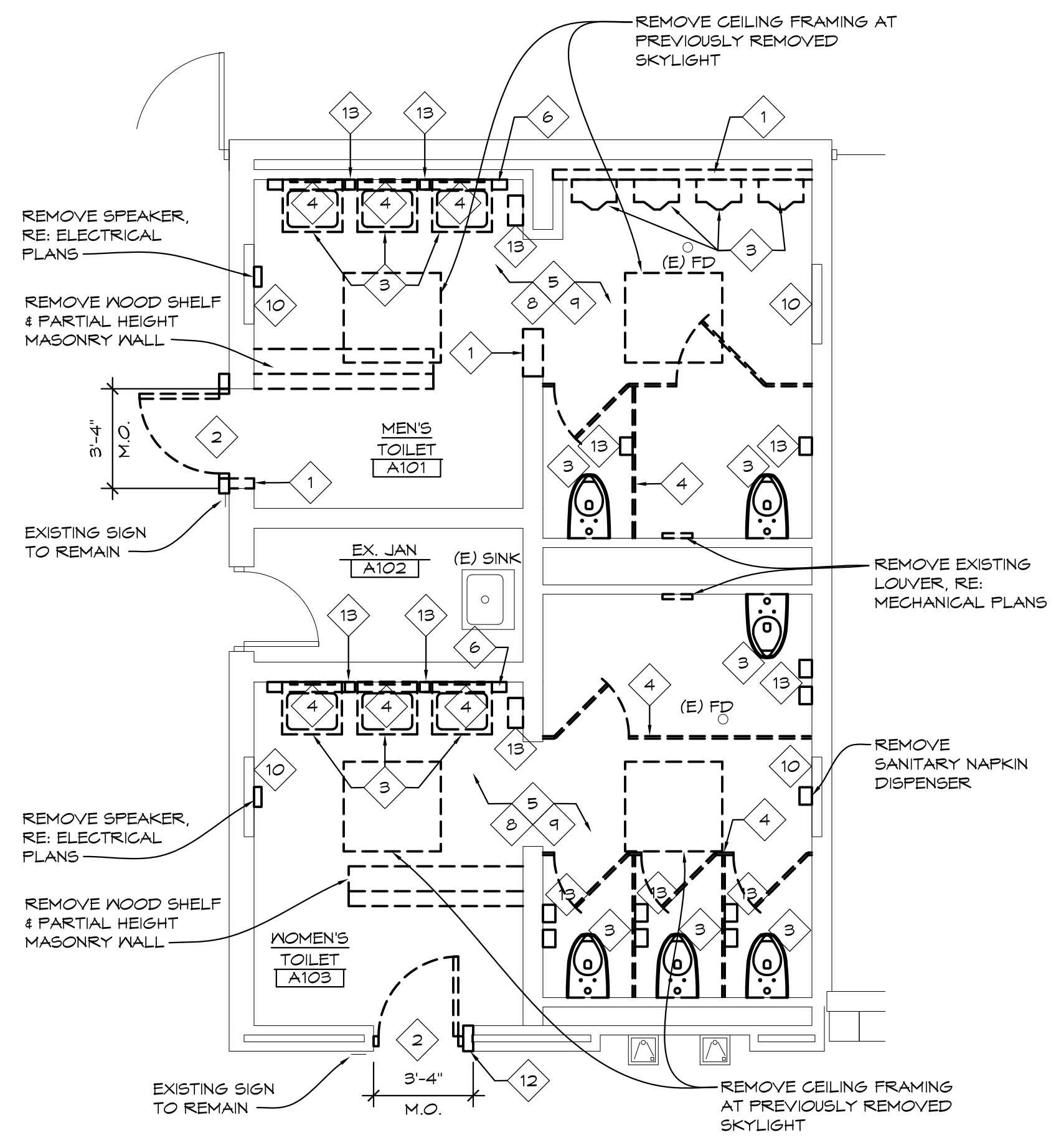


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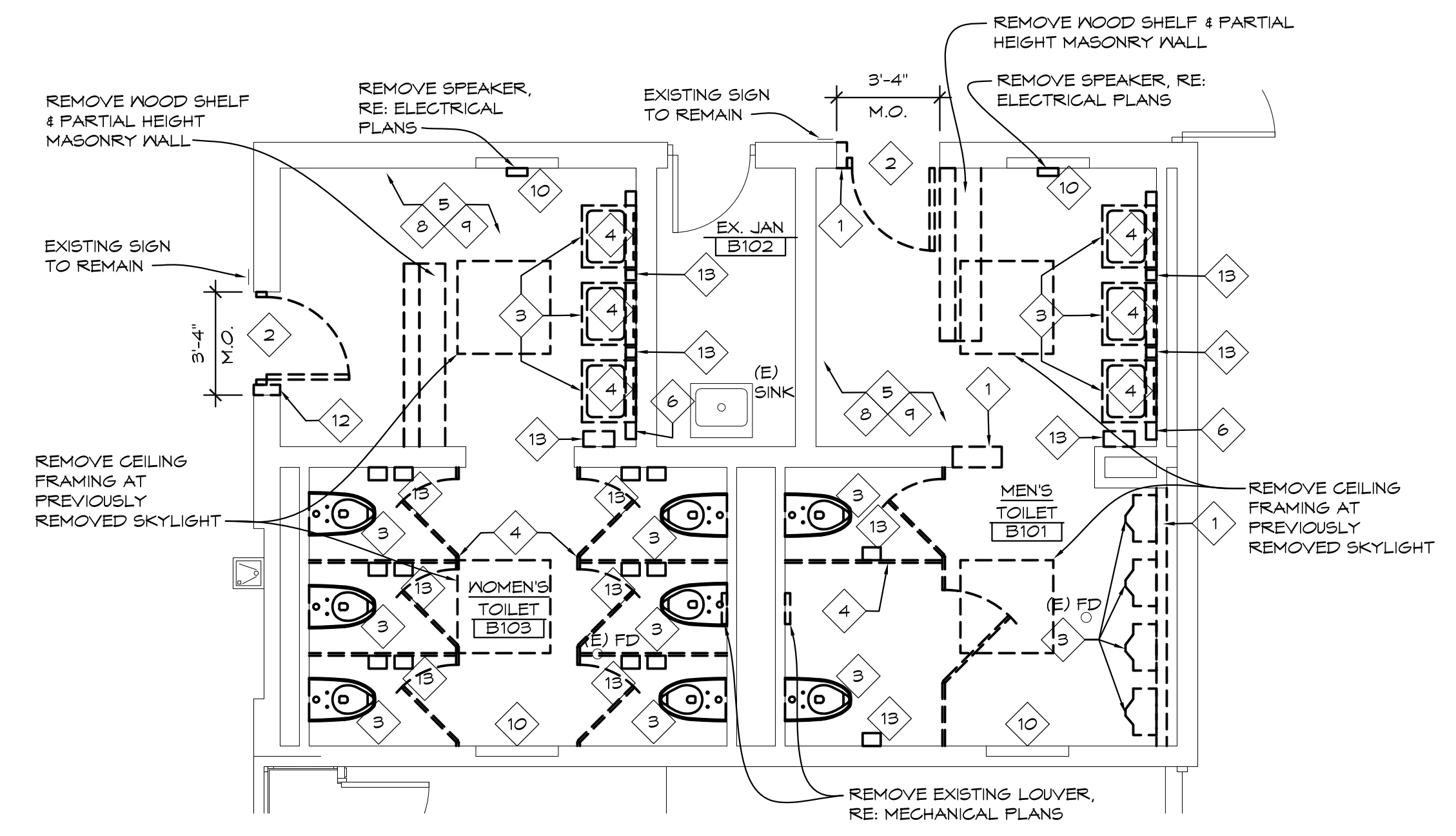
- ### DEMOLITION NOTES
- REMOVE PORTION OF EXISTING MASONRY WALL ASSEMBLY
 - REMOVE WOOD DOOR AND H.M. FRAME ASSEMBLY. REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER
 - REMOVE EXISTING PLUMBING FIXTURES, SALVAGE FOR REINSTALLATION
 - REMOVE TOILET PARTITIONS, GRAB BARS, MIRRORS
 - REMOVE EXISTING PLYWOOD/PLASTER CEILING ASSEMBLY INCLUDING ALL CEILING MOUNTED LIGHTING, STROBES, SENSORS, ETC.
 - REMOVE WALL MOUNTED LIGHT FIXTURE
 - REMOVE EXISTING PLUMBING FIXTURE, EXISTING WALL AND REPLACE UNIT COVER, RE: MECHANICAL PLANS
 - EXISTING TERRAZZO FLOORING TO REMAIN
 - EXISTING COVERED QUARRY TILE WALL BASE TO REMAIN
 - EXISTING CONVECTION UNIT HEATER TO REMAIN. REMOVE AND REPLACE UNIT COVER, RE: MECHANICAL PLANS
 - SAW CUT AND REMOVE PORTION OF EXISTING TERRAZZO FLOORING AND CONCRETE SUBFLOOR AS REQUIRED FOR NEW UNDER FLOOR PLUMBING, RE: PLUMBING DRAWINGS
 - SAW CUT AND REMOVE PORTION OF EXISTING MASONRY WALL AS REQUIRED FOR NEW DOOR FRAME ASSEMBLY. EXISTING MASONRY LINTEL ABOVE TO REMAIN, REMOVE & REINSTALL EXISTING WOOD TRIM ABOVE DOOR HEAD AS REQUIRED (PAINT TO MATCH EXISTING)
 - REMOVE EXISTING TOILET PAPER DISPENSERS, SOAP DISPENSERS, AND PAPER TOWEL DISPENSERS. SALVAGE FOR REINSTALLATION. TURN OVER EXTRAS TO OWNER.

- ### DEMOLITION GENERAL NOTES
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
 - COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, FLOORS AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
 - AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
 - NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
 - REFER TO SHEET A602 FOR GENERAL NOTES REGARDING DEMOLITION AND NEW CONSTRUCTION BRACKETS TO BE REUSED AND NOTIFY DESIGN PROFESSIONAL OF ANY DEFICIENCY.

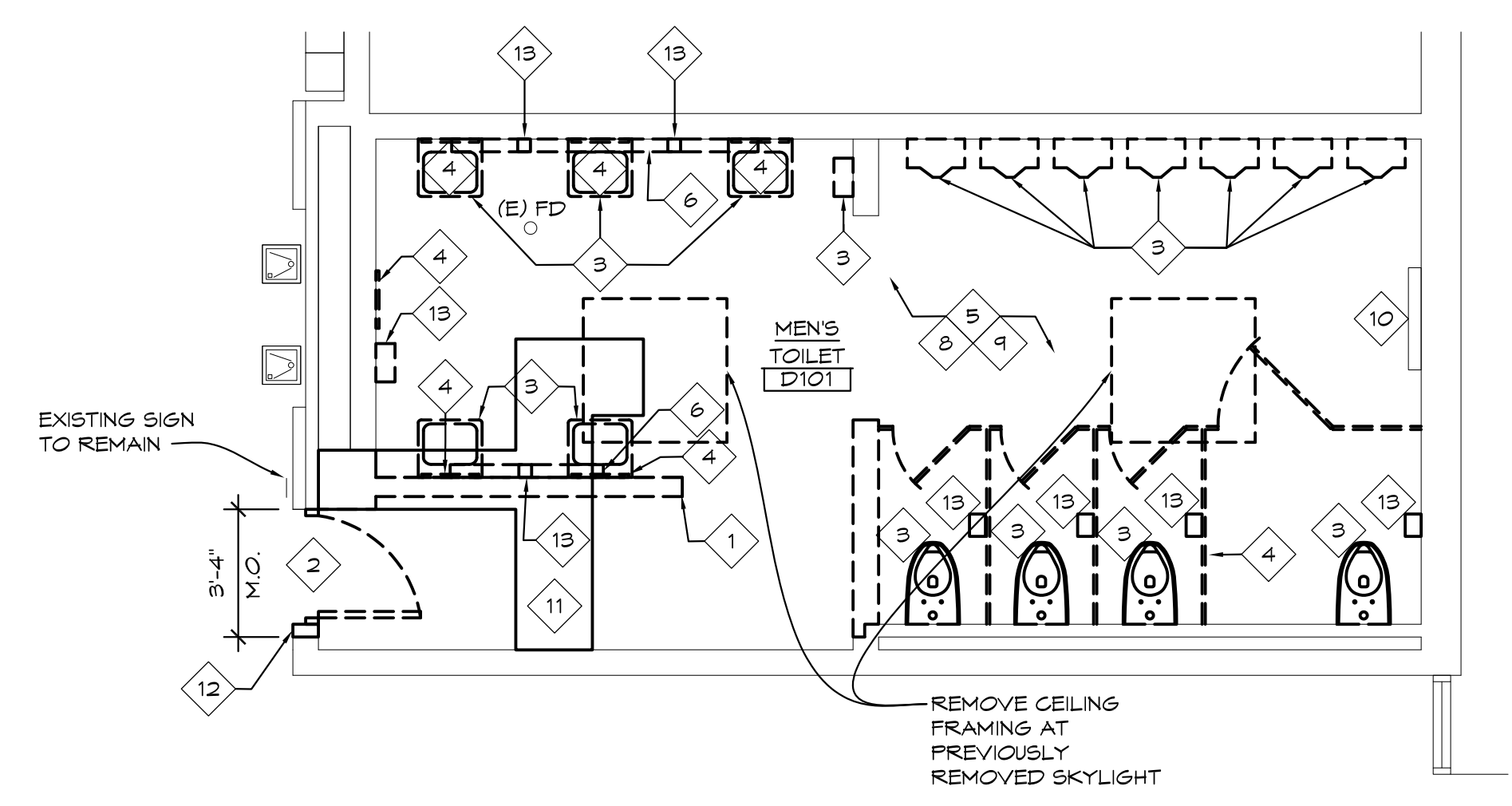
PROJECT 'A'



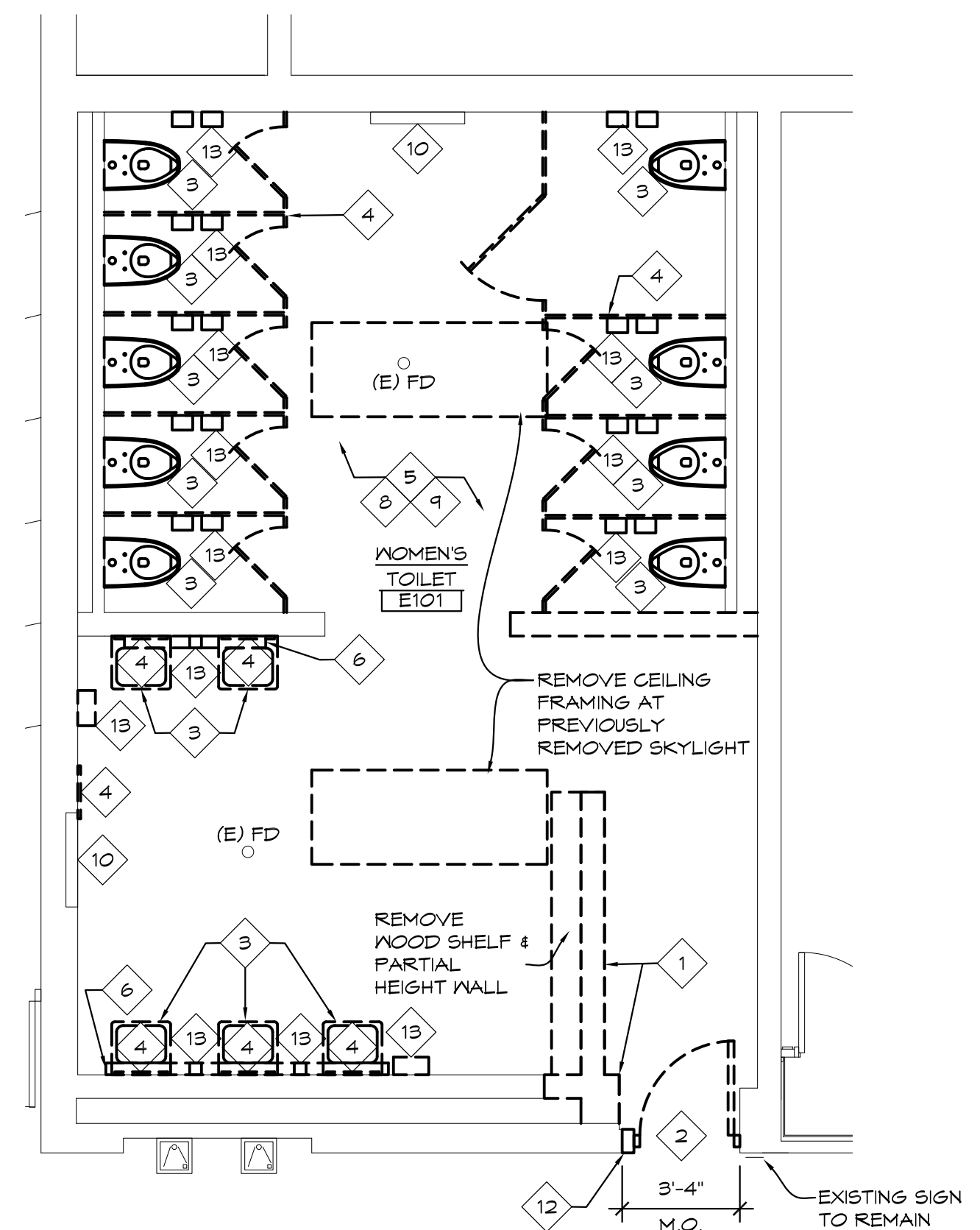
1 'A' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



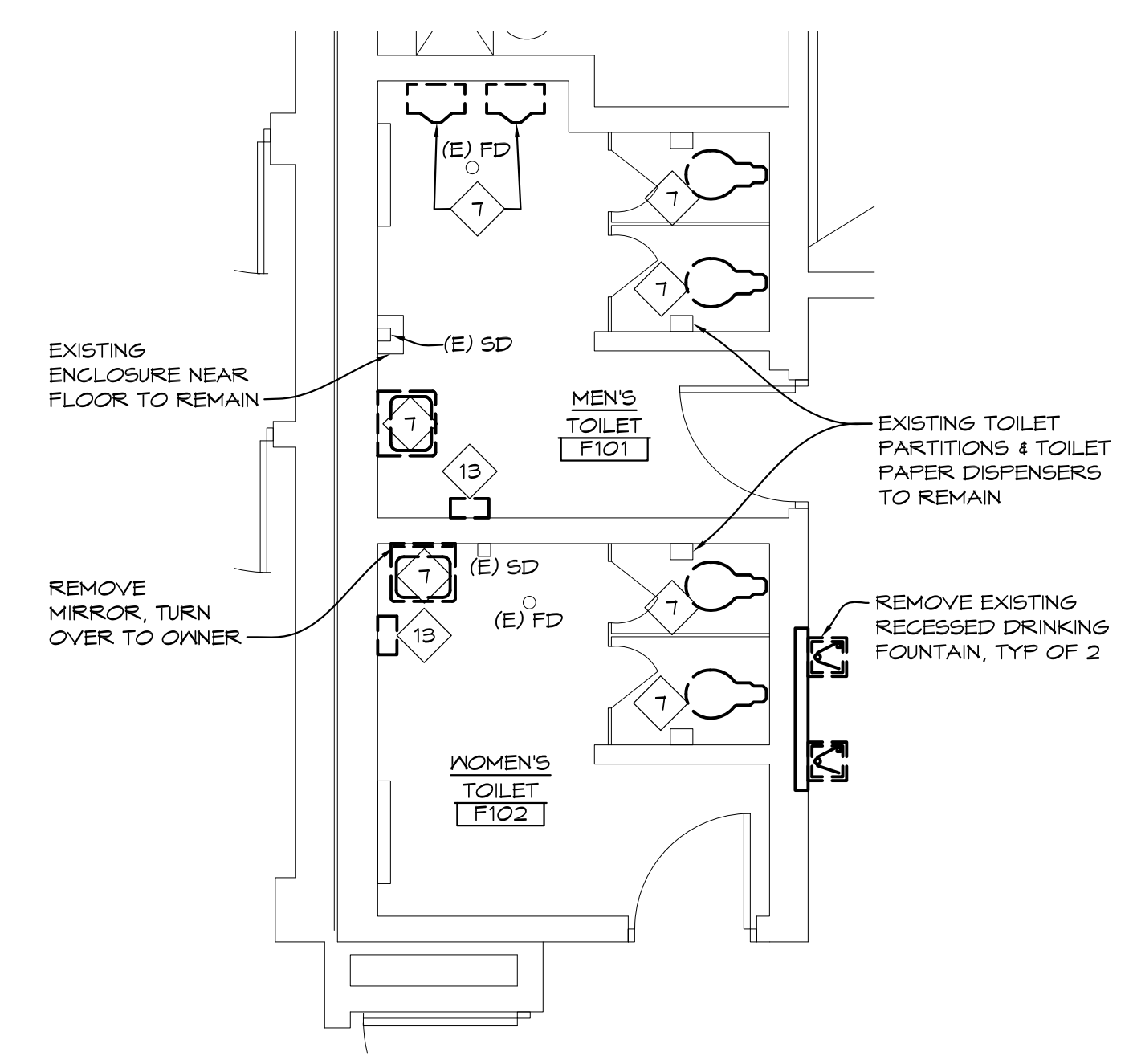
2 'B' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



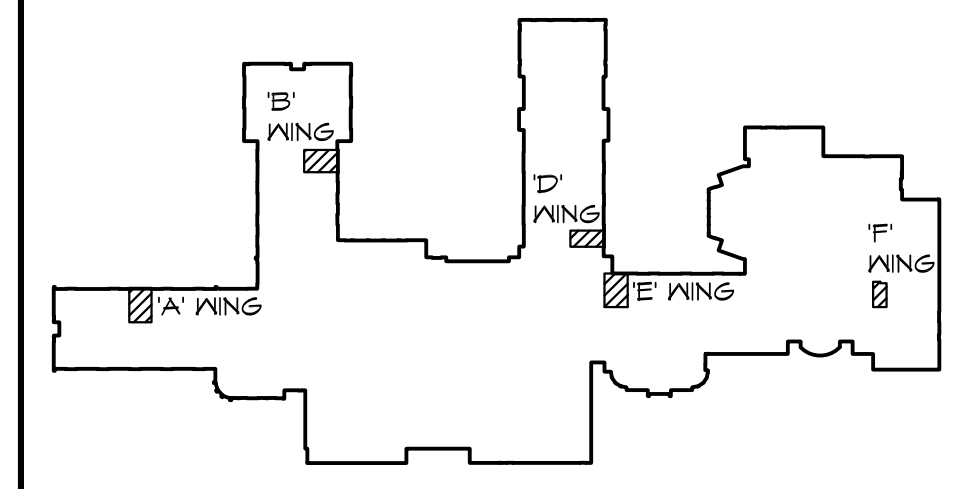
3 'D' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



4 'E' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



5 'F' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



KEY PLAN
NTS KEYPLAN

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
TOILET ROOM DEMOLITION PLANS

SEAL	DRAWN	PROJECT NO.
	CHECKED	CAD FILE NO.
	REVIEWED	DRAWING NO.
	DATE	A-A101
	SCALE	SHEET NO.
	AS NOTED	2 OF 15

THA Architects Engineers - P:\Bullock Creek 24-120 2023\Bullock Creek 24-120 2023\Drawings\01-DEMOLITION\01-DEMOLITION.dwg
Plot Date: 10/22/2024 10:41 AM

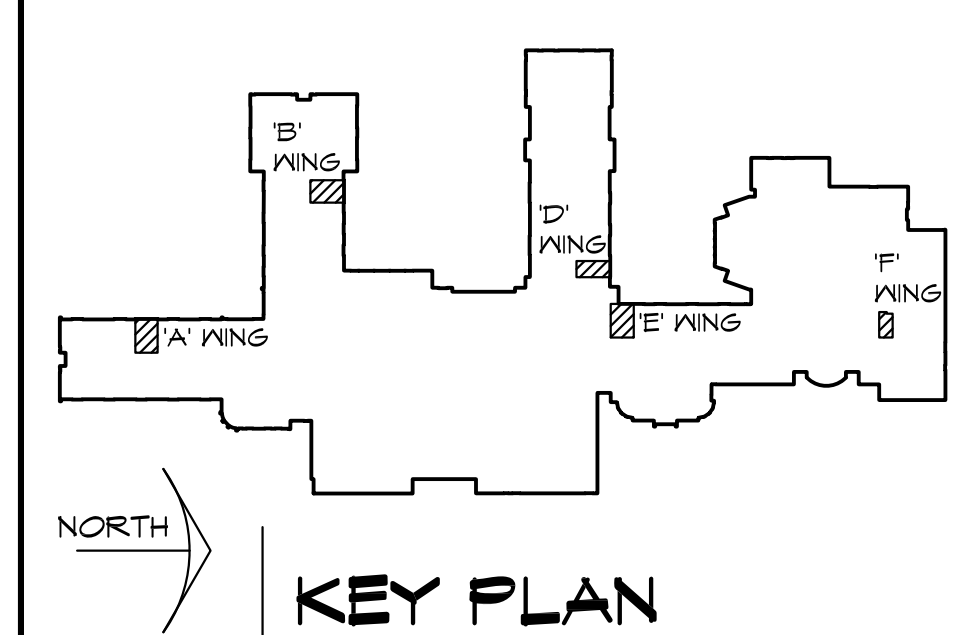
ACCESSORY LEGEND	
HD	HAND DRYER, RE: SPEC
M	MIRROR, RE: SPEC
SND	SANITARY NAPKIN DISPOSAL, RE: SPEC
GB	GRAB BAR, RE: SPEC
TPD	REINSTALL EXISTING TOILET PAPER DISPENSER
SD	REINSTALL EXISTING SOAP DISPENSER

- GENERAL NOTES**
- EXISTING FINISH FLOOR ELEVATION VARIES, SEE PLAN.
 - ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
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 - DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
 - TOUCH UP PAINT AT ALL AREAS DISTURBED BY DEMOLITION AND NEW WORK.

- CONSTRUCTION NOTES**
- REINSTALL EXISTING PLUMBING FIXTURE, RE: PLUMBING DRAWINGS
 - TOILET PARTITION/URINAL SCREEN, RE: SPEC
 - SHELVING, RE: DETAIL 1/A-A102
 - MARBLE THRESHOLD
 - NEW PLUMBING FIXTURE, RE: PLUMBING DRAWINGS
 - REPAIR EXISTING CONCRETE FLOOR, DOVEL INTO EXISTING CONCRETE SUBFLOOR 8" #4 BARS AT 12" O.C.

- WALL TYPES**
- 8" CMU WALL, EXTEND TO ROOF DECK, SEAL TIGHT FOR 1-HOUR RATING
 - 4" CMU WALL, EXTEND TO ROOF DECK
 - 3/8" METAL STUD FRAMING AT 16" O.C. WITH 5/8" GYPSUM BOARD ONE SIDE, EXTEND TO ROOF DECK

NOTE: REFER TO SHEET A-A101 FOR ADDITIONAL GENERAL CONSTRUCTION NOTES



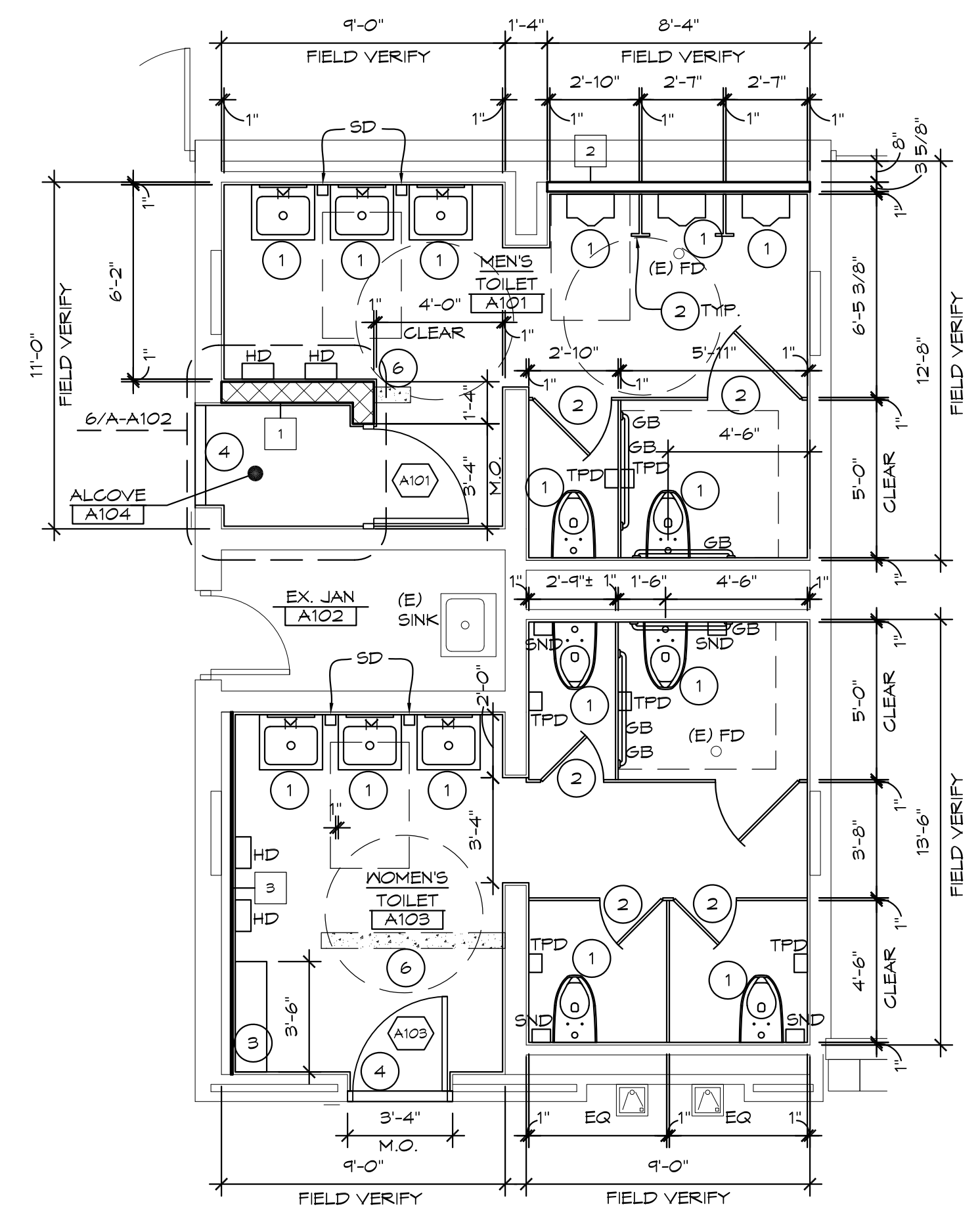
NO.	REVISIONS / SUBMISSIONS	DATE

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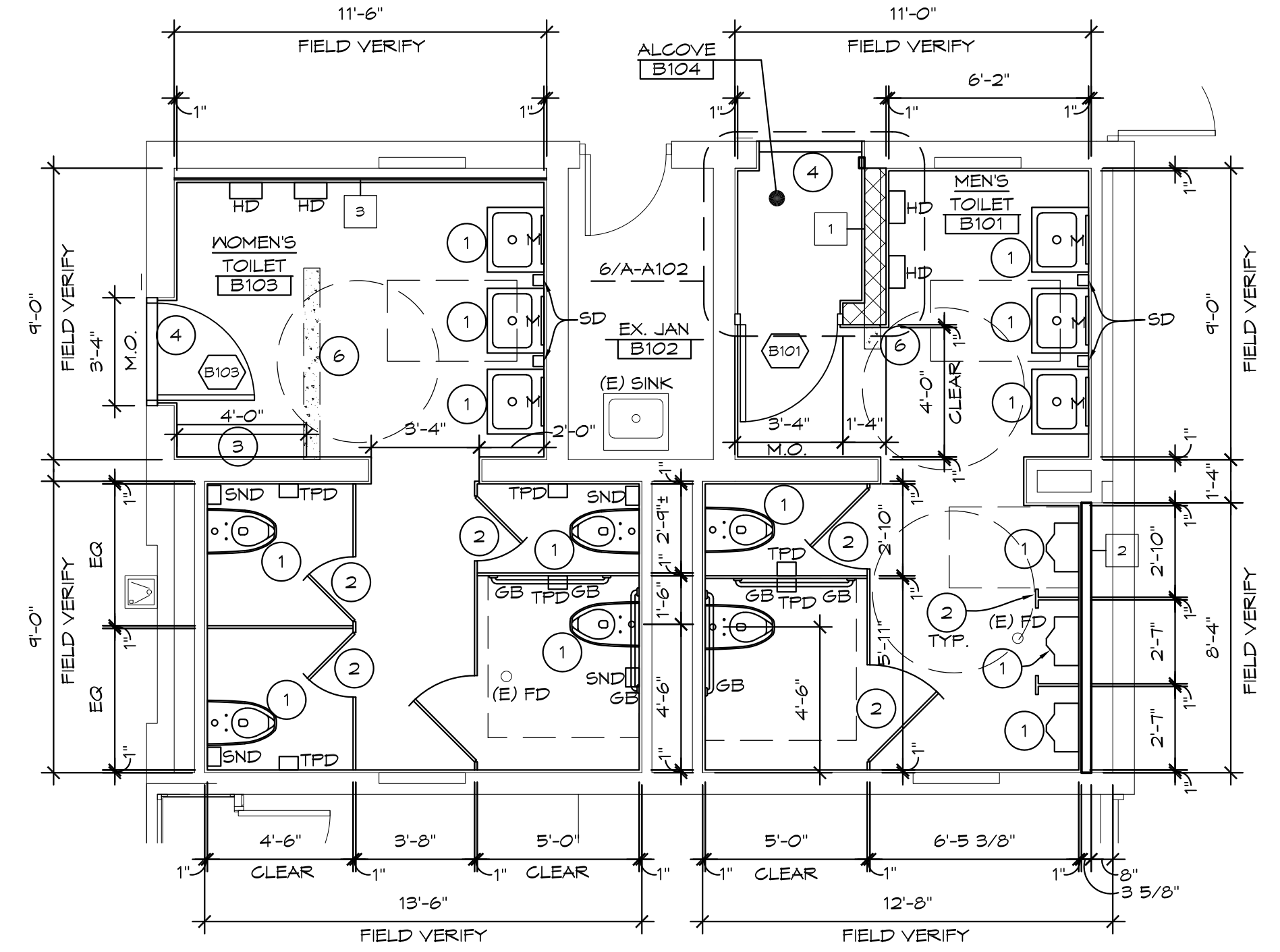
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
TOILET ROOM ENLARGED PLANS

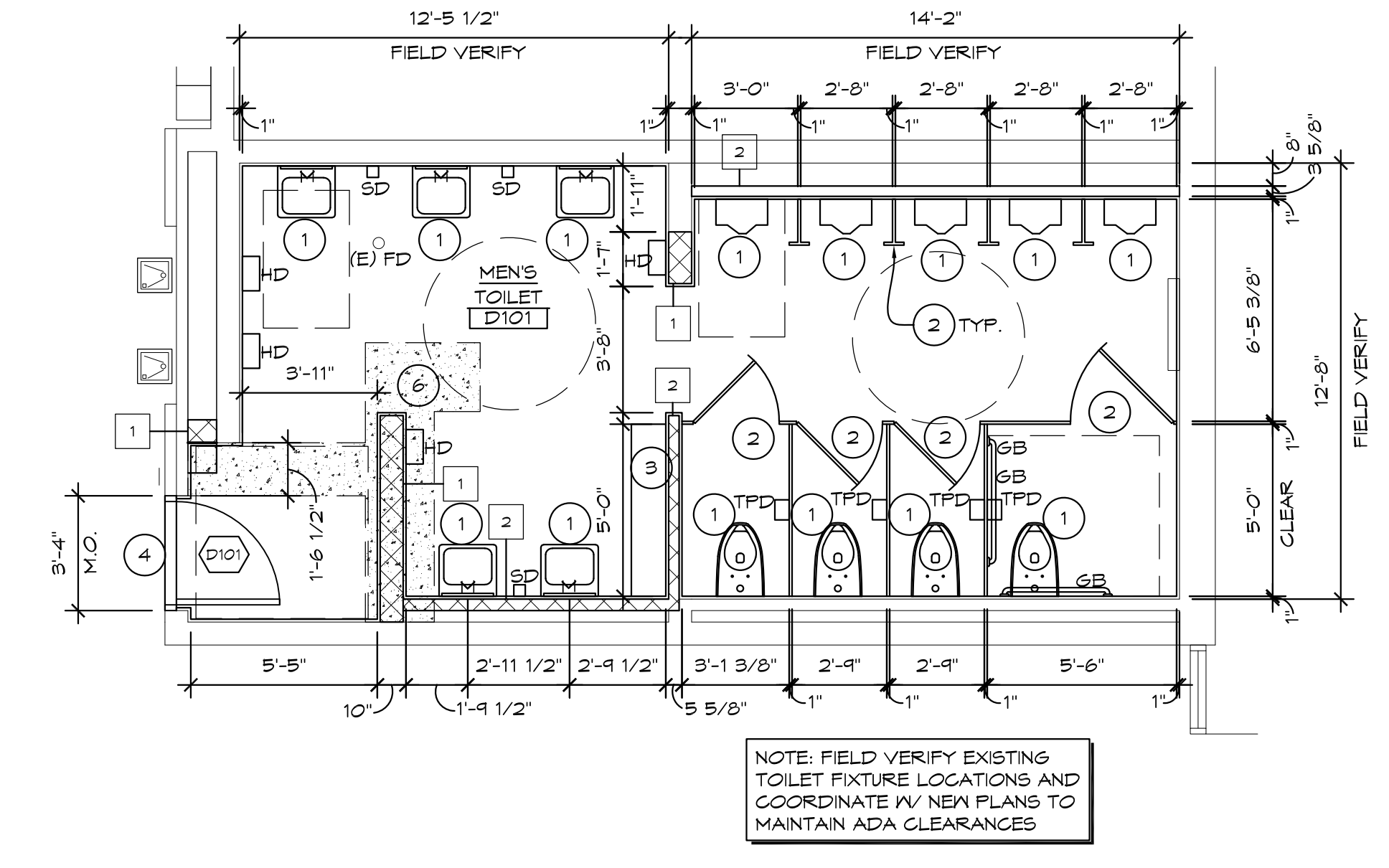
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	KRS	24-120
	CHECKED	CAD FILE NO.
	JESS	A-A102
	REVIEWED	DRAWING NO.
	MLB	A-A102
	DATE	SHEET NO.
	OCT 18, 2024	3 OF 15
	SCALE	
	AS NOTED	



