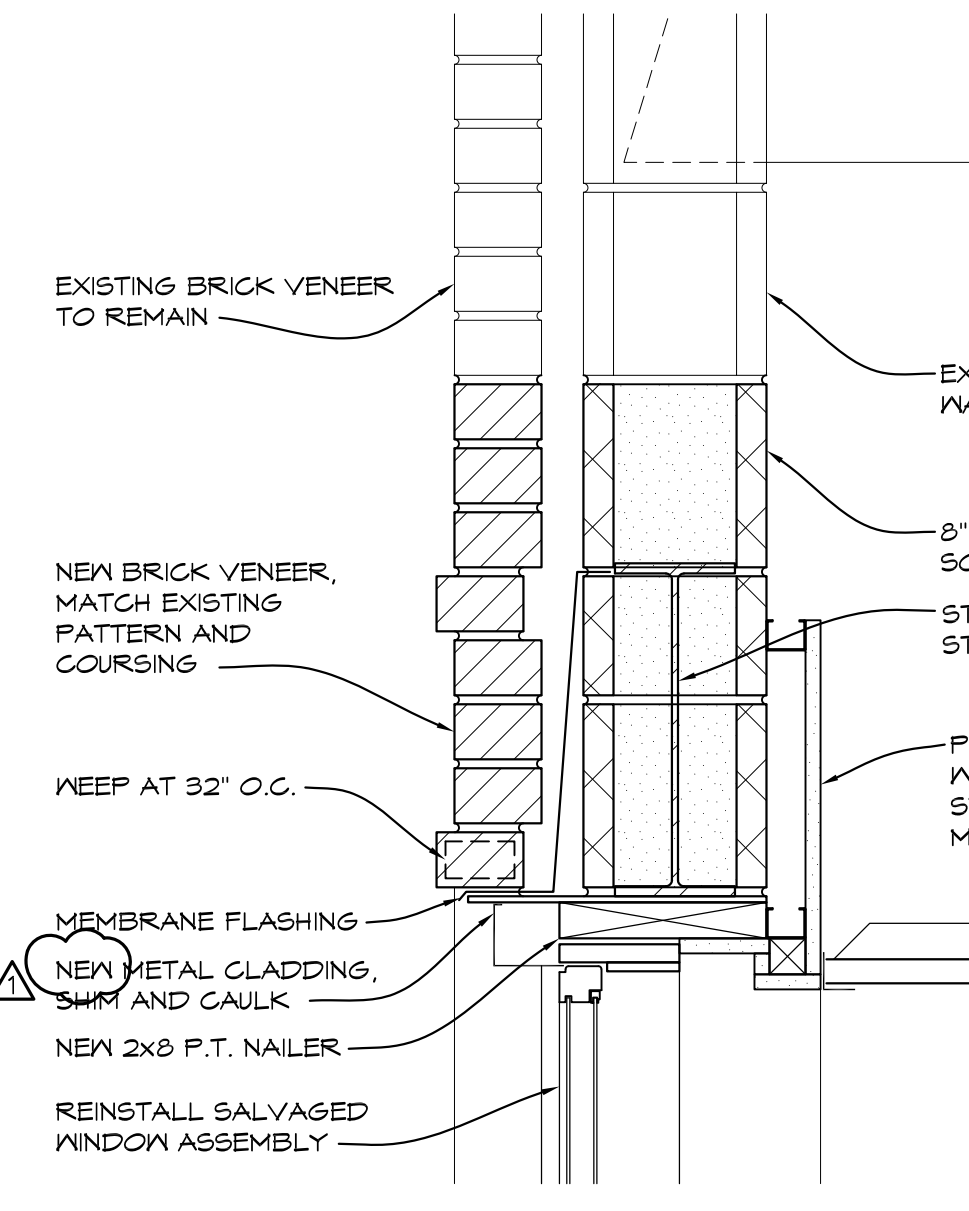
2 WALL SECTION
3/4" = 1'-0" WSEC01

3 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC02

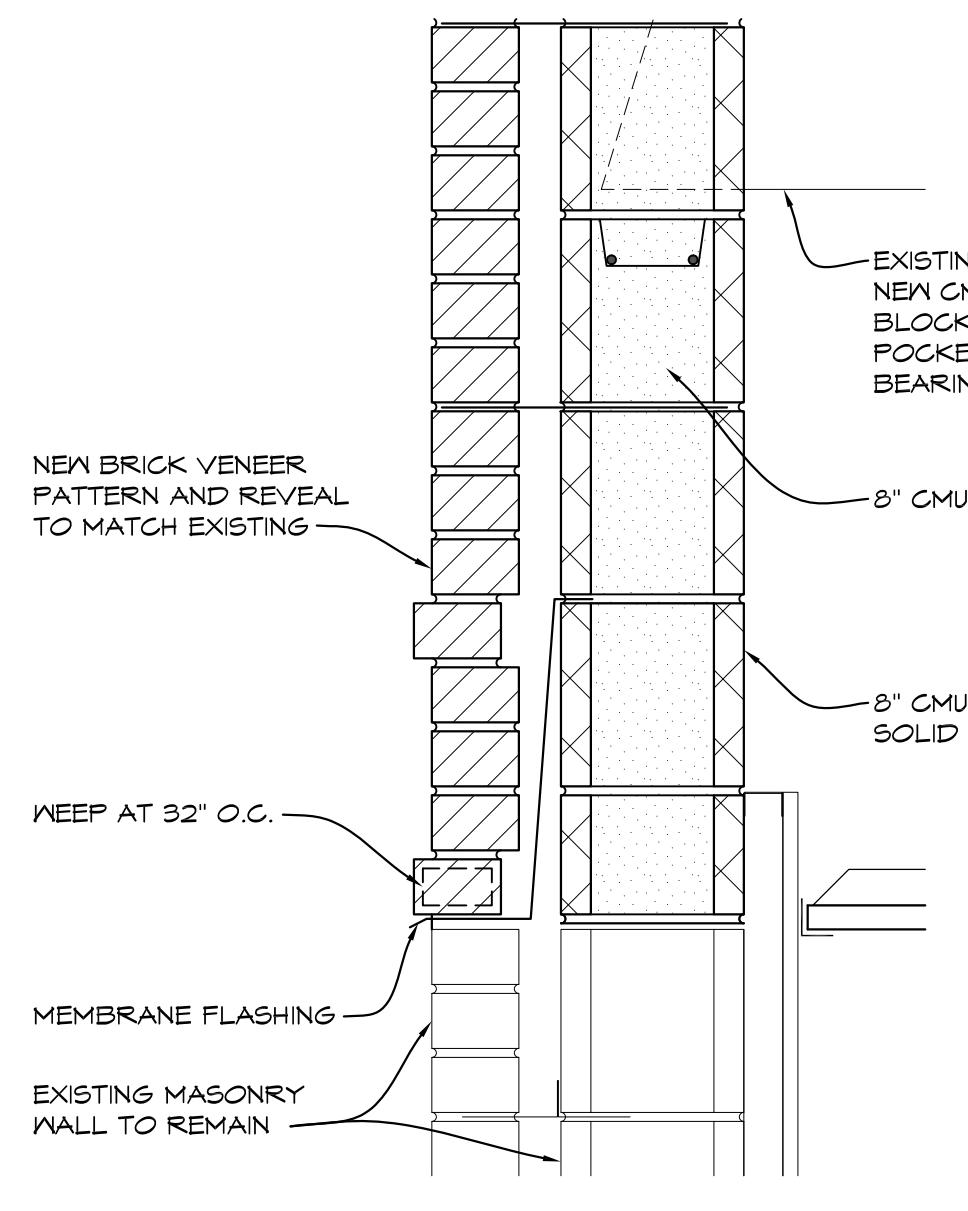
4 WALL SECTION
3/4" = 1'-0" WSEC02

5 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC15

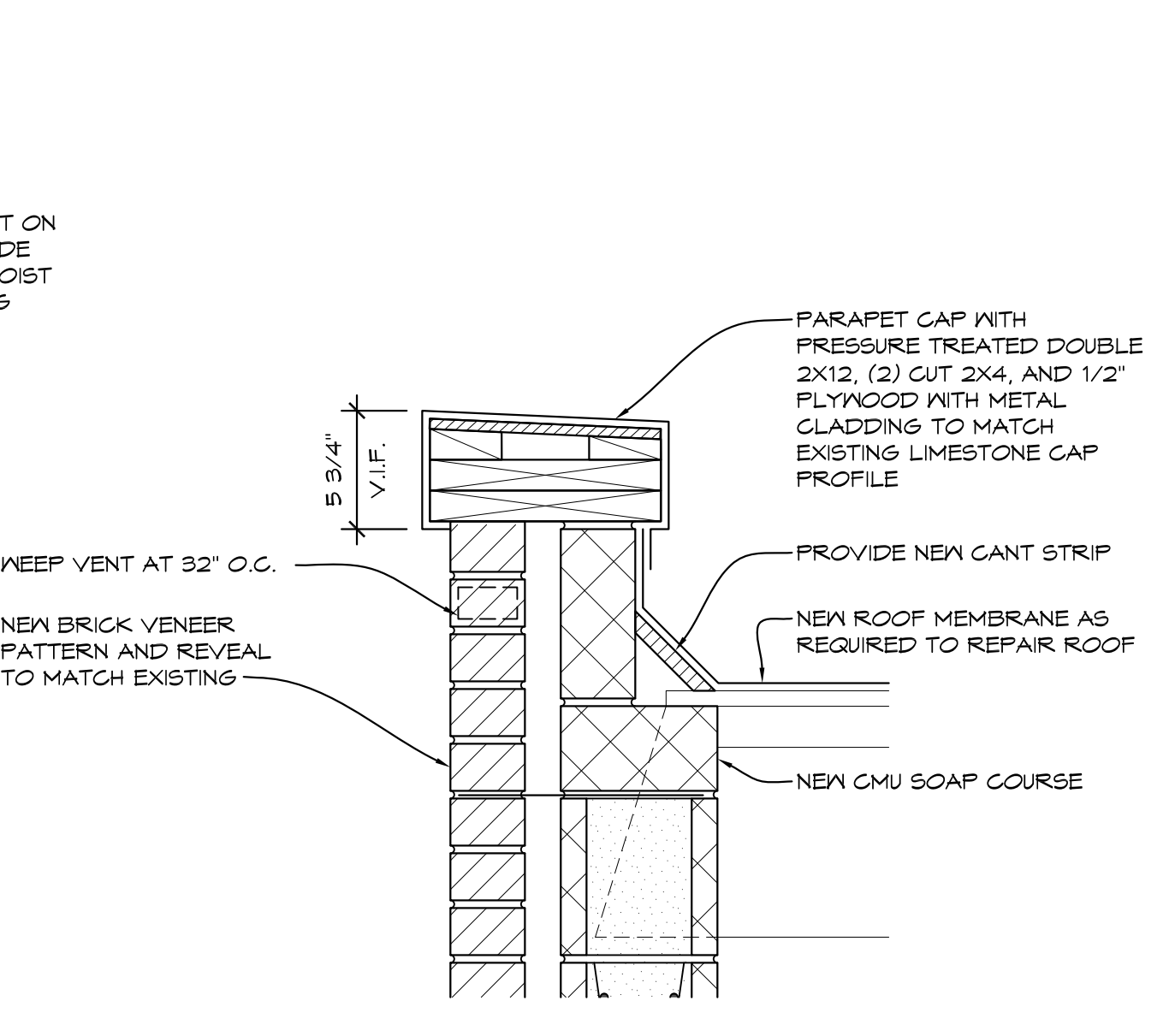
6 WALL SECTION
3/4" = 1'-0" WSEC15



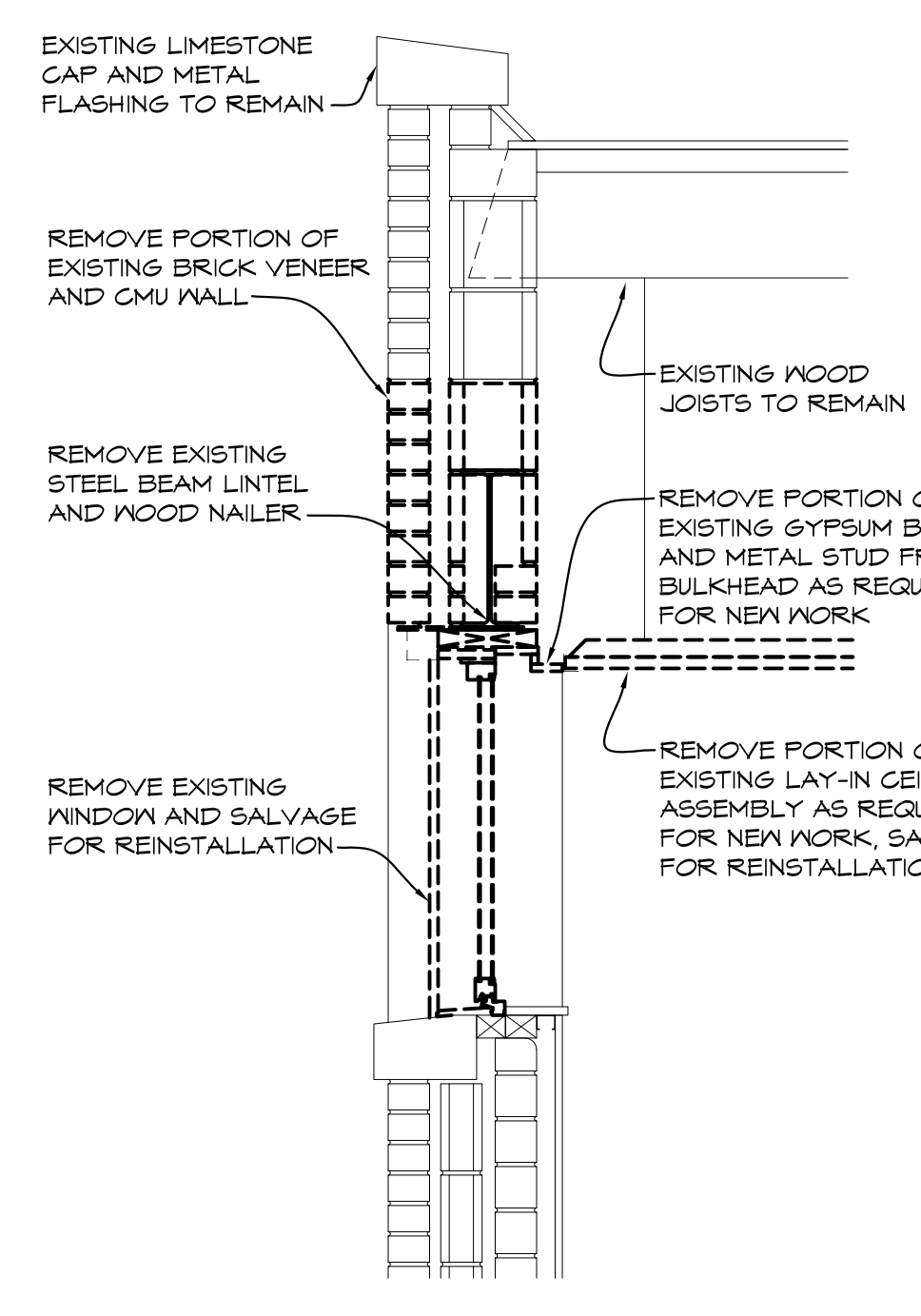
7 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC01