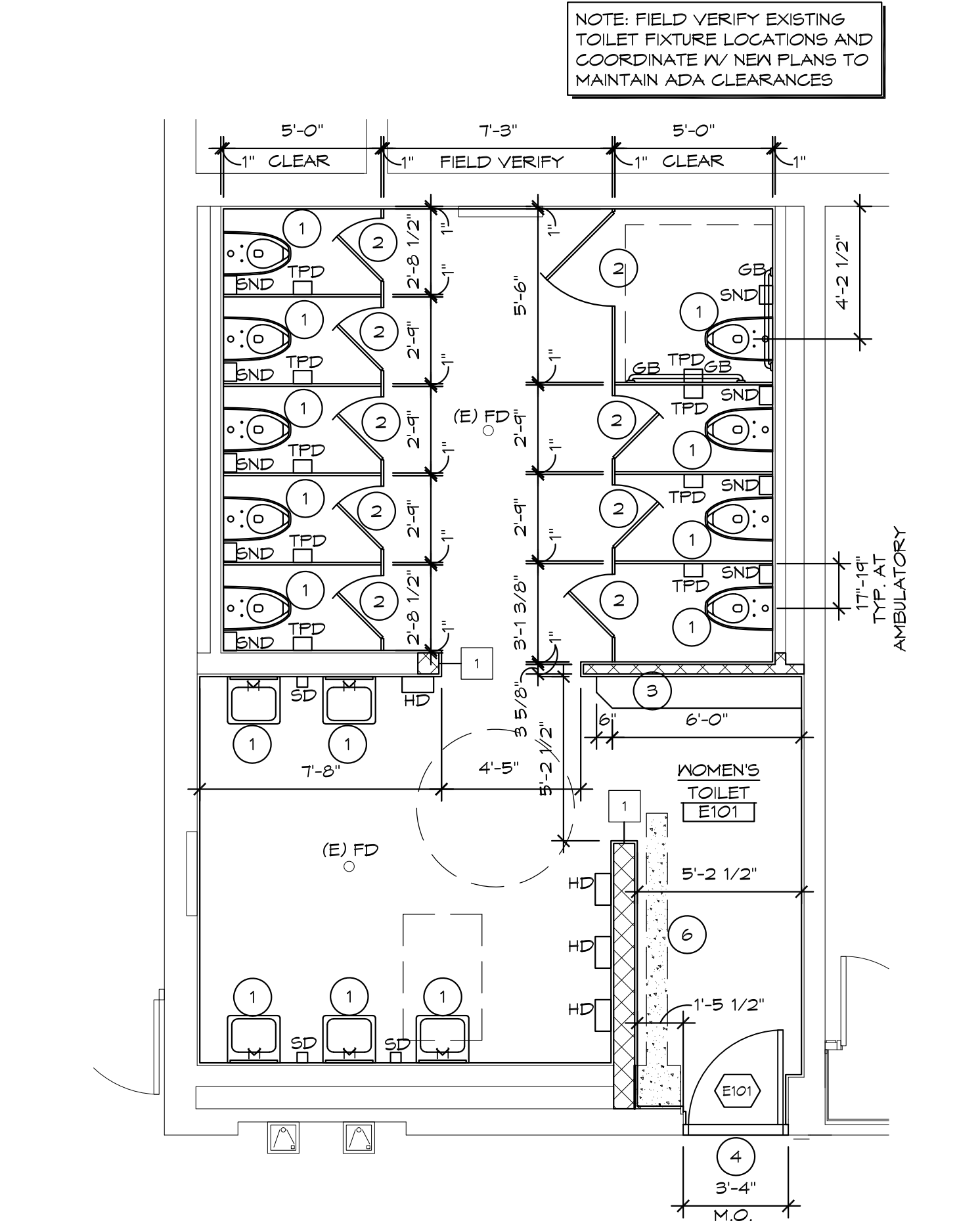
1 'A' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



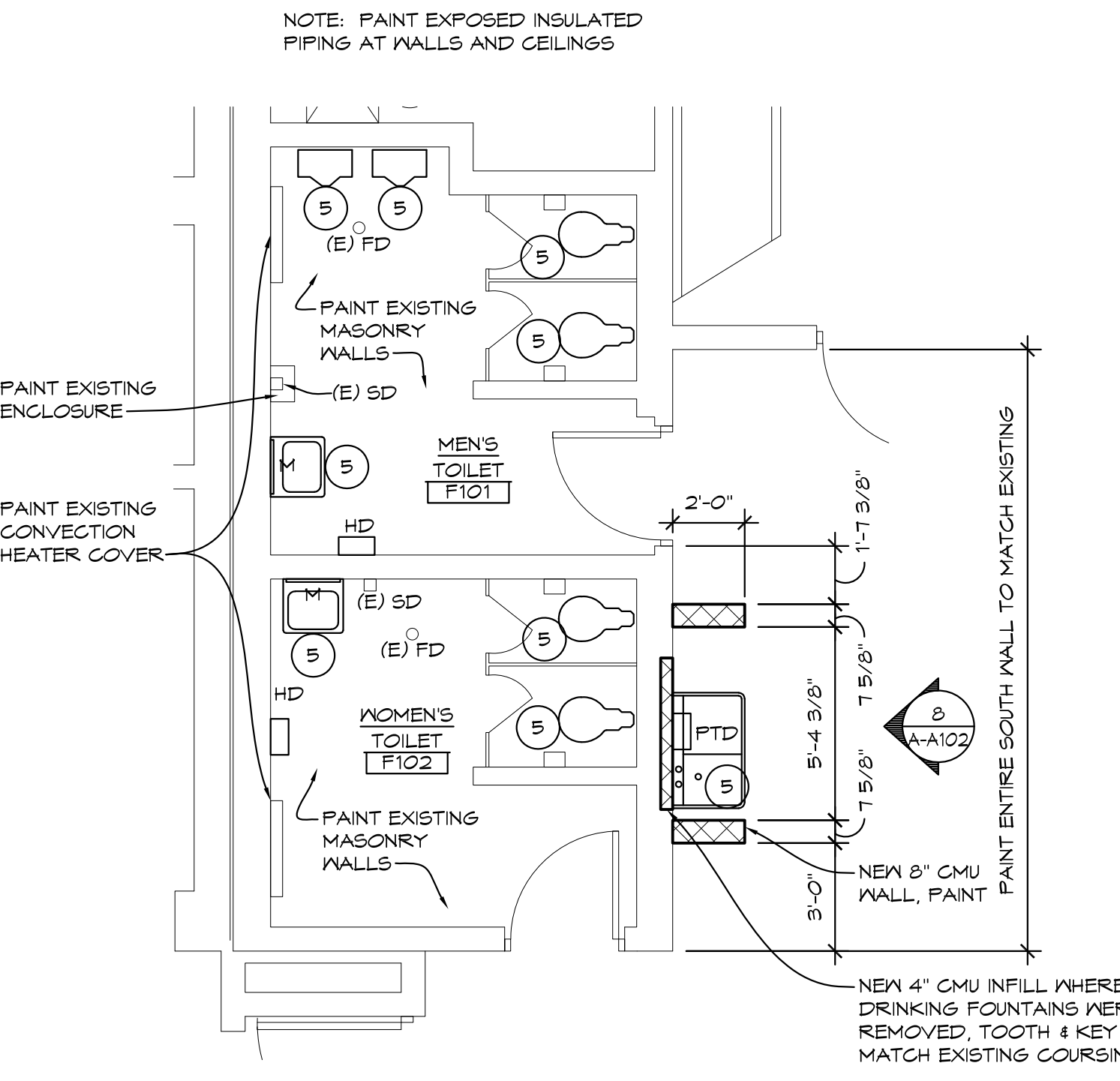
2 'B' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



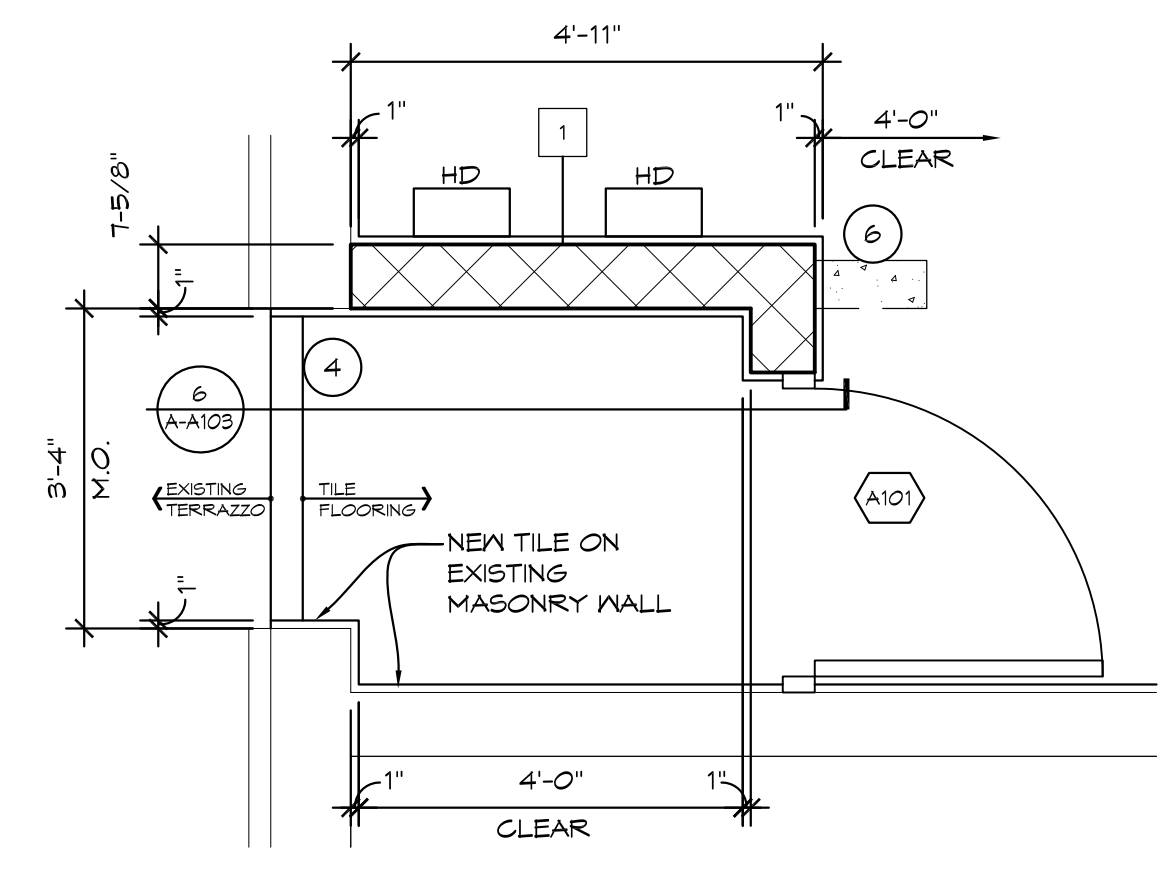
3 'D' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



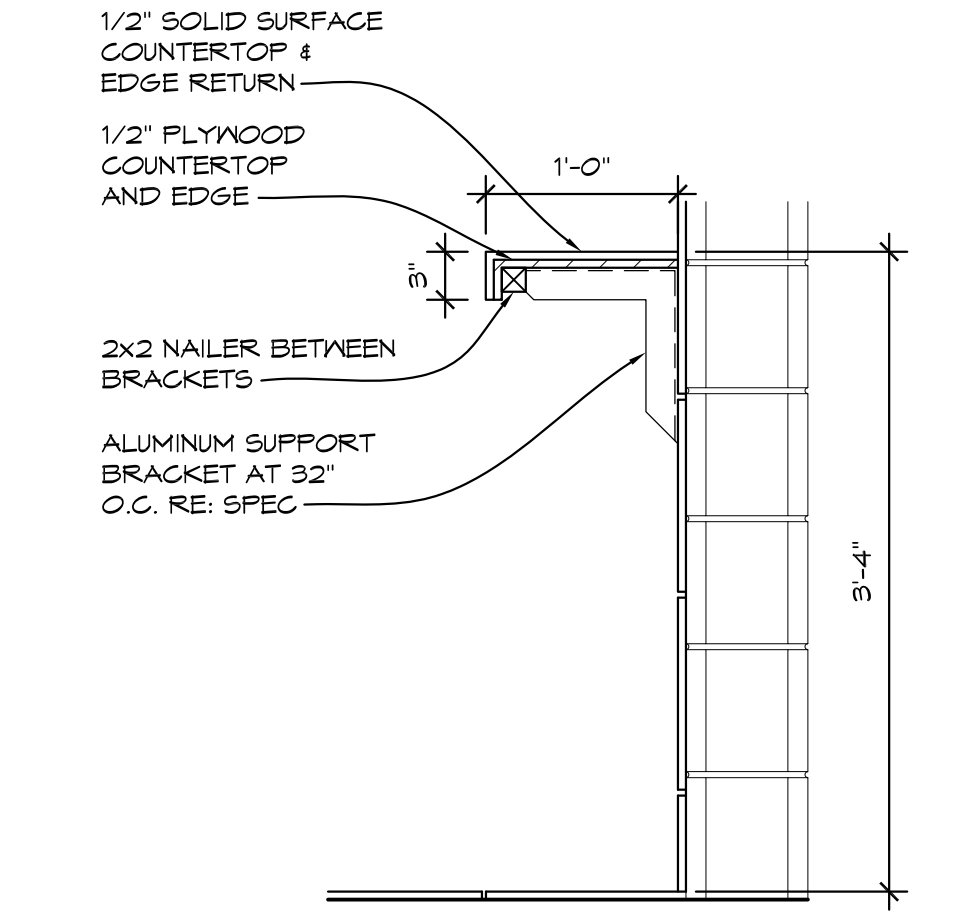
4 'E' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



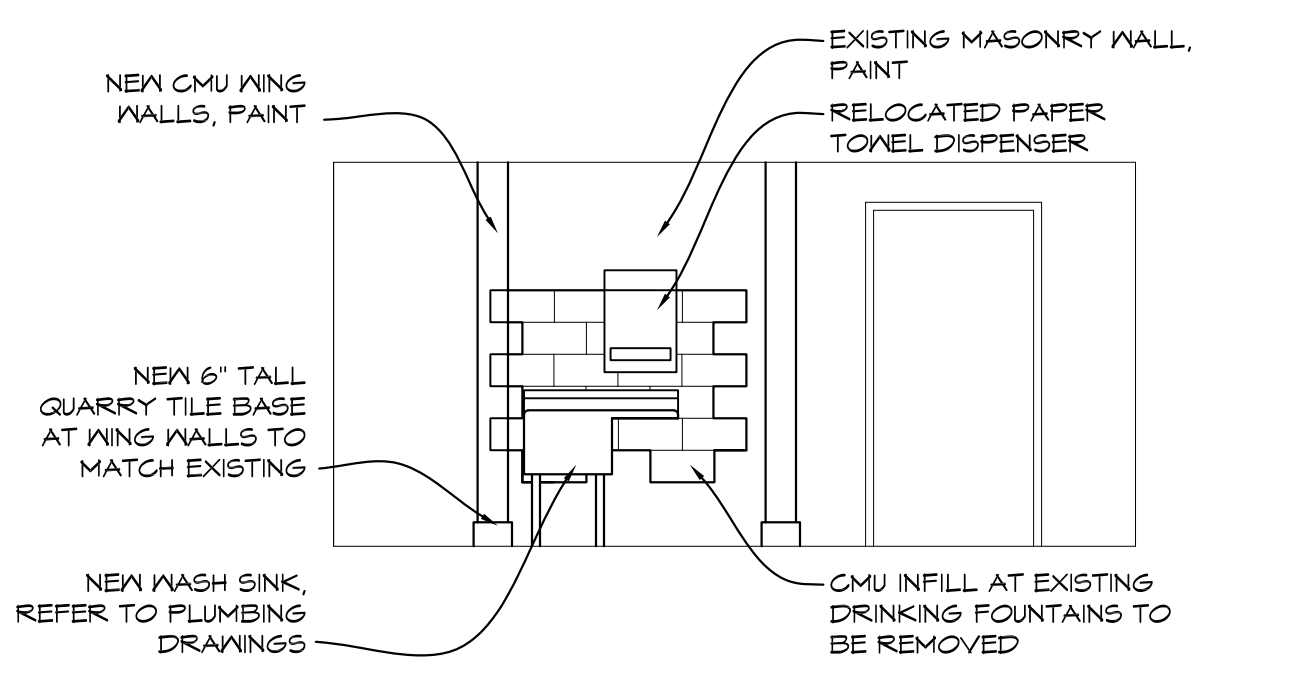
5 ADD ALTERNATE #1 'F' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



6 ENLARGED PLAN
1/2" = 1'-0" X01



7 SHELF DETAIL
1" = 1'-0" DETL01



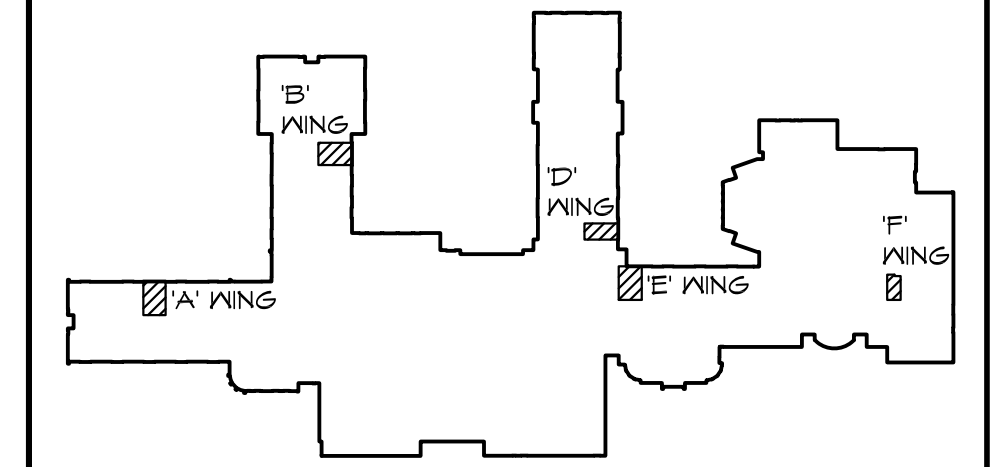
8 ADD ALTERNATE #1 INTERIOR ELEVATION
1/4" = 1'-0" ELEV01

GENERAL NOTES

- EXISTING FINISH FLOOR ELEVATION VARIES, SEE PLAN.
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- TOUCH UP PAINT AT ALL AREAS DISTURBED BY DEMOLITION AND NEW WORK.

CEILING LEGEND

- 2x2 SUSPENDED LAY-IN CEILING W/ HOLD DOWN CLIPS
- NEW 1x4 LIGHT FIXTURE, RE: ELECTRICAL PLANS
- NEW DOWNLIGHT FIXTURE, RE: ELECTRICAL PLANS
- NEW SURFACE MOUNTED LIGHT FIXTURE, RE: ELECTRICAL PLANS
- NEW EXHAUST GRILLE, RE: MECHANICAL PLANS



KEY PLAN

NTS KEYPLAN

NO.	REVISIONS / SUBMISSIONS	DATE

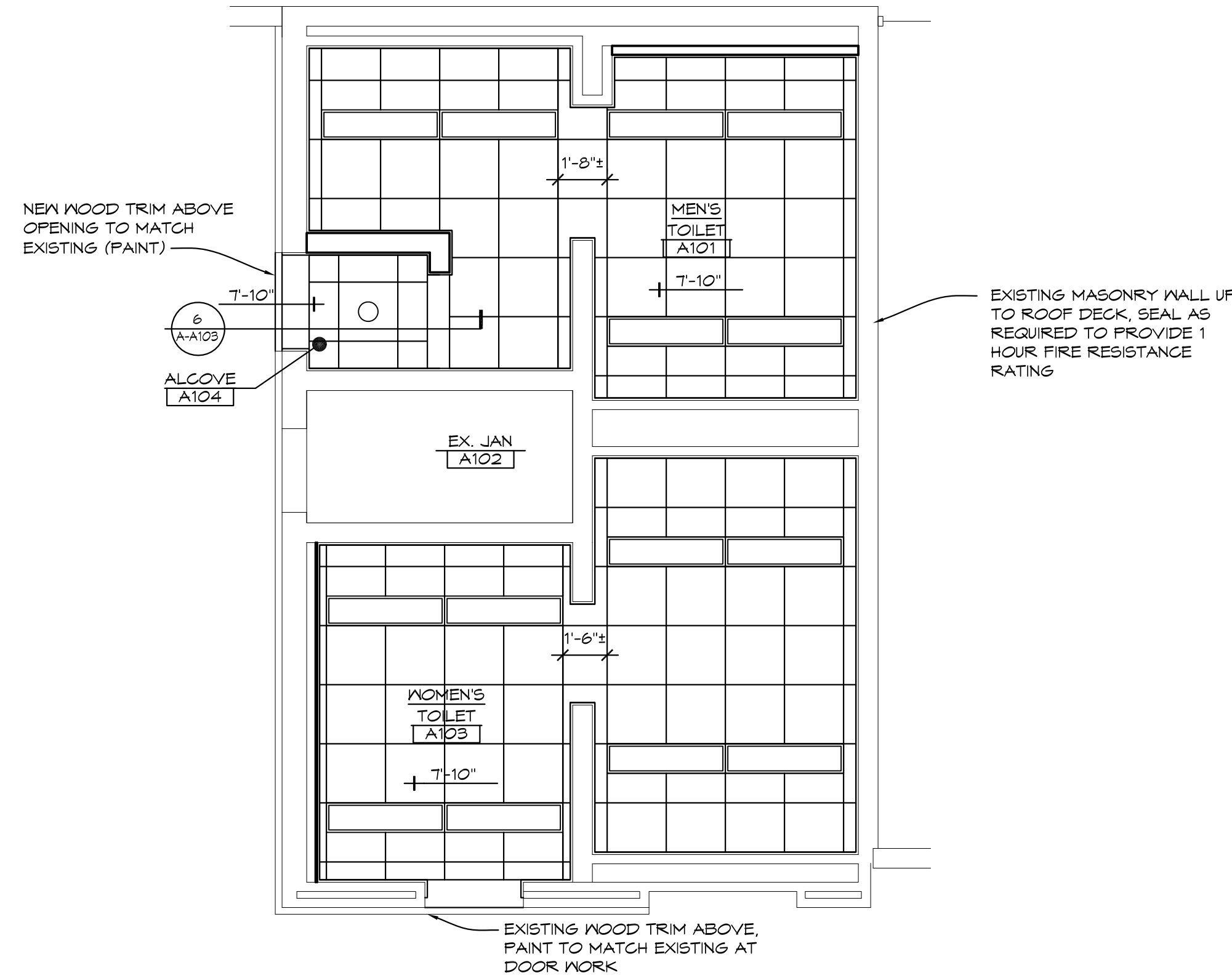
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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

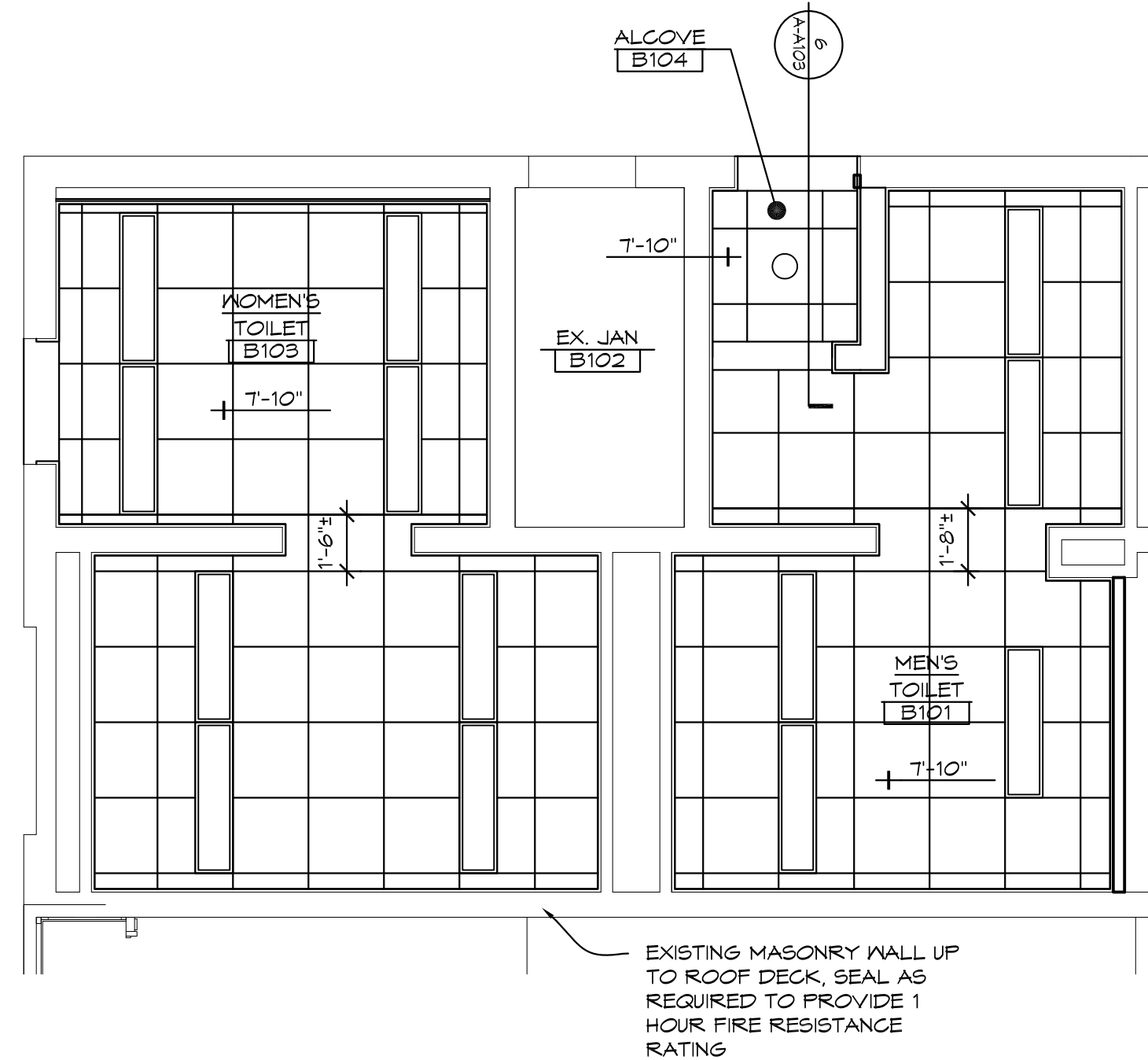
TOILET ROOM REFLECTED CEILING PLANS

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. A-A103
	REVIEWED MLB	DRAWING NO. A-A103
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	4 OF 15

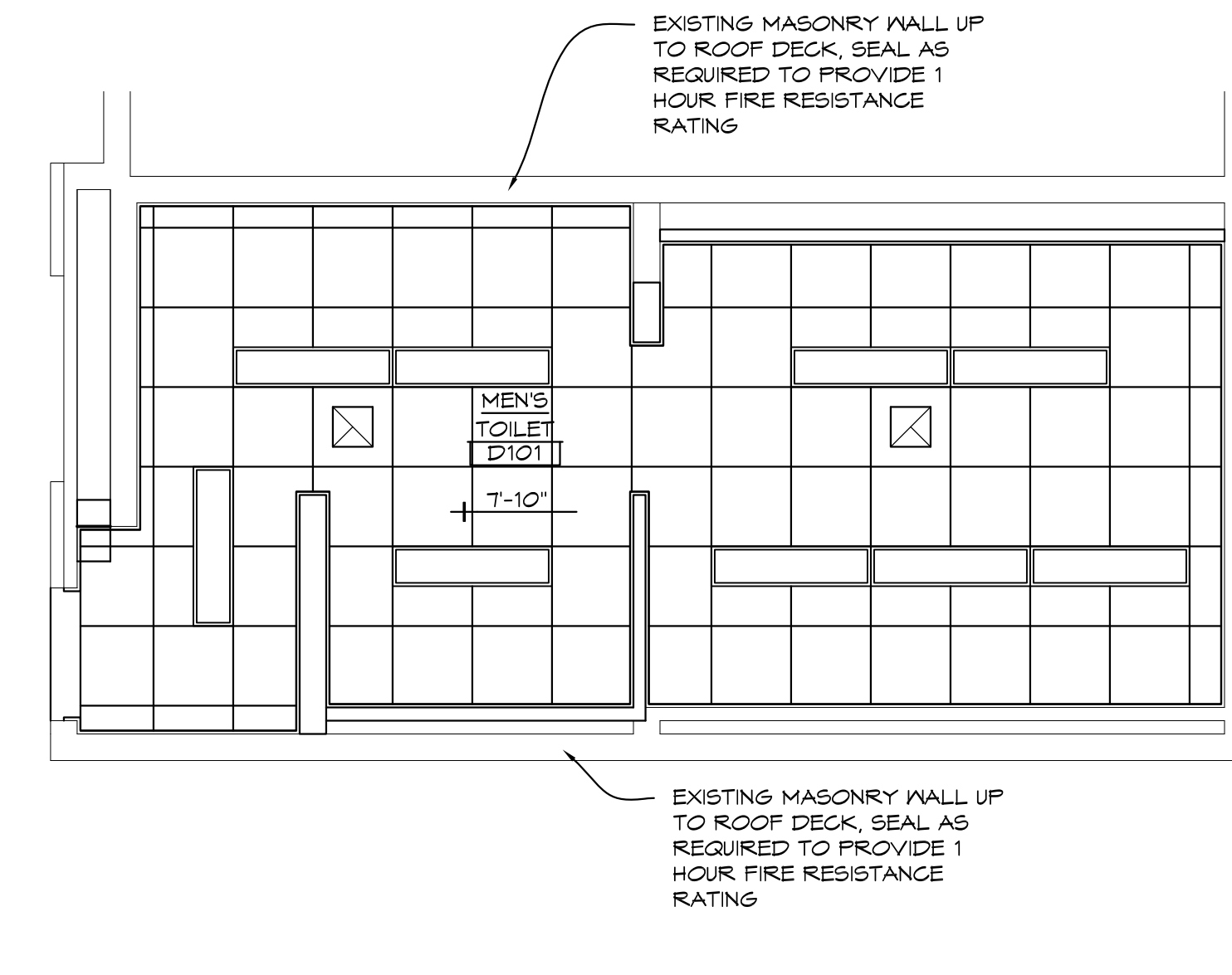
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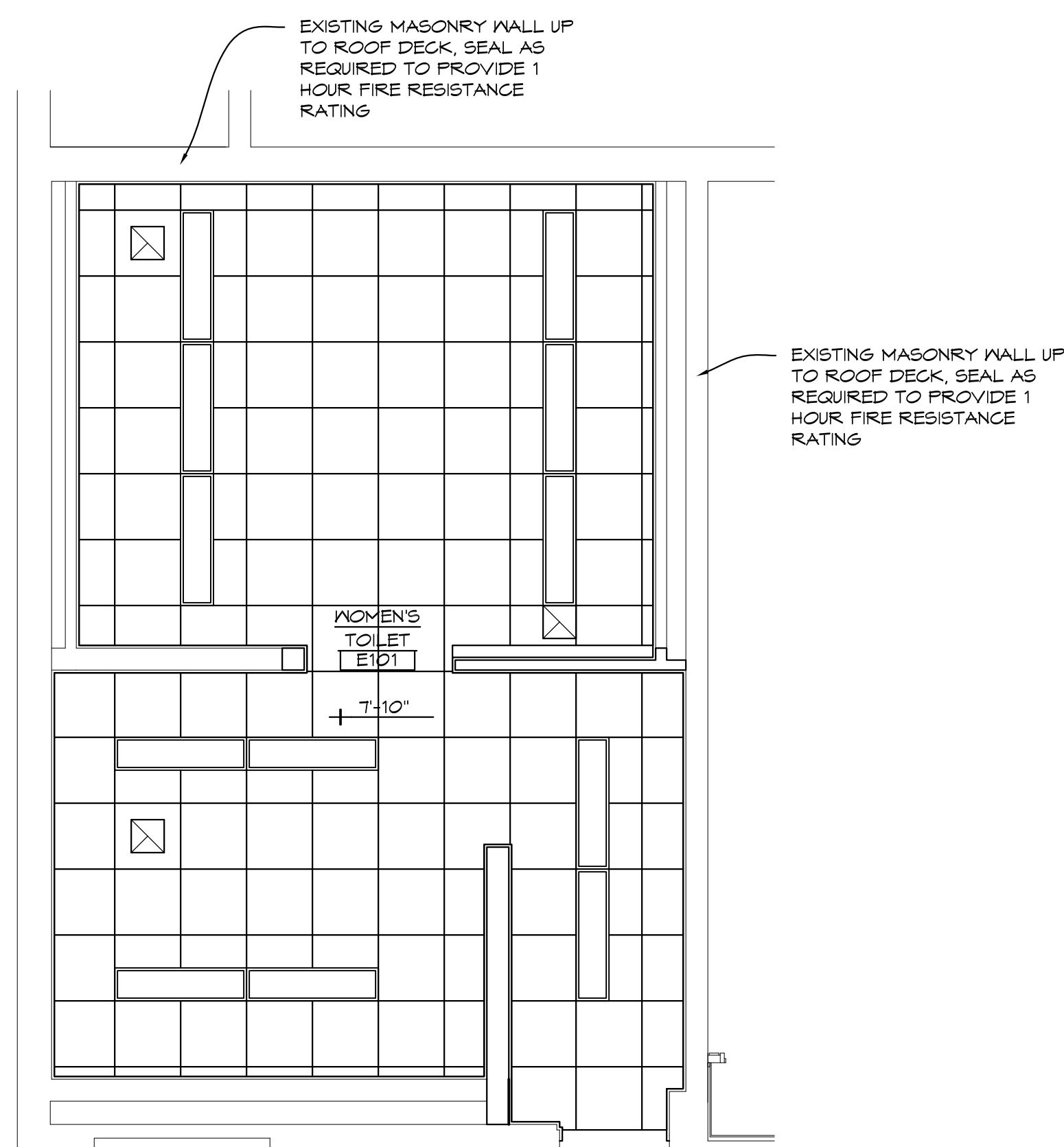
1 'A' WING TOILET ROOMS
REFLECTED CEILING PLAN
1/4" = 1'-0" X01



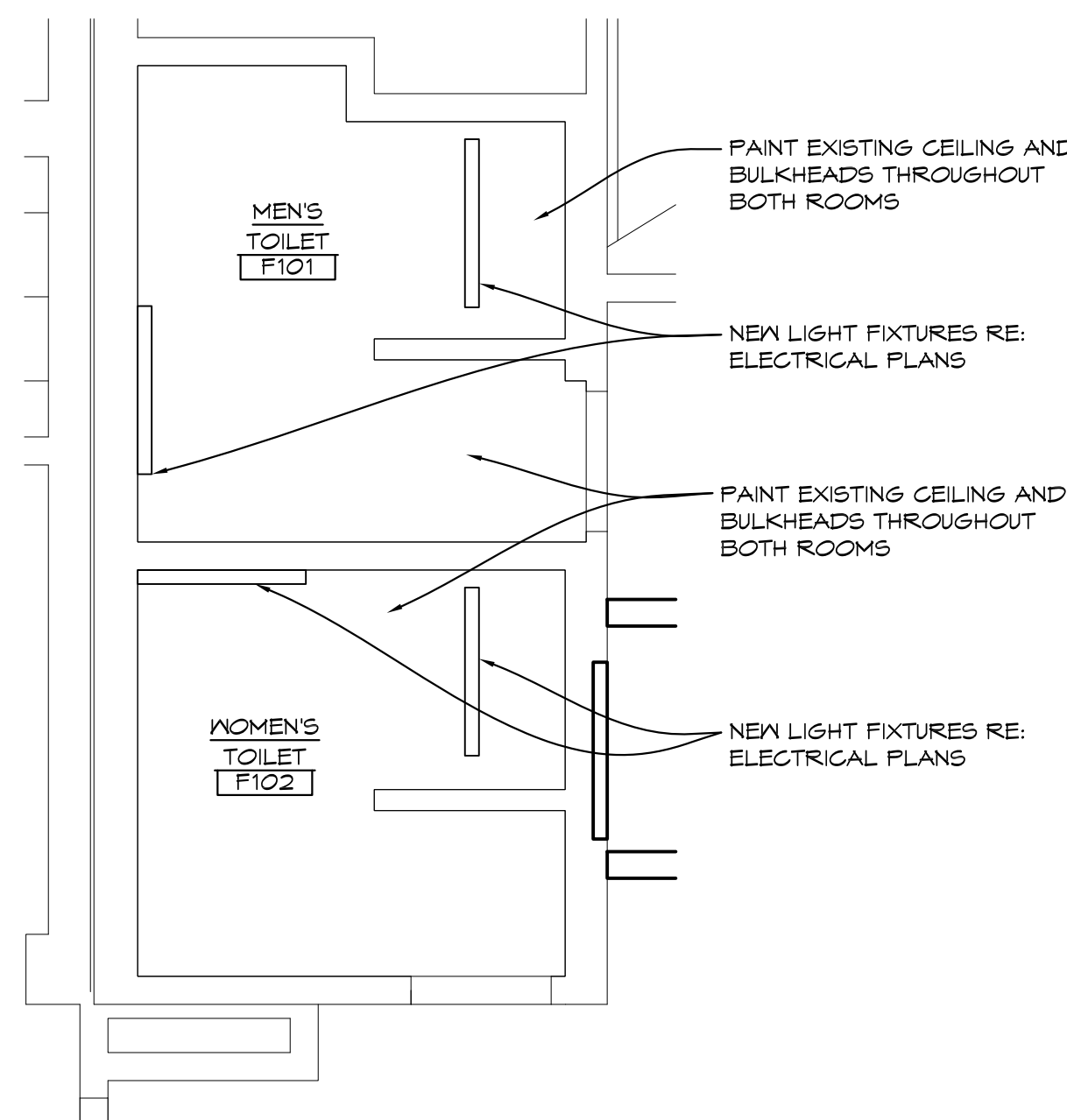
2 'B' WING TOILET ROOMS
REFLECTED CEILING PLAN
1/4" = 1'-0" X01