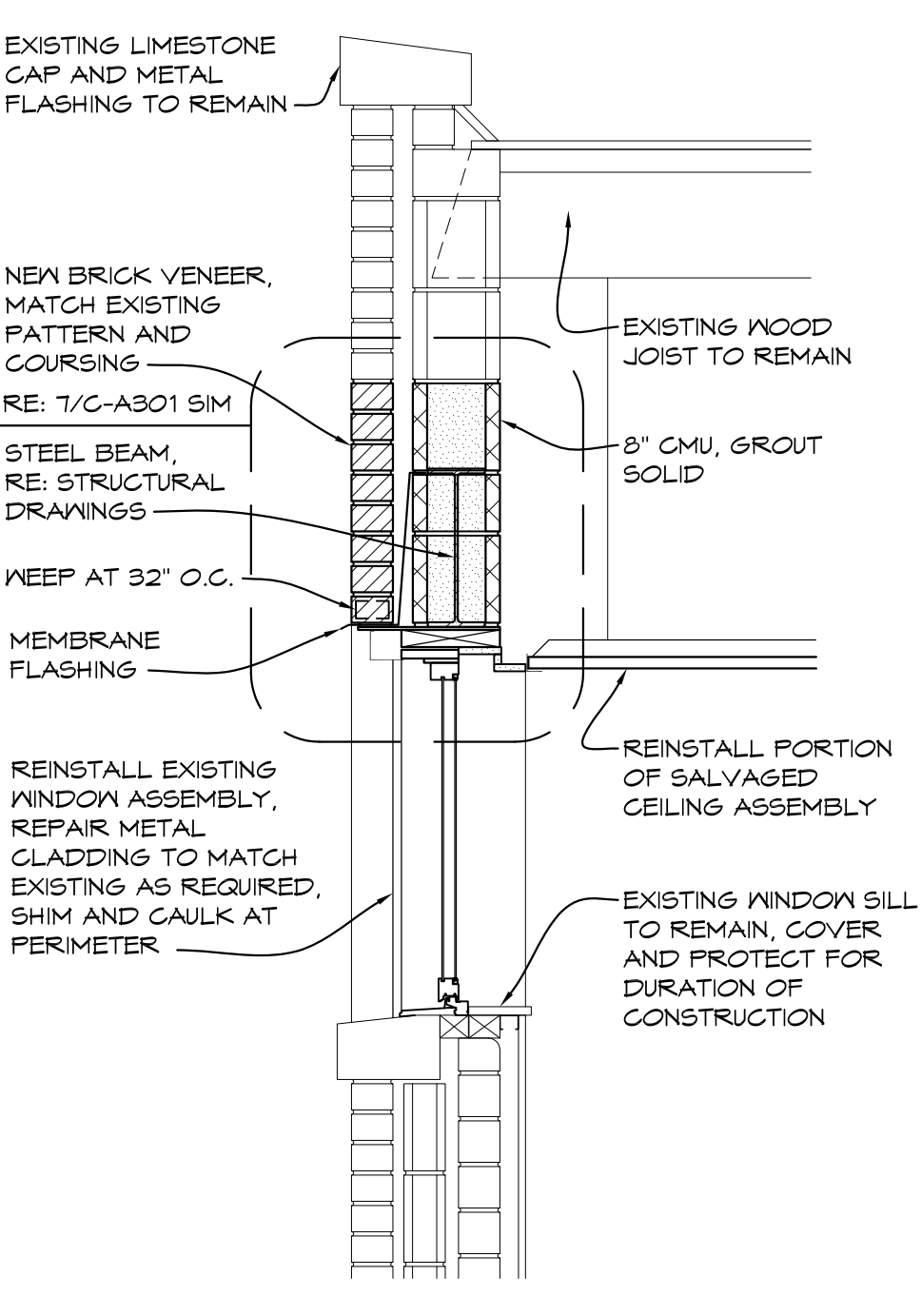
8 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC15



9 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC15



10 WALL SECTION
3/4" = 1'-0" WSEC03



11 WALL SECTION
3/4" = 1'-0" WSEC03

1	ADDENDUM 1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

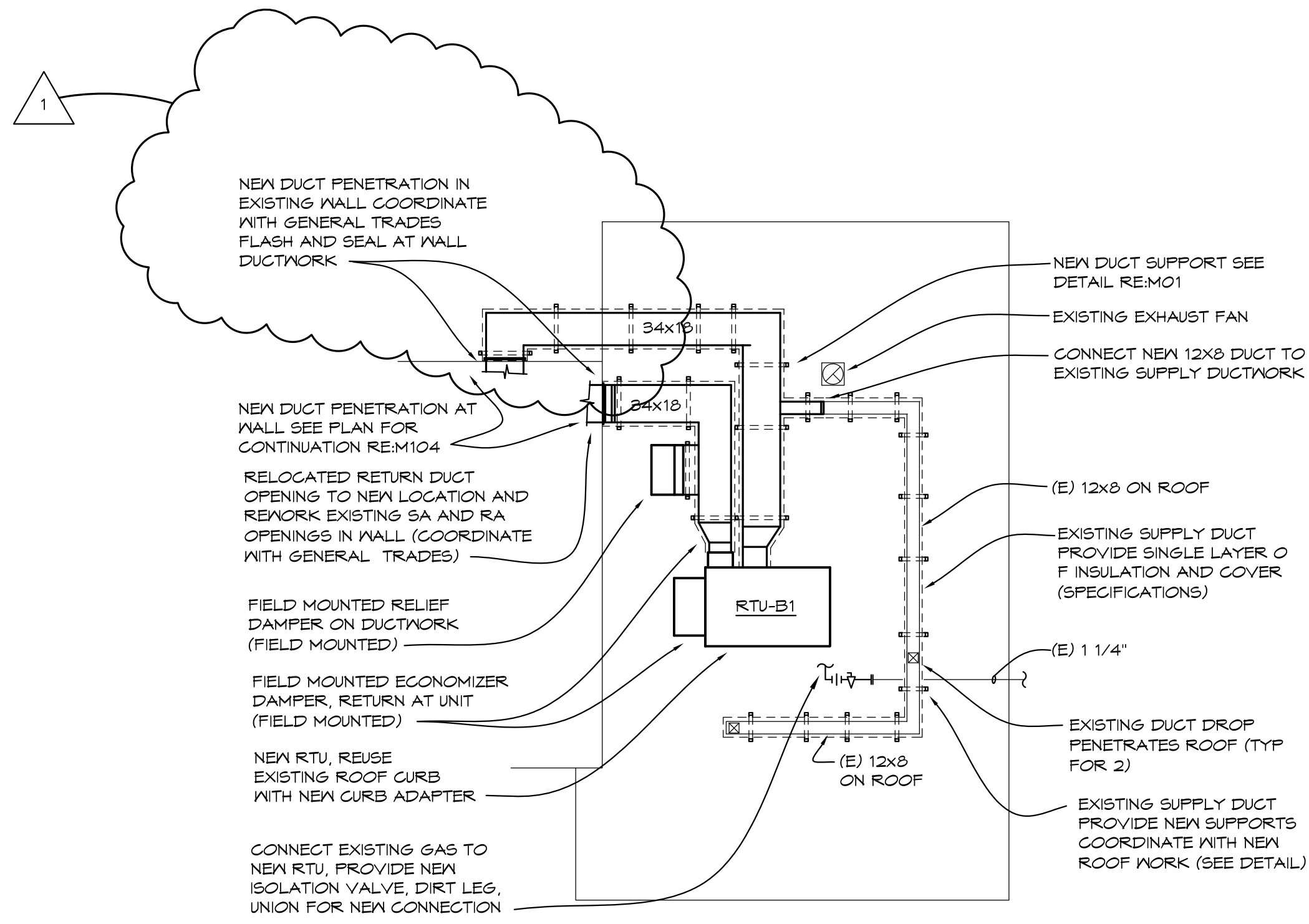
DRAWING TITLE WALL SECTIONS		
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A301
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A301
	SCALE AS NOTED	SHEET NO. 11 OF 21

PROJECT 'C'

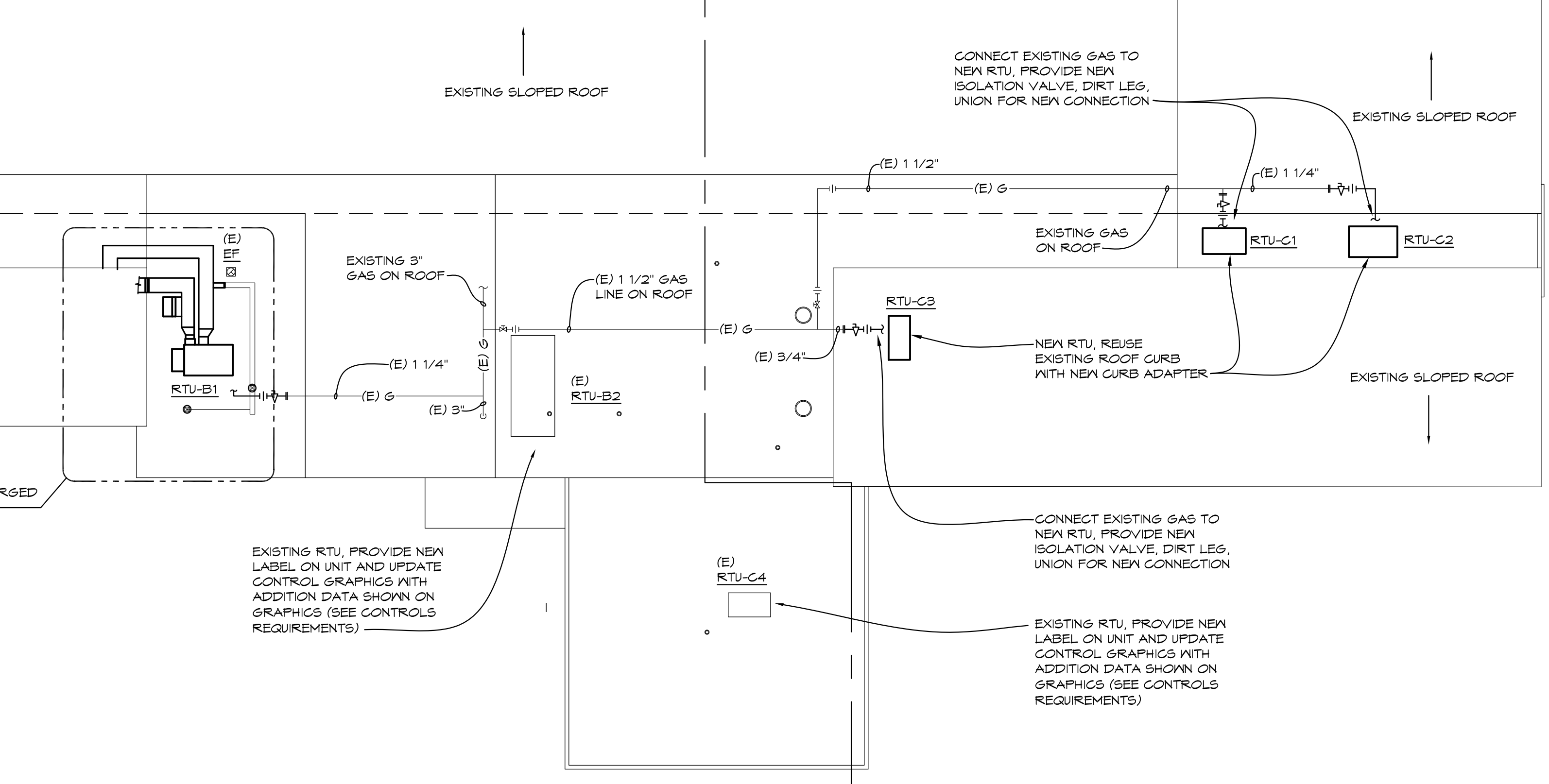
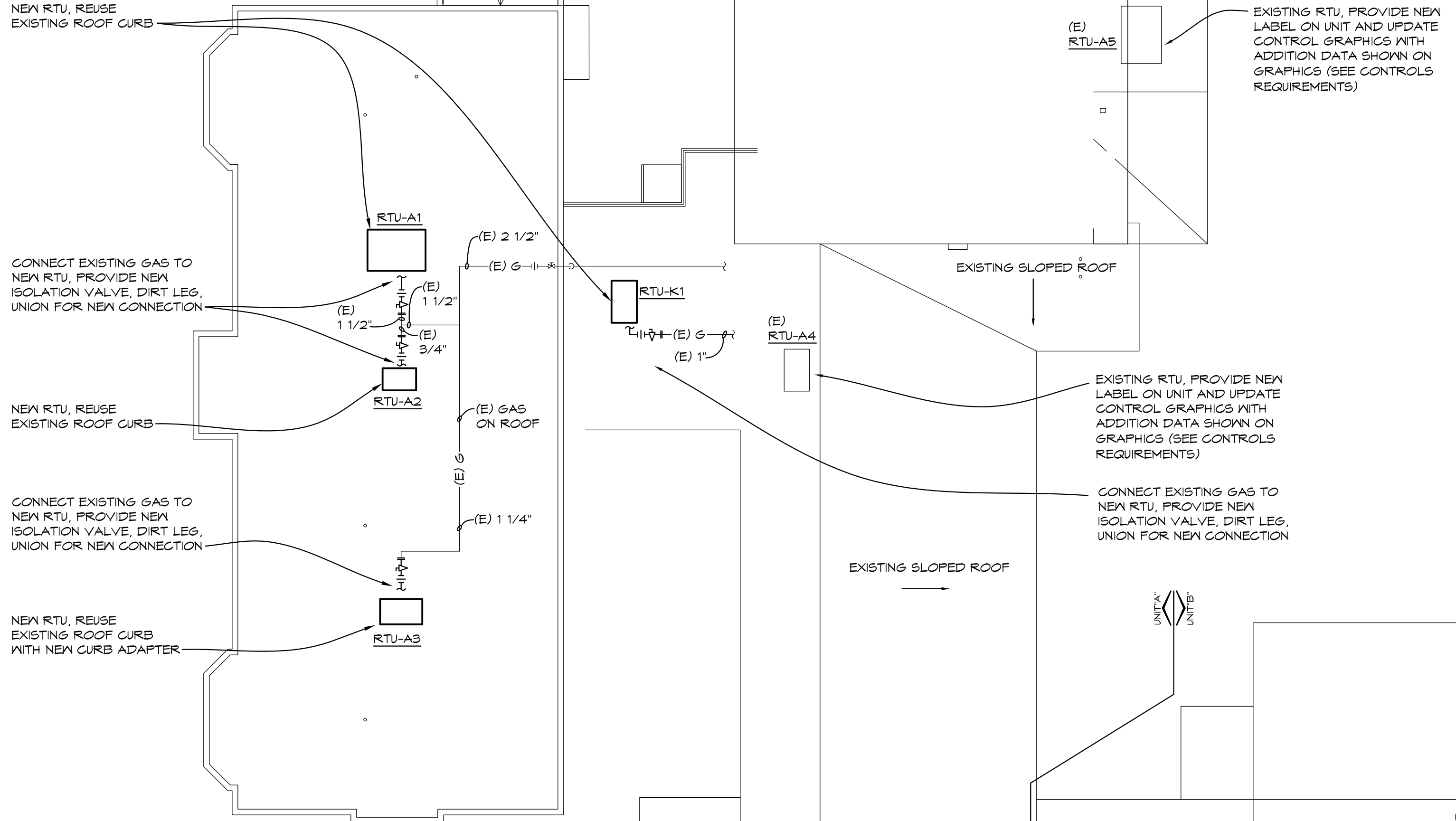
GENERAL MECHANICAL NOTES