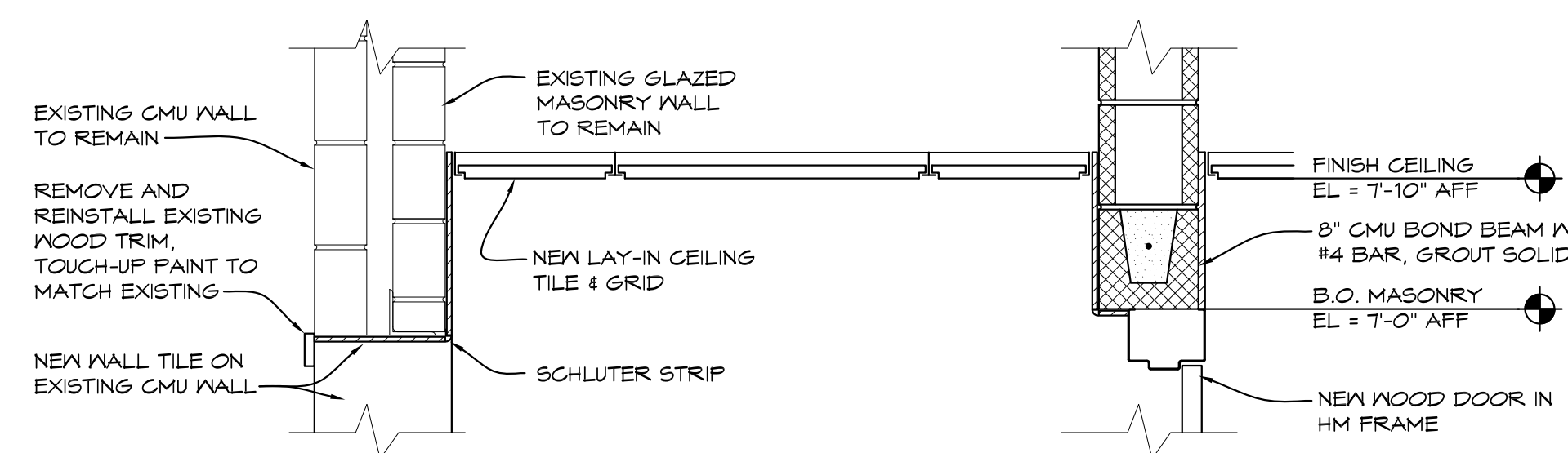
3 'D' WING TOILET ROOM
REFLECTED CEILING PLAN
1/4" = 1'-0" X01



4 'E' WING TOILET ROOM
REFLECTED CEILING PLAN
1/4" = 1'-0" X01



ADD ALTERNATE #1
5 'F' WING TOILET ROOMS
REFLECTED CEILING PLAN
1/4" = 1'-0" X01

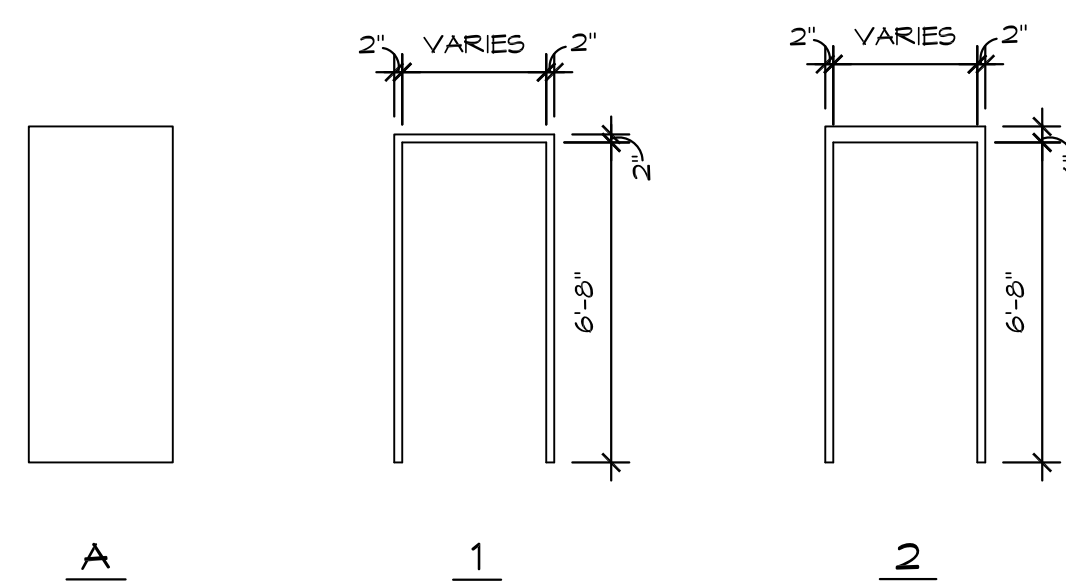


6 BULKHEAD DETAIL
1" = 1'-0" DETL02

DOOR & FRAME SCHEDULE

DOOR NO.	DOOR			FRAME				FIRE RATING (MINUTES)	HARDWARE	NOTES
	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD	JAMB			
A101	3'-0" x 6'-8"	A	ND	2	HM	3/A-A601	4 & 5/A-A601	0	OT	1
A103	3'-0" x 6'-8"	A	ND	1	HM	1/A-A601	2/A-A601	0	OB	1
B101	3'-0" x 6'-8"	A	ND	2	HM	3/A-A601	4 & 5/A-A601	0	OT	1
B103	3'-0" x 6'-8"	A	ND	1	HM	1/A-A601	2/A-A601	0	OB	1
D101	3'-0" x 6'-8"	A	ND	1	HM	1/A-A601	2/A-A601	0	OT	1
E101	3'-0" x 6'-8"	A	ND	1	HM	1/A-A601	2/A-A601	0	OT	1

NOTES:
1. UNDER CUT DOOR 1"



DOOR AND FRAME ELEVATIONS

1/4" = 1'-0"

ROOM FINISH SCHEDULE

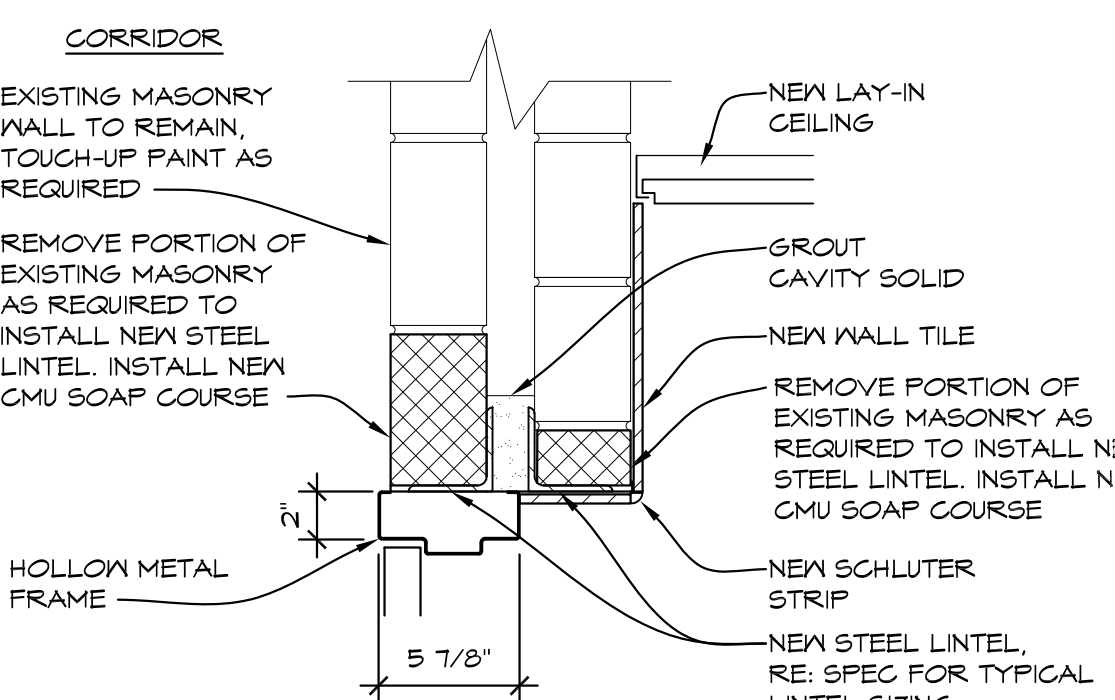
ROOM NO.	ROOM TITLE	FLOOR	BASE	WALLS				CEILING		ACCESSORIES	NOTES
		MATERIAL	MATERIAL	NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT		
A101	MEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01	N01, N02
A102	EX JANITOR	F02	B02	A02	A02	A02	A02	C02	---	---	---
A103	WOMEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02	N01, N02
A104	ALCOVE	F01	B01	A01	A01	A01	A01	C01	7'-10"	---	N04
B101	MEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01	N01, N02
B102	EX JANITOR	F02	B02	A02	A02	A02	A02	C02	---	---	---
B103	WOMEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02	N01, N02
B104	ALCOVE	F01	B01	A01	A01	A01	A01	C01	7'-10"	---	N04
D101	MEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02	N01, N02
E101	WOMEN'S TOILET	F01	B01	A01	A01	A01	A01	C01	7'-10"	A01, A02	N01, N02
F101	MEN'S TOILET	F02	B02	A03	A03	A03	A03	C03	---	A01	N03
F102	WOMEN'S TOILET	F02	B02	A03	A03	A03	A03	C03	---	A01	N03

ROOM FINISH LEGEND

- FLOOR**
F01 PORCELAIN TILE OVER EXISTING TERRAZZO FLOOR
F02 EXISTING
- BASE**
B01 6" PORCELAIN TILE
B02 EXISTING
- WALLS**
A01 PORCELAIN TILE, RE: 6/A-A601
A02 EXISTING
A03 PAINT EXISTING MASONRY
- CEILING**
C01 2x2 LAY-IN CEILING TILE
C02 EXISTING
C03 EXISTING CONC. PAINT
- ACCESSORIES**
A01 TOILET ROOM ACCESSORIES, RE: SPEC
A02 SHELVE, RE: 1/A-A102
- NOTES**
N01 REMOVE EXISTING CONVECTION HEATER UNIT COVERS AND INSTALL NEW RE: MECHANICAL PLANS
N02 REINSTALL EXISTING FIRE ALARM NOTIFICATION DEVICES
N03 PAINT EXISTING CONVECTION HEATER UNIT COVERS
N04 PAINT HEADER WHERE EXISTING DOOR WAS REMOVED

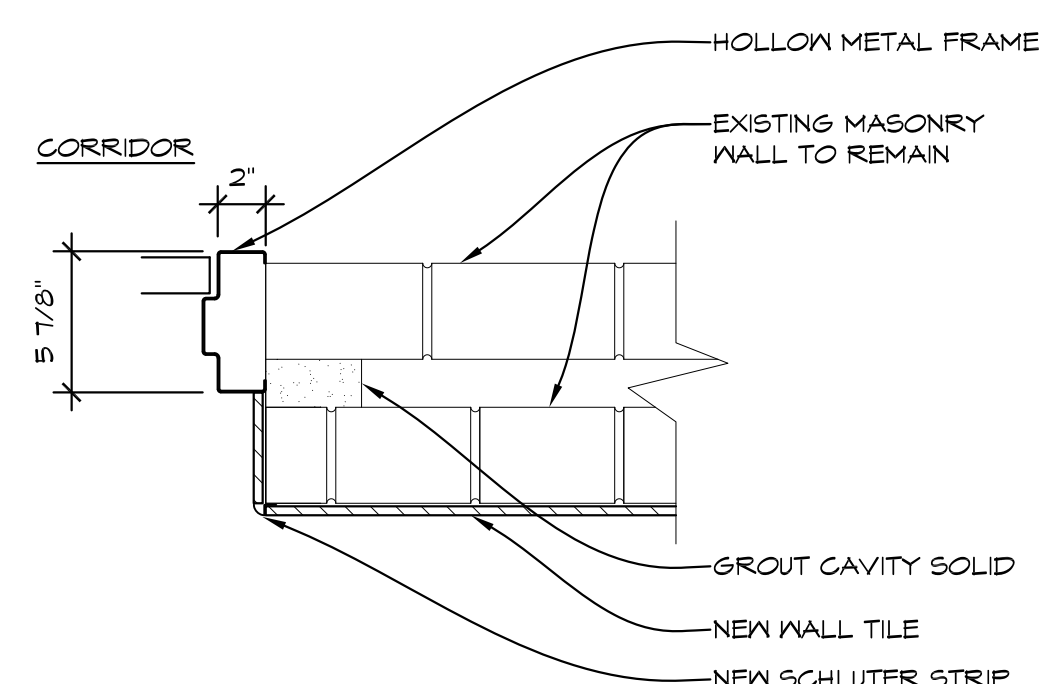
GENERAL NOTES

- EXISTING FINISH FLOOR ELEVATION VARIES. SEE PLAN.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD, AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
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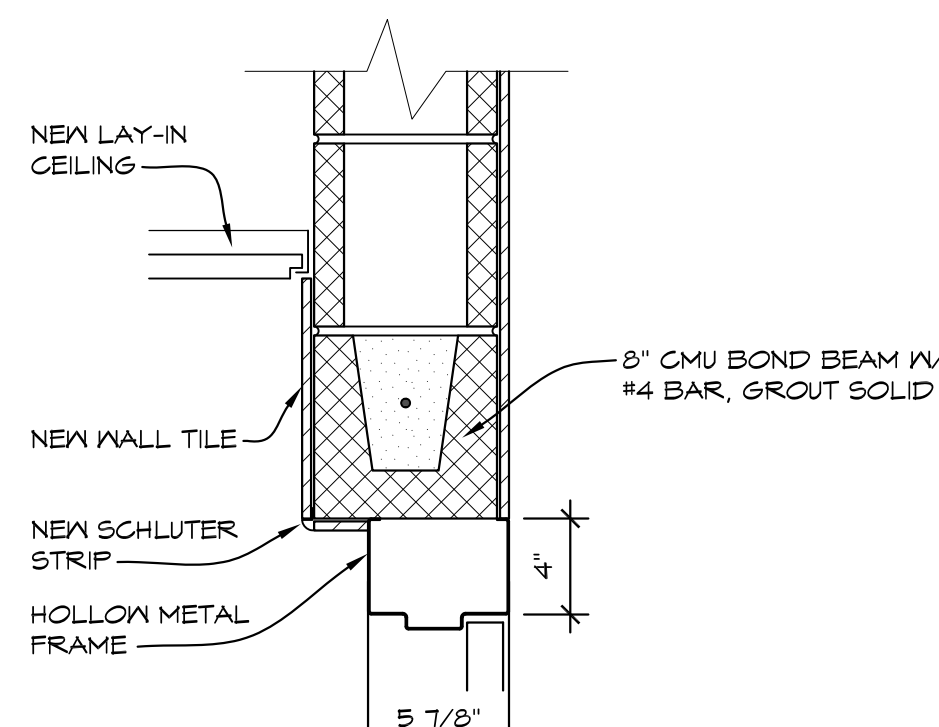
1 HEAD DETAIL

1 1/2" = 1'-0" JAMB01



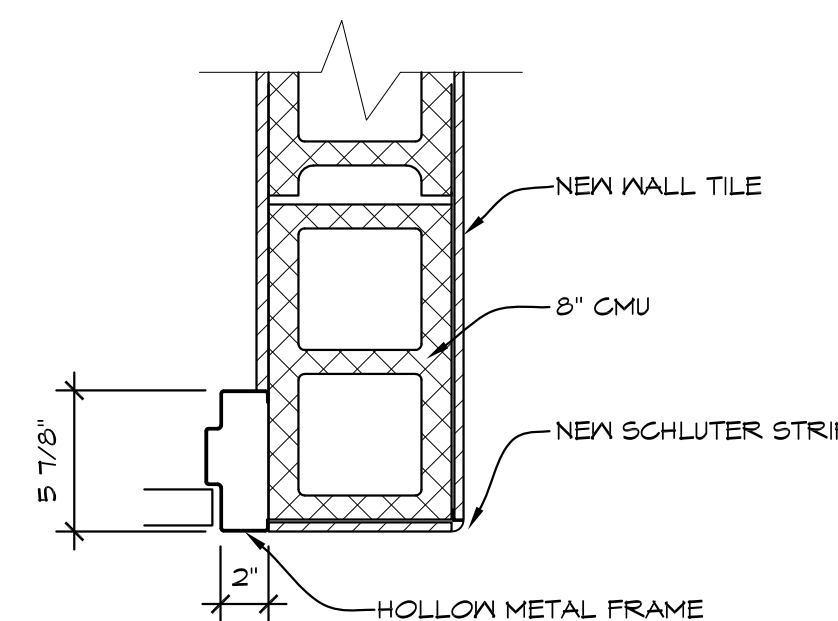
2 JAMB DETAIL

1 1/2" = 1'-0" JAMB01



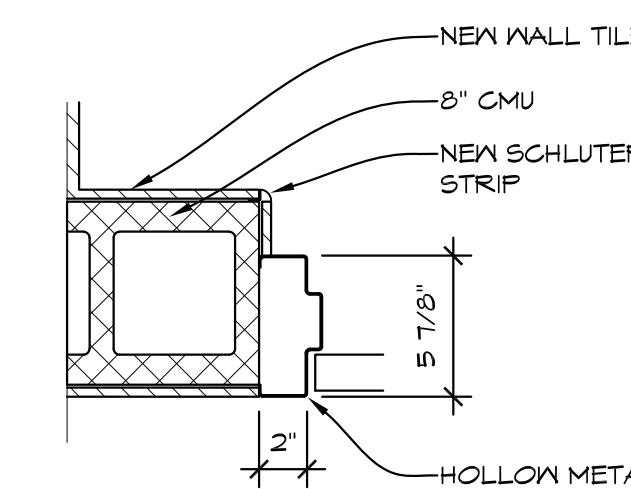
3 HEAD DETAIL

1 1/2" = 1'-0" JAMB01



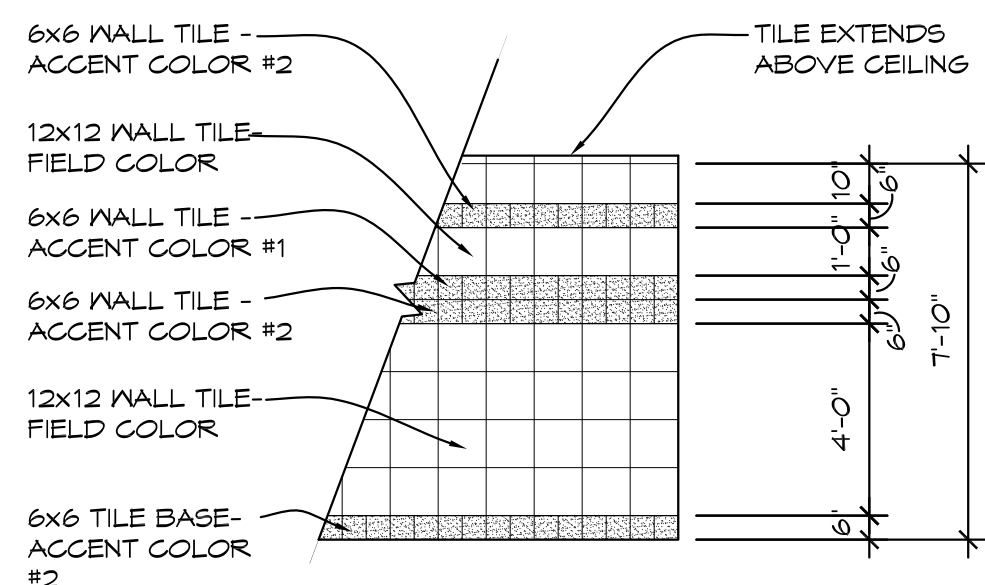
4 JAMB DETAIL

1 1/2" = 1'-0" JAMB01



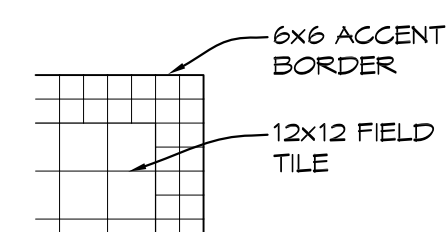
5 JAMB DETAIL

1 1/2" = 1'-0" JAMB01



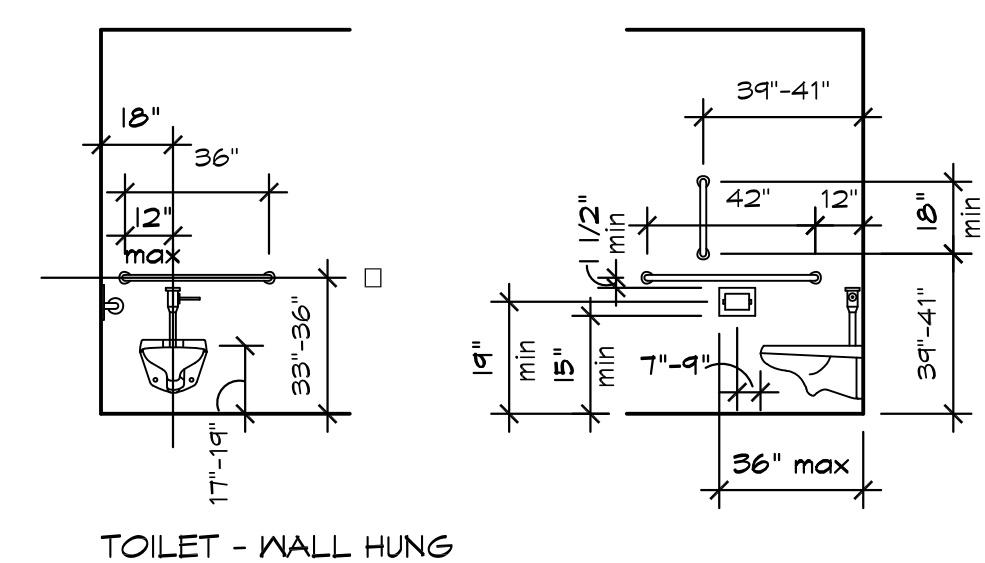
6 TYPICAL WALL TILE PATTERN ELEVATION

1/4" = 1'-0" INTELEV

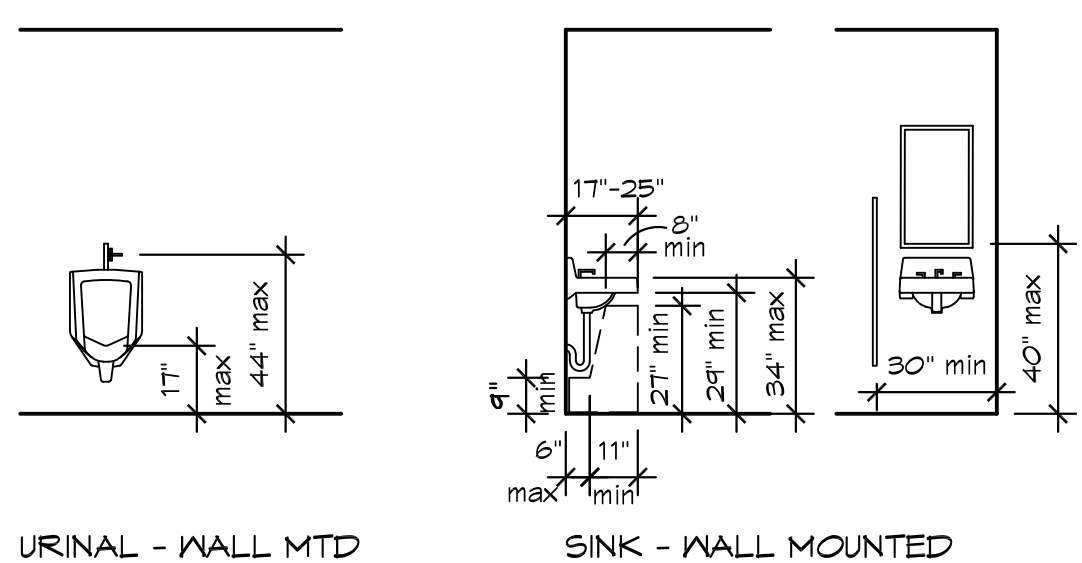


7 TYPICAL FLOOR TILE PATTERN DETAIL

1/4" = 1'-0" INTELEV



TOILET - WALL HUNG



URINAL - WALL MTD

SINK - WALL MOUNTED

MOUNTING HEIGHTS - MISCELLANEOUS

8 TYPICAL BARRIER FREE MOUNTING HEIGHTS

1/4" = 1'-0"

NO.	REVISIONS / SUBMISSIONS	DATE

THA
Architects Engineers
817 E. Kearsley St. | Flint, MI 48503
Ph: 810-767-5600 | THA-Flint.com

PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
**DOOR SCHEDULES,
ROOM FINISH SCHEDULE,
& DETAILS**

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. A-A601
	REVIEWED MLB	DRAWING NO. A-A601
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	5 OF 15

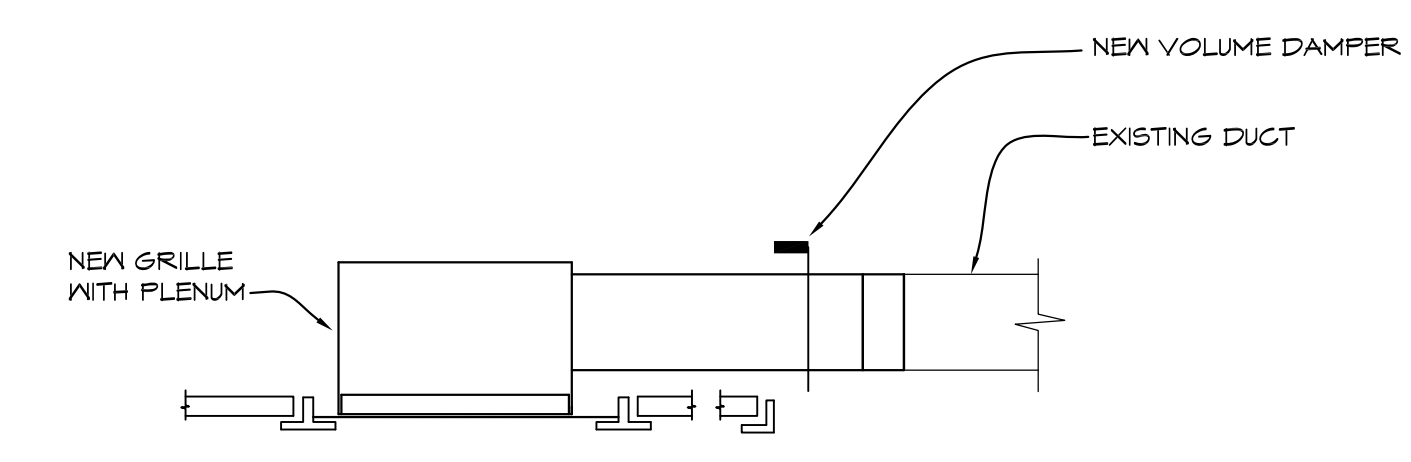
GENERAL MECHANICAL NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING CONVECTOR COVERS FOR SIZES & GRILLE OPENINGS PRIOR TO ORDERING

PROJECT 'A'

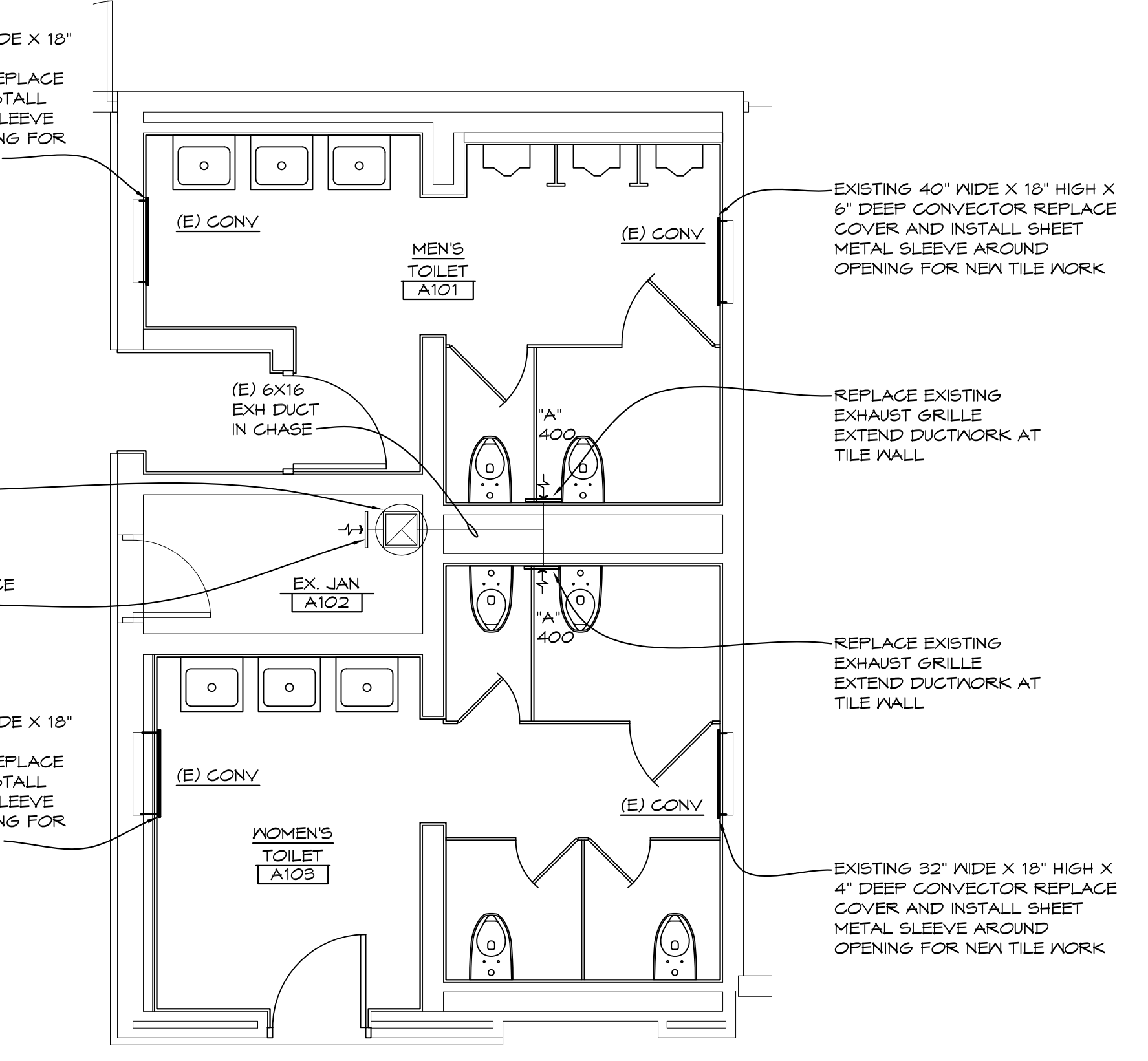
GRILLE AND DIFFUSER SCHEDULE

- 'A' TITUS EXHAUST GRILLE MODEL 4FL, 45° FIXED DEFLECTION, SURFACE MOUNTED, WITH OPPOSED BLADE DAMPERS, WHITE FINISH, 12X16 GRILLE. (FIELD VERIFY GRILLES OPENING PRIOR TO ORDERING)
- 'B' TITUS EXHAUST/RETURN GRILLE MODEL 50F, 1/2X1/2X1/2 ALUMINUM EGG GRATE, 20X20 NECK, PANEL MOUNTED FOR LAY-IN CEILING, WHITE FINISH, PROVIDE WITH 20X20X10 PLENUM PAINTED FLAT BLACK ON INSIDE



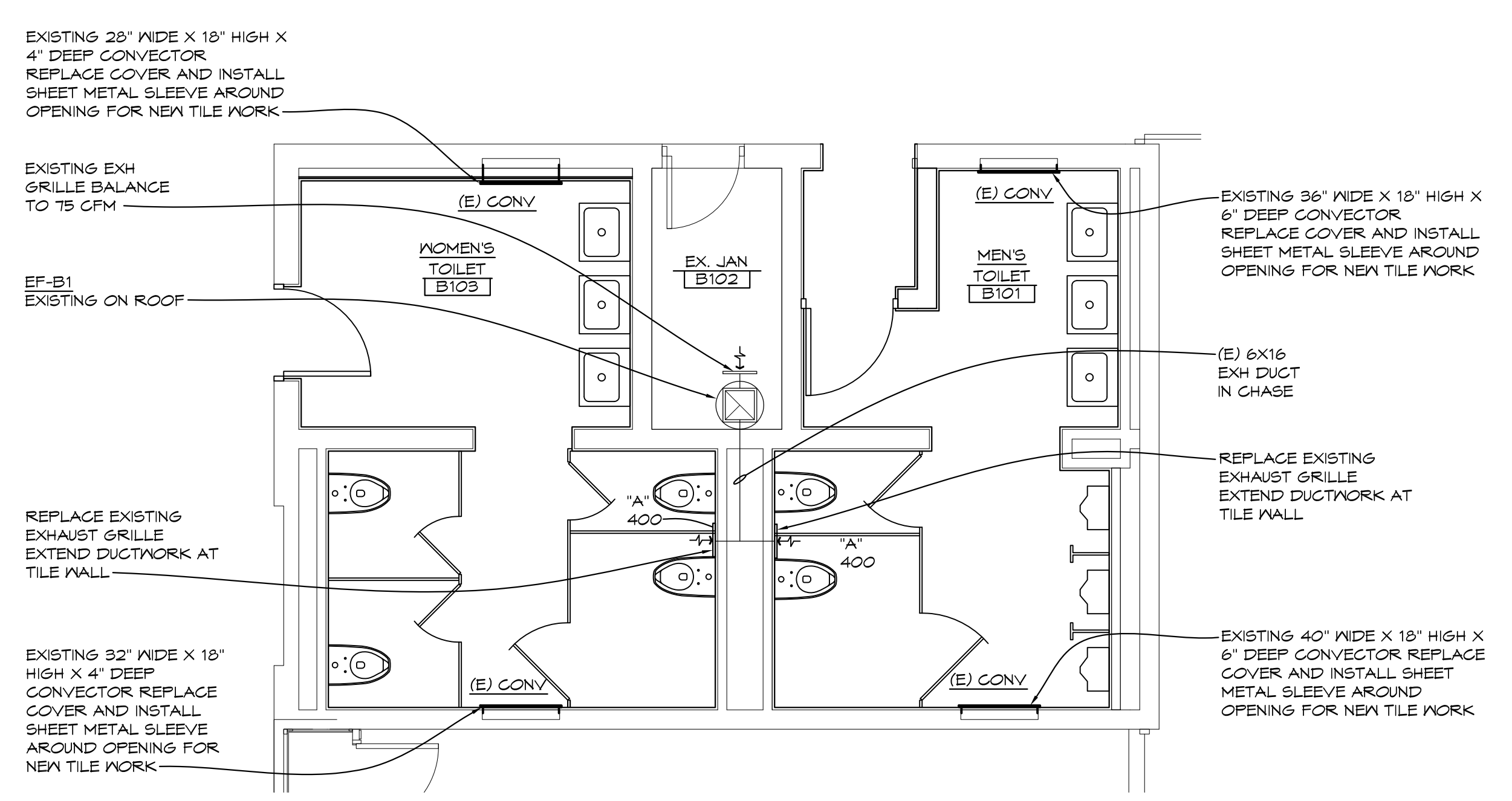
EXHAUST GRILLE DETAIL

NO SCALE



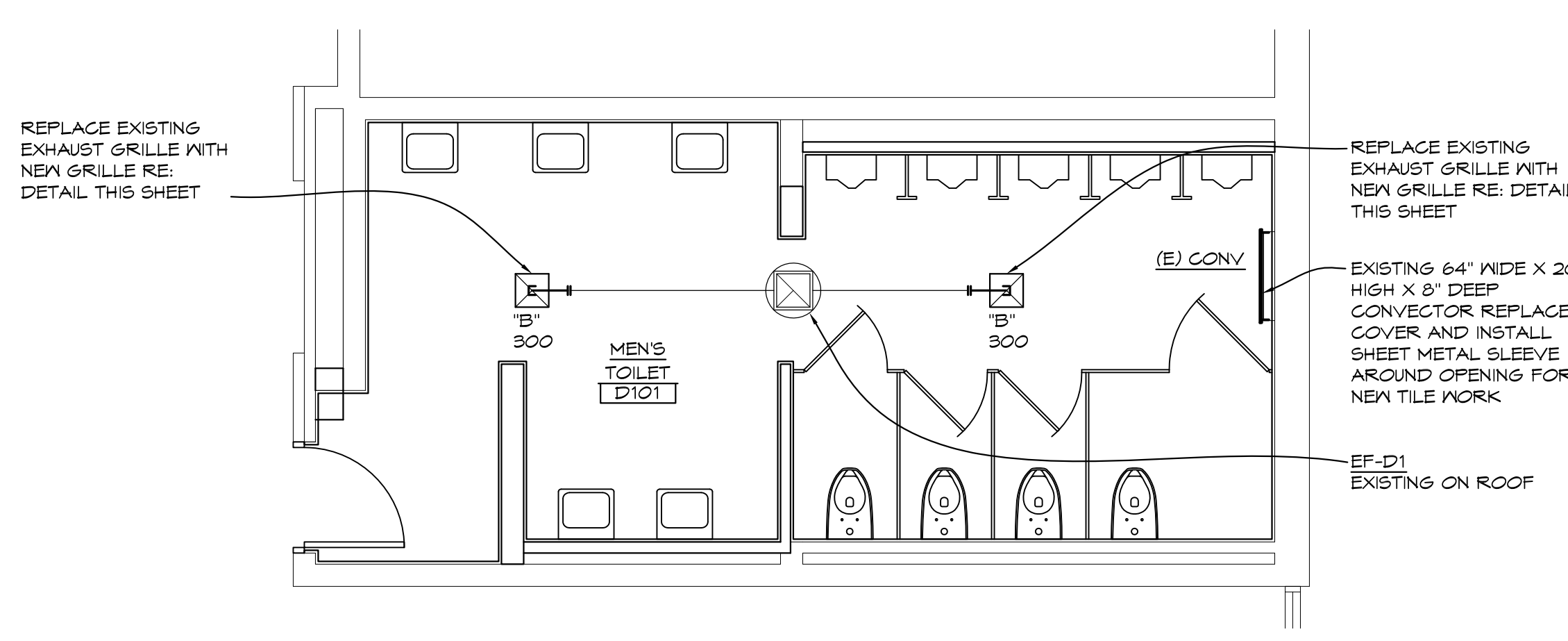
'A' WING TOILET ROOMS
ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