- SEE ALL PLANS FOR REQUIRED WORK.
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE.
- FIELD VERIFY ALL EXISTING PIPING, DUCTWORK AND ADJUST AS REQUIRED WITH NO EXTRA COST TO OWNER.
- CONTRACTOR TO RUN ALL DRAIN PIPING TO NEAREST FLOOR DRAIN WITHOUT CAUSING A TRIP HAZARD.
- COORDINATE ALL WORK WITH ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- INSTALL AT MECHANICAL EQUIPMENT MINIMUM OF 10'-0" FROM ROOF EDGE.
- ALL EXHAUST FAN DISCHARGE AND VENTING SHALL BE INSTALLED MINIMUM OF 10'-0" FROM OUTSIDE AIR INTAKES.
- PAINT ALL EXTERIOR GAS PIPING AND INSTALL MINIMUM OF 3/2" ABOVE ROOF.
- REMOVE EXISTING GAS PIPING AT EXISTING RTUs, REROUTE AND INSTALL NEW DIRT LEG, UNION, ISOLATION AT UNIT.
- COORDINATE POWER WIRING WITH ELECTRIC TRADES, RUN WIRING IN UNIT.
- REWORK CONTROL WIRING TO NEW RTUs AND CONNECT TO EXISTING BMS SYSTEM. INSTALL NEW THERMOSTATS, CO2 DETECTORS, ETC.
- UPDATE CONTROL GRAPHICS FOR EXISTING RTUs ADD ADDITIONAL POINTS TO MATCH EXISTING DISTRICT GRAPHICS AT OTHER BUILDINGS.
- PROVIDE EXTERIOR DUCT INSULATION AT RTU-B1 (SEE SPECIFICATION).

PROJECT 'C'



NORTH
1/8" = 1'-0"
X01
RTU-B1 ENLARGED PLAN



NORTH
1/16" = 1'-0"
X01
MECHANICAL ROOF PLAN

NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM #1	11/14/2024

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

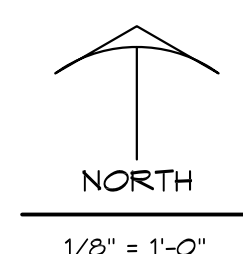
DRAWING TITLE
MECHANICAL ROOF PLAN

SEAL	DRAWN	PROJECT NO.
	C-V/KLS	24-120
	CHECKED	CAD FILE NO.
	KLS	C-M102
	REVIEWED	DRAWING NO.
	MLB	C-M102
	DATE	SHEET NO.
	OCT 18, 2024	15 OF 21
	SCALE	
	1/16" = 1'-0"	

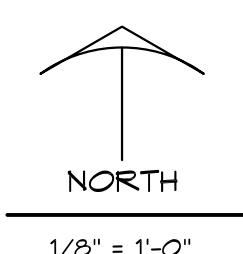
GENERAL MECHANICAL NOTES

- SEE ALL PLANS FOR REQUIRED WORK.
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE.
- FIELD VERIFY ALL EXISTING PIPING, DUCTWORK AND ADJUST AS REQUIRED WITH NO EXTRA COST TO OWNER.
- CONTRACTOR TO RUN ALL DRAIN PIPING TO NEAREST FLOOR DRAIN WITHOUT CAUSING A TRIP HAZARD.
- COORDINATE ALL WORK WITH ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED; HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- INSTALL AT MECHANICAL EQUIPMENT MINIMUM OF 10'-0" FROM ROOF EDGE.
- ALL EXHAUST FAN DISCHARGE AND VENTING SHALL BE INSTALLED MINIMUM OF 10'-0" FROM OUTSIDE AIR INTAKES.
- PAINT ALL EXTERIOR GAS PIPING AND INSTALL MINIMUM OF 3/2" ABOVE ROOF.
- REMOVE EXISTING GAS PIPING AT EXISTING RTUS, REROUTE AND INSTALL NEW DIRT LEG, UNION, ISOLATION AT UNIT.
- COORDINATE POWER WIRING WITH ELECTRIC TRADES, RUN WIRING IN UNIT.
- REWORK CONTROL WIRING TO NEW RTUS AND CONNECT TO EXISTING BMS SYSTEM. INSTALL NEW THERMOSTATS, CO2 DETECTORS, ETC.
- UPDATE CONTROL GRAPHICS FOR EXISTING RTUS ADD ADDITIONAL POINTS TO MATCH EXISTING DISTRICT GRAPHICS AT OTHER BUILDINGS.
- PROVIDE EXTERIOR DUCT INSULATION AT RTU-B1 (SEE SPECIFICATION)

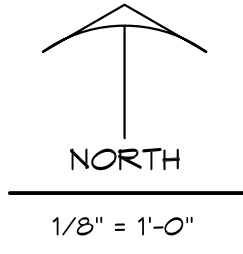
UNIT "B" PARTIAL MECHANICAL DEMOLITION PLAN



UNIT "C" MECHANICAL PLAN



UNIT "B" MECHANICAL PLAN



1	ADDENDUM #1	11/14/2024
NO.	REVISIONS / SUBMISSIONS	DATE

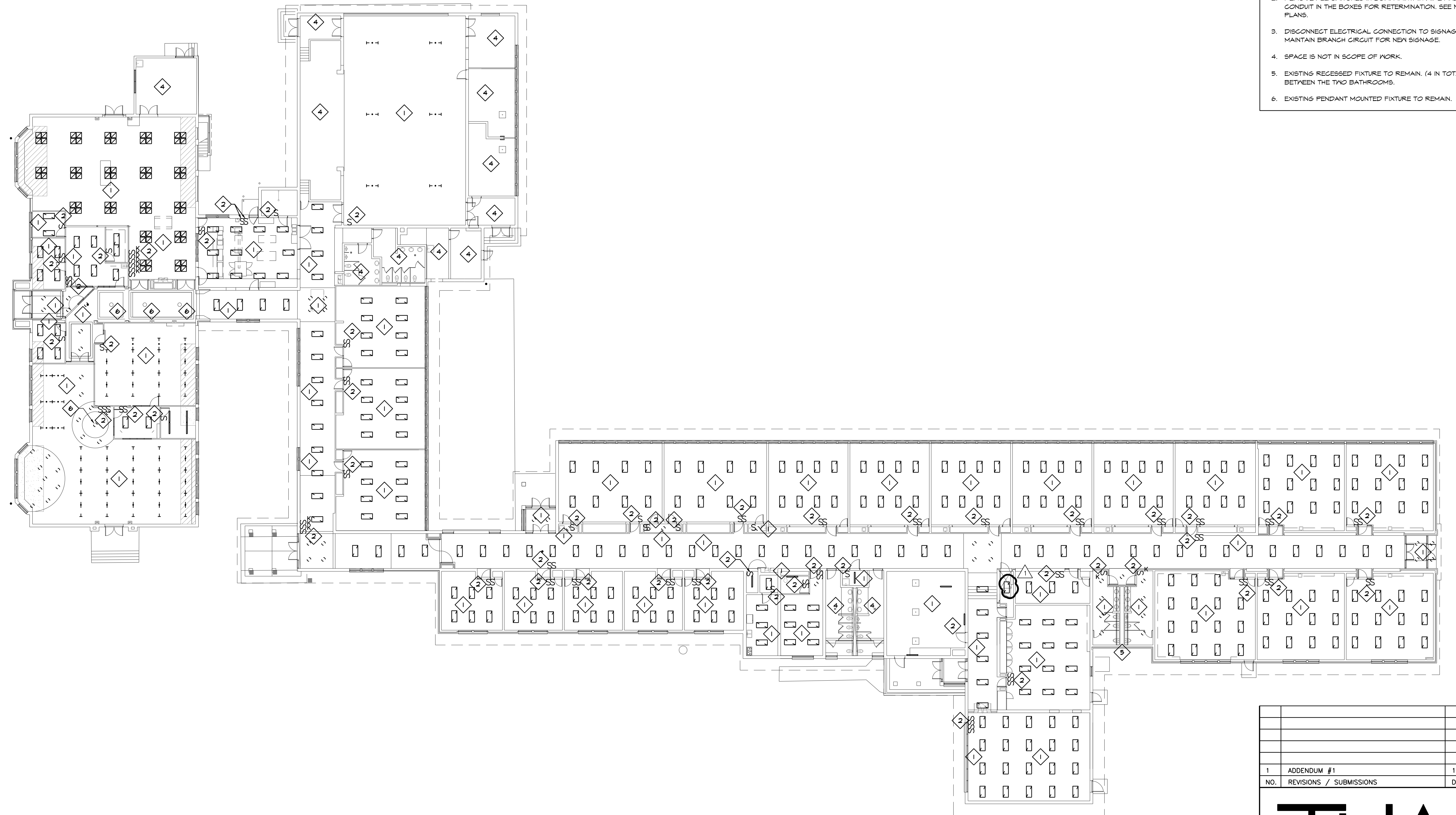
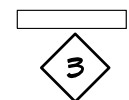
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PROJECT "C" RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
UNITS B&C MECHANICAL PLANS

SEAL	DRAWN C-V/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. C-M104
	REVIEWED MLB	DRAWING NO. C-M104
	DATE OCT 18, 2024	SHEET NO. 17 OF 21
	SCALE 1/8" = 1'-0"	

R
Q
P
N
M
L
K
J
H
G
F
E
D
C
B
A



DEMOLITION NOTES

1. REMOVE ALL LIGHT FIXTURES IN SPACE UNLESS OTHERWISE NOTED. MAINTAIN WIRE AND CONDUIT FOR CONNECTION TO NEW LIGHT FIXTURES. FIXTURES TO BE 1 FOR 1. SEE NEW PLANS.
2. REMOVE ALL SWITCHES IN BOX. MAINTAIN WIRE AND CONDUIT IN THE BOXES FOR RETERMINATION. SEE NEW PLANS.
3. DISCONNECT ELECTRICAL CONNECTION TO SIGNAGE. MAINTAIN BRANCH CIRCUIT FOR NEW SIGNAGE.
4. SPACE IS NOT IN SCOPE OF WORK.
5. EXISTING RECESSED FIXTURE TO REMAIN. (4 IN TOTAL BETWEEN THE TWO BATHROOMS).
6. EXISTING PENDANT MOUNTED FIXTURE TO REMAIN.

PROJECT 'C'

1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE


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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
 ELEMENTARY SCHOOL**
 1037 S. ROSEVILLE RD
 MIDLAND, MI

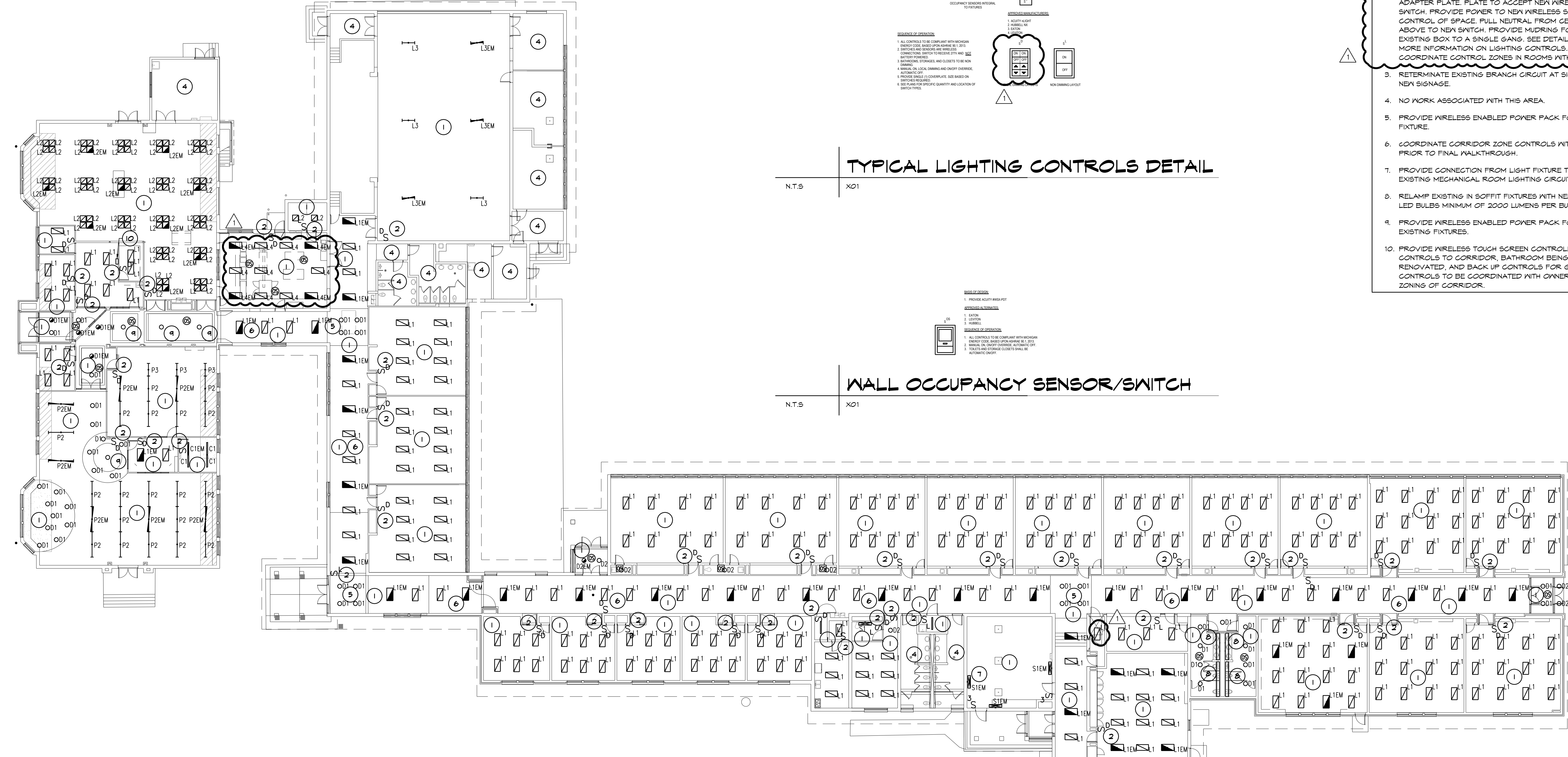
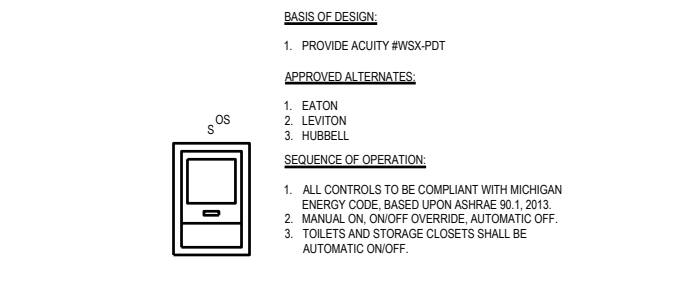
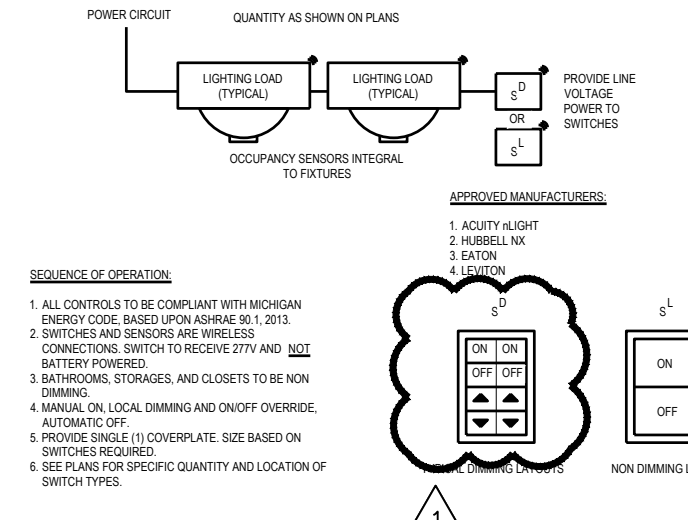
DRAWING TITLE
ELECTRICAL DEMOLITION PLAN

SEAL	DRAWN TJA 24-120	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. A-E000
	REVIEWED RCH	DRAWING NO. C-E101
	DATE OCT 18, 2024	SHEET NO. 11 OF 21
	SCALE AS NOTED	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

CONSTRUCTION NOTES

1. PROVIDE CONNECTION TO NEW LIGHT FIXTURES FROM EXISTING CIRCUIT. FIXTURES TO BE 1 FOR 1.
2. TERMINATE HOT LEGS AND SWITCHED LEGS FOR POWER TO FIXTURES. PROVIDE ADAPTER PLATE FOR BOX. VERIFY GANG SIZE OF BOX PRIOR TO ORDERING ADAPTER PLATE. PLATE TO ACCEPT NEW WIRELESS SWITCH. PROVIDE POWER TO NEW WIRELESS SWITCH FOR CONTROL OF SPACE. PULL NEUTRAL FROM CEILING ABOVE TO NEW SWITCH. PROVIDE MUDRING FOR EXISTING BOX TO A SINGLE GANG. SEE DETAIL FOR MORE INFORMATION ON LIGHTING CONTROLS. COORDINATE CONTROL ZONES IN ROOMS WITH OWNER.
3. RETERMINATE EXISTING BRANCH CIRCUIT AT SIGNAGE TO NEW SIGNAGE.
4. NO WORK ASSOCIATED WITH THIS AREA.
5. PROVIDE WIRELESS ENABLED POWER PACK FOR NEW FIXTURE.
6. COORDINATE CORRIDOR ZONE CONTROLS WITH OWNER PRIOR TO FINAL WALKTHROUGH.
7. PROVIDE CONNECTION FROM LIGHT FIXTURE TO EXISTING MECHANICAL ROOM LIGHTING CIRCUIT.
8. RELAMP EXISTING IN SOFFIT FIXTURES WITH NEW 4000K LED BULBS MINIMUM OF 2000 LUMENS PER BULB.
9. PROVIDE WIRELESS ENABLED POWER PACK FOR EXISTING FIXTURES.
10. PROVIDE WIRELESS TOUCH SCREEN CONTROLLER FOR CONTROLS TO CORRIDOR, BATHROOM BEING RENOVATED, AND BACK UP CONTROLS FOR GYM AREA. CONTROLS TO BE COORDINATED WITH OWNER FOR ZONING OF CORRIDOR.



LIGHTING FIX+B1:J56TURE SCHEDULE

General: Lighting fixtures as hereinafter specified are identified by type as noted on drawings. Fixture specifications are based on construction and performance. Manufacturer's catalogue numbers are of general nature and indicate level of quality required, but do not necessarily reflect complete options as specified. Approval shall be based on description and specification of fixture as well as catalogue number indicated. Provide appropriate trim for fixture based on ceiling.

DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS			BALLAST	MOUNTING	NOTES
		QUANTITY	LED	INC			
4' LED STRIPLIGHT. 5000 LUMEN. SNAP ON FROSTED LENS. 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION ETW. WHITE FINISH.	LITHONIA: ZL1N-L48-5000LM-FST-120-40K-80CRI-WH		42W		DRIVER	PENDANT/UNIVERSAL	
6' LED DOWN LIGHT. 1000 LUMENS. 4000K COLOR TEMPERATURE. NLIGHT AIR ENABLED. PROVIDE TYPE 'EM' WITH OPTION EL. 10W BATTERY BACK UP	GOTHAM: EVO6-40/10-AR-LSS-MWD-MVOLT-GZ10-NLTAIR2		10W		DRIVER	RECESSED	
13" SURFACE MOUNTED LED CIRCULAR FIXTURE. 1800 LUMEN, 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION EM. BATTERY BACK UP OPTION.	JUNO: JSF-13IN18LM-SWWS-90CRI-MVOLTZT-WH		20W		DRIVER	SURFACE	
2'X4' LED FLAT PANEL. 4000 LUMEN, 4000K COLOR TEMPERATURE. NLIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10W/LCP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CPXP-2X4-4000LM-80CRI-40K-PC-SWM-MIN10-MVOLT-NLTAIR2-IP85		37W		DRIVER	RECESSED	
2'X2' LED FLAT PANEL. 3200 LUMEN, 4000K COLOR TEMPERATURE. NLIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10W/LCP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CPX-2X2-3200LM-80CRI-40K-SWL-MIN10-MVOLT-NLTAIR2-APDT		30W		DRIVER	RECESSED	
LED HIGH BAY FIXTURE. 30000 LUMEN, 4000K COLOR TEMPERATURE. NLIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION I20WCPHE. 20 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: IBG-30000LM-SEF-PCL-WD-MVOLT-GZ10-40K-80CRI-NLTAIR2-RLSXR6		178W		DRIVER	PENDANT	
2'X4' LED FLAT PANEL. 4000 LUMEN, 4000K COLOR TEMPERATURE. NLIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10W/LCP. 10 WATT EMERGENCY BATTERY BACK UP.	FINELITE: HP-X-P4D-8-B-H-840-WSO-F-120-SC-NLTAIR-FA100-XX-FE-SW-NLTAIR OCC		87.2W		DRIVER	PENDANT	
8' LED LINEAR SUSPENDED FIXTURE. 531 LUMENS PER FOOT UP LIGHT. 780 LUMENS PER FOOT DOWN LIGHT. 4000K COLOR TEMPERATURE. CONTRACTOR TO COORDINATE CEILING TYPE BEFORE ORDERING FOR MOUNTING PURPOSES. PROVIDE NLIGHT AIR ENABLED SENSOR INTEGRAL TO FIXTURE. PROVIDE FIXTURE TYPE 'EM' WITH OPTION LED18W. 18 WATT BATTERY BACK UP.	FINELITE: HP-X-P4D-8-B-H-840-WSO-F-120-SC-NLTAIR-FA100-XX-FE-SW-NLTAIR OCC		87.2W		DRIVER	PENDANT	
4' LED LINEAR SUSPENDED FIXTURE. 531 LUMENS PER FOOT UP LIGHT. 780 LUMENS PER FOOT DOWN LIGHT. 4000K COLOR TEMPERATURE. CONTRACTOR TO COORDINATE CEILING TYPE BEFORE ORDERING FOR MOUNTING PURPOSES. PROVIDE NLIGHT AIR ENABLED SENSOR INTEGRAL TO FIXTURE.	FINELITE: HP-X-P4D-4-B-H-840-WSO-F-120-SC-NLTAIR-FA100-XX-FE-SW-NLTAIR OCC		43.6W		DRIVER	PENDANT	

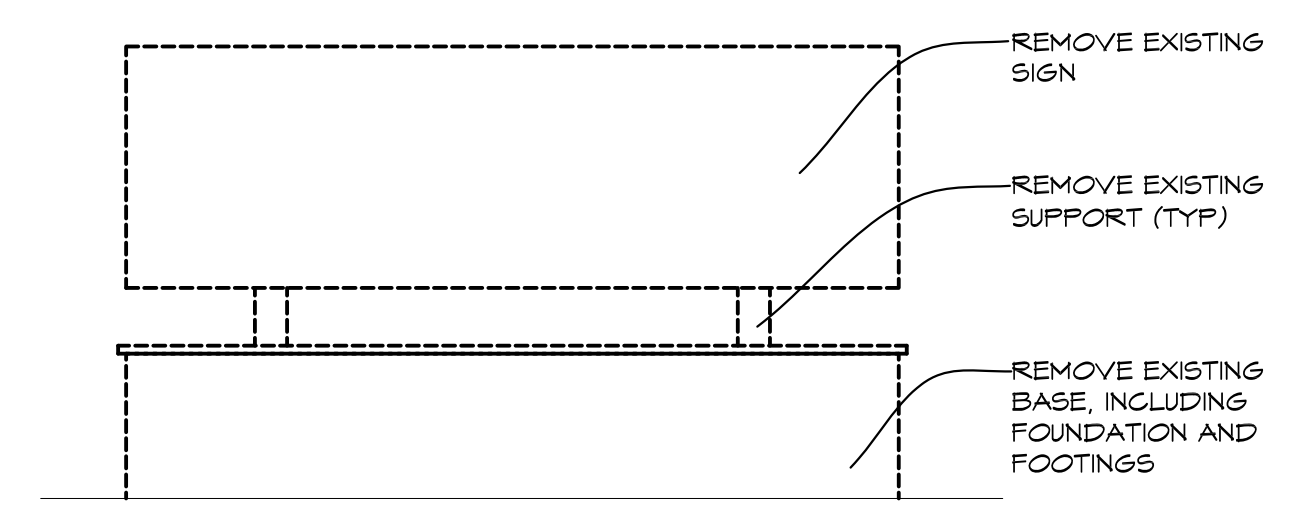
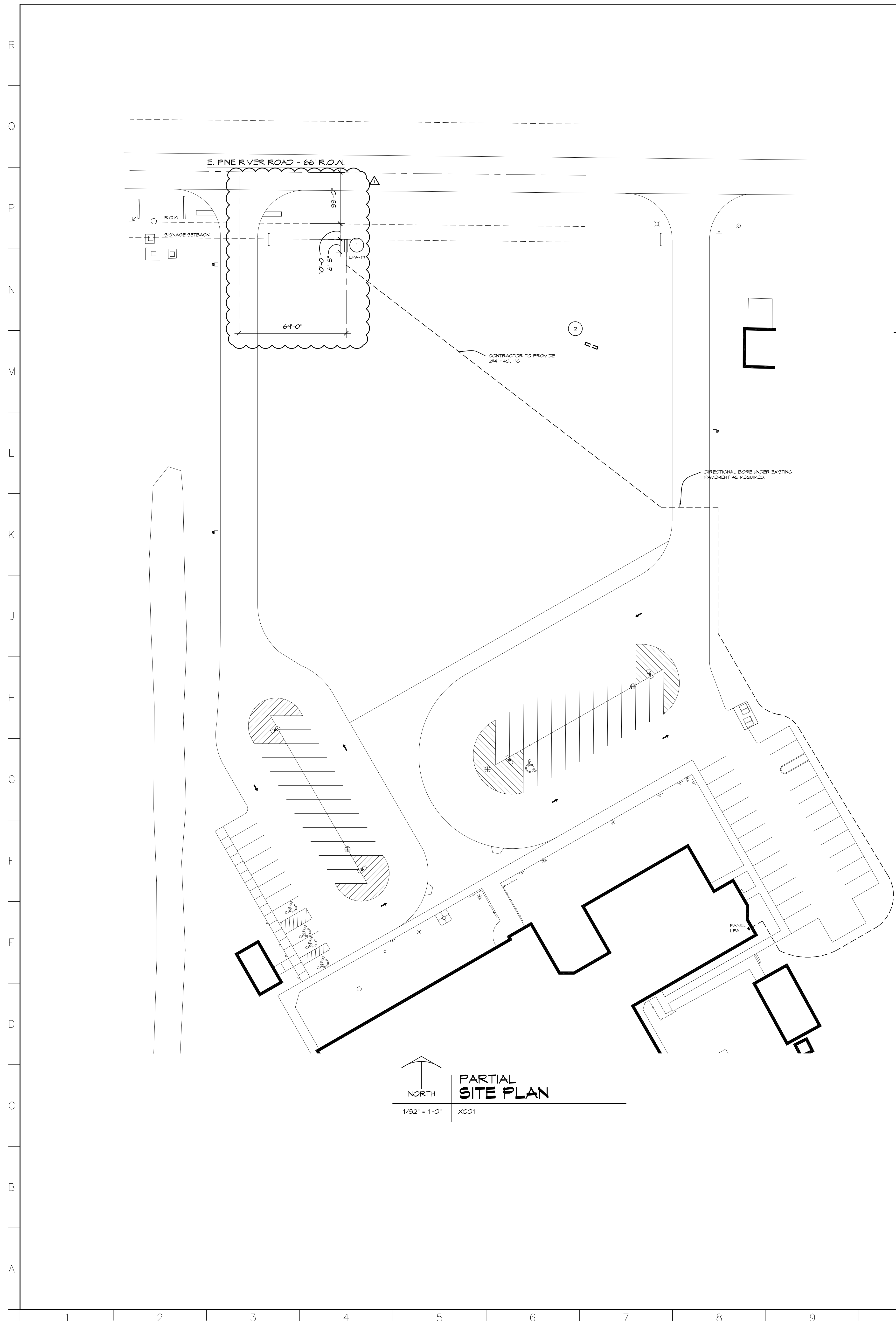