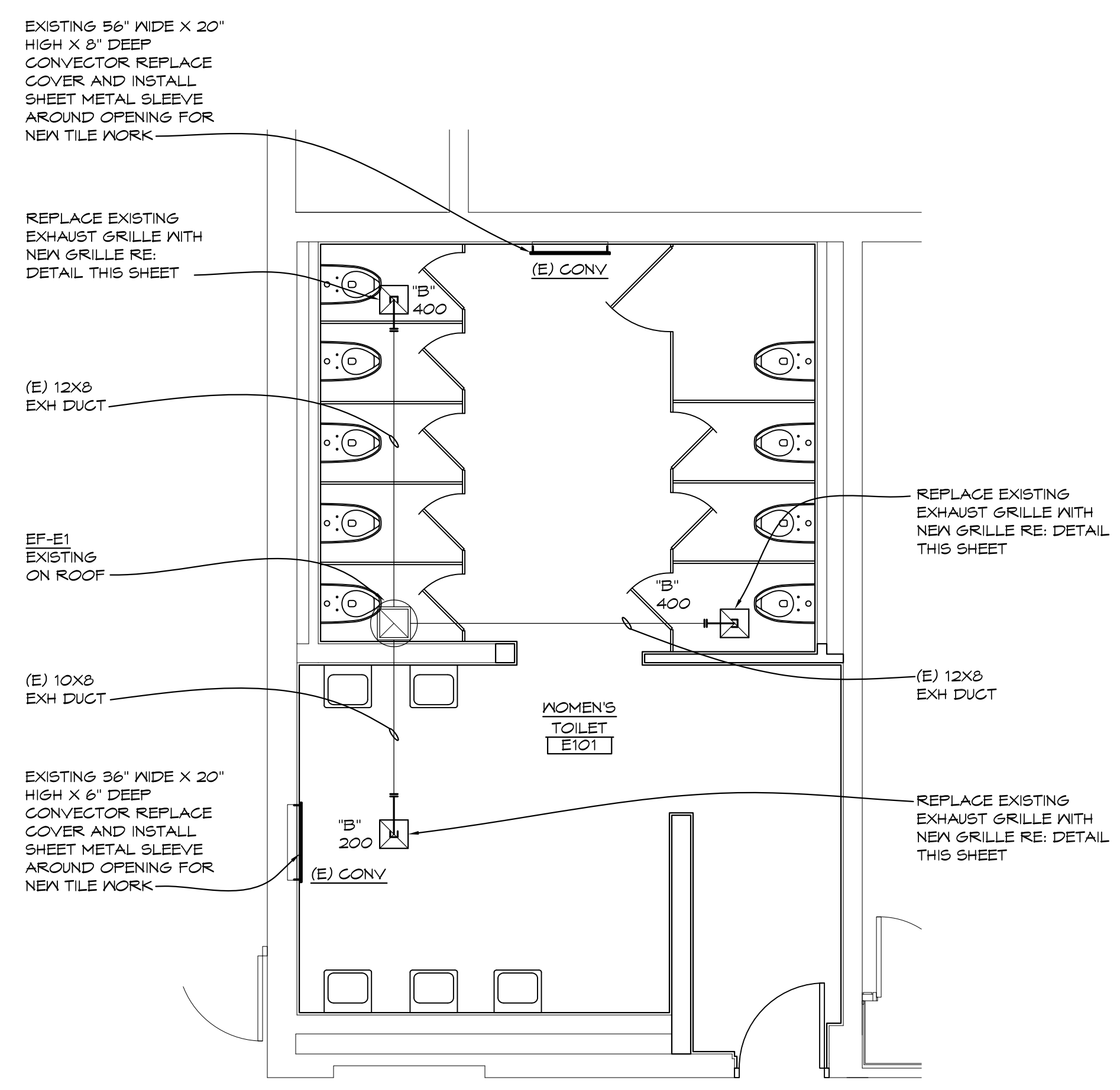
'B' WING TOILET ROOMS
ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



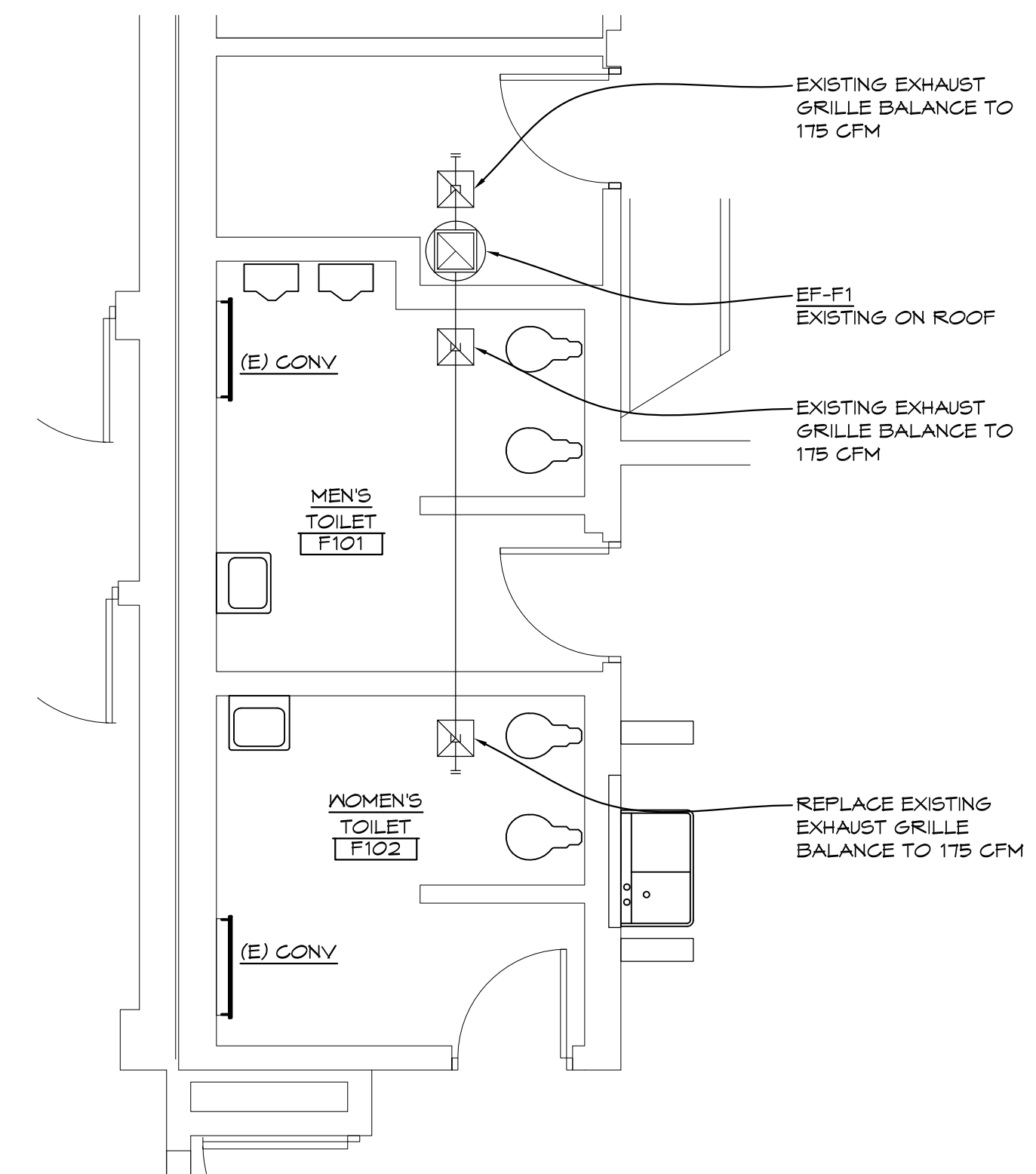
'D' WING TOILET ROOMS
ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



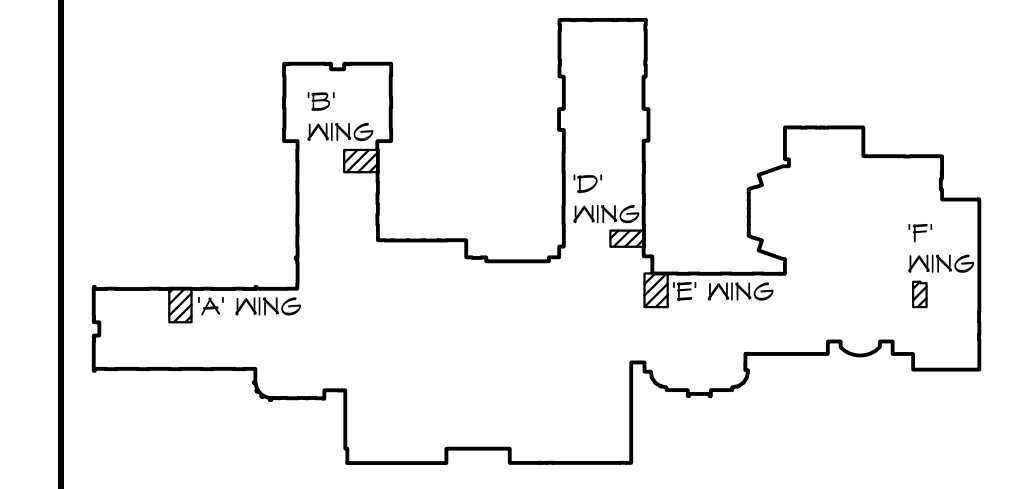
'E' WING TOILET ROOMS
ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



ADD ALTERNATE #1
'F' WING TOILET ROOMS
ENLARGED MECHANICAL PLAN

1/4" = 1'-0" X01



KEYPLAN

NORTH

NO.	REVISIONS / SUBMISSIONS	DATE

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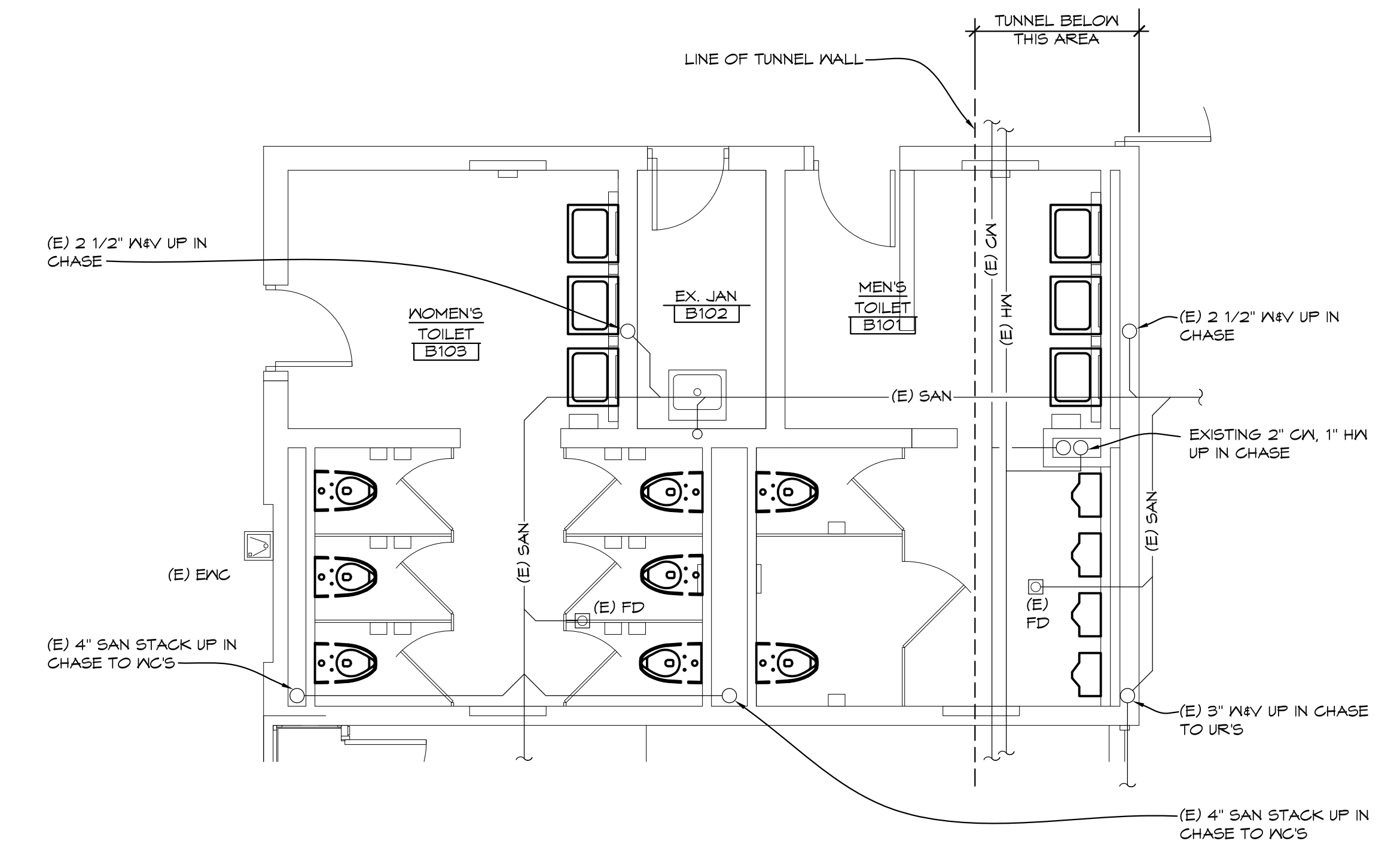
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

MECHANICAL TOILET ROOM ENLARGED PLUMBING PLANS

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-M101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-M101
	SCALE AS NOTED	SHEET NO. 6 OF 15

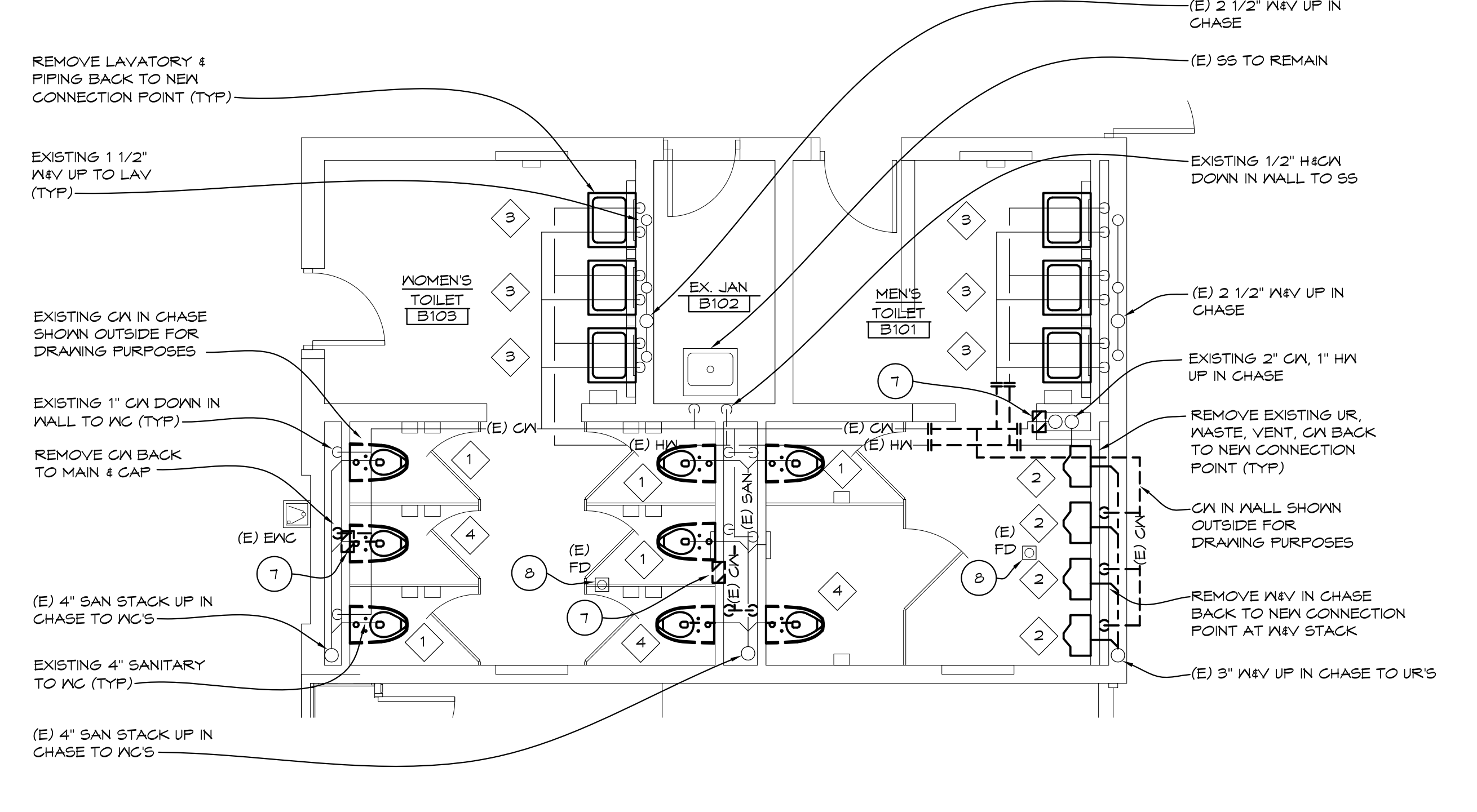
GENERAL PLUMBING NOTES

- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- CONTRACTOR SHALL FIELD VERIFY EXISTING COLD WATER, HOT WATER AND SANITARY CONNECTIONS PRIOR TO ORDERING PLUMBING FIXTURES.
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK.
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL. ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEKS PRIOR TO REQUIRED WORK.
- COORDINATE ALL WORK WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- CONTRACTOR FIELD VERIFY EXISTING PLUMBING AND REWORK CONNECTIONS FOR NEW TILE WALLS. EXTEND PIPING AND WALL SUPPORTS FOR NEW CONNECTION POINT (TYP).
- CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK.
- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.



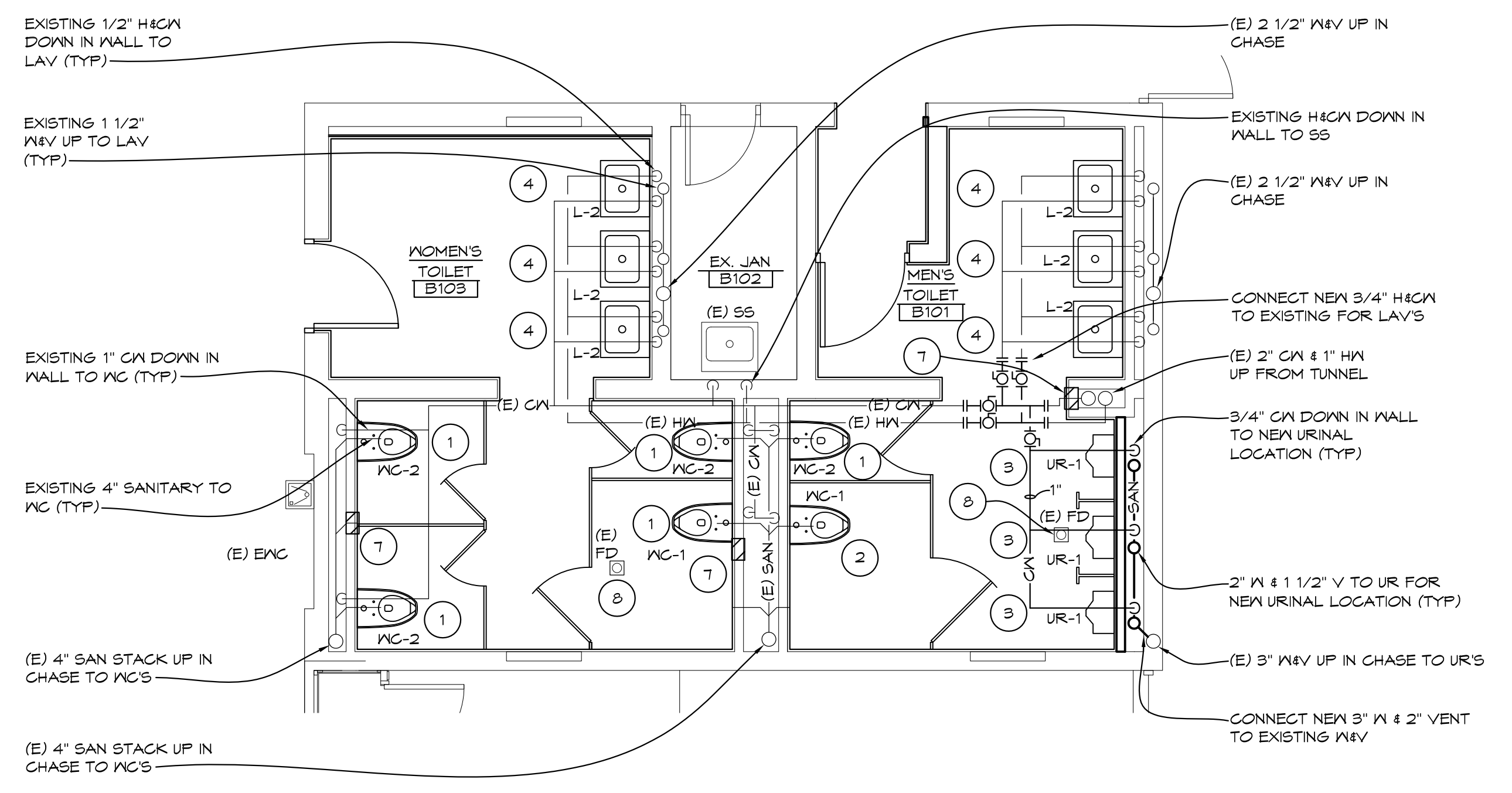
'B' WING TOILET ROOMS UNDER FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



'B' WING TOILET ROOMS ABOVE FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01

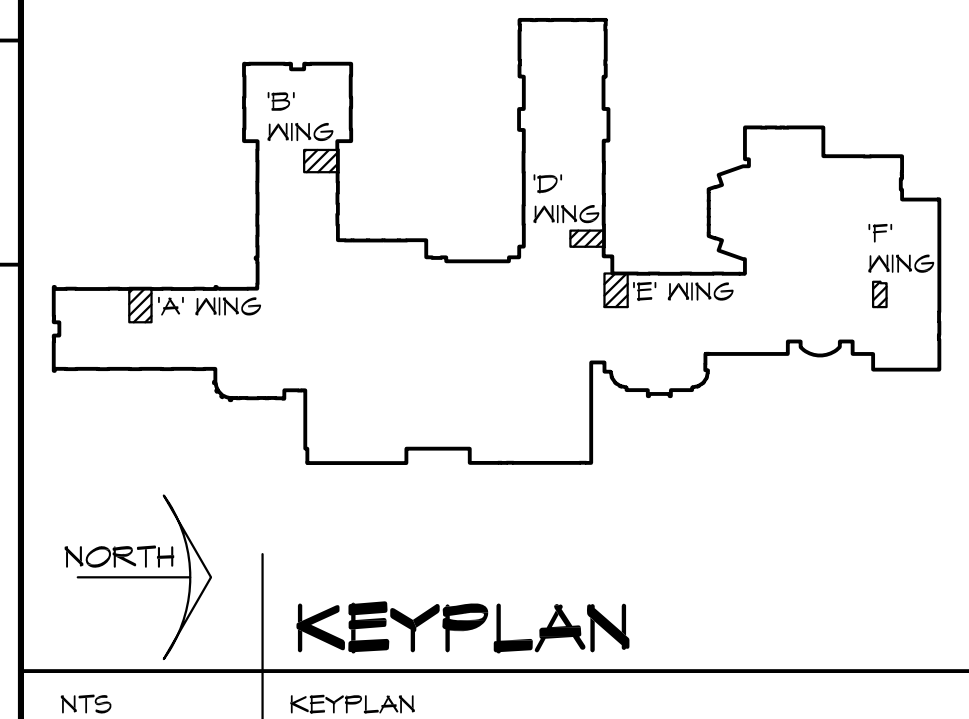


'B' WING TOILET ROOMS ABOVE FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01

KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING LAVATORY, FAUCET, TRAP, ETC. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING WATER CLOSET & FLUSH VALVE. FIXTURE TO BE REINSTALLED AT NEW LOCATION. SEAL SANITARY & COLD WATER IN WALL. REMOVE ANY SUPPORTS, BOLTS, ETC. THAT PENETRATE OUT WALL & INTERFERE WITH NEW TILE WORK.
- REMOVE SECTION OF COLD WATER PIPING IN CHASE. GAP & PROVIDE NEW AIR CHAMBER. REMOVE BLOCK FOR WORK REQUIRED. COORDINATE WITH GENERAL TRADES.
- REMOVE LAVATORY HW, CN, VENT, SANITARY, STOPS, ETC. LAVATORY TO BE REINSTALLED AT A NEW LOCATION.
- REMOVE EXISTING URINAL. FLUSH VALVE BACK TO NEW CONNECTION POINT FOR NEW URINAL.
- REMOVE EXISTING FLOOR MOUNTED WATER CLOSET & FLUSH VALVE FOR NEW WATER CLOSET.
- REMOVE EXISTING LAVATORY, FAUCET, RISER, TRAP, ETC. FOR NEW LAVATORY.
- REMOVE DRINKING FOUNTAIN & PIPING BACK TO NEW CONNECTION POINT AT NEW SINK.



KEYED PLUMBING NOTES

- REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY COUPLING. PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL EXISTING WATER CLOSET AT ABANDONED WC LOCATION. REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL NEW URINAL AT NEW LOCATION. PROVIDE NEW CARRIER, SUPPORTS, CN, WASTE & VENT CONNECTIONS. COORDINATE WITH NEW WALL.
- INSTALL EXISTING LAVATORY AT EXISTING LAVATORY LOCATION. REMOVE & REINSTALL FOR NEW TILE WORK. EXTEND SUPPORTS, HW, CN, WASTE & VENT CONNECTIONS. PROVIDE NEW STOPS, RISERS, TRAP & PIPING.
- INSTALL EXISTING LAVATORY AT NEW LAVATORY LOCATION. CONNECT TO NEW H/CN, W/V, PROVIDE NEW CARRIER, SUPPORTS, STOPS, RISERS, TRAP & PIPING.
- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING CN AT WALL.
- OPEN EXISTING WALL FOR NEW PIPING WORK. COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT.

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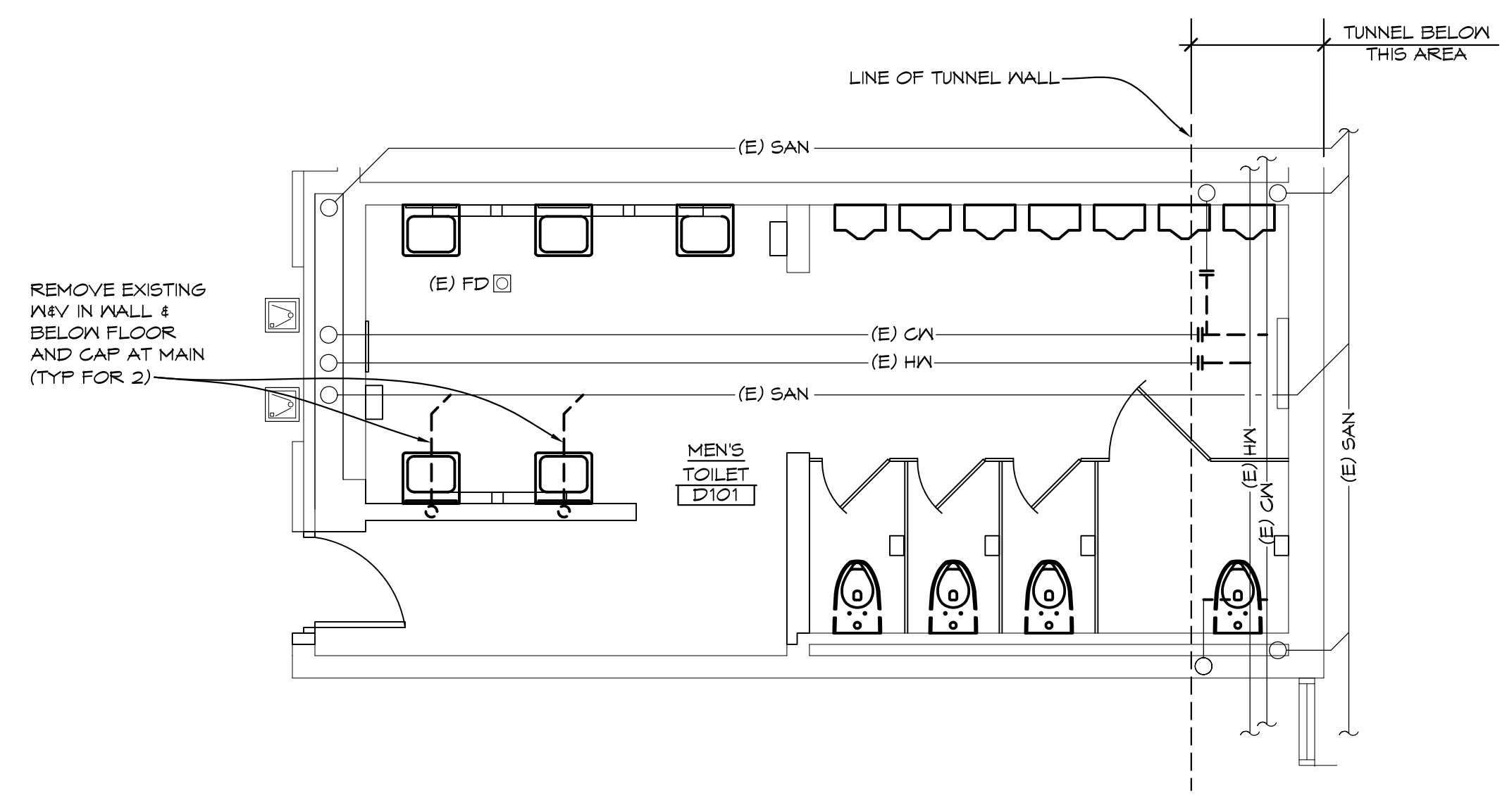
PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
'B' WING ENLARGED TOILET ROOM PLUMBING PLANS

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-F102
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-F102
	SCALE AS NOTED	SHEET NO. 8 OF 15

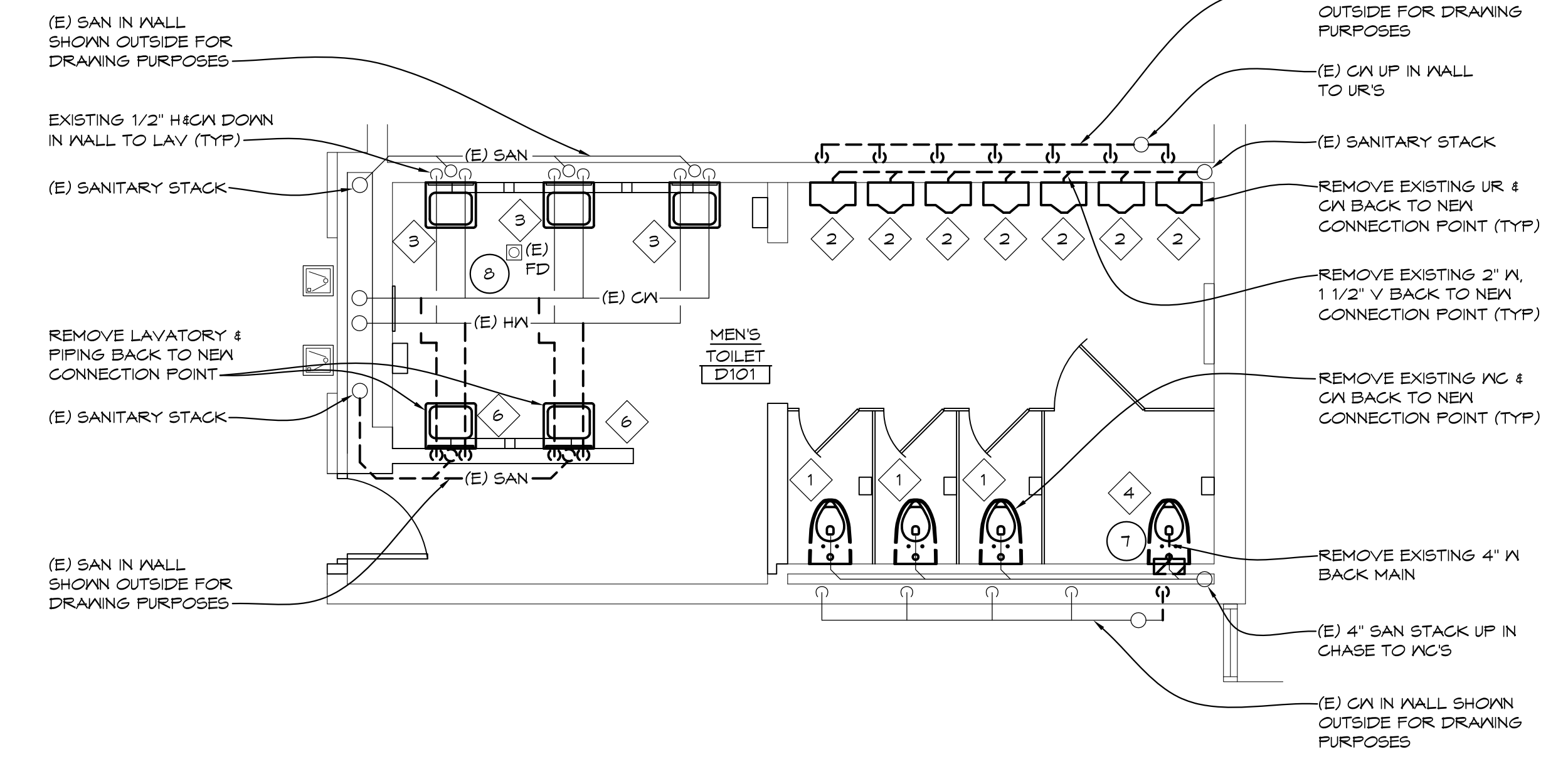
GENERAL PLUMBING NOTES

- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- CONTRACTOR SHALL FIELD VERIFY EXISTING COLD WATER, HOT WATER AND SANITARY CONNECTIONS PRIOR TO ORDERING PLUMBING FIXTURES.
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK.
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL. ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK.
- COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- CONTRACTOR FIELD VERIFY EXISTING PLUMBING AND REWORK CONNECTIONS FOR NEW TILE WALLS, EXTEND PIPING AND WALL SUPPORTS FOR NEW CONNECTIONS
- CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK.
- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.