1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

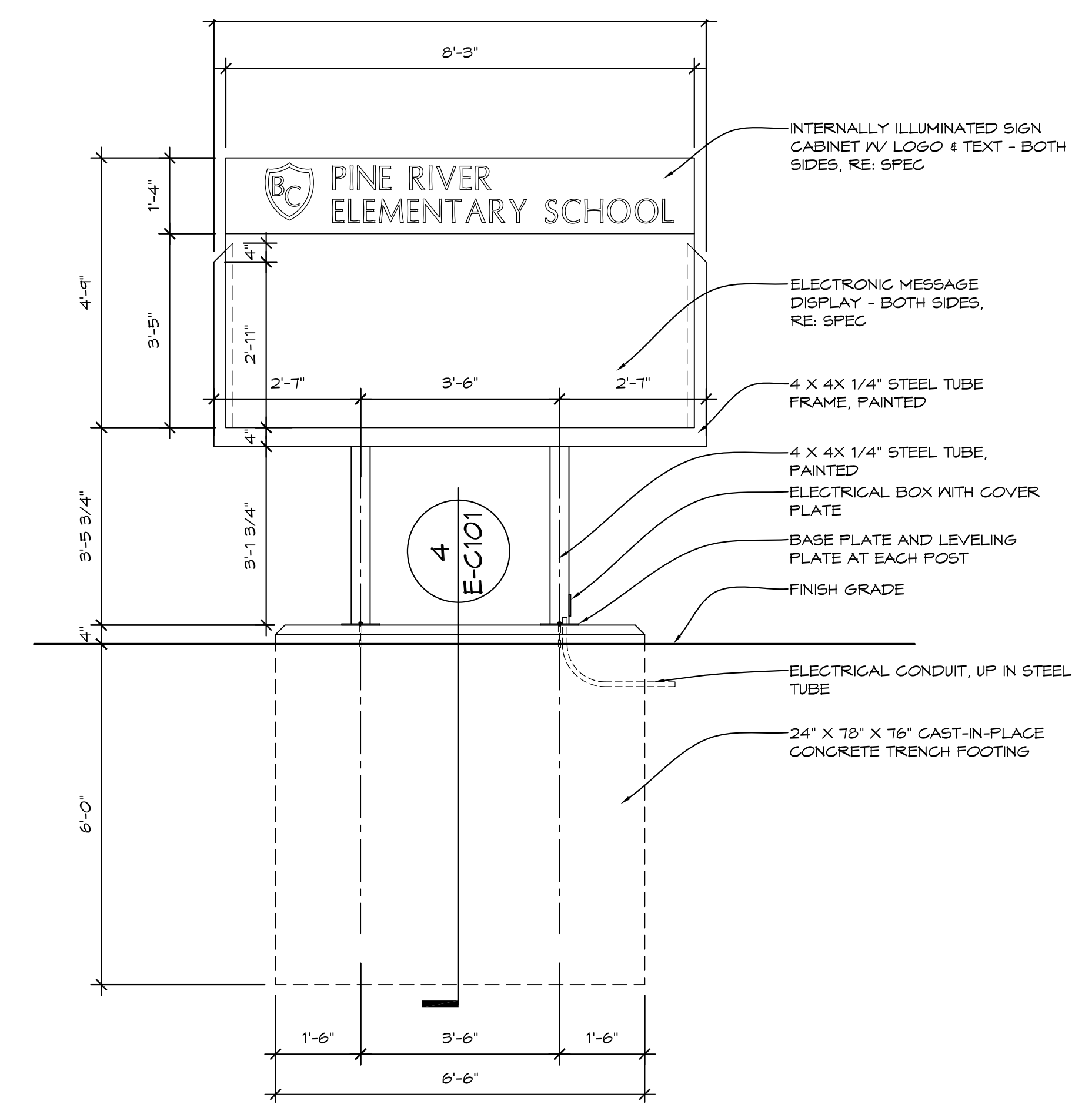
DRAWING TITLE ELECTRICAL PLANS		
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	CHECKED RGH	CAD FILE NO. A-E000
	REVIEWED RGH	DRAWING NO. C-E102
	DATE OCT 18, 2024	SHEET NO. 20 OF 21
	SCALE AS NOTED	



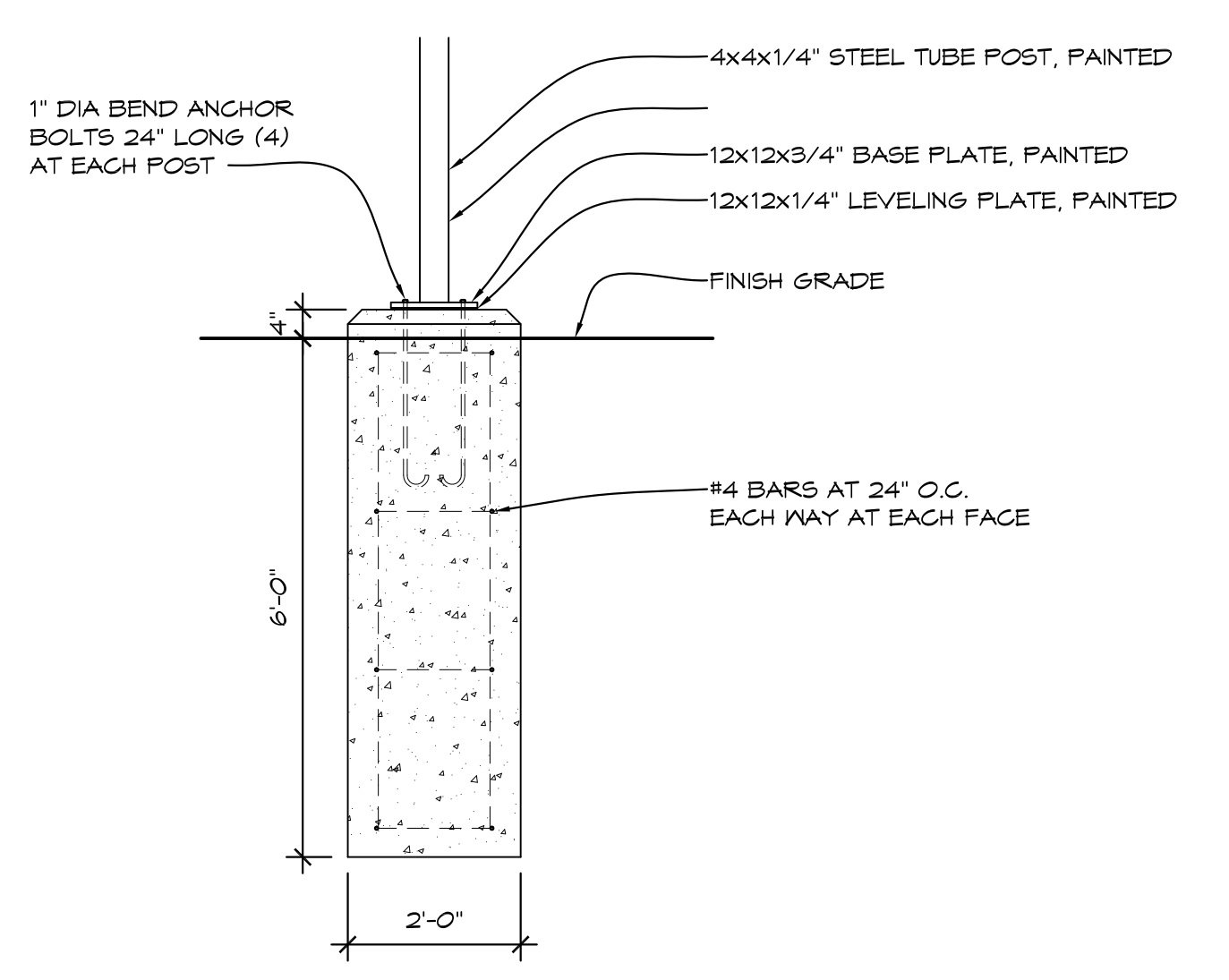
1 SIGN DEMOLITION ELEVATION
1/2" = 1'-0" DETLO1



2 EXISTING SIGN ELEVATION
NTS DETLO1



3 PROPOSED SIGN ELEVATION
1/2" = 1'-0" DETLO1



4 PROPOSED FOOTING DETAIL
1/2" = 1'-0" DETLO1

GENERAL DEMOLITION NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
- OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
- COORDINATE ALL WORK WITH ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF SIGN AND ELECTRICAL PANEL.
- REPAIR ALL WALLS, FLOORS AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED, HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

CONSTRUCTION NOTES

- NEW BUILDING SIGN, RE: SPEC
- REMOVE EXISTING BUILDING SIGN INCLUDING CONCRETE FOOTINGS. FILL HOLES AS REQUIRED AND REPAIR LANN

1	ADDENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'E'
**PINE RIVER
ELEMENTARY SCHOOL
NEW EXTERIOR SIGN**
1894 E PINE RIVER RD.
MIDLAND, MI 48640

DRAWING TITLE
**SIGNAGE PLAN WITH ELECTRICAL,
ELEVATIONS, AND FOOTING
DETAIL**

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. E-C101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	E-C101
	SCALE AS NOTED	SHEET NO. 2 OF 2

PROJECT 'E'

STANDARD ABBREVIATIONS

at	at	KO	knockout
A/C	air conditioning	LAM	laminated
ACoust	acoustical	LAV	lavatory
AD	adjustable	LH	left hand
AF	above Finish Floor	LL	live load
AL	aluminum	LLH	long leg horizontal
ANCH	anchor, anchorage	LLV	long leg vertical
ARCH	architect/architectural	LTY	light weight
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	blotting	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRG	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHWR	chilled water return	OA	overall
CHWS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit	PCF	pounds per cubic foot
CO	clean out	PLAS	plaster
COL	column	±	plus or minus
CONC	concrete	PLF	pounds per lineal foot
CONST	construction	PSF	pounds per square foot
CONT	continuous/continuing	PSI	pounds per square inch
CONTR	contract/contractor	PART	partition
CONV	convector	PVC	polyvinyl chloride
CRS	course(s)	PMT	pavement
CT	ceramic tile		
CUH	cabinet unit ventilator		
CW	domestic cold water		
CY	cubic yard		
°	degree		
DET	detail	R	riser/radius
DF	drinking fountain	RA	return air
DIAS	diagonal	RD	roof drain
DIA or Ø	diameter	RE	reference
DM	dimension	REF	refrigerator
DIV	division	REINF	reinforce(d)/reinforcing
DP	dampproofing	RES	resilient
DS	downspout	REV	revision(s)/revised
DWG	drawing	RH	right hand
		RM	room
EA	each	RO	rough opening
EFS	exterior insulation finish system	ROW	right of way
	(synthetic plaster)	RS	roof sump
ELEG	electric/electrical	RWC	rainwater conductor
EQ	equal		
EQUIP	equipment	SAN	sanitary
EW	electric water cooler	SD	storm drain
EXST	existing	SECT	section
EXH	exhaust	SHT	sheet
EXT	exterior	SM	similar
		SPEC	specification(s)
FA	fire alarm	SQ	squares
FAI	fresh air intake	SS	service sink
FD	floor drain	SS	stainless steel
FE	fire extinguisher	STL	steel
FEC	fire extinguisher cabinet	STD	standard
FIN	Finish(ed)	SUSP	suspended
FL	flooring	SYM	symmetry/symmetrical
FOUND	foundation		
FTR	fin tube radiation	T&G	tongue/groove
FTG	footing	T&B	tackboard
		TEL	telephone
G	gas	TERR	terrazzo
GA	gauge/gauge	THR	threshold
GC	general contractor	TV	television
GI	galvanized iron	TYP	typical
GL	glass/glazing		
GST	glazed structural tile		
GALV	galvanized	UH	unit heater
		UR	unit ventilator
HB	hose bibb	UY	unit ventilator
HDA	hardware	V	vent
HM	hollow metal	VERT	vertical
HORIZ	horizontal		
HGT	height	W	width/wide
HTG	heating	W/W	with
HVAC	heating/ventilating/air conditioning	WC	water closet
HW	domestic hot water	WD	wood
HWHR	hot water heating return	WH	water heater
HWHS	hot water heating supply	WI	wrought iron
HWR	domestic hot water return	W/W	wall to wall
		WWR	welded wire reinforcement
ID	inside dimension		
INT	interior		
INV	invert		

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACoust TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	PLYWOOD

SYMBOLS KEY

	NORTH		NORTH ARROW
	EXISTING ELEVATION POINT		NEX ELEVATION POINT
	ELEVATION TARGET		COLUMN NUMBER
	COLUMN CENTERLINE		BUILDING SECTION
	WALL SECTION		DETAIL BUBBLE
	ROOM NAME		ROOM NUMBER
	DOOR NUMBER		WINDOW NUMBER
	INTERIOR ELEVATION		DEMOLITION NOTE

DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES
 2015 MICHIGAN BUILDING CODE
 2021 MICHIGAN MECHANICAL CODE
 2021 MICHIGAN PLUMBING CODE
 2017 MICHIGAN ELECTRICAL CODE

SITE AREA
 35.36± ACRES (ENTIRE HIGH SCHOOL SITE)

BUILDING AREA
 NEW BUILDING AREA = 2560 S.F.

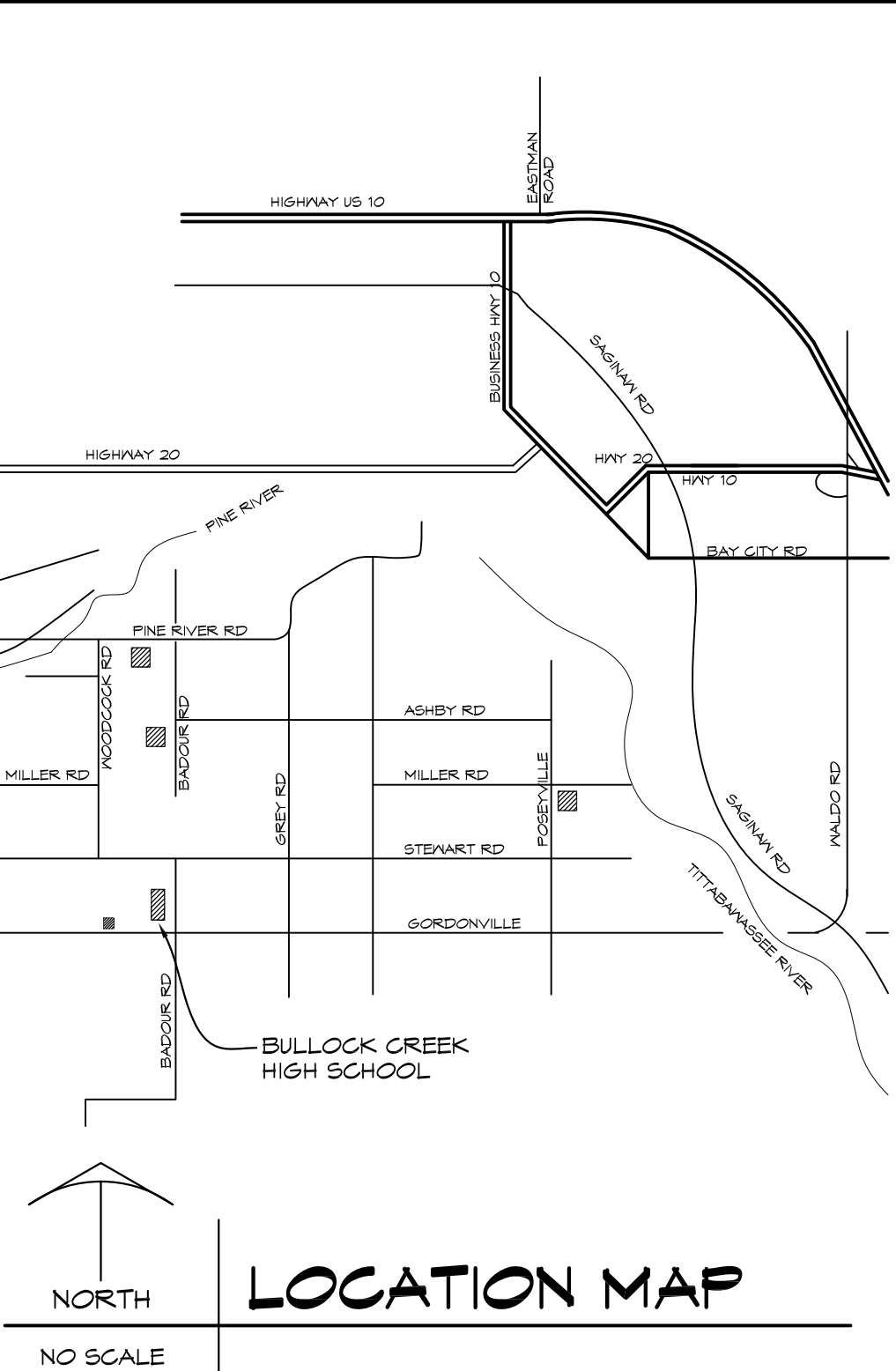
BUILDING HEIGHT
 NEW BUILDING AREA = 20'-0"

BUILDING USE
 (NEW) : S-1

BUILDING CONSTRUCTION TYPE
 TYPE VB

OCCUPANCY
 & OCCUPANTS

ASSUMED SOIL BEARING CAPACITY
 1500 PSF



**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT #24-120**

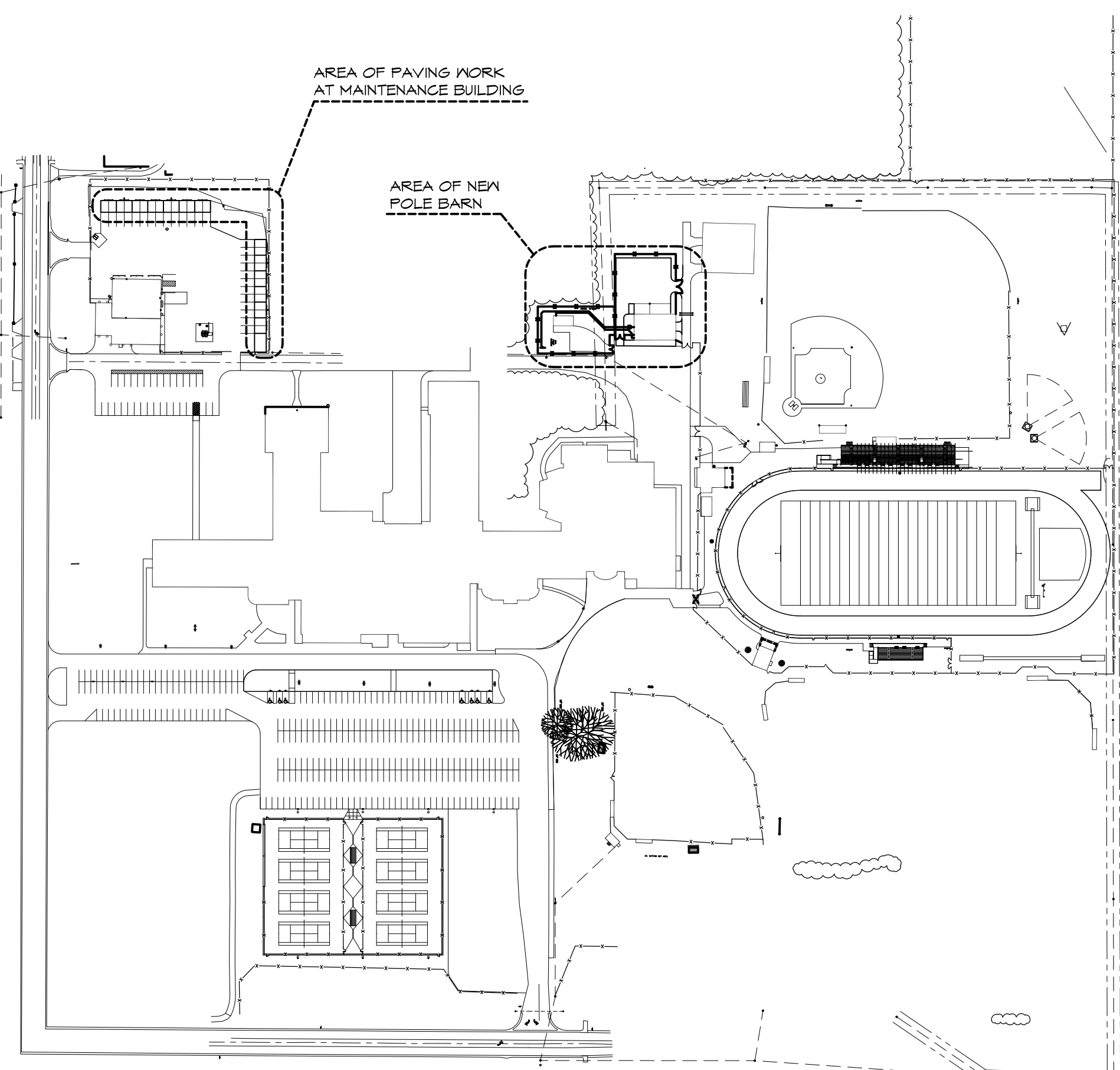
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

**PROJECT 'F'
 SITE WORK AT MAINTENANCE BUILDING &
 NEW POLE BARN**

1420 SOUTH BADOUR ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

- F-G001 TITLE SHEET
- F-C101 SITE DEMOLITION PLAN
- F-C102 SITE DEVELOPMENT PLAN
- F-C103 MAINTENANCE BUILDING SITE DEVELOPMENT PLAN
- F-C104 SESS PLANS
- F-A101 POLE BARN PLANS AND ELEVATIONS
- F-A102 POLE BARN SECTIONS
- F-A103 POLE BARN ENLARGED DETAILS
- F-A104 MAINTENANCE BUILDING PARTIAL DEMOLITION PLAN, PARTIAL FLOOR PLAN AND DETAIL
- F-P101 POLE BARN PLUMBING PLAN
- F-E000 ELECTRICAL COVER SHEET
- F-E101 SITE ELECTRICAL DEMOLITION PLAN
- F-E102 SITE ELECTRICAL PLAN



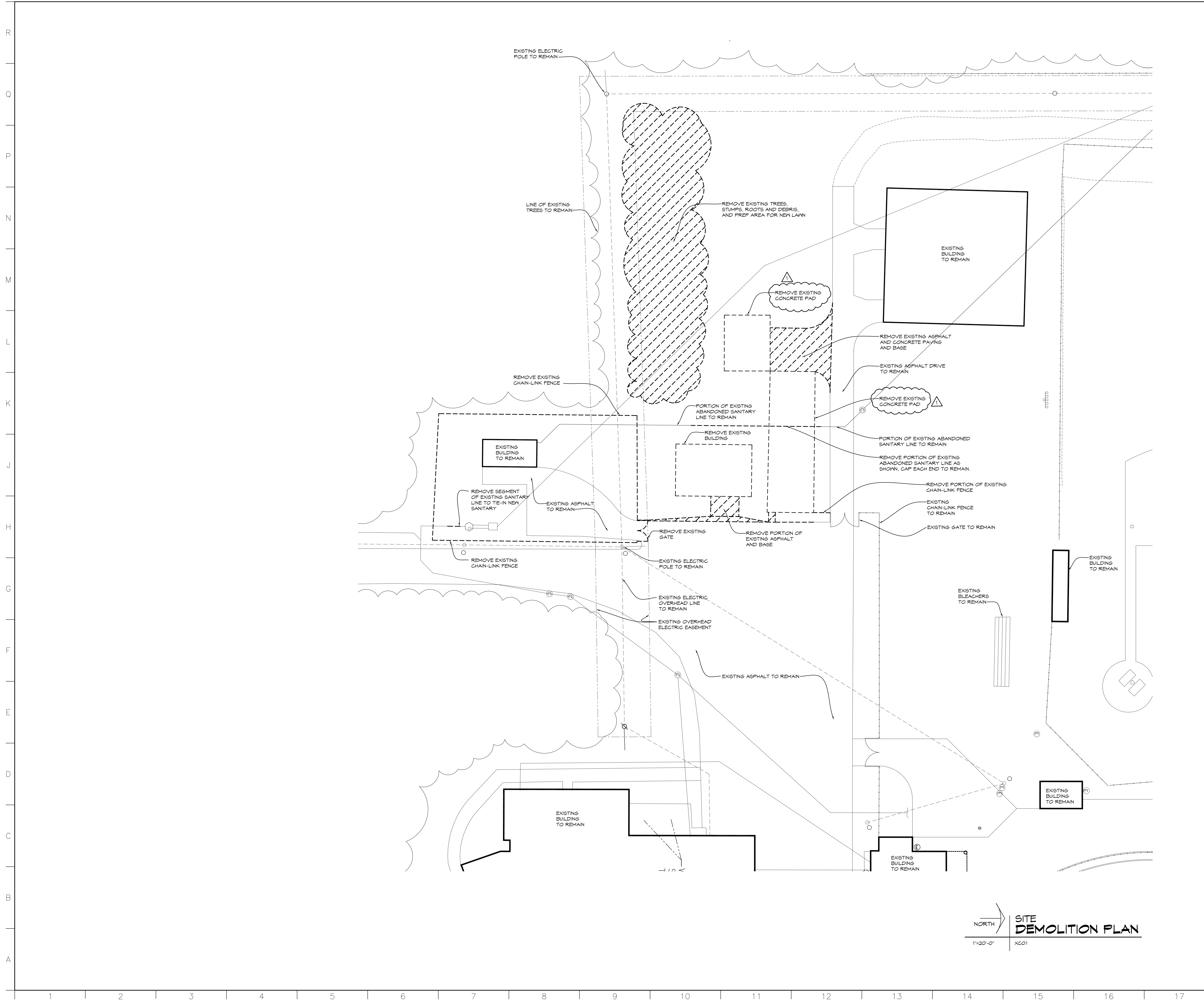
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 www.wolcastconstruction.com

**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT# 24-120
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640
 PROJECT 'F'
 SITE WORK AT MAINTENANCE BUILDING &
 NEW POLE BARN
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640**

1	APPENDUM #1	11/14/24
NO.	REVISIONS / SUBMISSIONS	DATE
SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. F-G001
	REVIEWED MLB	DRAWING NO. F-G001
	DATE OCT 18, 2024	SHEET NO. 1 OF 13
	SCALE N.T.S.	

THA Architects Engineers - P:\Bullock Creek\24-120\2025 Improvements\Drawings\CAD\BCT MT\BLDRG\A001 - TITLE SHEET
 Plot Date: 11/13/2024 3:52 PM



GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
2. OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
3. CONTACT 'MISS DIG' AT 1-800-482-1111 PRIOR TO ANY EXCAVATION OR DEMOLITION
4. UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. NO GUARANTEE IS MADE EITHER TO COMPLETENESS OR ACCURACY
5. AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
7. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
8. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS A REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
9. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM 1	11/14/24



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PROJECT 'F'
**SITE WORK AT
MAINTENANCE BUILDING
& NEW POLE BARN**
1420 SOUTH BADOUR ROAD
MIDLAND, MI

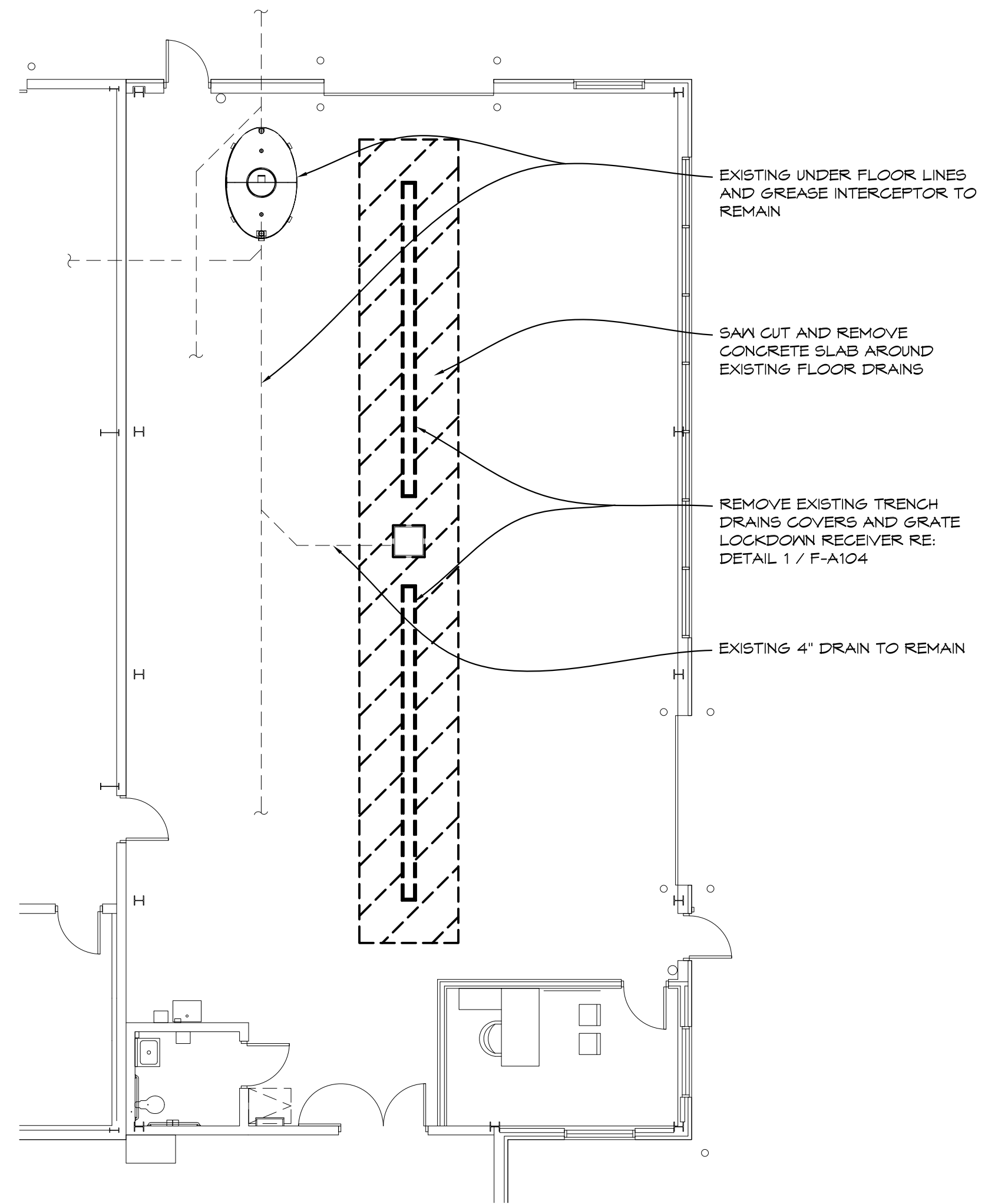
DRAWING TITLE
**SITE
DEMOLITION PLAN**

SEAL	DRAWN EVA 24-120	PROJECT NO.
	CHECKED JESS	CAD FILE NO.
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	F-C101
	SCALE 1"=20'-0"	SHEET NO.
		2 OF 13