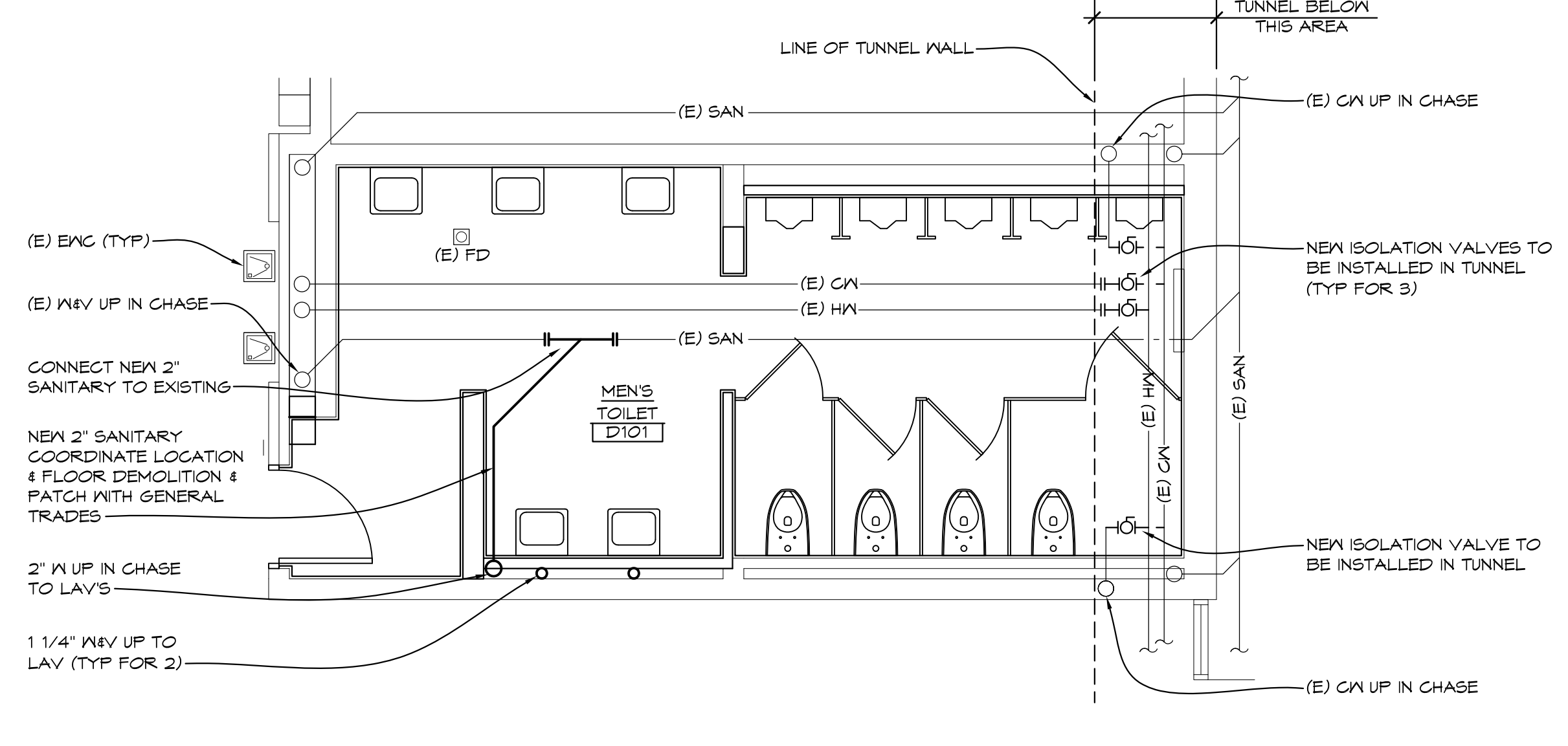
'D' WING TOILET ROOM UNDER FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



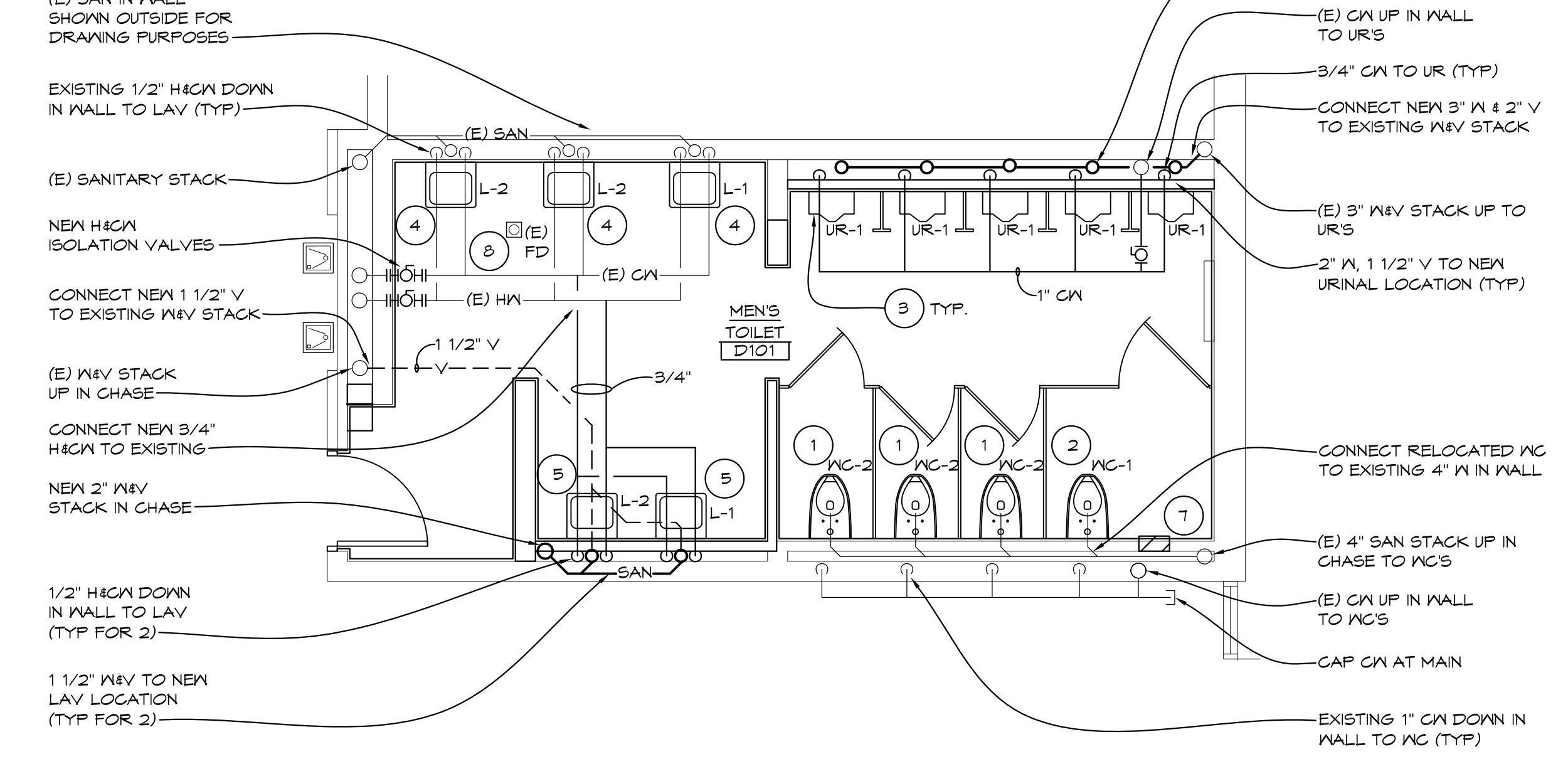
'D' WING TOILET ROOM ABOVE FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



'D' WING TOILET ROOM UNDER FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01

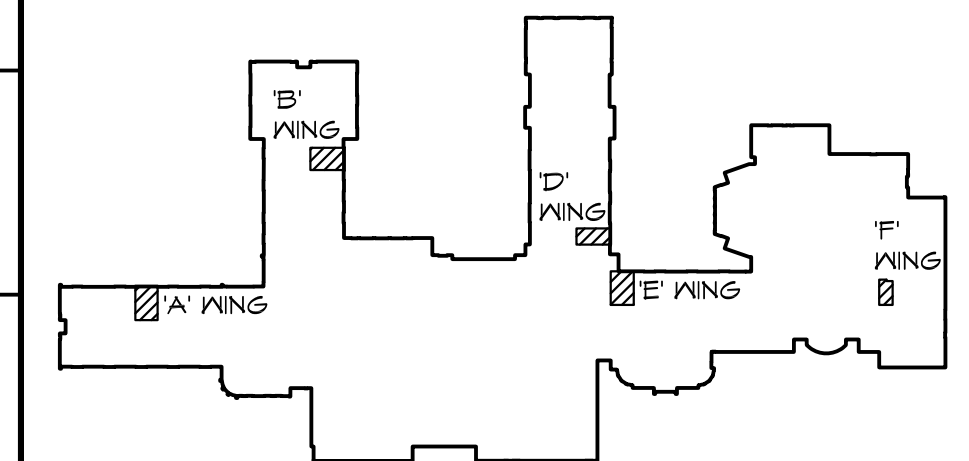


'D' WING TOILET ROOM ABOVE FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01

KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE URINAL & FLUSH VALVE
- REMOVE EXISTING LAVATORY, FAUCET, TRAP, ETC. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FIXTURE TO BE REINSTALLED AT NEW LOCATION. SEAL SANITARY & COLD WATER IN WALL. REMOVE ANY SUPPORTS, BOLTS, ETC. THAT PENETRATE OUT WALL & INTERFERE WITH NEW TILE WORK.
- REMOVE SECTION OF COLD WATER PIPING IN CHASE. GAP & PROVIDE NEW AIR CHAMBER. REMOVE BLOCK FOR WORK REQUIRED. COORDINATE WITH GENERAL TRADES.
- REMOVE LAVATORY HW, CW, VENT, SANITARY, STOPS, ETC. LAVATORY TO BE REINSTALLED AT A NEW LOCATION.
- REMOVE EXISTING URINAL, FLUSH VALVE BACK TO NEW CONNECTION POINT FOR NEW URINAL.
- REMOVE EXISTING FLOOR MOUNTED WATER CLOSET & FLUSH VALVE FOR NEW WATER CLOSET
- REMOVE EXISTING LAVATORY, FAUCET, RISER, TRAP, ETC. FOR NEW LAVATORY
- REMOVE DRINKING FOUNTAIN & PIPING BACK TO NEW CONNECTION POINT AT NEW SINK



KEYED PLUMBING NOTES

- REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY COUPLING. PROVIDE NEW GASKET, EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL EXISTING WATER CLOSET AT ABANDONED WC LOCATION. REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL NEW URINAL AT NEW LOCATION. PROVIDE NEW CARRIER, SUPPORTS, CW, WASTE & VENT CONNECTIONS. COORDINATE WITH NEW WALL.
- INSTALL EXISTING LAVATORY AT EXISTING LAVATORY LOCATION. REMOVE & REINSTALL FOR NEW TILE WORK. EXTEND SUPPORTS, HW, CW, WASTE & VENT CONNECTIONS. PROVIDE NEW STOPS, RISERS, TRAP & PIPING.
- INSTALL EXISTING LAVATORY AT NEW LAVATORY LOCATION. CONNECT TO NEW HW, HW, PROVIDE NEW CARRIER, SUPPORTS, STOPS, RISERS, TRAP & PIPING.
- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING CW AT WALL.
- OPEN EXISTING WALL FOR NEW PIPING WORK. COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

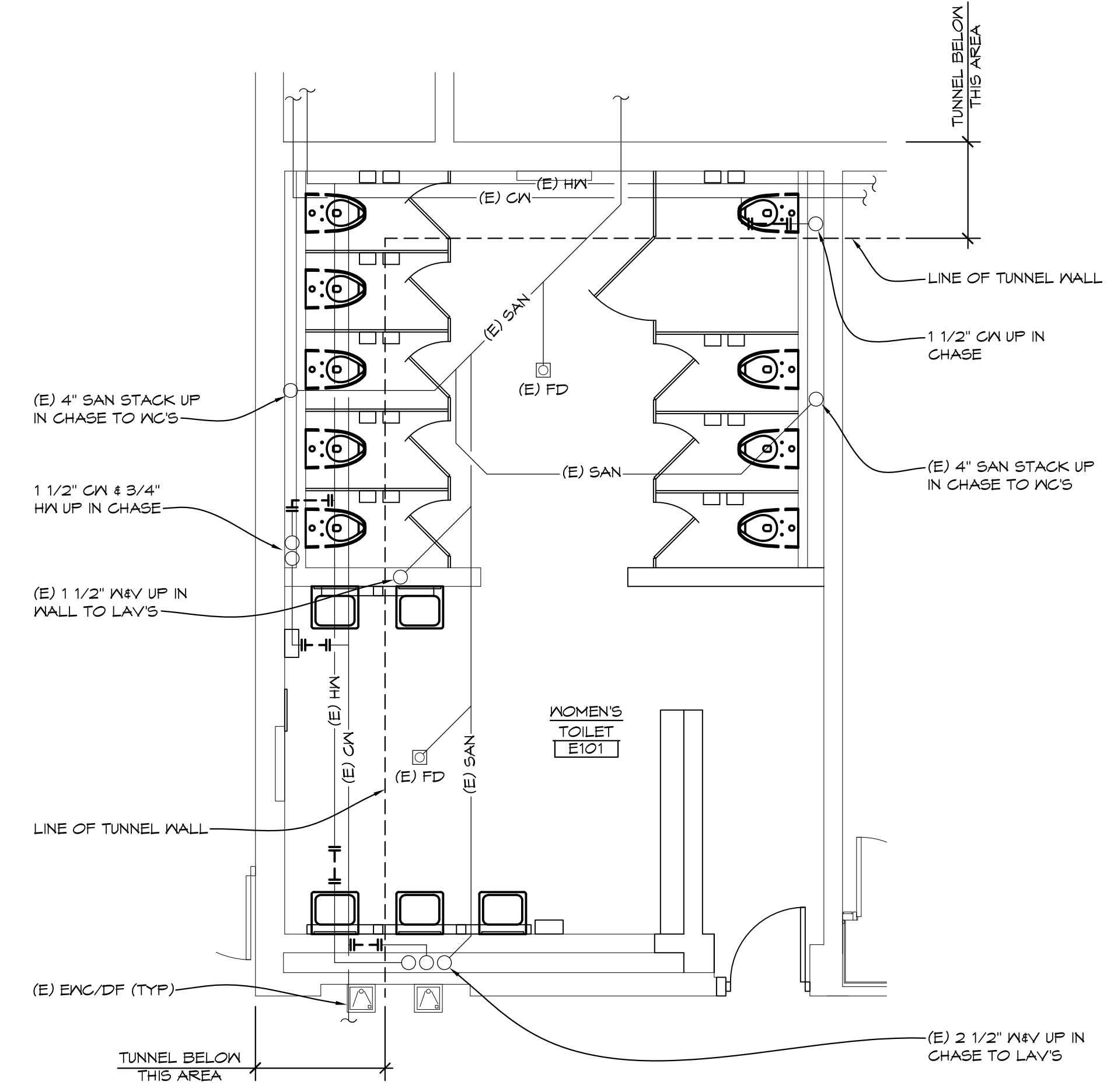
'D' WING ENLARGED TOILET ROOM PLUMBING PLANS

SEAL	DRAWN CW/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-P103
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-P103
	SCALE AS NOTED	SHEET NO. 9 OF 15

GENERAL PLUMBING NOTES

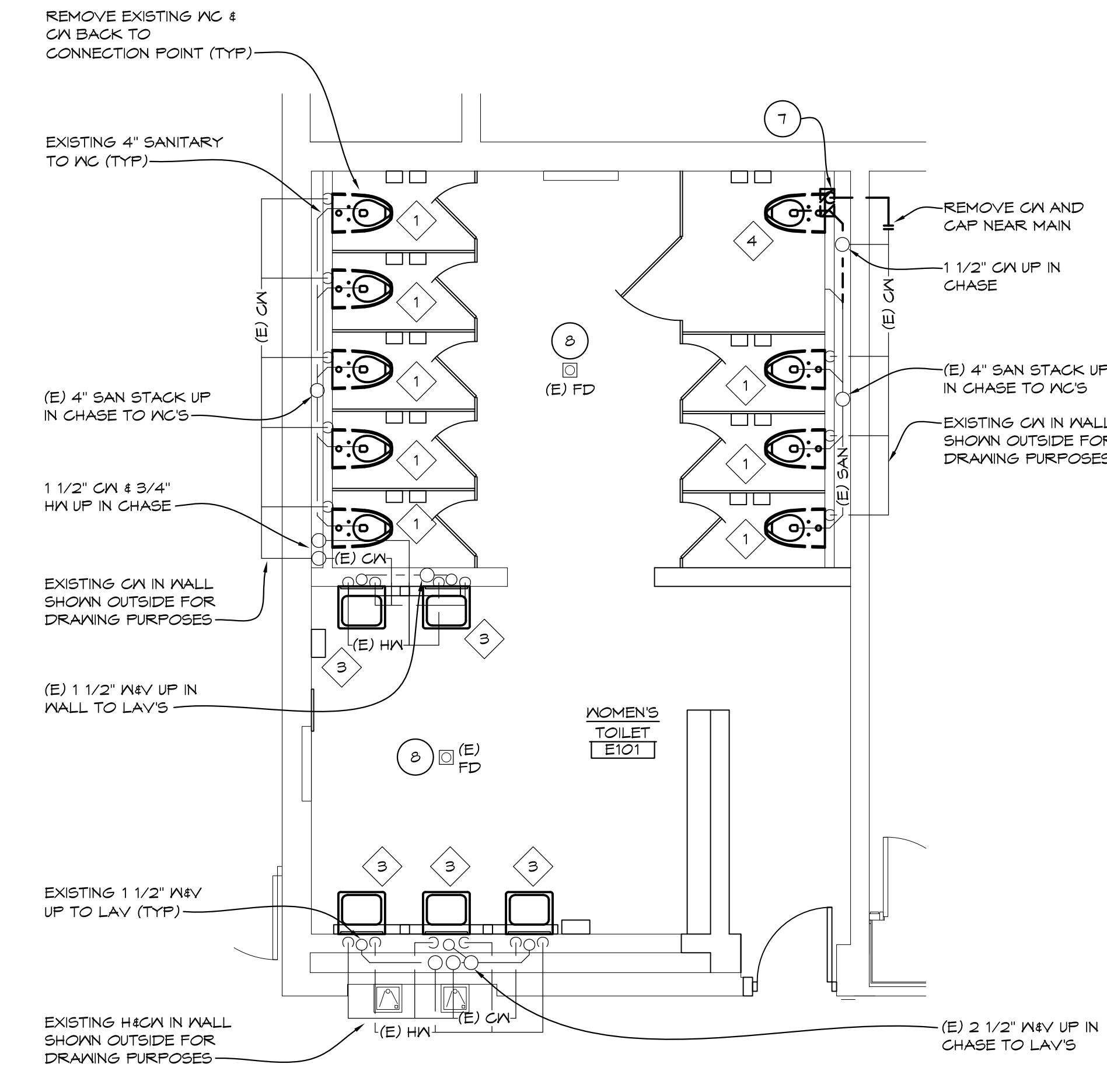
- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- CONTRACTOR SHALL FIELD VERIFY EXISTING COLD WATER, HOT WATER AND SANITARY CONNECTIONS PRIOR TO ORDERING PLUMBING FIXTURES
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL. ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK
- COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN
- CONTRACTOR FIELD VERIFY EXISTING PLUMBING AND REWORK CONNECTIONS FOR NEW TILE WALLS. EXTEND PIPING AND WALL SUPPORTS FOR NEW CONNECTIONS
- CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK
- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.

PROJECT 'A'



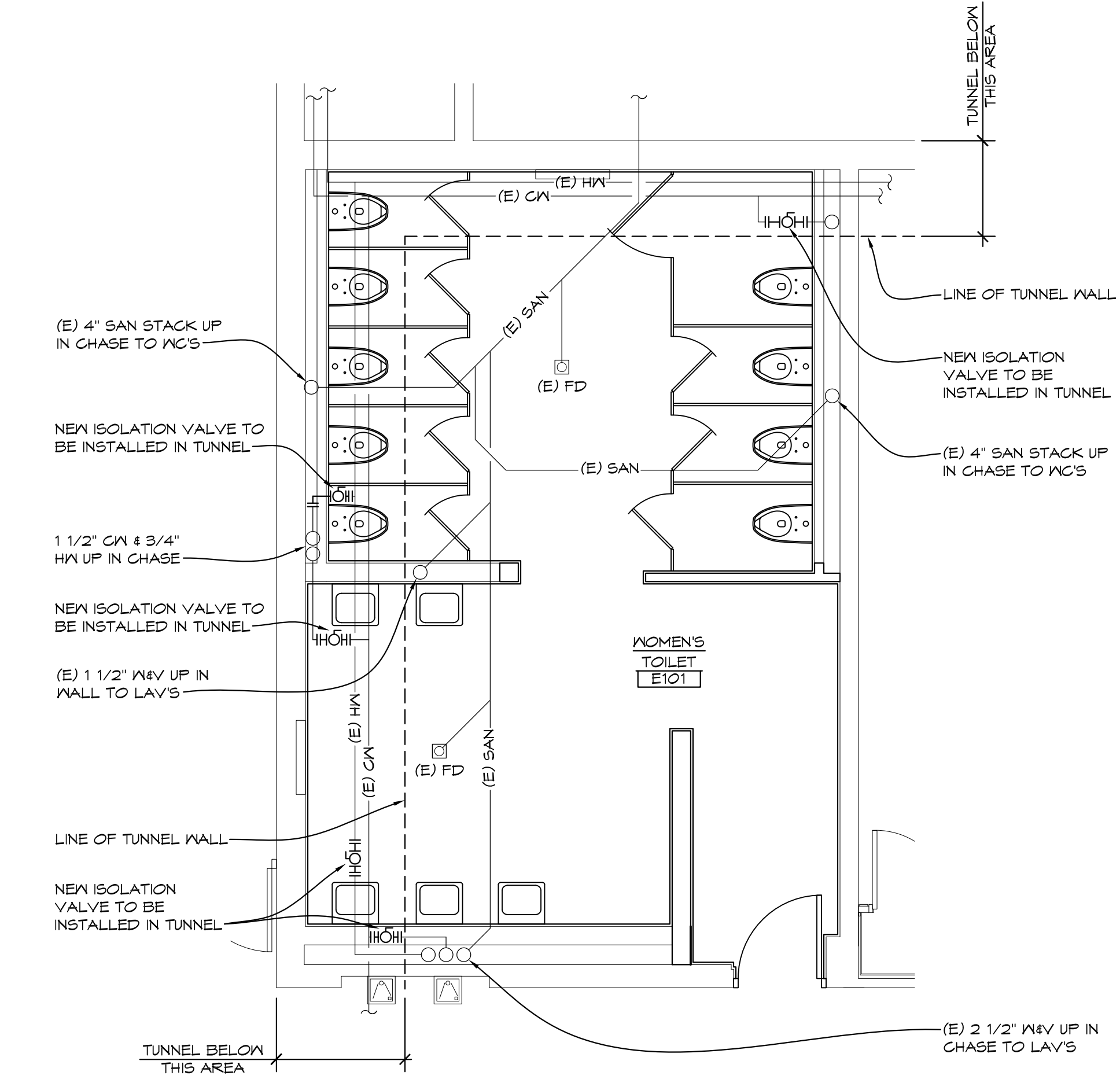
'E' WING TOILET ROOM UNDER FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



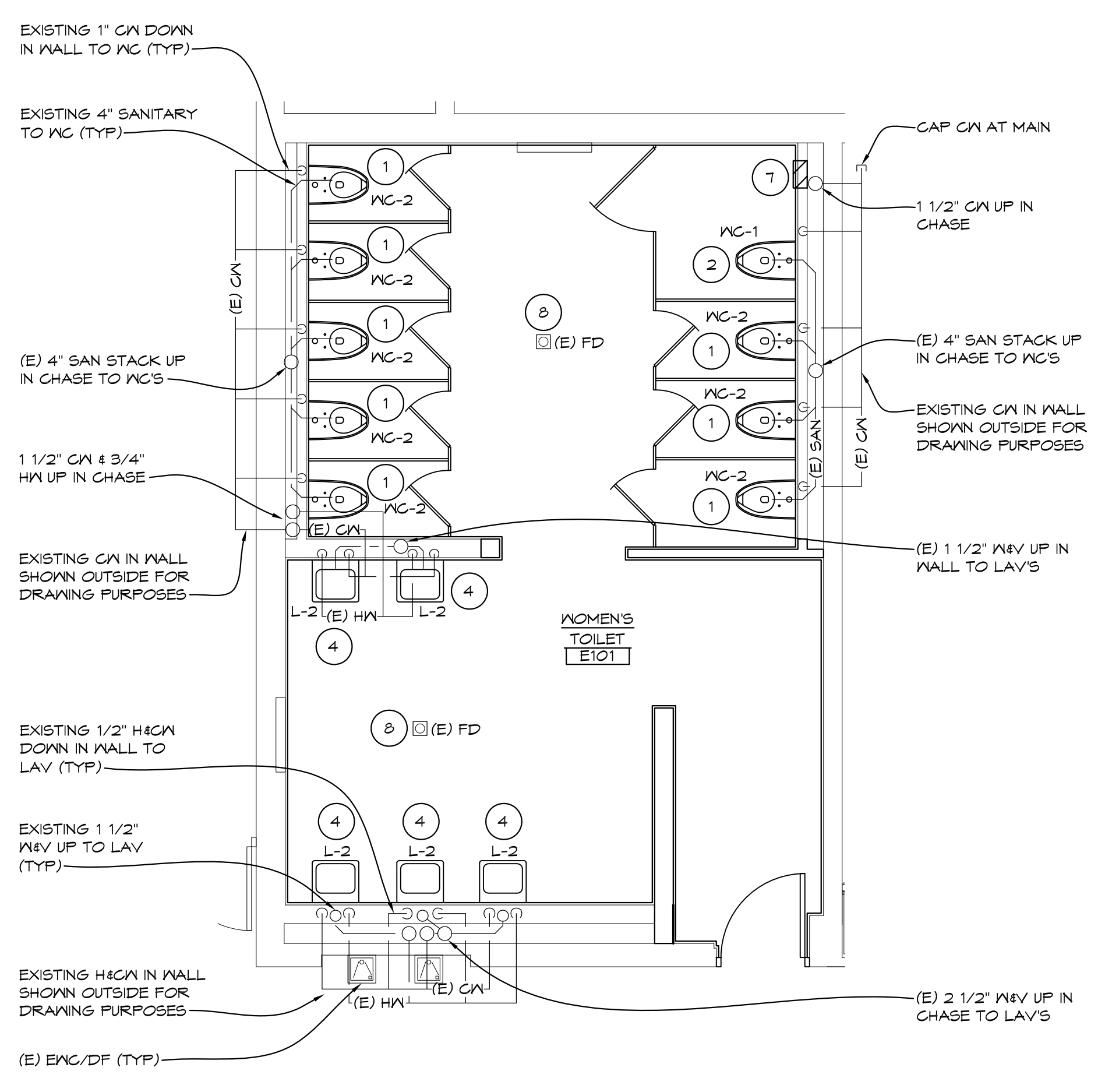
'E' WING TOILET ROOM ABOVE FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



'E' WING TOILET ROOM UNDER FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01

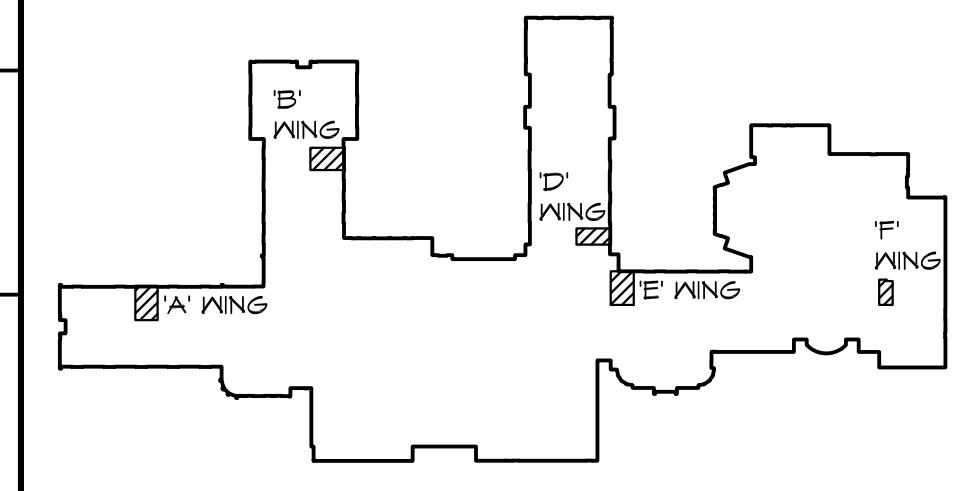


'E' WING TOILET ROOM ABOVE FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01

KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE URINAL & FLUSH VALVE
- REMOVE EXISTING LAVATORY, FAUCET, TRAP, ETC. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING WATER CLOSET & FLUSH VALVE. FIXTURE TO BE REINSTALLED AT NEW LOCATION. SEAL SANITARY & COLD WATER IN WALL. REMOVE ANY SUPPORTS, BOLTS, ETC. THAT PENETRATE OUT WALL & INTERFERE WITH NEW TILE WORK.
- REMOVE SECTION OF COLD WATER PIPING IN CHASE. GAP & PROVIDE NEW AIR CHAMBER. REMOVE BLOCK FOR WORK REQUIRED. COORDINATE WITH GENERAL TRADES.
- REMOVE LAVATORY HW, GN, VENT, SANITARY, STOPS, ETC. LAVATORY TO BE REINSTALLED AT A NEW LOCATION
- REMOVE EXISTING URINAL. FLUSH VALVE BACK TO NEW CONNECTION POINT FOR NEW URINAL
- REMOVE EXISTING FLOOR MOUNTED WATER CLOSET & FLUSH VALVE FOR NEW WATER CLOSET
- REMOVE EXISTING LAVATORY, FAUCET, RISER, TRAP, ETC. FOR NEW LAVATORY
- REMOVE DRINKING FOUNTAIN & PIPING BACK TO NEW CONNECTION POINT AT NEW SINK



KEYPLAN

KEYED PLUMBING NOTES

- REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY COUPLING. PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL EXISTING WATER CLOSET AT ABANDONED WC LOCATION REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL NEW URINAL AT NEW LOCATION. PROVIDE NEW CARRIER, SUPPORTS, GN, WASTE & VENT CONNECTIONS. COORDINATE WITH NEW WALL.
- INSTALL EXISTING LAVATORY AT EXISTING LAVATORY LOCATION. REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL EXISTING LAVATORY AT NEW LAVATORY LOCATION. CONNECT TO NEW H2O, W/V, PROVIDE NEW CARRIER, SUPPORTS, STOPS, RISERS, TRAP & PIPING.
- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING GN AT WALL.
- OPEN EXISTING WALL FOR NEW PIPING WORK. COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT

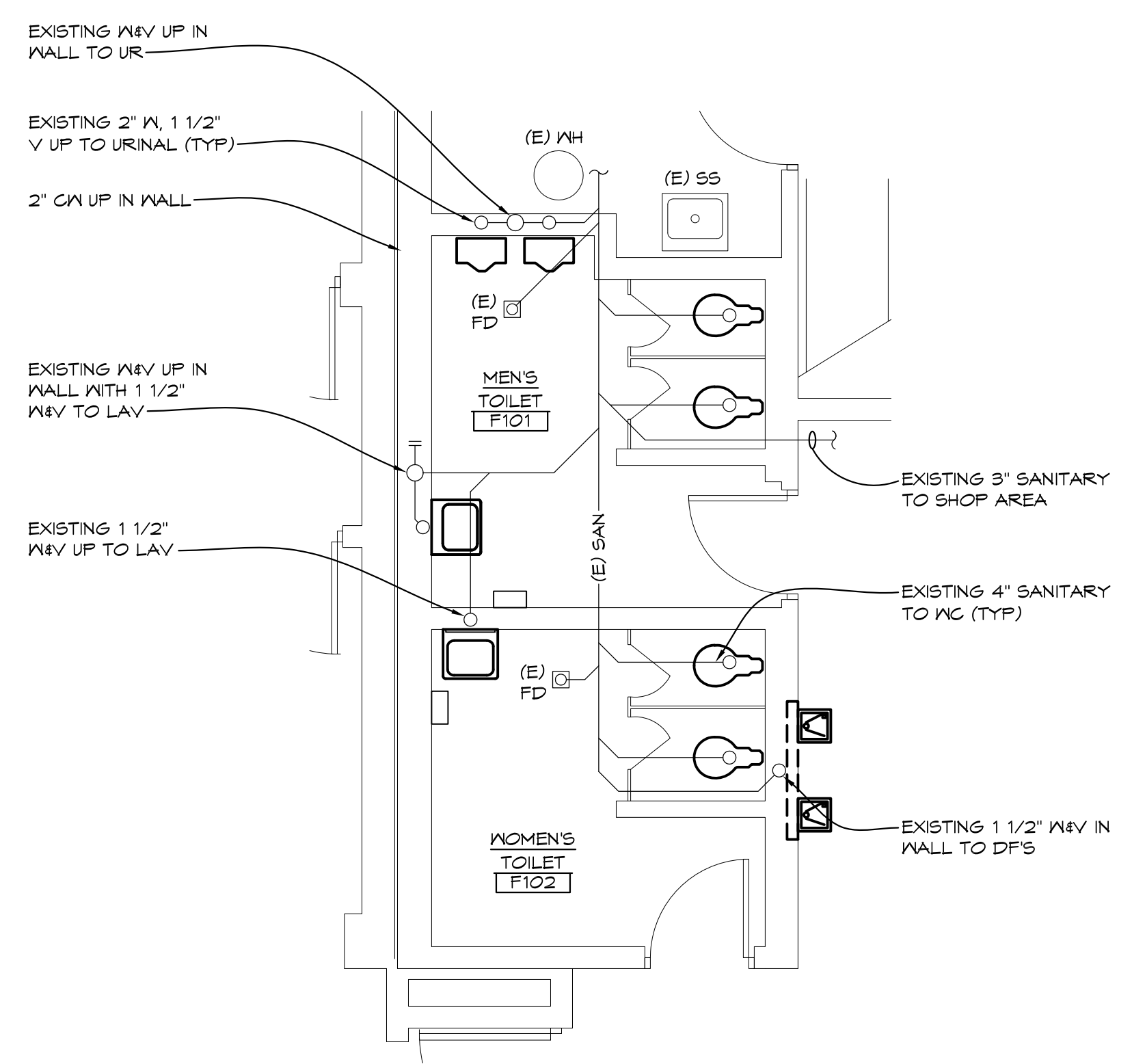
THA
Architects Engineers
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Ph: 810-767-5600 | THA-Flint.com

PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE		
'E' WING ENLARGED TOILET ROOM PLUMBING PLANS		
SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-P104
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-P104
	SCALE AS NOTED	SHEET NO. 10 OF 15

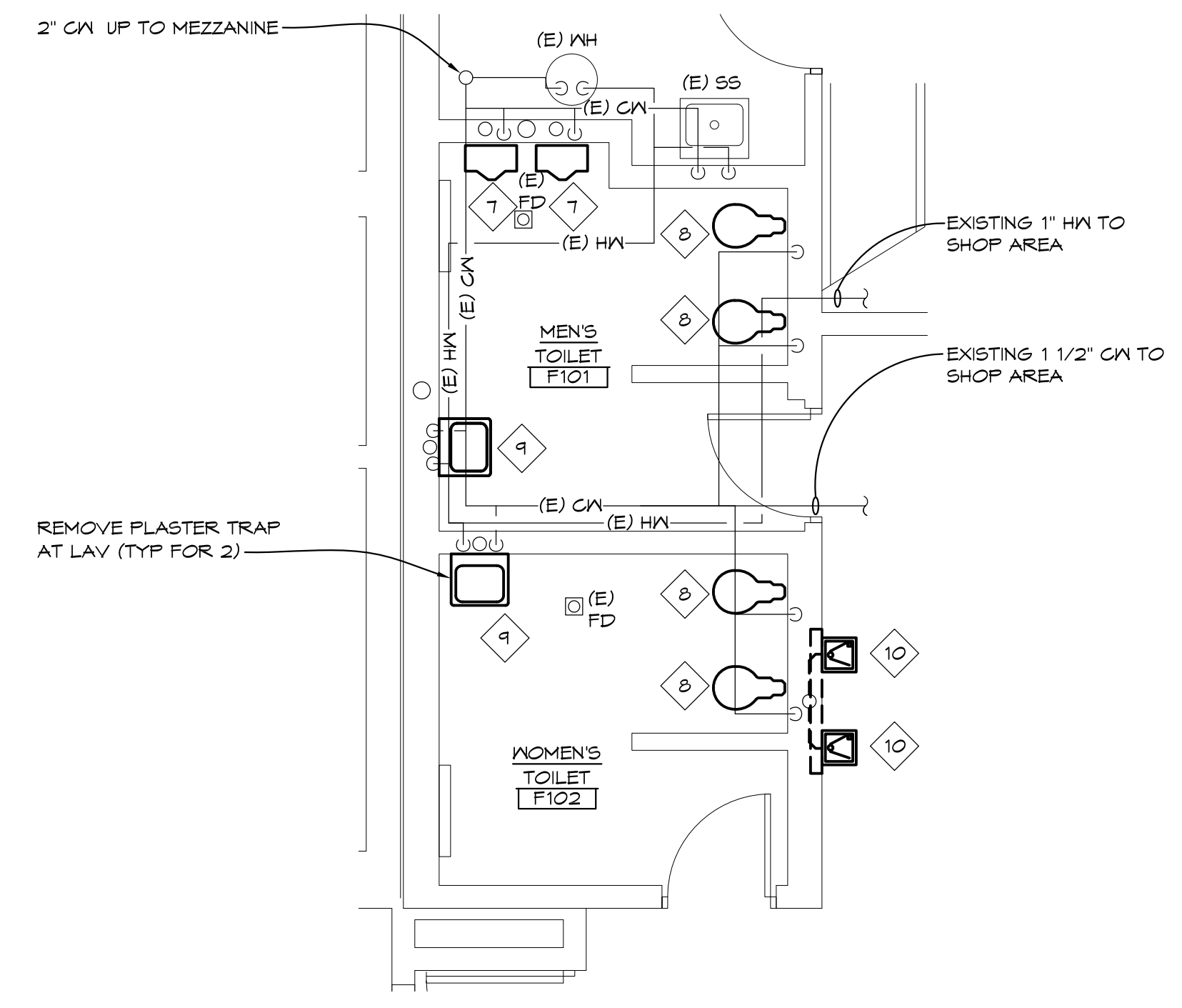
GENERAL PLUMBING NOTES

- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- CONTRACTOR SHALL FIELD VERIFY EXISTING COLD WATER, HOT WATER AND SANITARY CONNECTIONS PRIOR TO ORDERING PLUMBING FIXTURES.
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK.
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL. ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK.
- COORDINATE ALL WORK WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- CONTRACTOR FIELD VERIFY EXISTING PLUMBING AND REWORK CONNECTIONS FOR NEW TILE WALLS, EXTEND PIPING AND WALL SUPPORTS FOR NEW CONNECTIONS.
- CONTRACTOR TO PROVIDE NEW STOPS, TRAP, RISERS, ETC. FOR NEW PLUMBING WORK.
- CAP COLD WATER AND HOT WATER PIPING AT MAINS LEAVING NO DEAD LEGS IN PIPING.