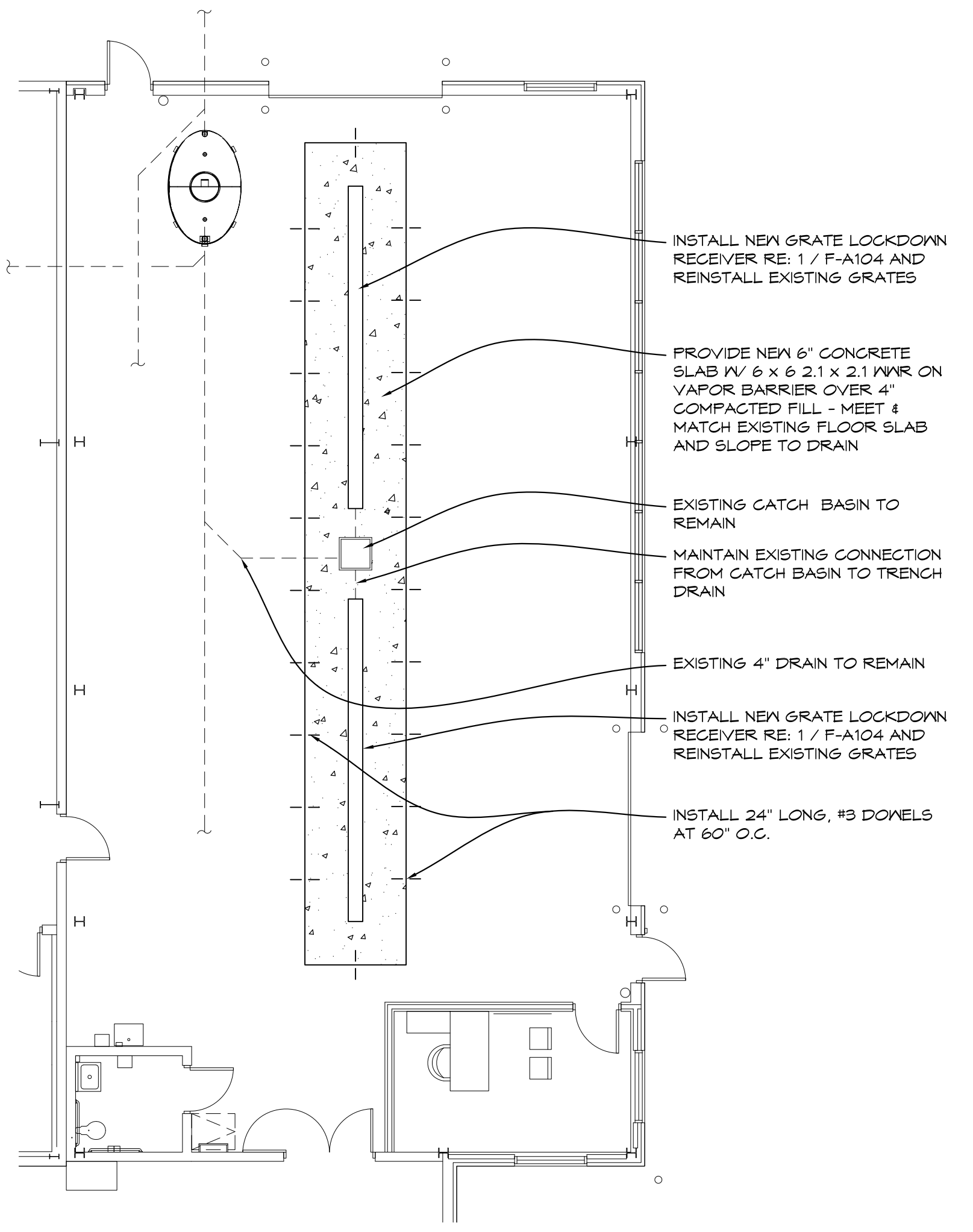
NORTH
1"=20'-0"
**SITE
DEMOLITION PLAN**
XC01

PROJECT 'F'

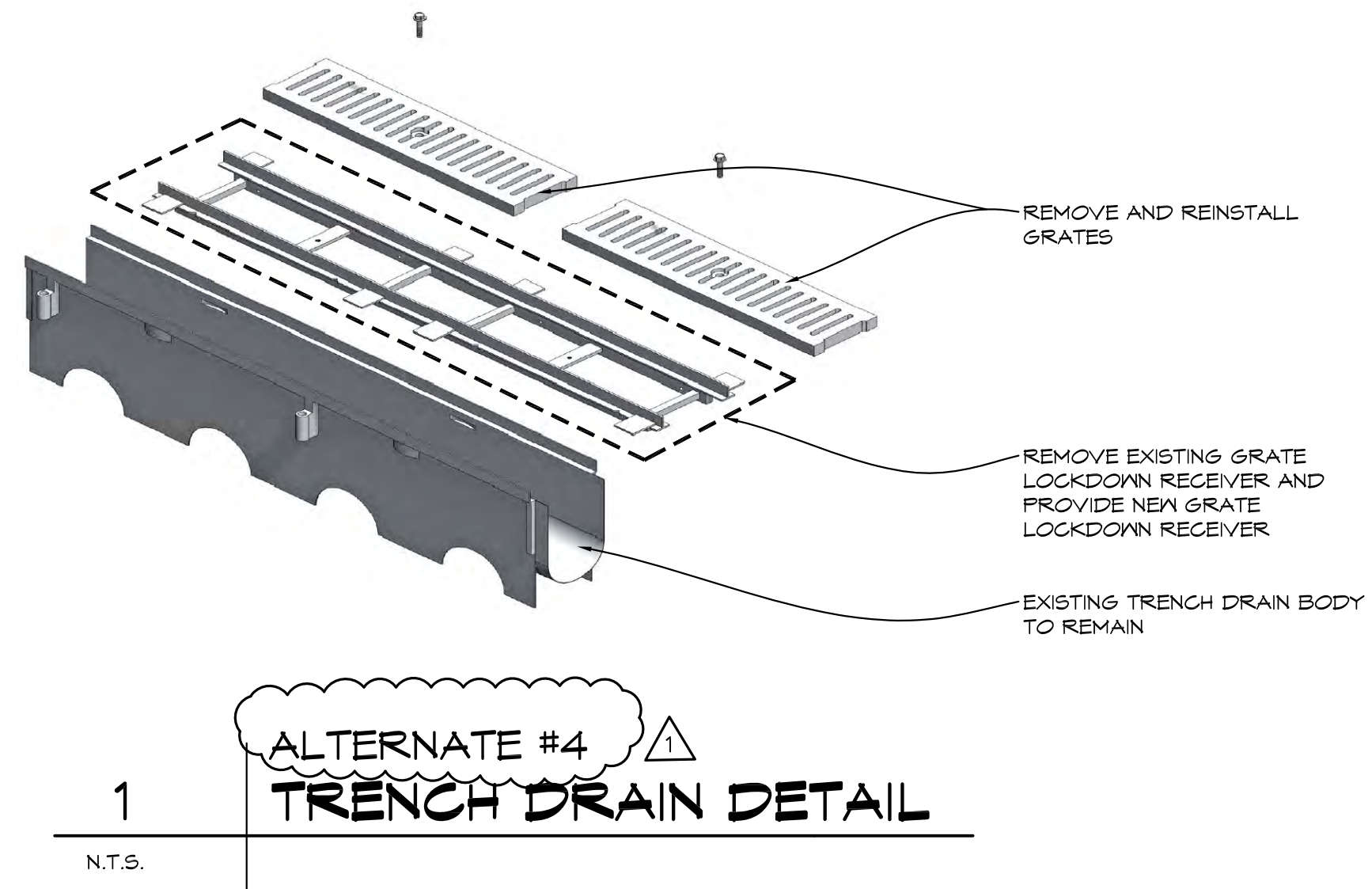
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ALTERNATE #4 
PARTIAL DEMOLITION PLAN
 NORTH
 1/8" = 1'-0"
 X01



ALTERNATE #4 
PARTIAL FLOOR PLAN
 NORTH
 1/8" = 1'-0"
 X01



GENERAL NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
- OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
- COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
- REPAIR ALL WALLS, FLOORS AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
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NO.	REVISIONS / SUBMISSIONS	DATE
1	APPENDUM 1	11/14/24



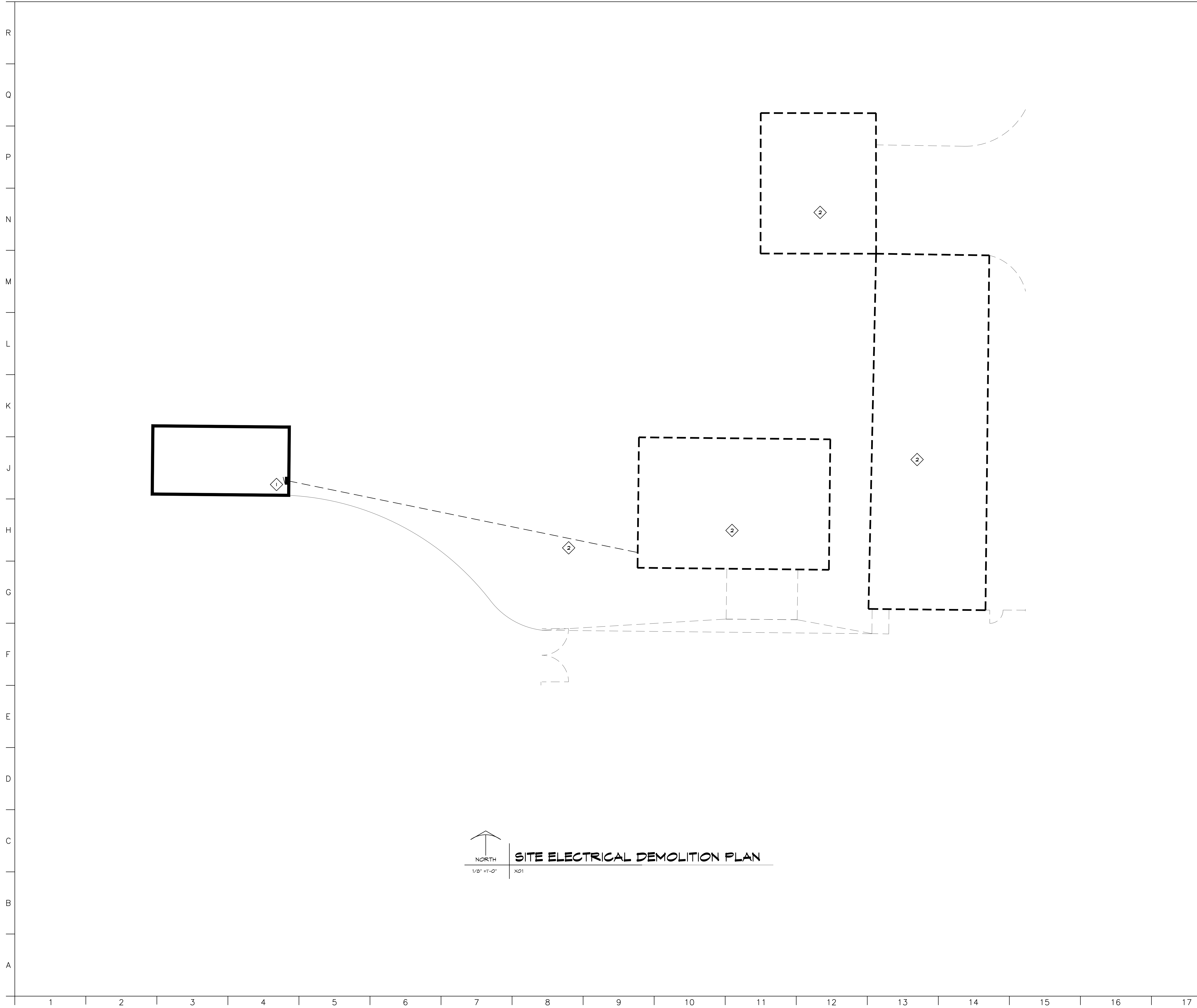
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PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
 1420 SOUTH BADOUR ROAD
 MIDLAND, MI

DRAWING TITLE
MAINTENANCE BUILDING PARTIAL DEMOLITION PLAN, PARTIAL FLOOR PLAN, AND DETAIL

SEAL	DRAWN	PROJECT NO.
	EVA	24-120
	CHECKED	CAD FILE NO.
	JESS	F-A104
	REVIEWED	DRAWING NO.
	MLB	F-A104
	DATE	SHEET NO.
	OCT 18, 2024	9 OF 13
	SCALE	
	AS NOTED	

PROJECT 'F'