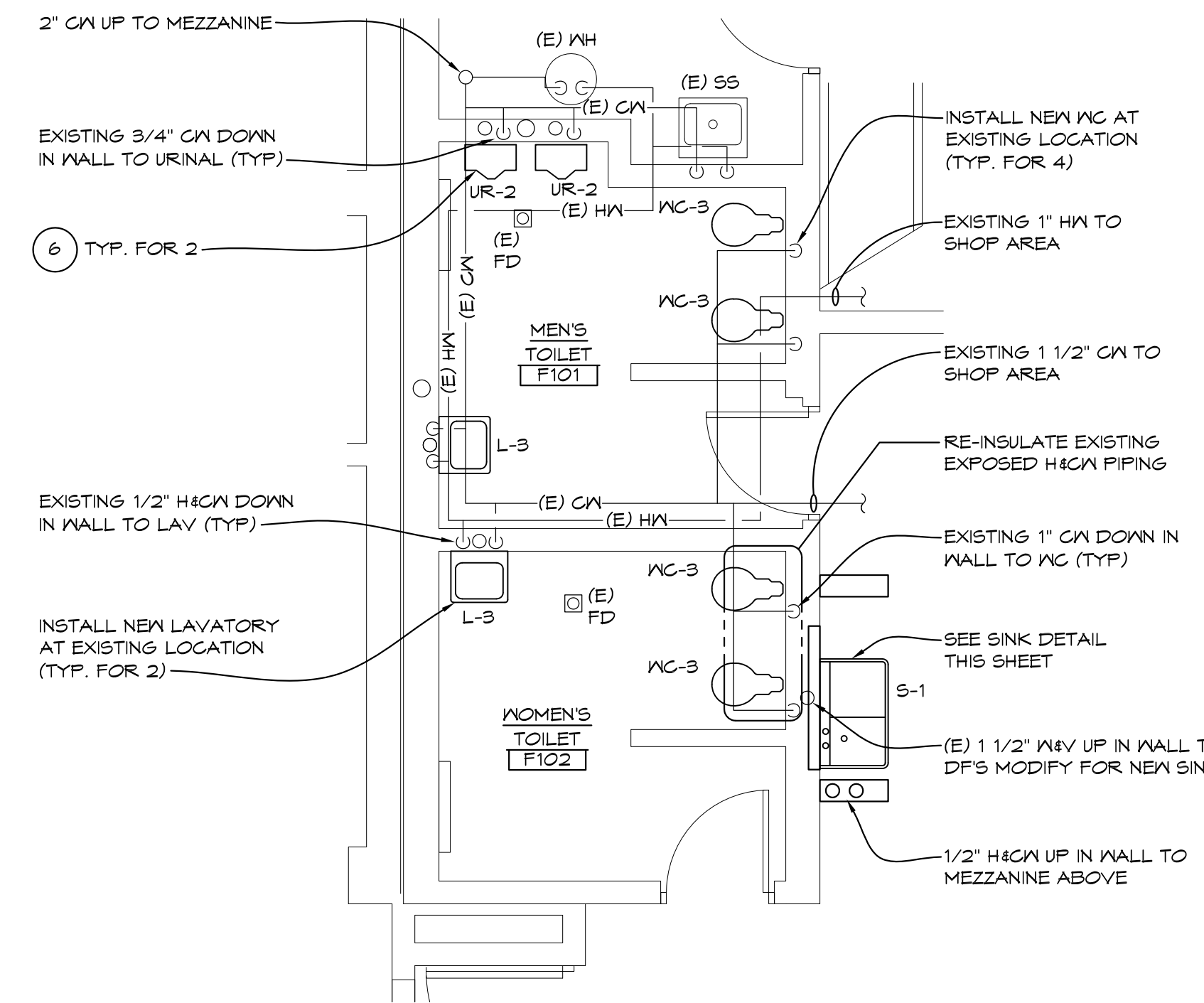
ADD ALTERNATE #1
'F' WING TOILET ROOMS UNDER FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



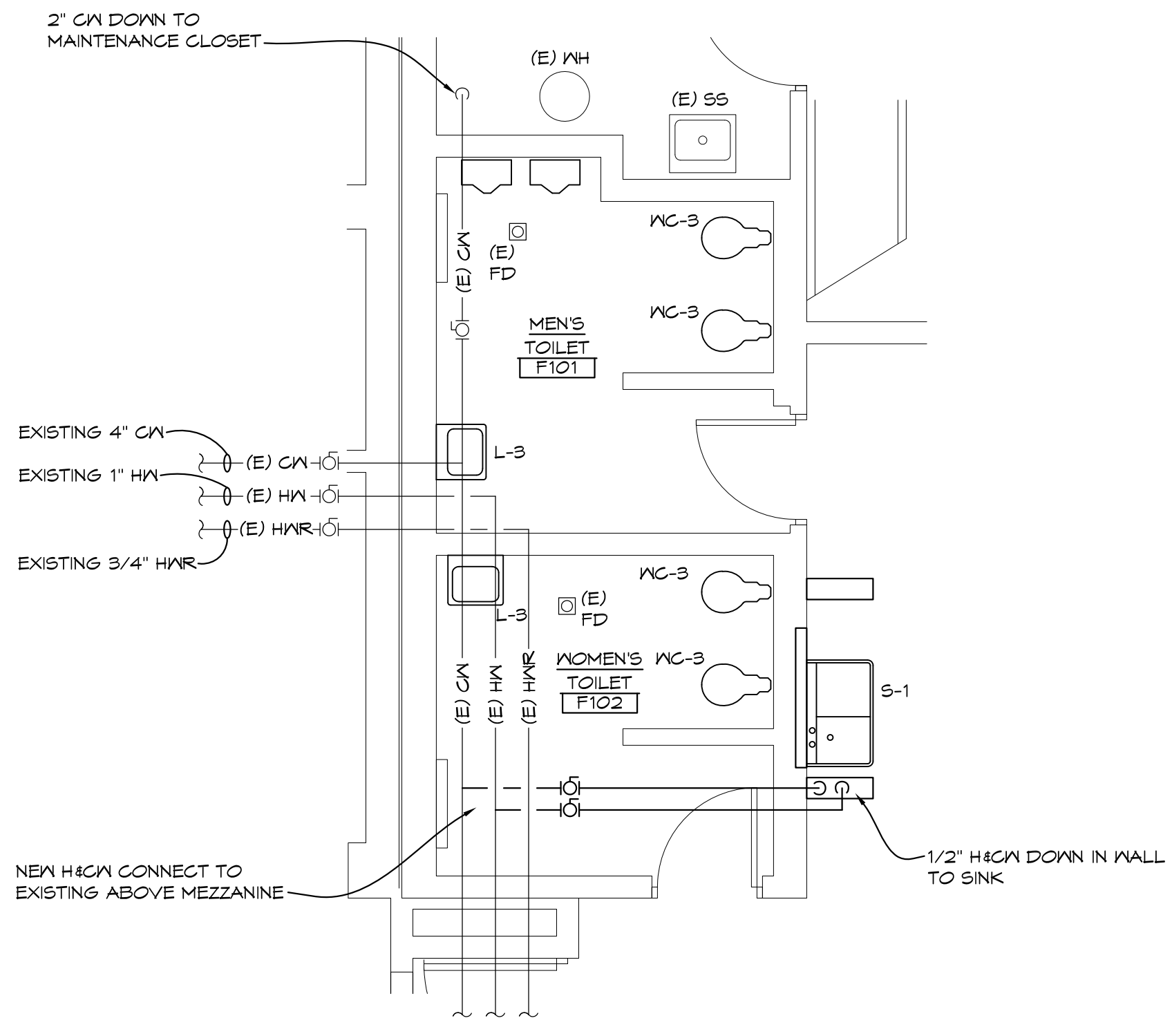
ADD ALTERNATE #1
'F' WING TOILET ROOMS ABOVE FLOOR PLUMBING DEMOLITION PLAN

1/4" = 1'-0" X01



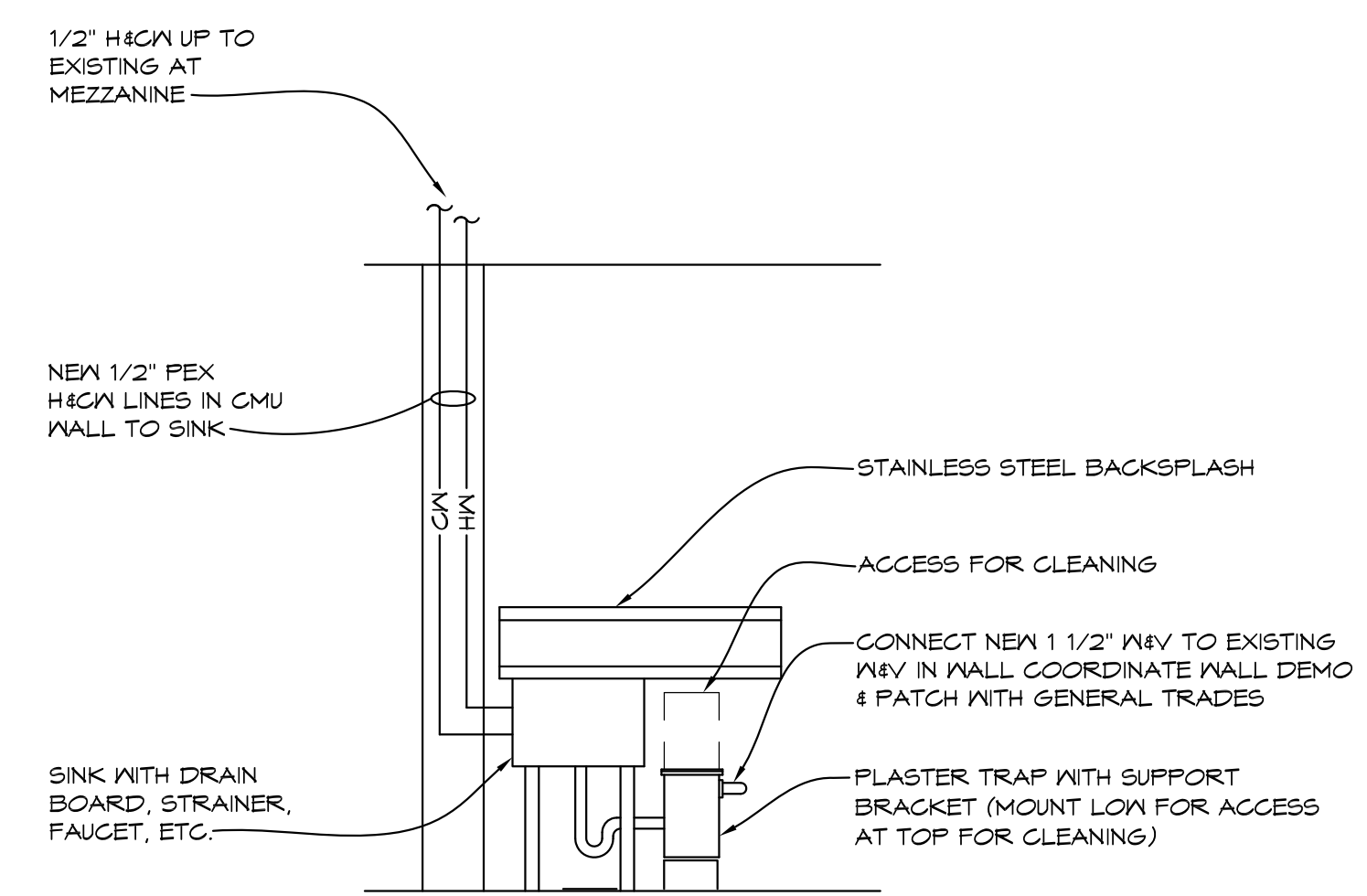
ADD ALTERNATE #1
'F' WING TOILET ROOMS ABOVE FLOOR ENLARGED PLUMBING PLAN

1/4" = 1'-0" X01



ADD ALTERNATE #1
'F' WING TOILET ROOMS ABOVE MEZZANINE PLUMBING PLAN

1/4" = 1'-0" X01



ADD ALTERNATE #1
SINK DETAIL

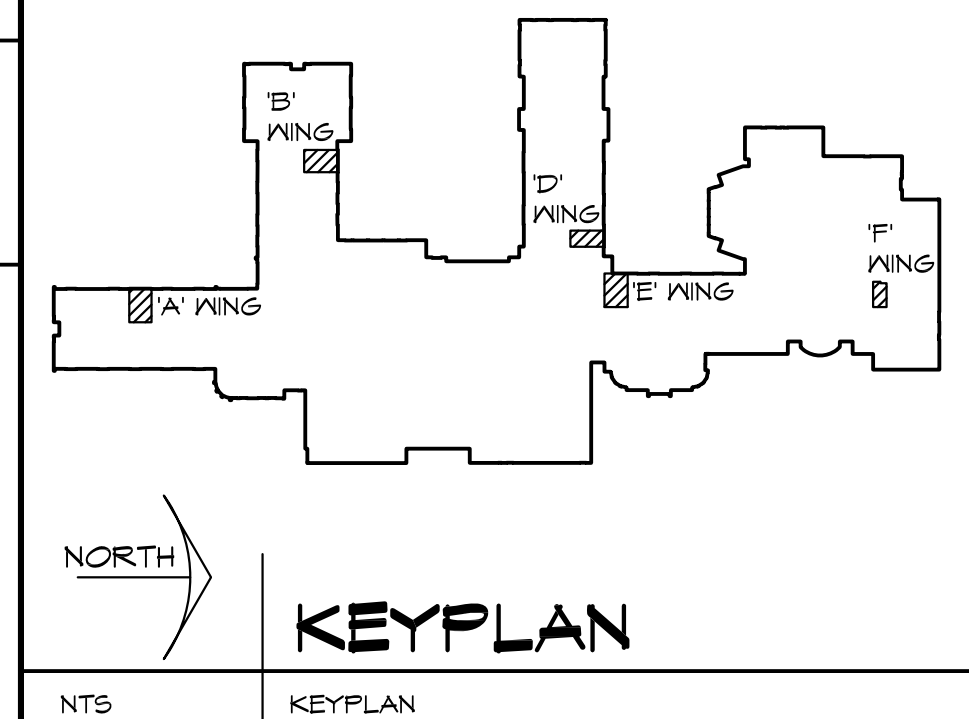
NO SCALE

KEYED PLUMBING DEMOLITION NOTES

- REMOVE EXISTING WATER CLOSET & FLUSH VALVE FOR NEW TILE WORK. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE URINAL & FLUSH VALVE
- REMOVE EXISTING LAVATORY, FAUCET, TRAP, ETC. FIXTURE TO BE REINSTALLED AT CURRENT LOCATION.
- REMOVE EXISTING WATER CLOSET & FLUSH VALVE. FIXTURE TO BE REINSTALLED AT NEW LOCATION. SEAL SANITARY & COLD WATER IN WALL. REMOVE ANY SUPPORTS, BOLTS, ETC. THAT PENETRATE OUT WALL & INTERFERE WITH NEW TILE WORK.
- REMOVE SECTION OF COLD WATER PIPING IN CHASE, GAP & PROVIDE NEW AIR CHAMBER. REMOVE BLOCK FOR WORK REQUIRED. COORDINATE WITH GENERAL TRADES.
- REMOVE LAVATORY HW, CW, VENT, SANITARY, STOPS, ETC. LAVATORY TO BE REINSTALLED AT A NEW LOCATION.
- REMOVE EXISTING URINAL. FLUSH VALVE BACK TO NEW CONNECTION POINT FOR NEW URINAL.
- REMOVE EXISTING FLOOR MOUNTED WATER CLOSET & FLUSH VALVE FOR NEW WATER CLOSET
- REMOVE EXISTING LAVATORY, FAUCET, RISER, TRAP, ETC. FOR NEW LAVATORY
- REMOVE DRINKING FOUNTAIN & PIPING BACK TO NEW CONNECTION POINT AT NEW SINK

KEYED PLUMBING NOTES

- REINSTALL EXISTING WATER CLOSET AT EXISTING WATER CLOSET LOCATION (REMOVE & REINSTALL FOR NEW TILE WORK) EXTEND BOLTS & SANITARY COUPLING. PROVIDE NEW GASKET, EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL EXISTING WATER CLOSET AT ABANDONED WC LOCATION. REMOVE GAP AND EXTEND BOLTS & SANITARY COUPLING AND PROVIDE NEW GASKET. EXTEND WATER CONNECTION REINSTALL EXISTING FLUSH VALVE AND STOP AT WALL.
- INSTALL NEW URINAL AT NEW LOCATION. PROVIDE NEW CARRIER, SUPPORTS, CW, WASTE & VENT CONNECTIONS. COORDINATE WITH NEW WALL.
- INSTALL EXISTING LAVATORY AT EXISTING LAVATORY LOCATION. REMOVE & REINSTALL FOR NEW TILE WORK. EXTEND SUPPORTS, HW, CW, WASTE & VENT CONNECTIONS. PROVIDE NEW STOPS, RISERS, TRAP & PIPING.
- INSTALL EXISTING LAVATORY AT NEW LAVATORY LOCATION. CONNECT TO NEW HGW, HW, PROVIDE NEW CARRIER, SUPPORTS, STOPS, RISERS, TRAP & PIPING.
- INSTALL NEW URINAL AT EXISTING LOCATION. PROVIDE NEW SUPPORT AND SANITARY CONNECTION RECONNECT EXISTING FLUSH VALVE TO EXISTING CW AT WALL.
- OPEN EXISTING WALL FOR NEW PIPING WORK. COORDINATE WITH GENERAL TRADES FOR INFILL BELOW NEW TILE WORK.
- ADJUST/REPLACE STRAINER AT FLOOR DRAIN TO MATCH NEW FLOOR TILE HEIGHT



NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

'F' WING ENLARGED TOILET ROOM PLUMBING PLANS

SEAL	DRAWN CW/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. A-F105
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	A-F105
	SCALE AS NOTED	SHEET NO. 11 OF 15

ABBREVIATIONS

Table of abbreviations including A (AMP), AF (AMP FUSE OR AMP FRAME), AFC (AVAILABLE FAULT CURRENT), A.F.F. (ABOVE FINISHED FLOOR), etc.

GENERAL

MOUNTING HEIGHTS TO BE AS INDICATED U.O.N. MOUNTING HEIGHTS ARE TO CENTER OF DEVICE FROM FINISHED FLOOR OR GRADE U.O.N. SEE SPECIFICATION 16010 FOR ADDITIONAL REQUIREMENTS

DEMOLITION AND REMODEL

EXISTING ELECTRICAL ITEM TO BE REMOVED, EXISTING ELECTRICAL ITEM TO BE REMOVED AND RELOCATED, EXISTING ELECTRICAL ITEM RELOCATED, NEW LOCATION, EXISTING ELECTRICAL ITEM TO REMAIN, etc.

CIRCUIT DESIGNATIONS

Diagram showing branch circuit homerun, conduit riser up/down, and a table for MAX QUANTITY OF CONDUCTORS PER CONDUIT.

LIGHTING

Notes for lighting fixtures and various symbols for ceiling lights, directional lights, wall brackets, linear pendants, and track lights.

POWER AND DIAGRAMS

Notes for power outlets, receptacles, and diagrams. Includes symbols for ground fault circuit interrupters, safety type receptacles, explosion proof receptacles, and various types of switches and breakers.

FIRE DETECTION AND ALARM

Notes and symbols for fire detection and alarm systems, including control panels, fire alarm annunciator panels, fire suppression system abort switch stations, manual stations, smoke detectors, and heat detectors.

TELECOMMUNICATION

General notes for telecommunications, including notes on outlets in finished or shell spaces, outlets at counters, and standard telecommunications outlets.

SECURITY

Symbols for security devices including fixed video surveillance cameras, pan/tilt/zoom video surveillance cameras, door position switches, and card readers.

THA Architects Engineers logo and contact information: 817 E. Kearsley St. | Flint, MI 48503. Ph: 810-767-5600 | THA-Flint.com

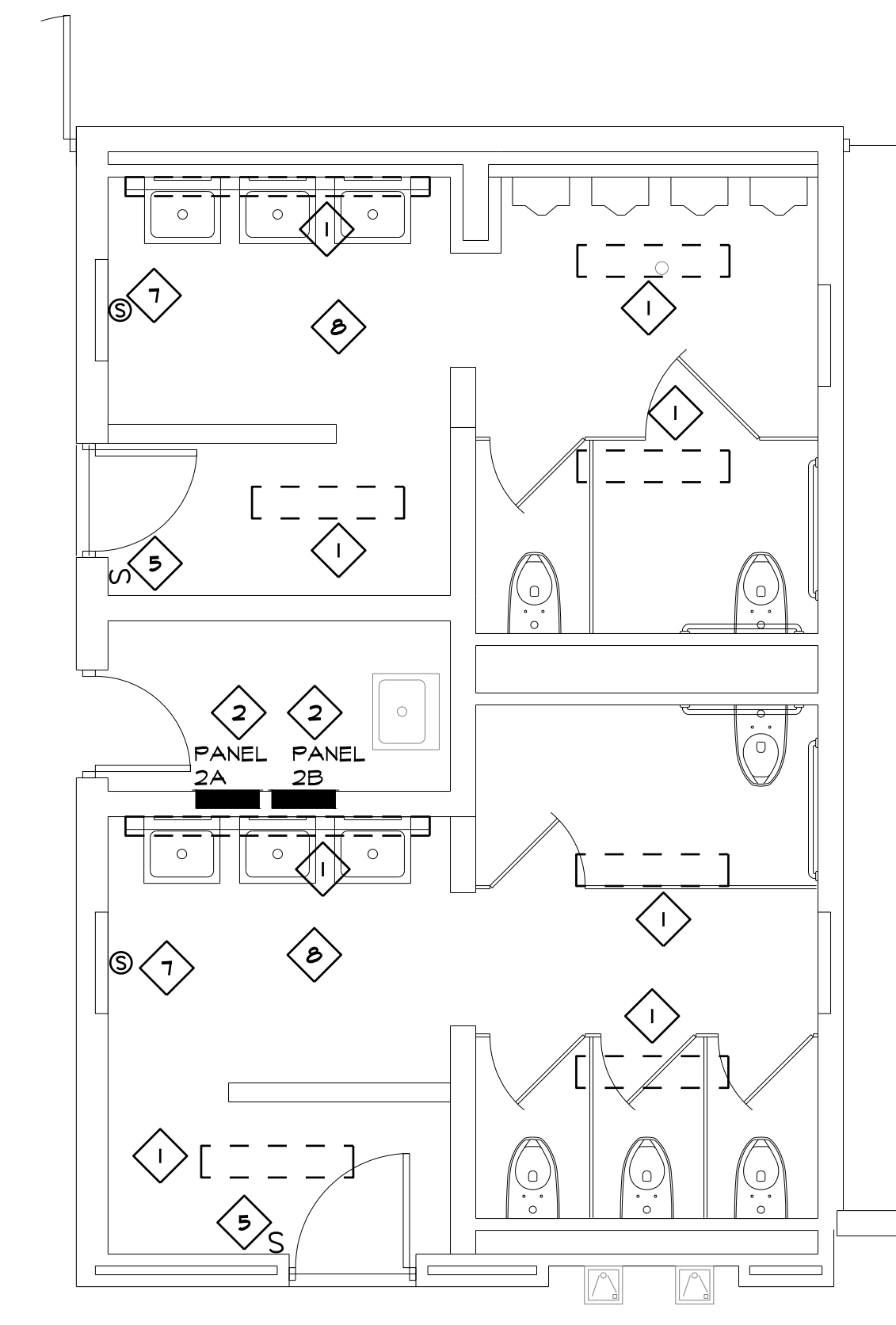
PROJECT 'A' RENOVATIONS TO: BULLOCK CREEK HIGH SCHOOL, 1420 SOUTH BADOUR ROAD, MIDLAND, MI

DRAWING TITLE: ELECTRICAL COVER SHEET

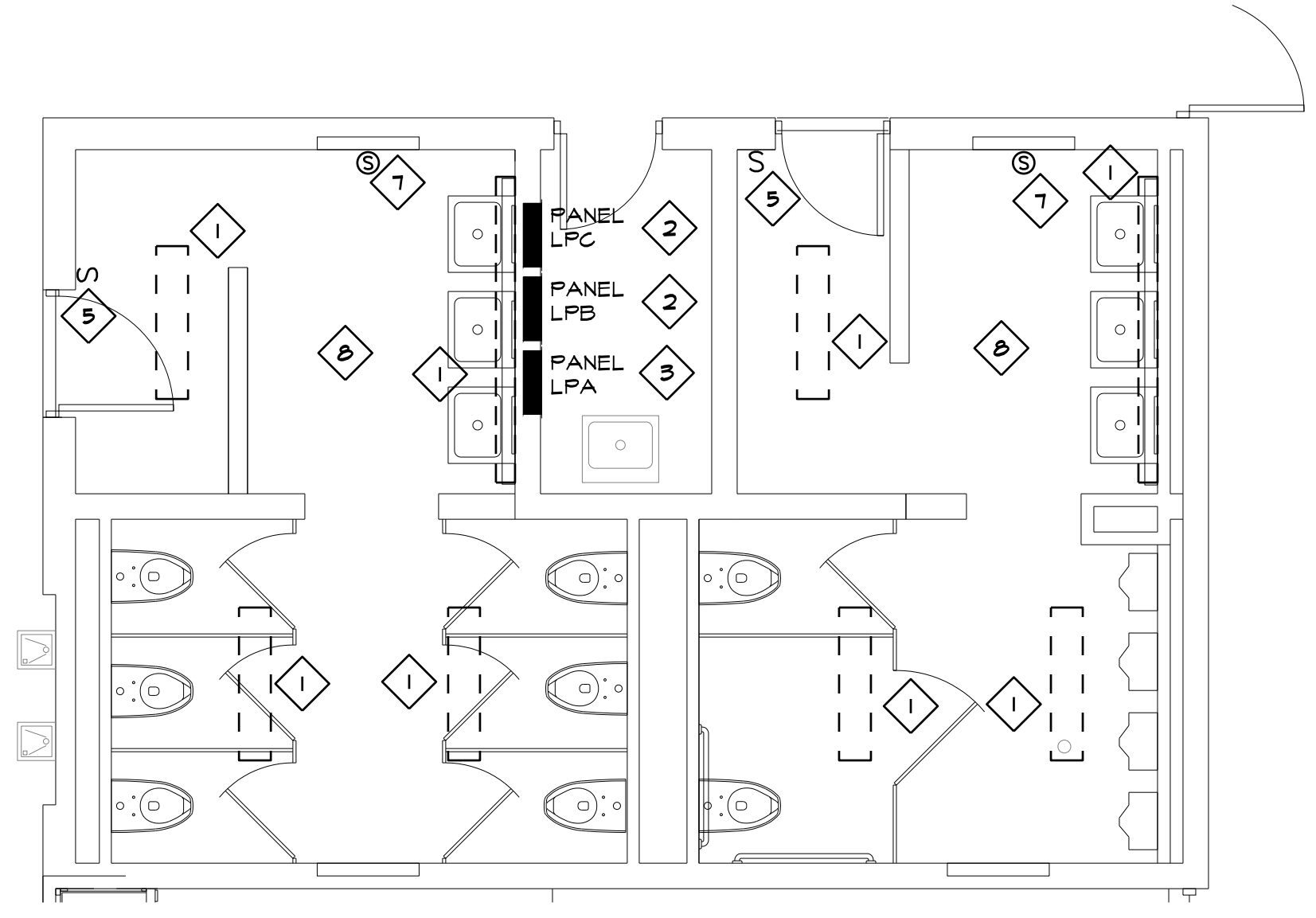
Table with columns for SEAL, DRAWN, CHECKED, REVIEWED, DATE, SCALE, PROJECT NO., CAD FILE NO., DRAWING NO., SHEET NO.

DEMOLITION NOTES

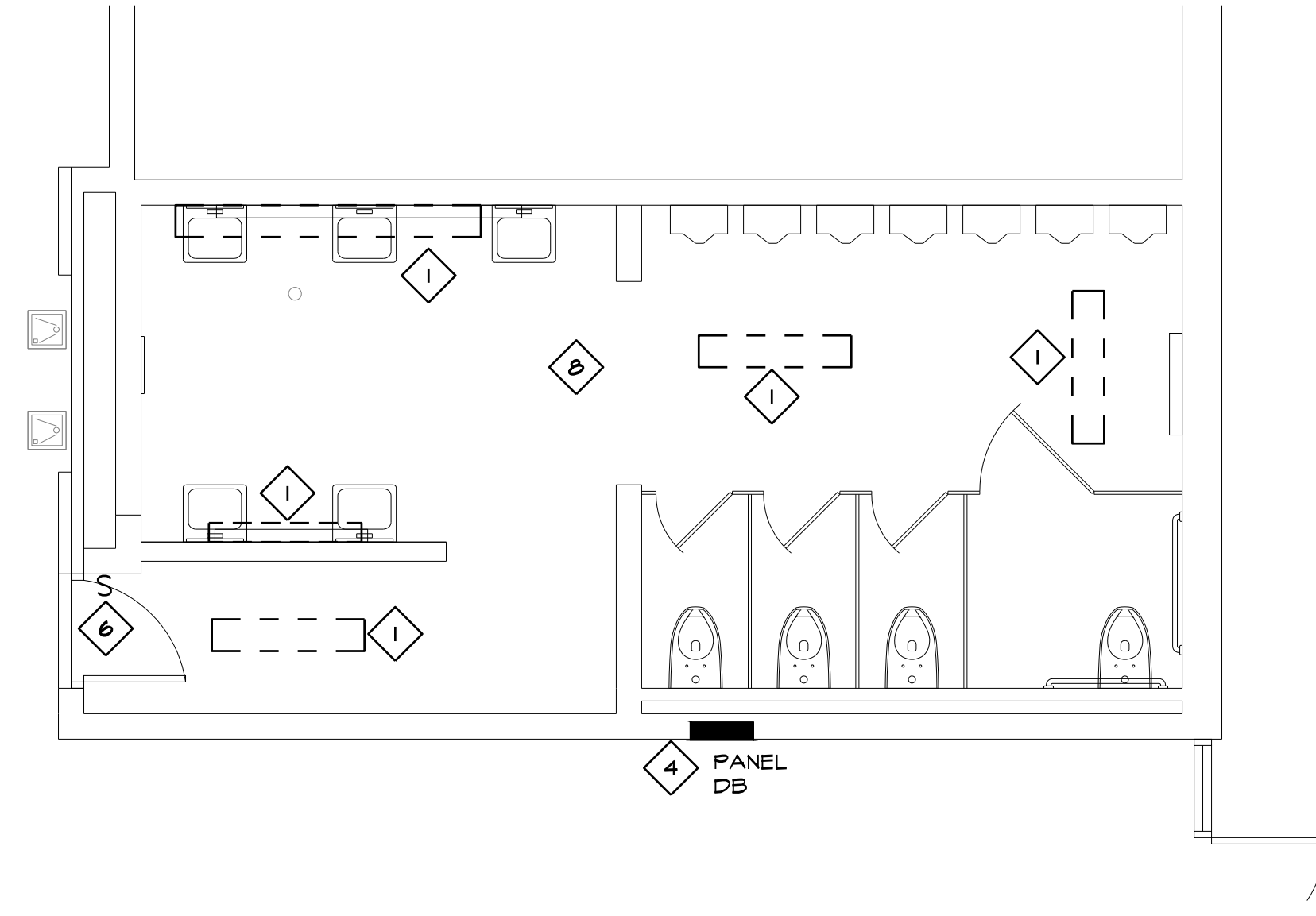
1. REMOVE LIGHT FIXTURE. REMOVE ALL WIRE AND CONDUIT BACK TO JUNCTION BOX ABOVE FINISHED CEILING. MAINTAIN EXISTING BRANCH CIRCUIT FOR NEW LIGHT FIXTURES.
2. EXISTING PANEL TO REMAIN.
3. EXISTING PANEL TO REMAIN. DISCONNECT FEEDER FROM POLE POSITION LPA-3 AND RETERMINATE TO POSITION LPA-1. DISCONNECT FEEDER FROM POLE POSITION LPA-4 AND RETERMINATE TO POSITION LPA-2. BREAKERS IN LPA-3 AND LPA-4 TO REMAIN FOR FUTURE HAND DRYERS. SEE NEW PLANS.
4. EXISTING PANEL TO REMAIN. DISCONNECT FEEDER FROM POLE POSITION DB-3 AND DB-5 AND RETERMINATE TO POSITION DB-1. DISCONNECT FEEDER FROM POLE POSITION DB-4 AND DB-6 AND RETERMINATE TO POSITION DB-2. BREAKERS IN DB-3, DB-5, DB-4, AND DB-6 TO REMAIN FOR FUTURE HAND DRYERS. SEE NEW PLANS.
5. REMOVE SWITCH. MAINTAIN BOX FOR NEW SWITCH.
6. REMOVE SWITCH. REMOVE WIRE AND CONDUIT BACK TO SOURCE.
7. REMOVE EXISTING SPEAKER AND TURN OVER TO OWNER.
8. REMOVE EXISTING WALL MOUNTED FIRE ALARM AS REQUIRED FOR NEW WALL TILE WORK. FIXTURE TO BE REINSTALLED ON NEW TILE. REWORK WIRE MOLD AS REQUIRED FOR NEW INSTALLATION.