DEMOLITION NOTES

1. EXISTING PANEL TO REMAIN.
2. BUILDINGS TO BE REMOVED BY OTHERS.

NO.	REVISIONS / SUBMISSIONS	DATE
1	ADDENDUM #1	11/14/24

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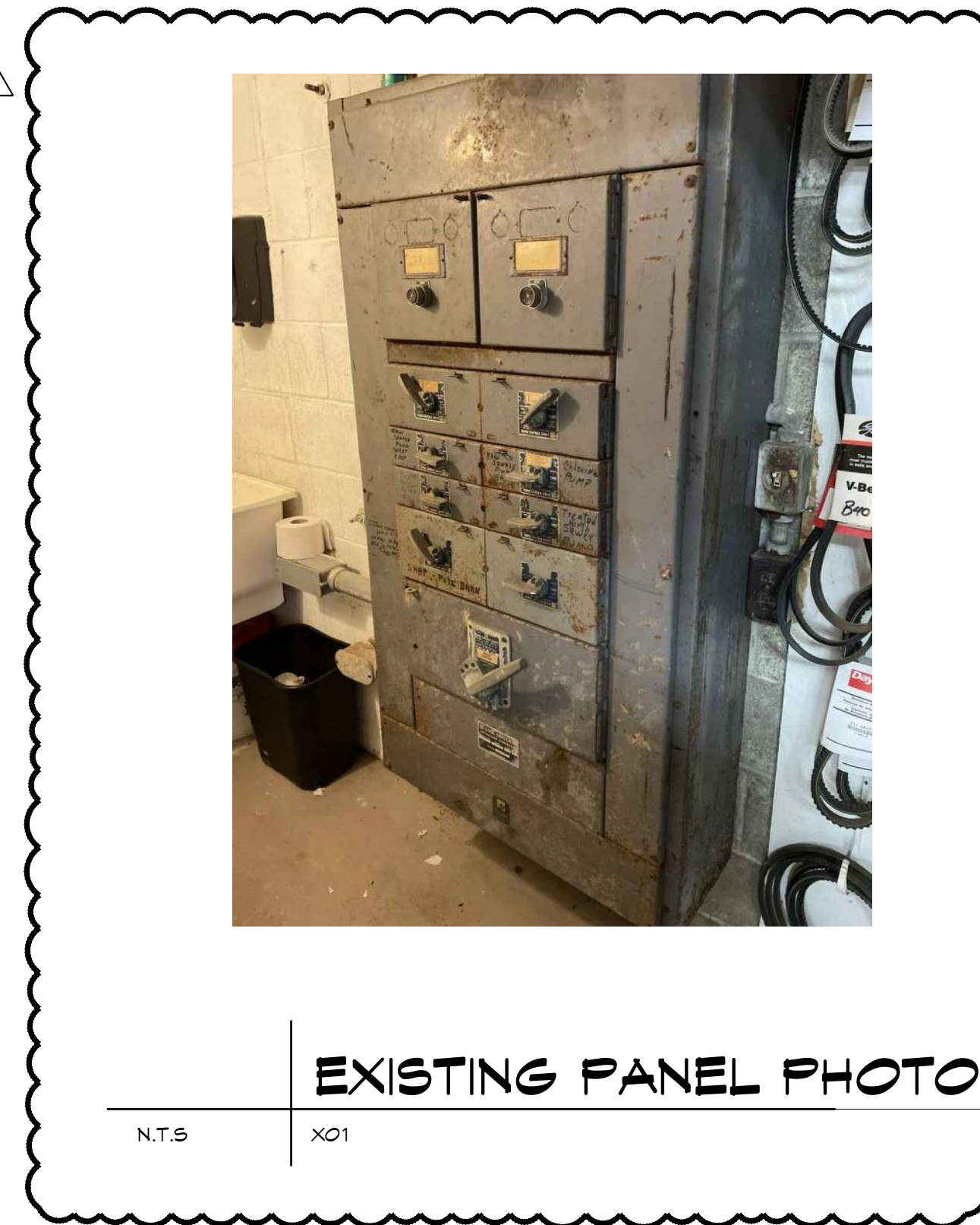
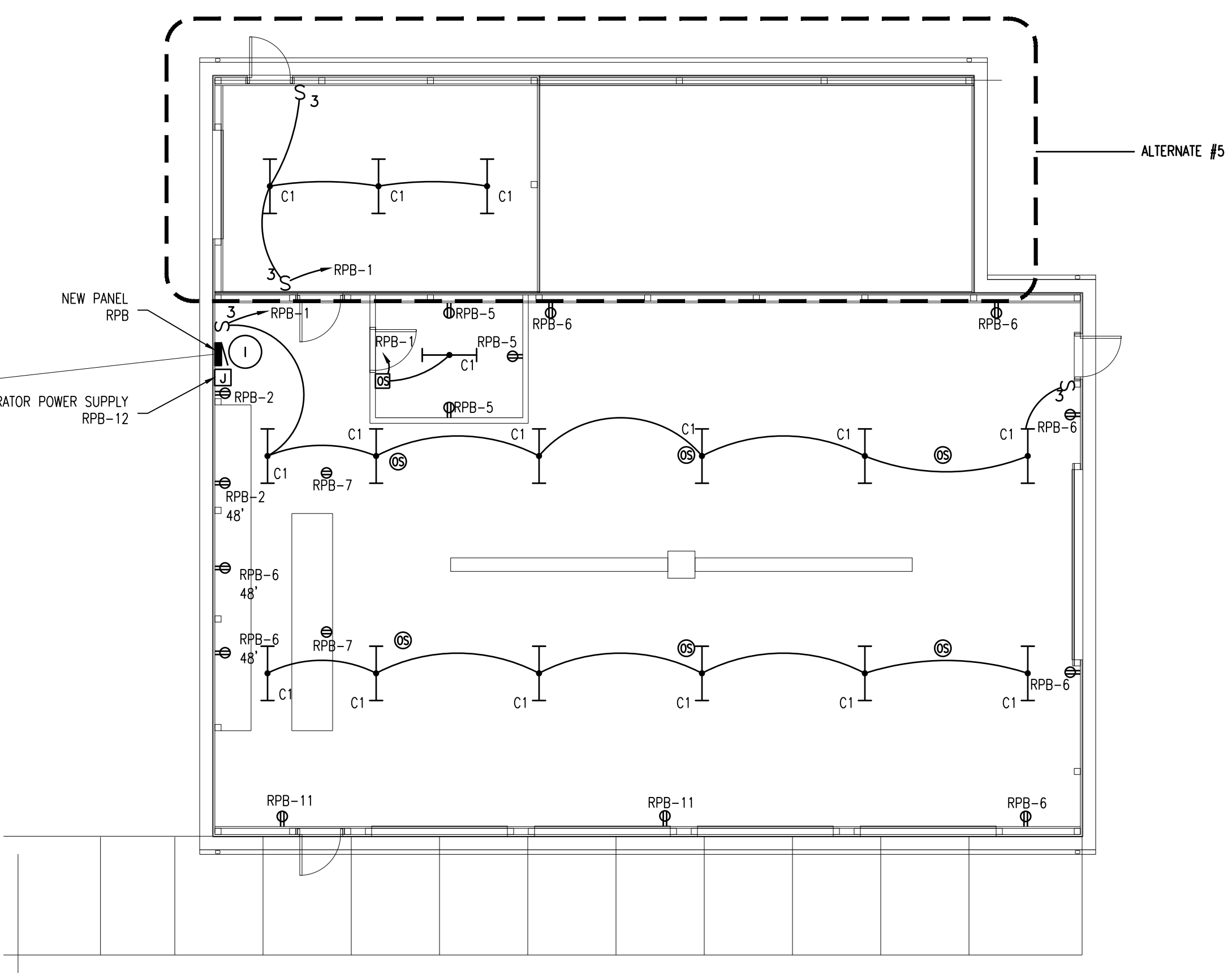
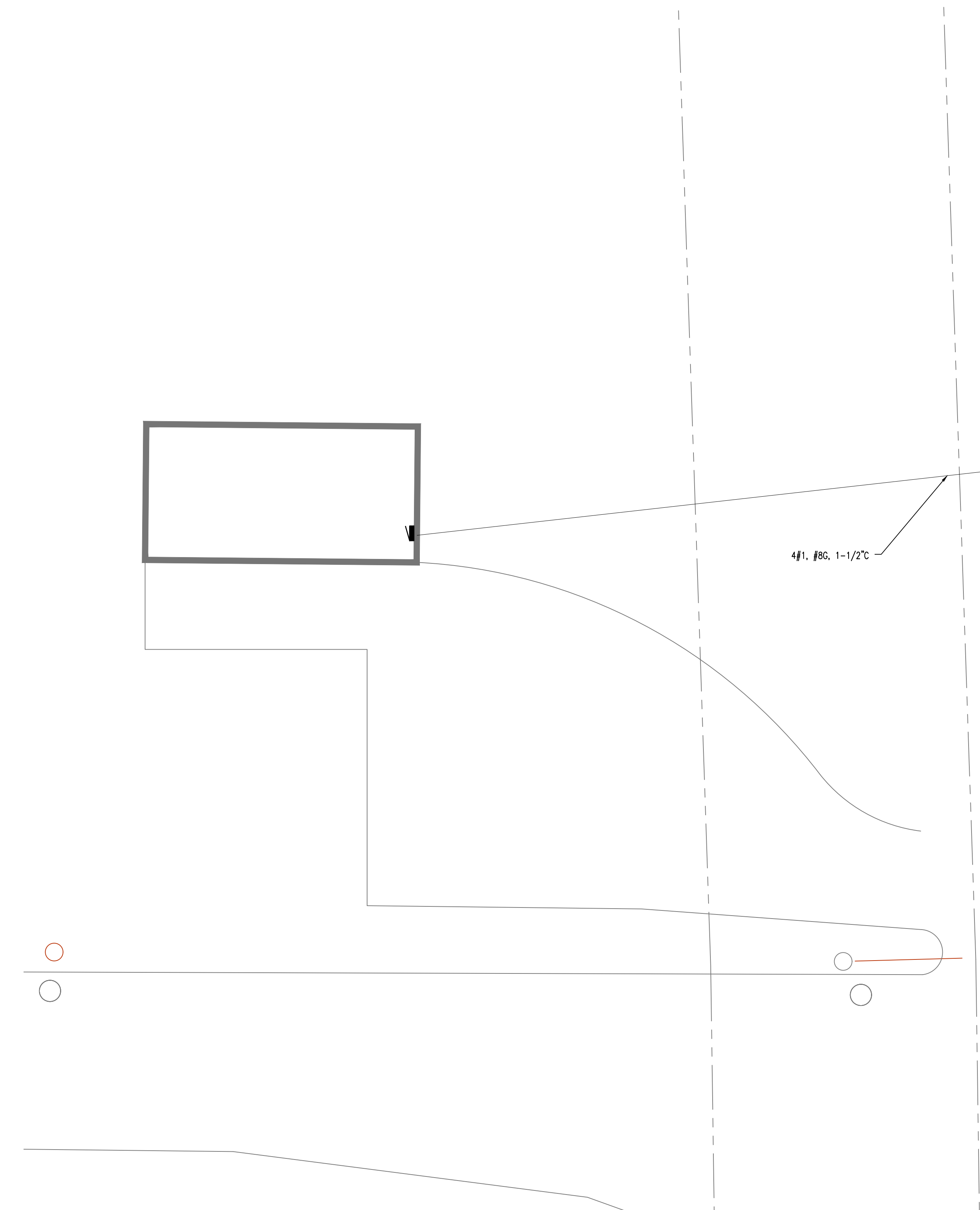
PROJECT 'F'
**SITE WORK AT
 MAINTENANCE BUILDING
 & NEW POLE BARN**
 1420 SOUTH BADOUR ROAD
 MIDLAND, MI

DRAWING TITLE
ELECTRICAL DEMOLITION PLAN

SEAL	DRAWN TJA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. F-E101
	REVIEWED RCH	DRAWING NO. F-E101
	DATE OCT 18, 2024	SHEET NO. 12 OF 13
	SCALE AS NOTED	

PROJECT 'F'

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PANEL NAME: RPB
 SECTION: 1 OF 1
 POLES: 42
 LOCATION: D WING HALLWAY
 MOUNTING: RECESSED

BUS: 100A
 MIN KAIC: EXISTING
 ISO GND BUS: NO

L-L VOLTS: 240 HL
 PHASE: 3
 WIRE: 4

PROJECT #: 24070.00
 FED FROM: EXISTING BUILDING PANEL

* DENOTES GFCI CIRCUIT BREAKER
 ** DENOTES SCREW ON TYPE LOCKING DEVICE

CKT	LOAD DESCRIPTION	LOAD VOLT-AMPERES					P	CKT	PH	CKT	P	LOAD VOLT-AMPERES					LOAD DESCRIPTION	CKT	
		LTS	REC	MOTOR	OTHER	KIT						LTS	REC	MOTOR	OTHER	KIT			
1	LIGHTING	700					20	1	A	2	1	20						RECP	2
3	SPACE								3	B	4							SPACE	4
5	RECP		540				20	1	5	C	6	1	20	540				RECP	6
7	CEILING RECP		360				20	1	7	A	8	1	20	360				COUNTER RECP	8
9	SPACE								9	B	10							SPACE	10
11	RECP		360				20	1	11	C	12	1	20		1500			OIL SEPARATOR	12
13	SPACE						20	1	13	A	14	1	20					SPACE	14
15	SPACE								15	B	16							SPACE	16
17	SPACE						20	1	17	C	18	1	20					SPACE	18
19	SPACE						20	1	19	A	20	1	20					SPACE	20
21	SPACE								21	B	22							SPACE	22
23	SPACE						20	1	23	C	24	1	20					SPACE	24
25	SPACE						20	1	25	A	26	1	20					SPACE	26
27	SPACE								27	B	28							SPACE	28
29	SPACE						20	1	29	C	30	1	20					SPACE	30
31	SPACE						20	1	31	A	32	1	20					SPACE	32
33	SPACE								33	B	34							SPACE	34
35	SPACE						20	1	35	C	36	1	20					SPACE	36
37	SPACE						20	1	37	A	38	1	20					SPACE	38
39	SPACE								39	B	40							SPACE	40
41	SPACE						20	1	41	C	42	1	20					SPACE	42

SUBTOTAL CONNECTED KVA						LOAD SUMMARY & FEEDER CALCULATION								
LTS	REC	MOTOR	OTHER	KIT	TOTAL	LTS	REC	MOTOR	OTHER	KIT	SUBTOT	SPARE	TOTAL	CONNECTED KVA
0.7	1.1	0.0	0.0	0.0	1.8	0.7	2.5	0.0	1.5	0.0	4.7	0%		
0.0	0.0	0.0	0.0	0.0	0.0	1.0	#1	1.0	1.0	1.0				DEMAND FACTOR
0.0	1.4	0.0	1.5	0.0	2.9	0.7	2.5	0.0	1.5	0.0	4.7	0.0	4.7	DEMAND KVA
													11.4	DEMAND AMPS
						1.25	1.0	1.0	1.0	1.0	1.0	1.0	1.0	CONTINUOUS/NONCONT FACTOR
													11.8	MIN. OVERCURRENT DEVICE AMPS

RECEPTACLE DEMAND FACTOR:
 100% FIRST 10 KVA + 50% REMAINING

NORTH
 1/8" = 1'-0"
 X01

SITE ELECTRICAL PLAN

LIGHTING FIXTURE SCHEDULE

General: Lighting fixtures as hereinafter specified are identified by type as noted on drawings. Fixture specifications are based on construction and performance. Manufacturer's catalogue numbers are of general nature and indicate level of quality required, but do not necessarily reflect complete options as specified. Approval shall be based on description and specification of fixture as well as catalogue number indicated. Provide appropriate trim for fixture based on ceiling.

DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS			BALLAST	MOUNTING	NOTES
		QUANTITY	AND WATTS				
		FLUOR	LED	INC			
C1 4' LED STRIP FIXTURE. 5000 LUMEN. 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10WLCP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CLX-L48-5000LM-SEF-WDL-MVOLT-GZ10-40K-80CRI WH-ZACVHM100		32W		DRIVER	SUSPENDED	

CONSTRUCTION NOTES

- PROVIDE CONNECTION TO NEW PANEL IN NEW STORAGE BUILDING FROM EXISTING BREAKER IN EXISTING BUILDING.

NO.	ADDENDUM #1	DATE
1	ADDENDUM #1	11/14/24
	REVISIONS / SUBMISSIONS	DATE

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 MIDLAND, MI

DRAWING TITLE
ELECTRICAL PLAN

SEAL	DRAWN	PROJECT NO.
	FJA	24-120
	CHECKED	CAD FILE NO.
	RGH	A-E000
	REVIEWED	DRAWING NO.
	RGH	F-E102
	DATE	SHEET NO.
	OCT 18, 2024	13 OF 13
	SCALE	
	AS NOTED	

PROJECT 'F'