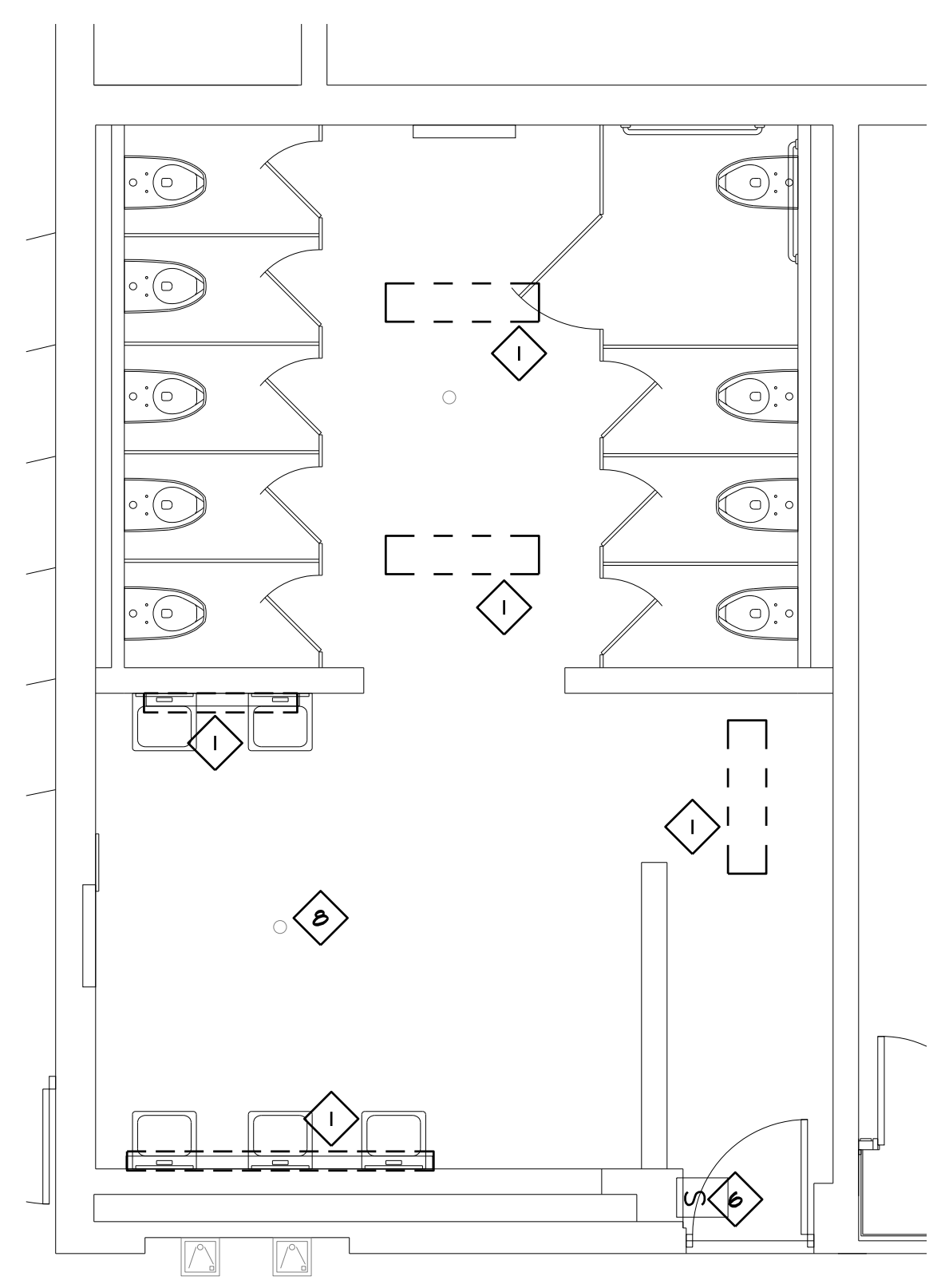
1 | 'A' WING TOILET ROOMS
ENLARGED PLAN
1/4" = 1'-0" X01



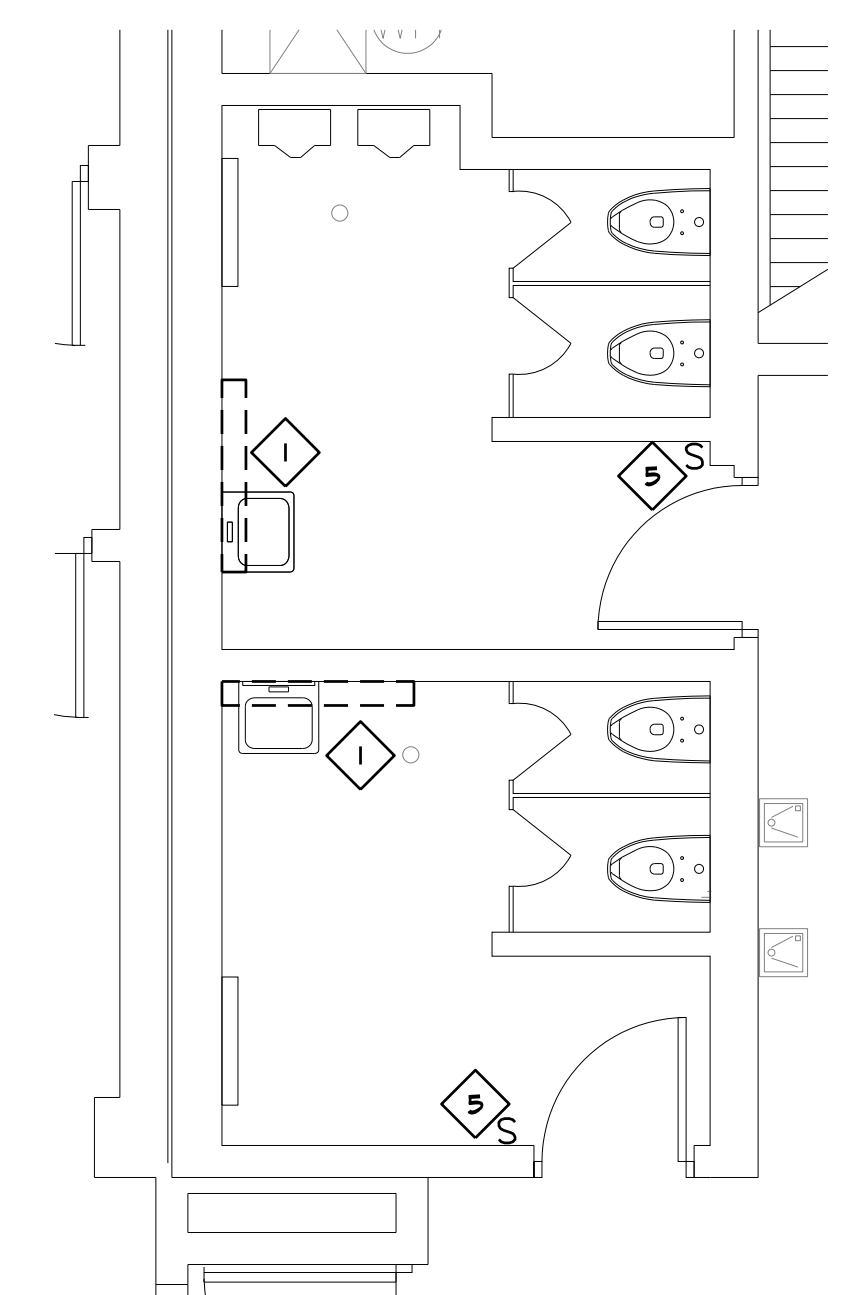
2 | 'B' WING TOILET ROOMS
ENLARGED PLAN
1/4" = 1'-0" X01



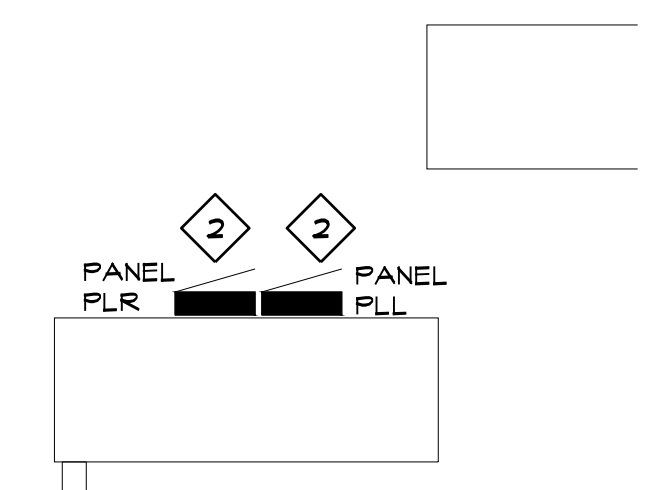
3 | 'D' WING TOILET ROOM
ENLARGED PLAN
1/4" = 1'-0" X01



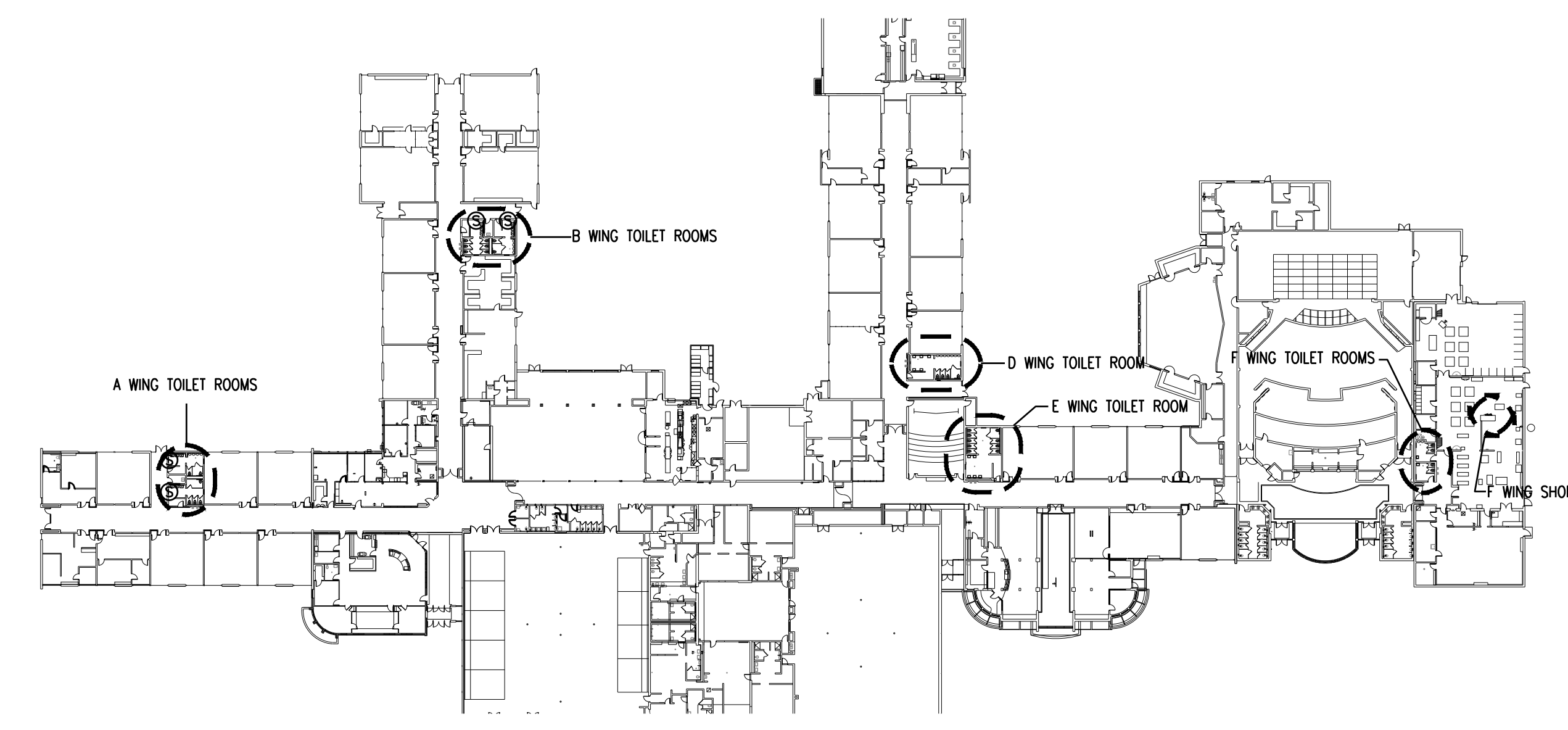
4 | 'E' WING TOILET ROOM
ENLARGED PLAN
1/4" = 1'-0" X01



5 | ADD ALTERNATE #1
'F' WING TOILET ROOMS
ENLARGED PLAN
1/4" = 1'-0" X01



6 | ADD ALTERNATE #1
'F' WING SHOP ROOM
ENLARGED PLAN
1/4" = 1'-0" X01



6 | KEY PLAN
1/64" = 1'-0" X01

NO.	REVISIONS / SUBMISSIONS	DATE

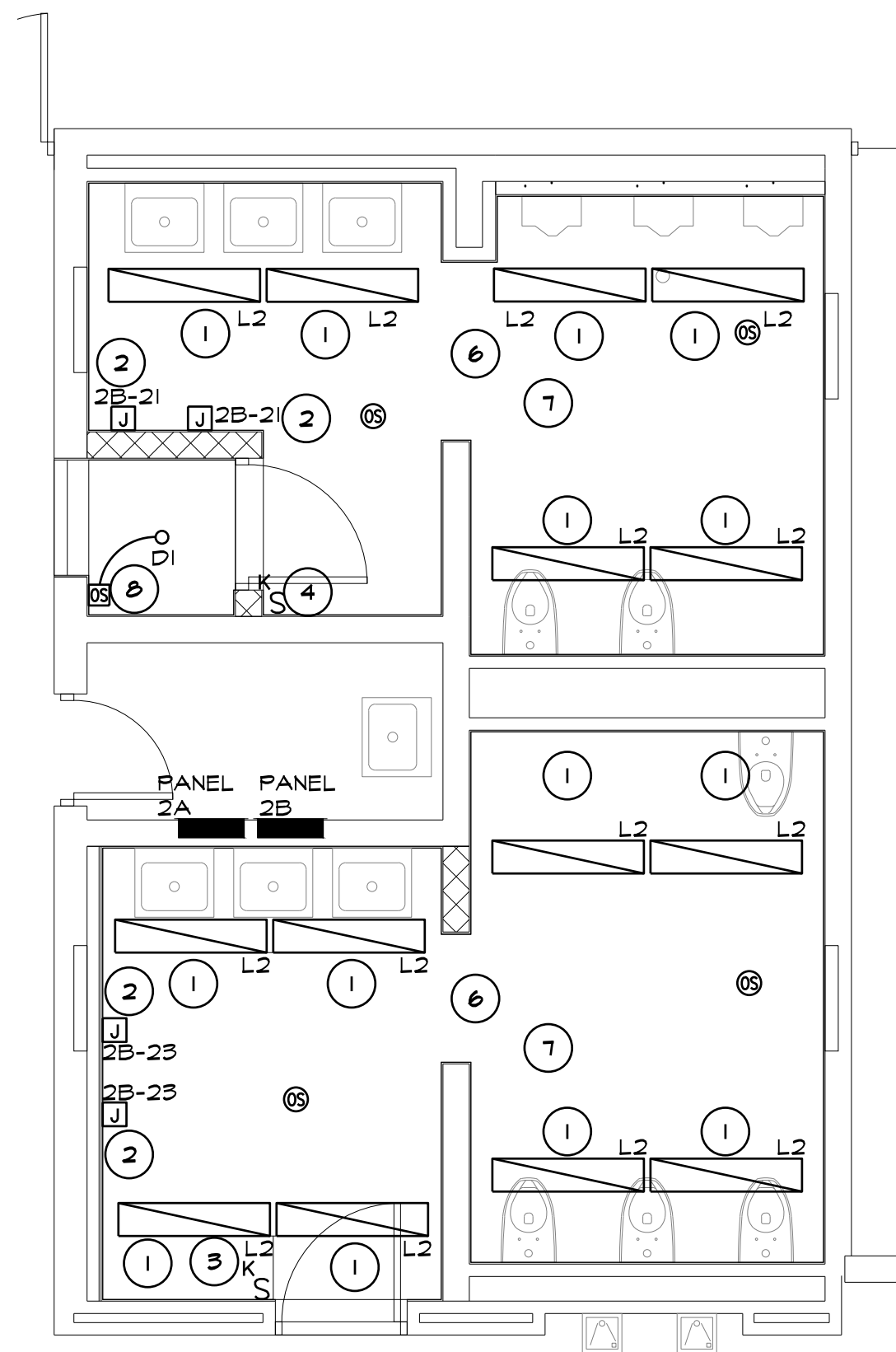
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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

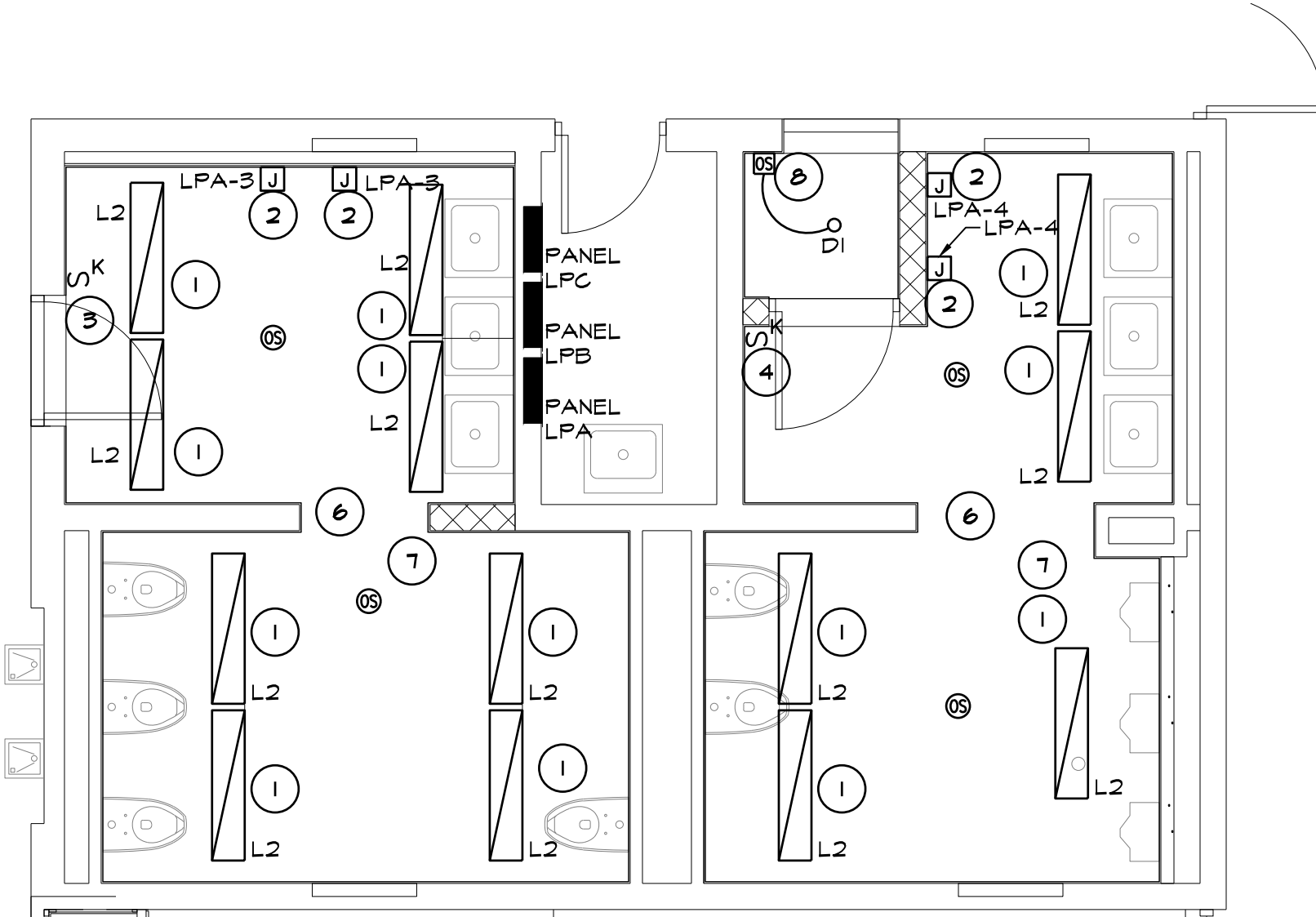
DRAWING TITLE
TOILET ROOM ELECTRICAL DEMOLITION PLANS

SEAL	DRAWN TJA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. A-E101
	REVIEWED RCH	DRAWING NO.
	DATE OCT 18, 2024	A-E101
	SCALE AS NOTED	SHEET NO. 13 OF 15

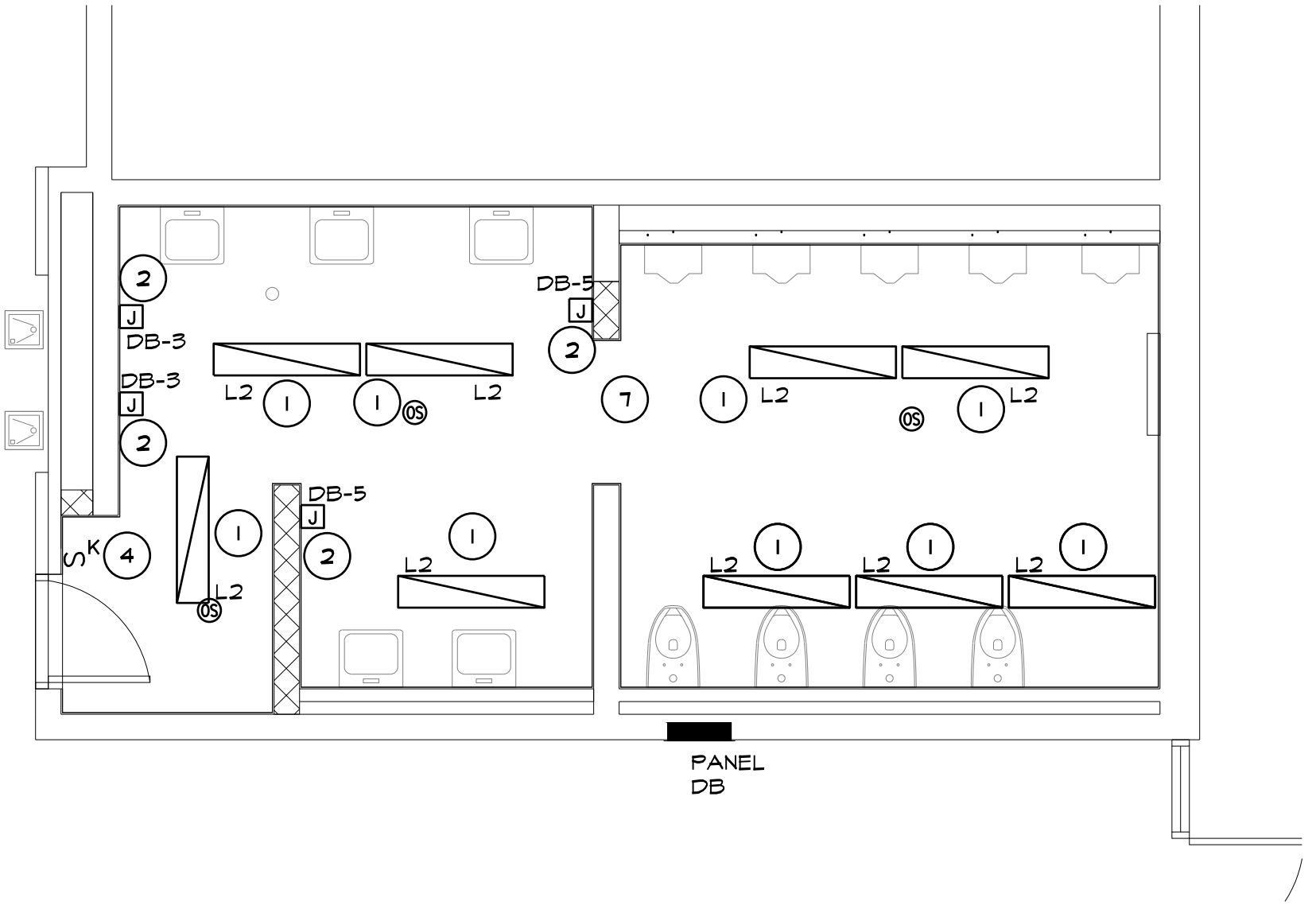
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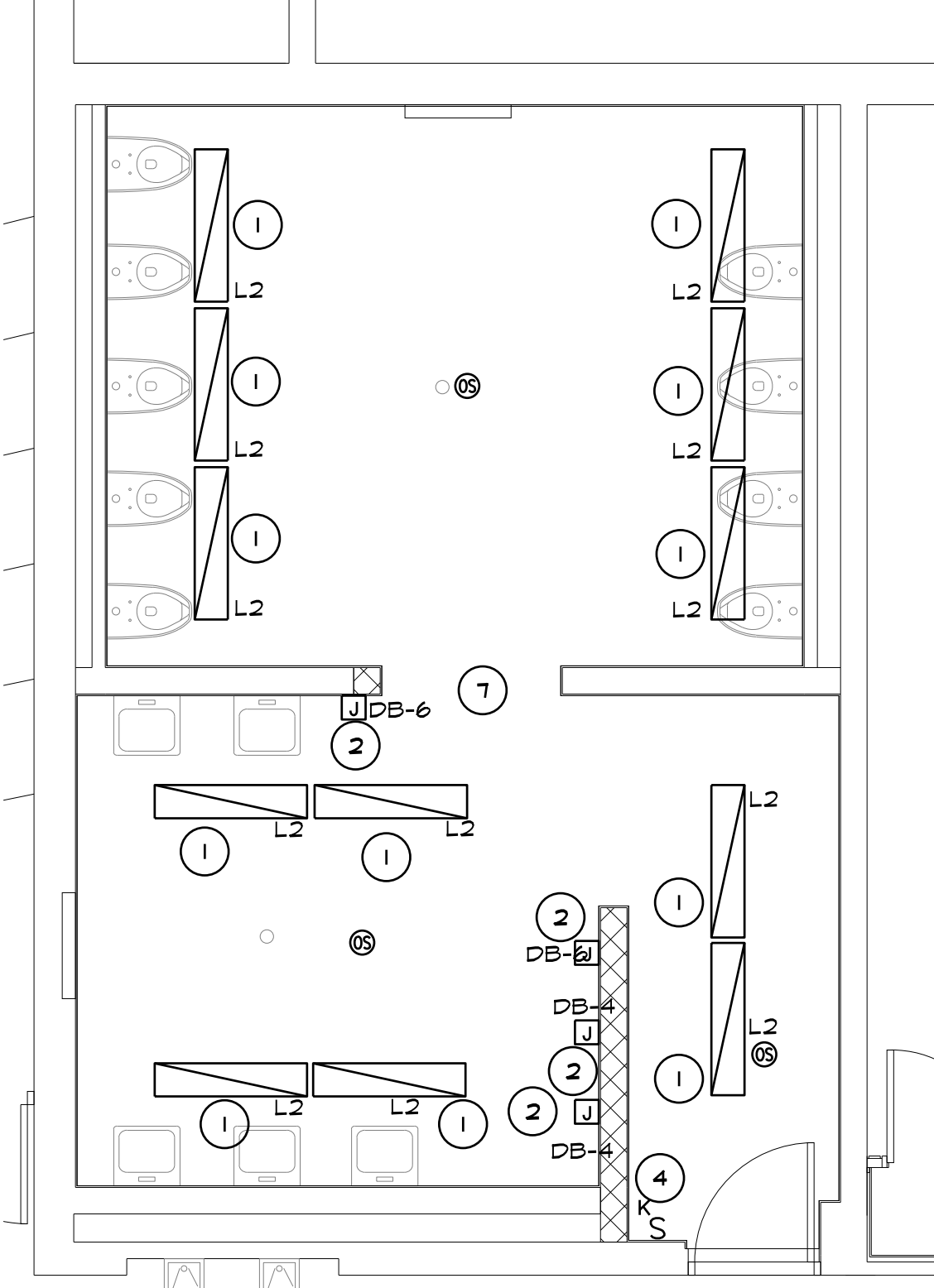
1 'A' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



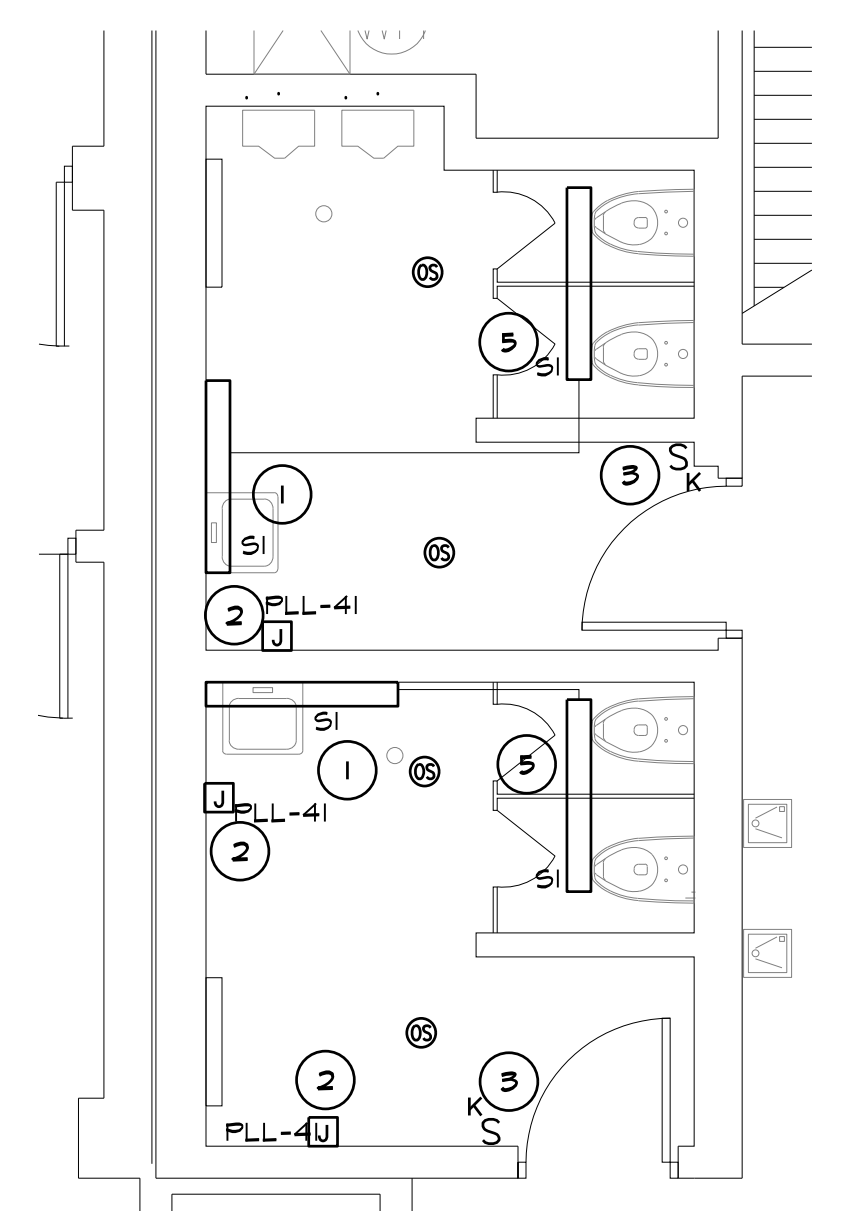
2 'B' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



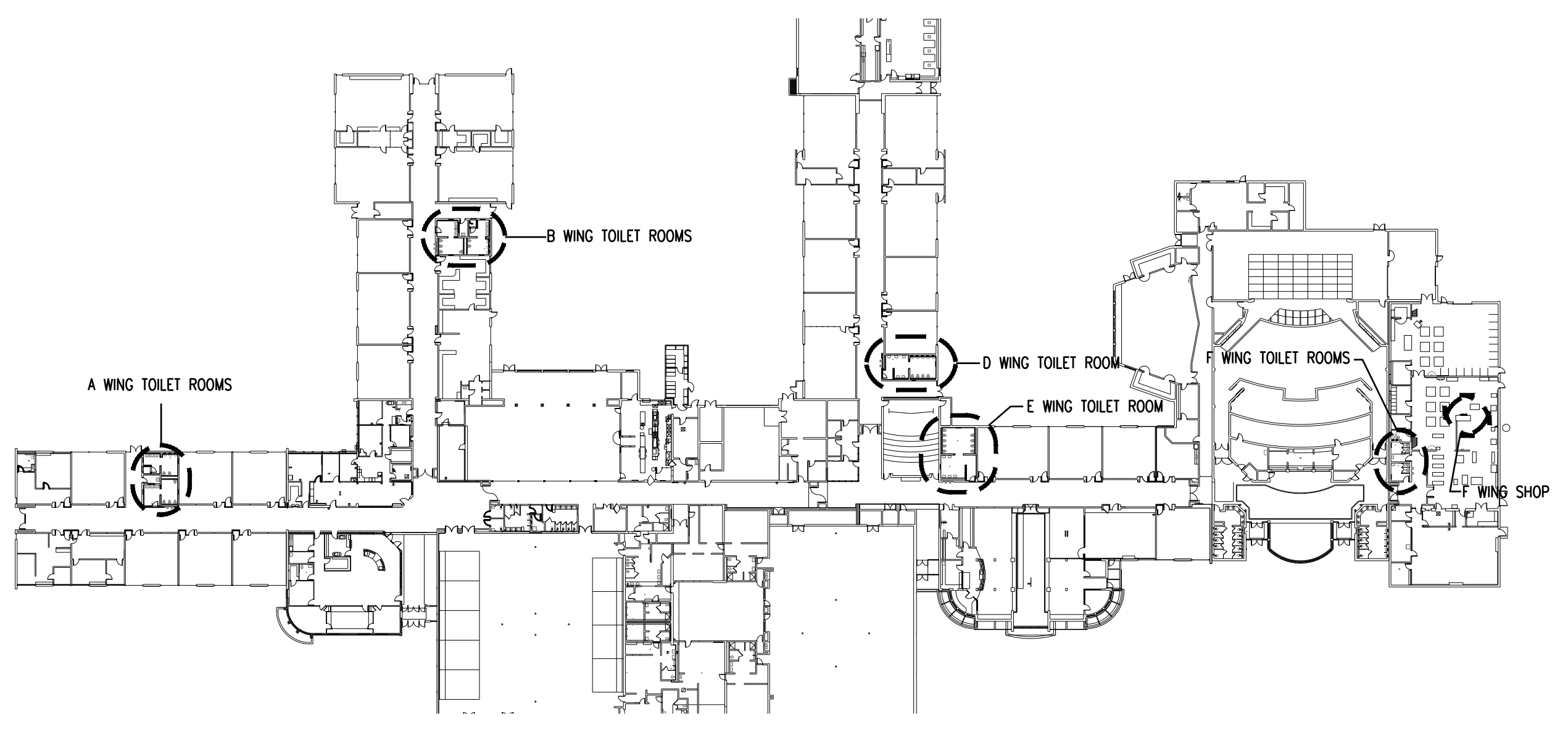
3 'D' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



4 'E' WING TOILET ROOM ENLARGED PLAN
1/4" = 1'-0" X01



5 ADD ALTERNATE #1 'F' WING TOILET ROOMS ENLARGED PLAN
1/4" = 1'-0" X01



6 KEY PLAN
1/84" = 1'-0" X01

CONSTRUCTION NOTES

1. PROVIDE CONNECTION TO NEW LIGHT FIXTURES FROM EXISTING CIRCUIT. EXTEND FEEDERS FROM JUNCTION BOX TO NEW LIGHT FIXTURES.
2. PROVIDE CONNECTION TO NEW HAND DRYER FROM CIRCUIT BREAKER AS SHOWN.
3. PROVIDE NEW KEYED SWITCH IN EXISTING BOX.
4. PROVIDE NEW SWITCH FOR CONTROLS TO SPACE.
5. EXTEND LIGHTING CIRCUIT AND CONTROLS TO NEW FIXTURE.
6. NEW CEILING MOUNTED SPEAKER. EXTEND EXISTING SPEAKER WIRE AS NEED FOR NEW SPEAKER.
7. RE-INSTALL EXISTING FIRE ALARM ON NEW WALL TILE. RENOV. WIRE MOLD AS REQUIRED FOR NEW DEVICE.
8. PROVIDE NEW WALL OCCUPANCY SENSOR/SWITCH IN EXISTING BOX.

PROJECT 'A'

NO.	REVISIONS / SUBMISSIONS	DATE



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PROJECT 'A' RENOVATIONS TO:
BULLOCK CREEK HIGH SCHOOL
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
TOILET ROOM ELECTRICAL PLANS

SEAL	DRAWN TJA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. A-E102
	REVIEWED RCH	DRAWING NO.
	DATE OCT 18, 2024	A-E102
	SCALE AS NOTED	SHEET NO. 14 OF 15

STANDARD ABBREVIATIONS

at	at	KO	knockout
A/C	air conditioning	LAM	laminated
ACoust	acoustical	LAV	lavatory
AD	adjustable	LH	left hand
AF	above finish floor	LL	live load
AL	aluminum	LLH	long leg horizontal
ANCH	anchor, anchorage	LLV	long leg vertical
ARCH	architect/architectural	LTY	light weight
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	blotting	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRG	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHWR	chilled water return	OA	overall
CHWS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit		
CO	clean out		
COL	column		
CONC	concrete		
CONSTR	construction		
CONT	continuous/continuing	PCF	pounds per cubic foot
CONTR	contract/contractor	PLAS	plaster
CONV	convector	+/-	plus or minus
CRS	course(s)	PLF	pounds per lineal foot
CT	ceramic tile	PSF	pounds per square foot
CUH	cabinet unit ventilator	PSI	pounds per square inch
CW	domestic cold water	PART	partition
CY	cubic yard	PVC	polyvinyl chloride
		PMT	pavement
°	degree		
DET	detail	R	riser/radius
DF	drinking fountain	RA	return air
DIAS	diagonal	RD	roof drain
DIA or Ø	diameter	RE	reference
DM	dimension	REF	refrigerator
DIV	division	REIN	reinforced/reinforcing
DP	dampproofing	RES	resilient
DS	downspout	REV	revision(s)/revised
DWG	drawing	RH	right hand
		RM	room
EA	each	RO	rough opening
EFS	exterior insulation finish system	ROV	right of way
		RS	roof sump
ELEC	electric/electrical	RWC	rainwater conductor
EQ	equal		
EQUIP	equipment	SAN	sanitary
EWAC	electric water cooler	SD	storm drain
EXIST	existing	SECT	section
EXH	exhaust	SHT	sheet
EXT	exterior	SIM	similar
		SPEC	specification(s)
FA	fire alarm	SQ	squares
FAI	fresh air intake	SS	service sink
FD	floor drain	SS	stainless steel
FE	fire extinguisher	STL	steel
FEC	fire extinguisher cabinet	STD	standard
FIN	finish(ed)	SUSP	suspended
FL	flooring	SYM	symmetry/symmetrical
FOUND	foundation		
FTR	fin tube radiation	T&G	tongue/groove
FTG	footing	T&G	truss
		TB	tackboard
G	gas	TEL	telephone
GA	gauge/gauging	TERR	terrazzo
GC	general contractor	THR	threshold
GI	galvanized iron	TV	television
GL	glass/glazing	TYP	typical
GST	glazed structural tile		
GALV	galvanized	UH	unit heater
		UR	urinal
HB	hose bibb	UV	unit ventilator
HDX	hardware		
HM	hollow metal	V	vent
HORIZ	horizontal	VERT	vertical
HGT	height		
HTG	heating	W	width/wide
HVAC	heating/ventilating/air conditioning	W	with
HW	domestic hot water	WC	water closet
HWHR	hot water heating return	WD	wood
HWHS	hot water heating supply	WH	water heater
HWR	domestic hot water return	WI	wrought iron
		W/W	wall to wall
ID	inside dimension	WWR	welded wire reinforcement
INT	interior		
INV	invert		

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACOUST TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	PLYWOOD

SYMBOLS KEY

	NORTH		NORTH ARROW
	EXISTING ELEVATION POINT		NEXT ELEVATION POINT
	ELEVATION TARGET		COLUMN NUMBER
	COLUMN CENTERLINE		DETAIL NUMBER
	BUILDING SECTION		DETAIL NUMBER
	WALL SECTION		DETAIL BUBBLE
	ROOM NAME		ROOM NUMBER
	ROOM NUMBER		DOOR NUMBER
	WINDOW NUMBER		INTERIOR ELEVATION
	DEMOLITION NOTE		

DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES
 2015 MICHIGAN BUILDING CODE
 2021 MICHIGAN MECHANICAL CODE
 2015 MICHIGAN ENERGY CODE
 2017 MICHIGAN ELECTRICAL CODE
 NFPA 101 LIFE SAFETY CODE 2012 AS ADOPTED BY MICHIGAN BUREAU OF FIRE SAFETY
 IGC A.111.1 - 2009
 HOMER TOWNSHIP ZONING ORDINANCE

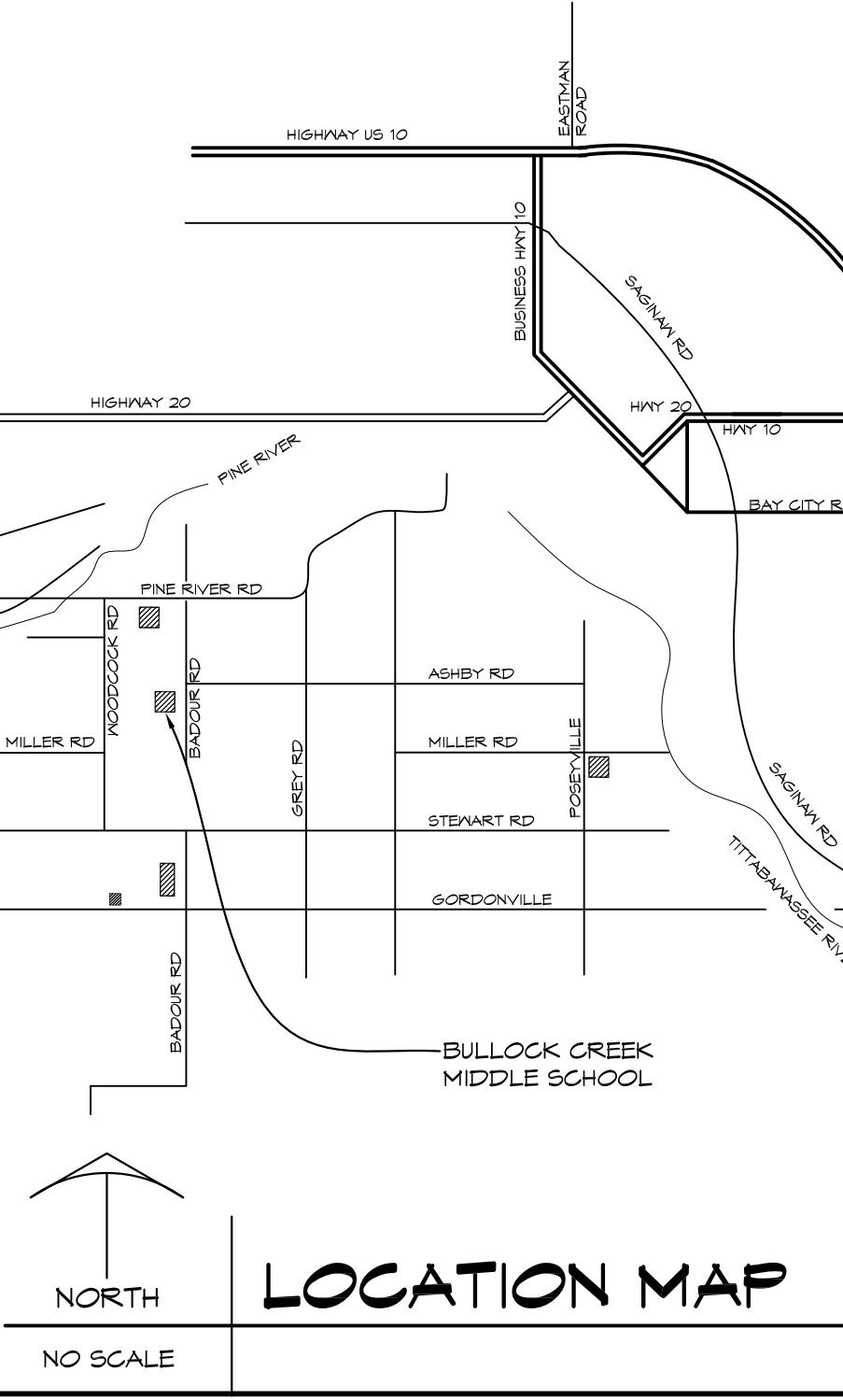
BUILDING USE
 EXISTING: E, EDUCATION

BUILDING CONSTRUCTION TYPE
 EXISTING BUILDING TYPE II-B (0,0,0) NON-COMBUSTIBLE

BUILDING AREA
 EXISTING GROSS AREA = 79,485 SF

GENERAL NOTES

- ANY PENETRATIONS OF CORRIDOR WALLS MUST MAINTAIN 1-HOUR FIRE RATING AND RESIST THE PASSAGE OF SMOKE



BULLOCK CREEK SCHOOL DISTRICT 2023 BOND- SERIES 1 2025 IMPROVEMENTS THA PROJECT #24-120

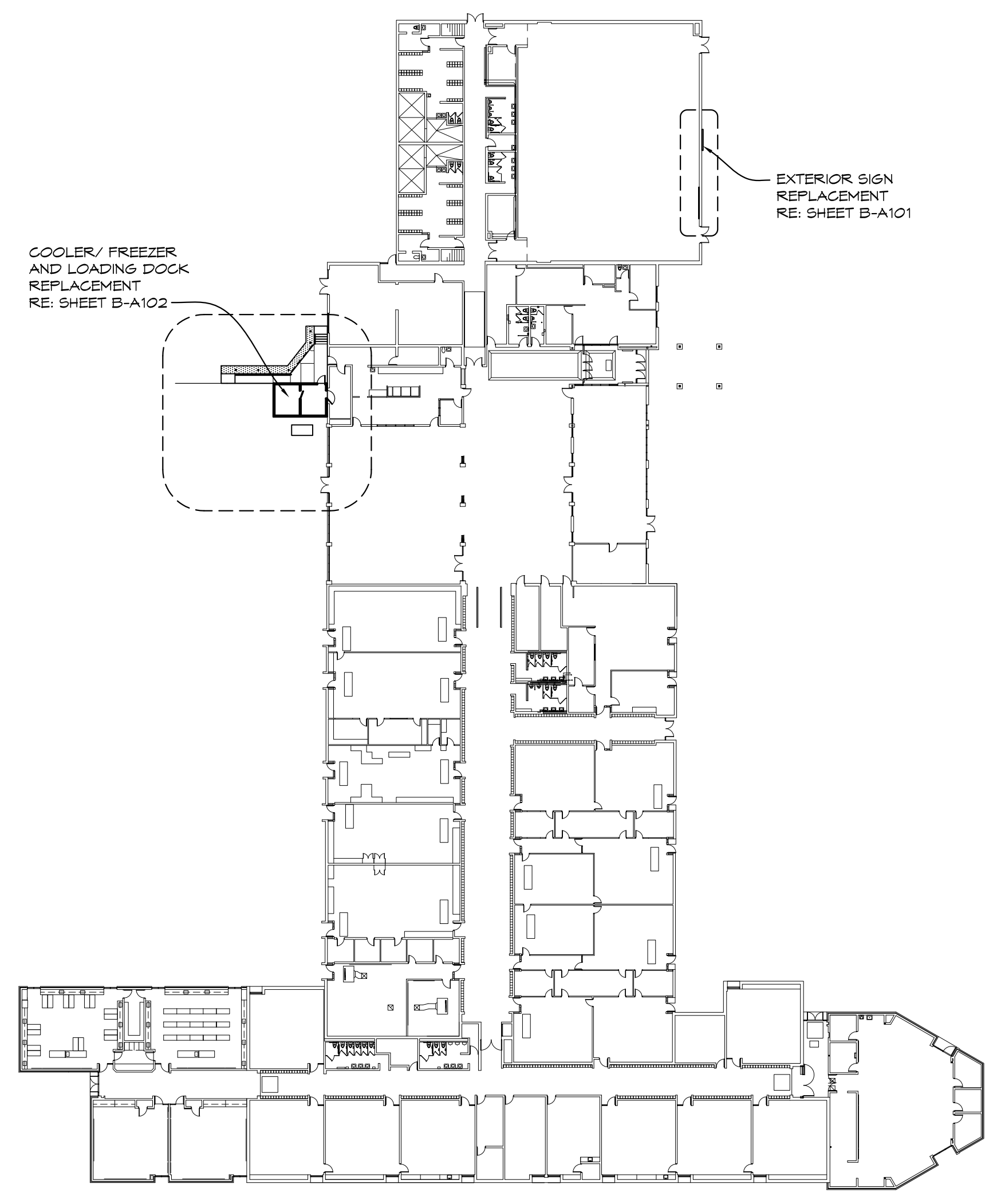
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

PROJECT 'B' BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS

664 SOUTH BADOUR ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

- B-G001 TITLE SHEET
- B-A101 SIGNAGE PLAN AND ELEVATION
- B-A102 COOLER/REFRIGERATOR DEMOLITION PLAN, FLOOR PLAN
- B-A103 DETAILS
- B-FS1 FOOD SERVICE EQUIPMENT FLOOR PLAN, SCHEDULE, UTILITIES AND SPECIAL CONDITIONS
- B-E000 ELECTRICAL COVER SHEET
- B-E101 ELECTRICAL PLANS



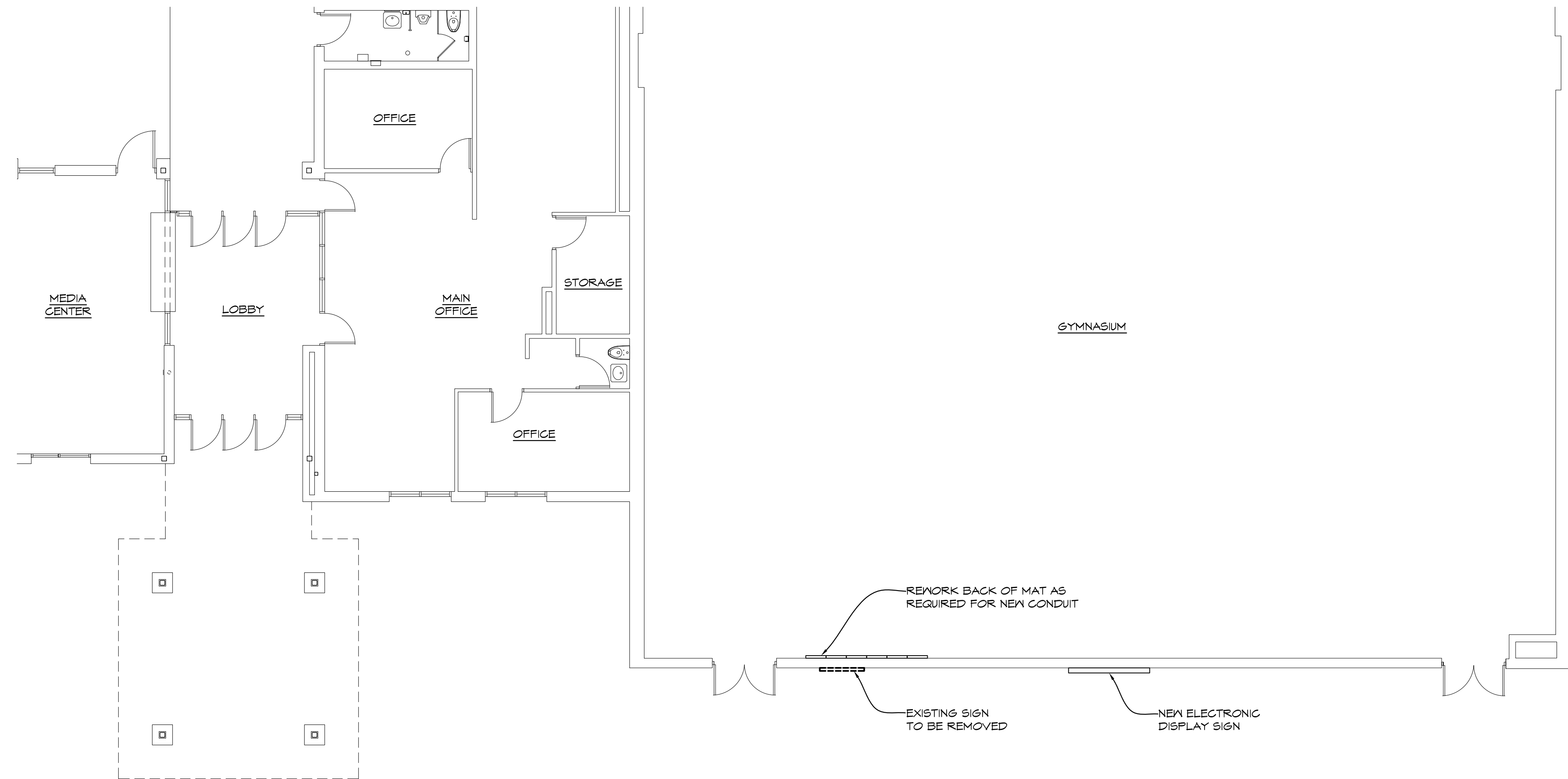
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 Phone: (989) 799-9123
 Fax: (989) 799-9063
 www.wolcastconstruction.com

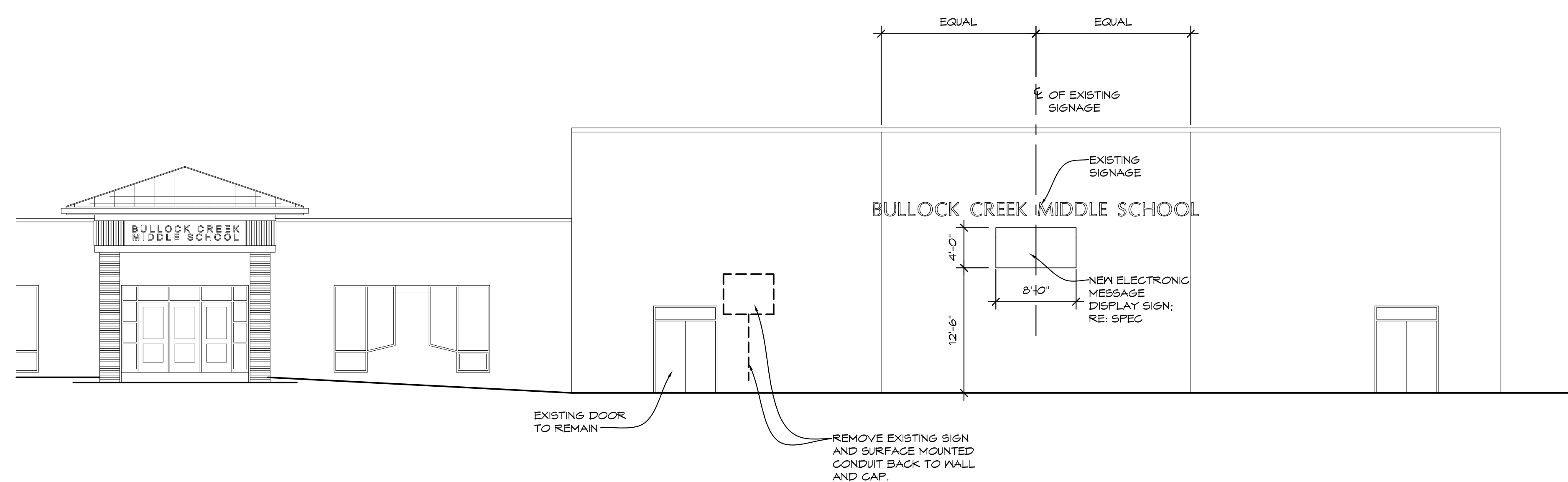
**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT# 24-120**
 1420 SOUTH BADOUR ROAD MIDLAND MI 48640
**PROJECT 'B'
 BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS**
 664 SOUTH BADOUR ROAD MIDLAND MI 48640

NO.	REVISIONS / SUBMISSIONS	DATE
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. B-G001
	REVIEWED MLB	DRAWING NO. B-G001
	DATE OCT 18, 2024	SHEET NO. 1 OF 1
	SCALE N.T.S.	

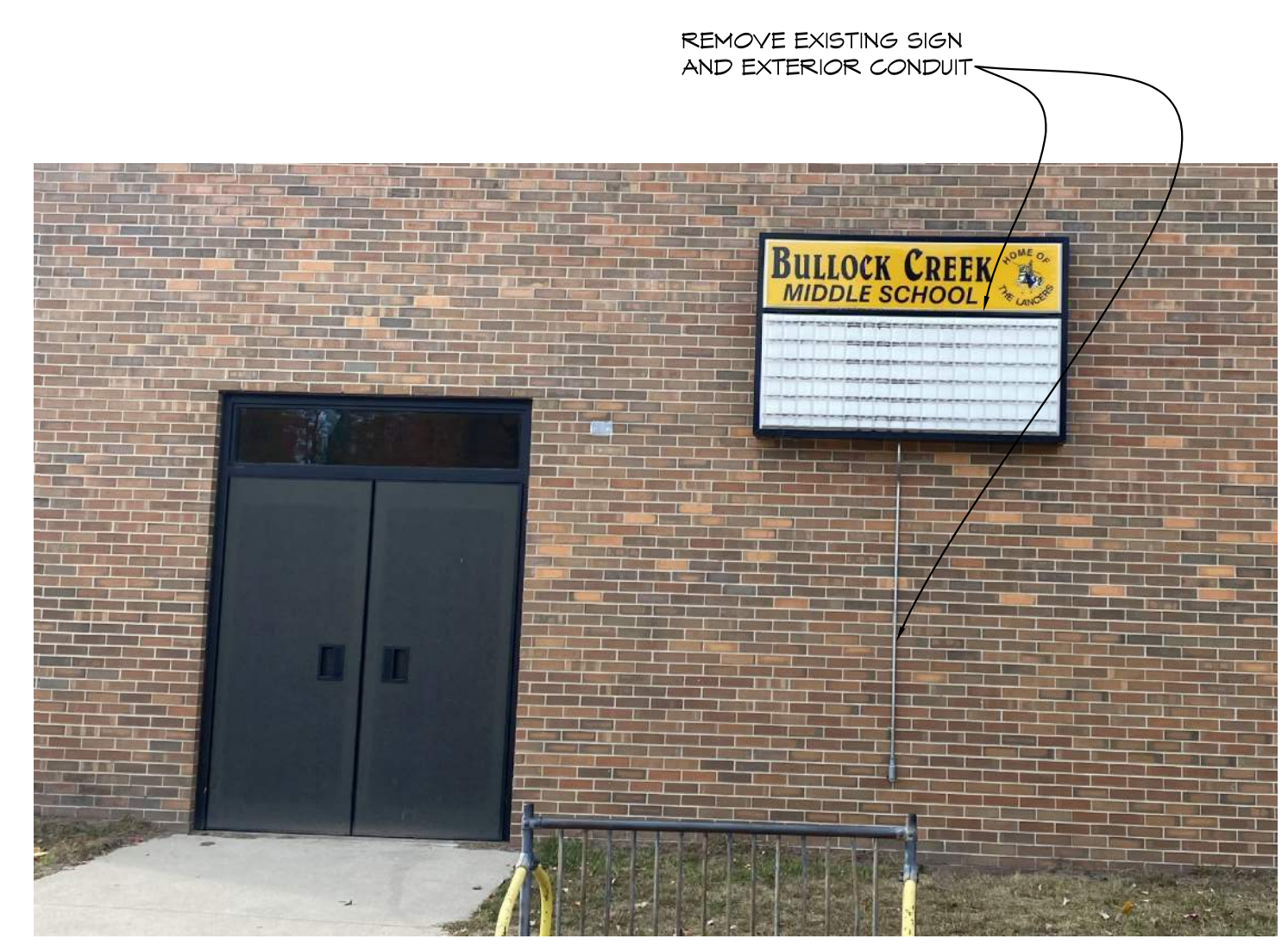
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PARTIAL FLOOR PLAN
1/8" = 1'-0" X01



PARTIAL EAST ELEVATION
1/8" = 1'-0" X01



2 EXISTING SIGN ELEVATION
NTS

DEMOLITION GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
2. AT ALL DEMOLITION AREAS, PATCH AND FINISH TO MATCH EXISTING FINISHES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
4. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL ITEMS SCHEDULED FOR REMOVAL.
5. UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. NO GUARANTEE IS MADE EITHER TO COMPLETENESS OR ACCURACY.
6. CONTACT "MISS DIG" AT 1-800-482-1111 PRIOR TO EXCAVATION OR DEMOLITION.
7. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
8. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

PROJECT B

NO.	REVISIONS / SUBMISSIONS	DATE

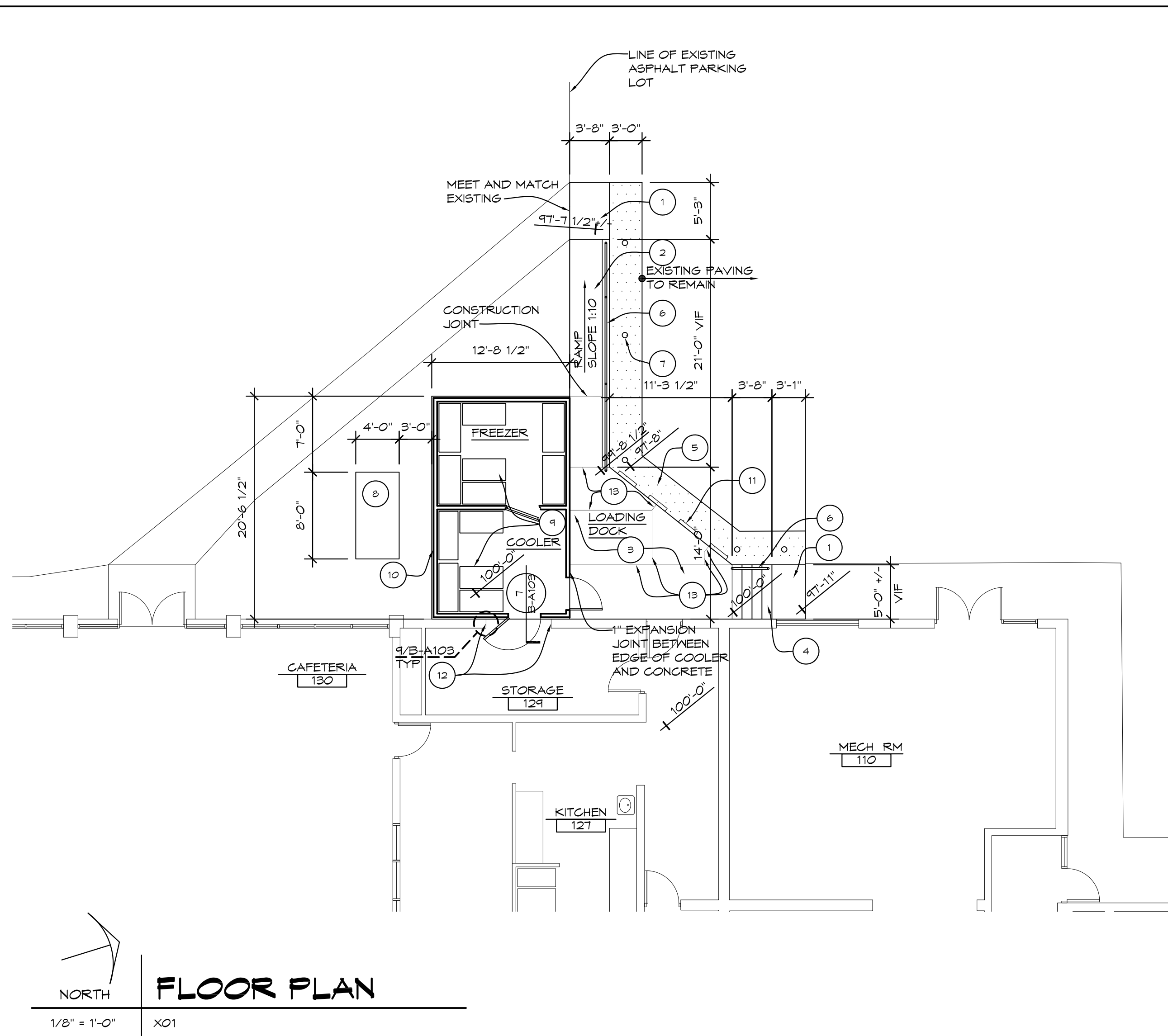
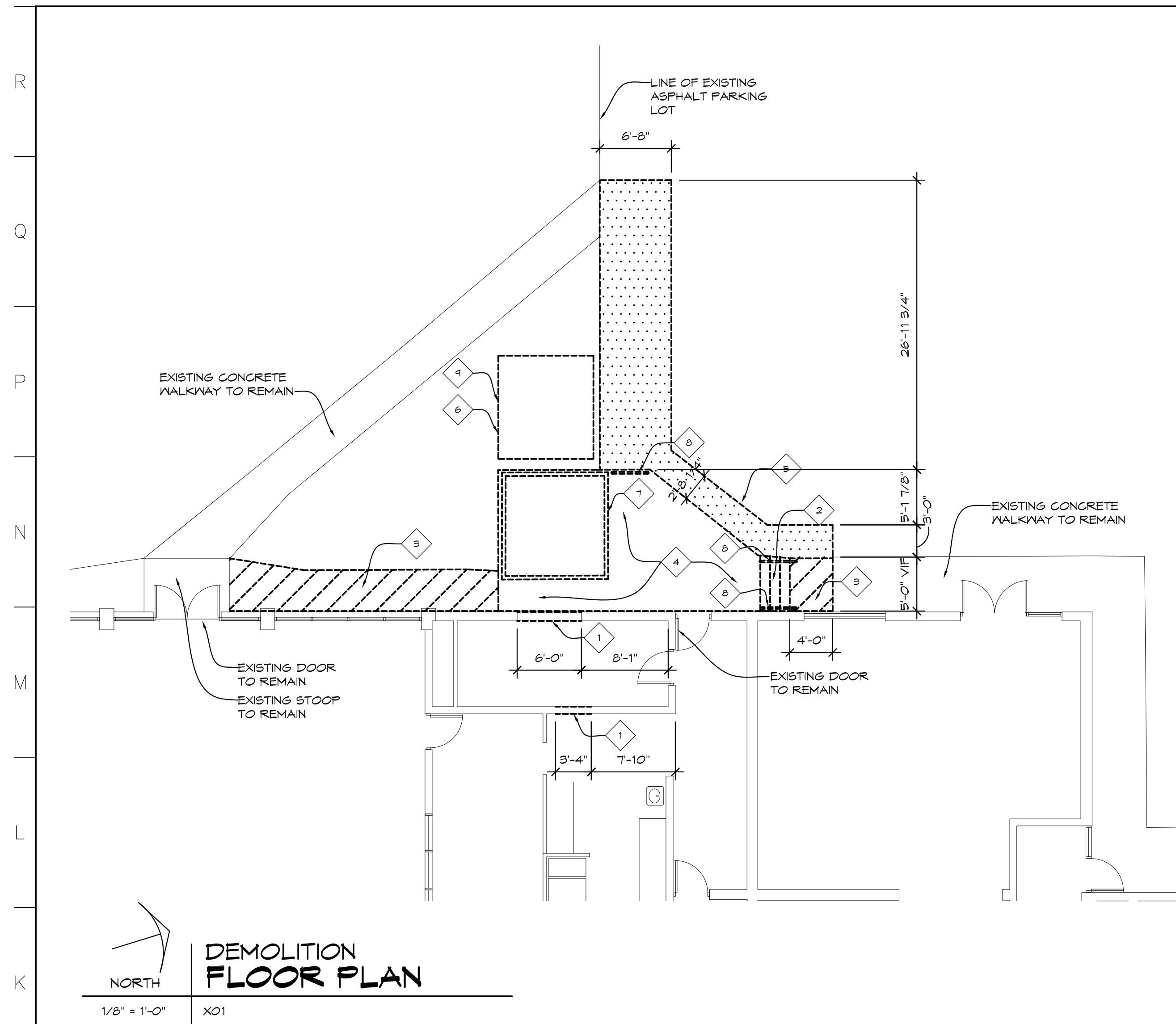


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PROJECT 'B'
BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
SIGNAGE PLAN AND ELEVATIONS

SEAL	DRAWN KRS/EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. B-A101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	B-A101
	SCALE 1" = 40'-0"	SHEET NO. 2 OF 7

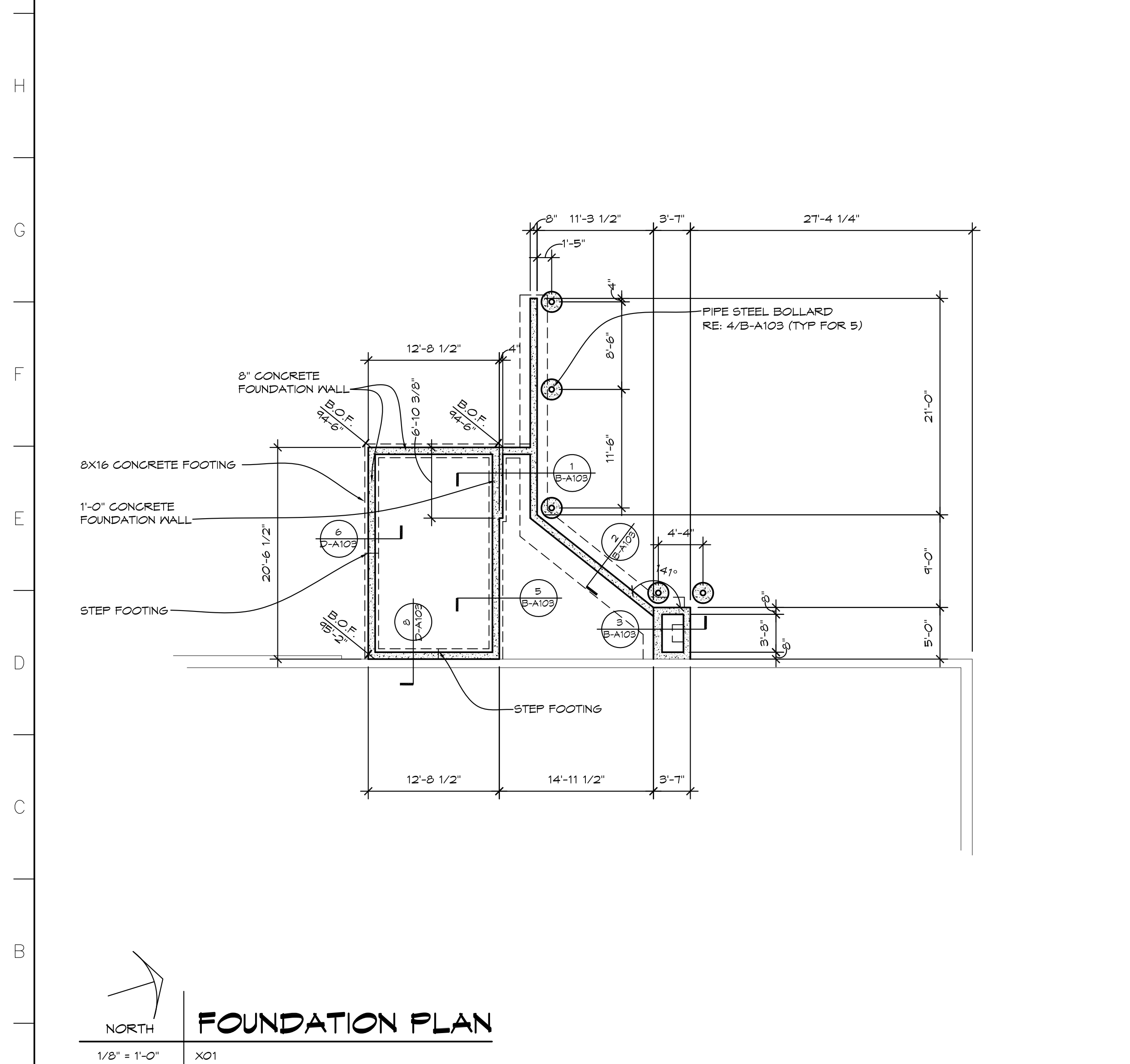


- ### DEMOLITION GENERAL NOTES
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - AT ALL DEMOLITION AREAS, PATCH AND FINISH TO MATCH EXISTING FINISHES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACINGS AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL ITEMS SCHEDULED FOR REMOVAL.
 - UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. NO GUARANTEE IS MADE EITHER TO COMPLETENESS OR ACCURACY.
 - CONTACT "MISS DIG" AT 1-800-482-1111 PRIOR TO EXCAVATION OR DEMOLITION.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
 - NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

- ### DEMOLITION NOTES
- REMOVE PORTION OF EXISTING MASONRY WALL ASSEMBLY.
 - REMOVE EXISTING CONCRETE STAIR AND FOUNDATIONS.
 - REMOVE EXISTING CONCRETE WALKWAY AND BASE.
 - REMOVE EXISTING CONCRETE LOADING DOCK COMPLETE, INCLUDING CONCRETE FOUNDATIONS.
 - REMOVE PORTION OF EXISTING ASPHALT AND BASE.
 - EXISTING SHED TO BE REMOVED BY OWNER.
 - REMOVE EXISTING COOLER.
 - REMOVE EXISTING HANDRAIL.
 - REMOVE EXISTING CONCRETE PAD.

- ### CONSTRUCTION GENERAL NOTES
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF STUD, AND/OR CENTERLINE OF STEEL, UNLESS NOTED OTHERWISE.
 - COORDINATE ALL WORK WITH GENERAL, MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS TO REMAIN DURING CONSTRUCTION TO PREVENT DAMAGE.
 - DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.

- ### CONSTRUCTION NOTES
- PROVIDE NEW CONCRETE WALKWAY AND BASE, RE: 000/B-A103.
 - PROVIDE NEW CONCRETE RAMP, RE: 1/B-A103.
 - PROVIDE NEW CONCRETE LOADING DOCK, RE: 2/B-A103.
 - PROVIDE NEW CONCRETE STAIR, RE: 3/B-A103.
 - PROVIDE NEW ASPHALT PAVING TO MATCH EXISTING.
 - PROVIDE NEW 1 1/2" DIAMETER STEEL TUBE GUARDRAIL, RE: SHEET B-A103.
 - STEEL PIPE BOLLARD, TYP OF 5, RE: 4/ B-A103.
 - PROVIDE 6" CONCRETE PAD, WITH 6x6x1.4x1.4 WWR ON 4" COMPACTED FILL.
 - SHELVING BY FSE CONTRACTOR.
 - NEW WALK-IN COOLER/ FREEZER, RE: SHEET B-F51.
 - PROVIDE DOCK BUMPERS, RE: SPEC.
 - TOOTH IN NEW MASONRY AND PROVIDE JAMB COVER, RE: 4/B-A103.
 - PROVIDE EXPANSION JOINT.



MICHIGAN UNIFIED KEYING SYSTEM

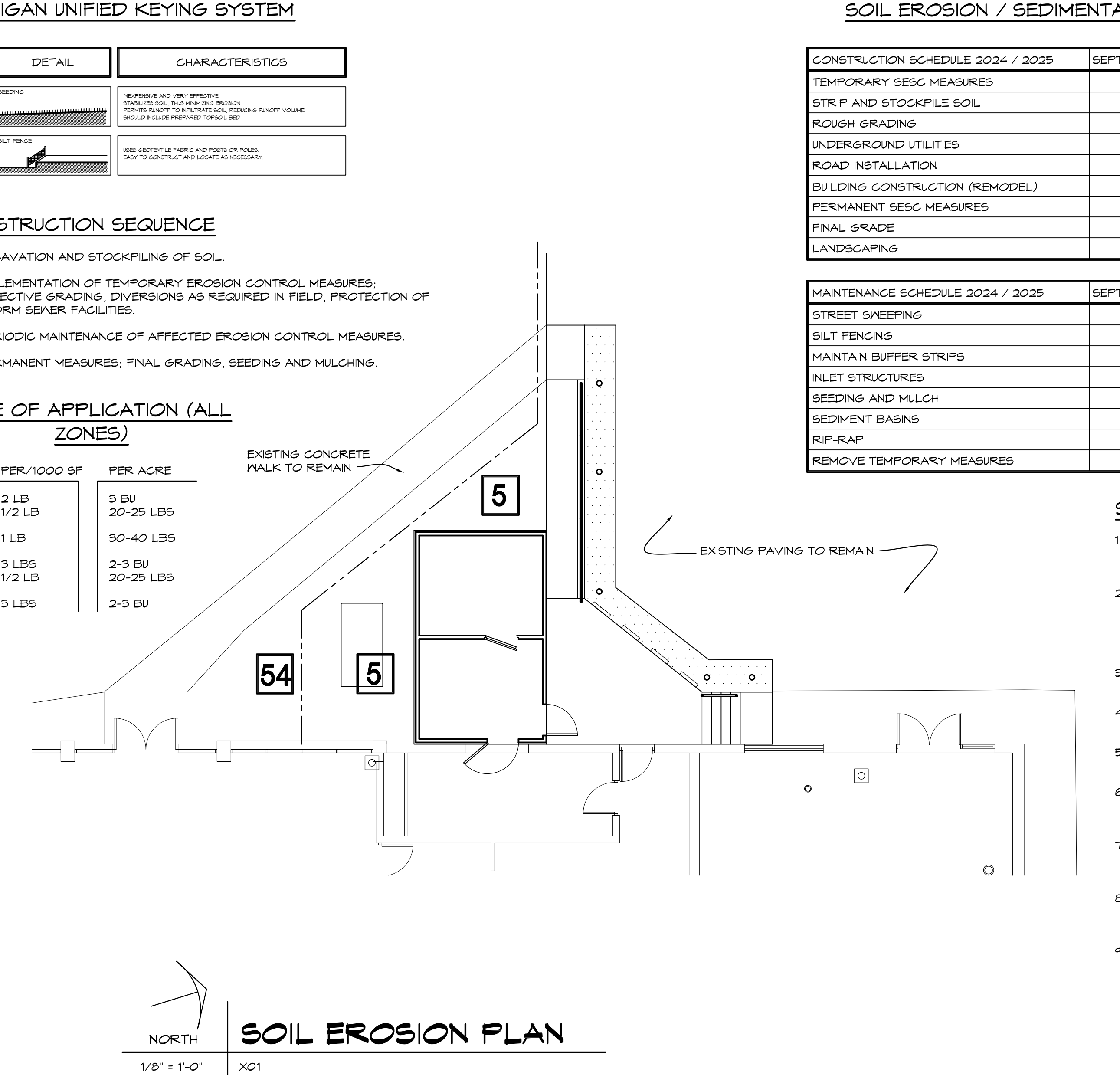
KEY	DETAIL	CHARACTERISTICS
5	SEEING	NONPERFORATED AND 45° SLOPES. FINISHED WITH 1/2" MINIMUM EROSION PROTECTION. SHALL INCLUDE PREPARED FORMS. SEE 54.
54	SILT FENCE	SEE DETAIL FOR MARKING AND POSTS OR POLES. SEE 50 FOR CONSTRUCTION AND MAINTENANCE.

CONSTRUCTION SEQUENCE

- EXCAVATION AND STOCKPILING OF SOIL.
- IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING; DIVERSIONS AS REQUIRED IN FIELD; PROTECTION OF STORM SEWER FACILITIES.
- PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
- PERMANENT MEASURES: FINAL GRADING, SEEDING AND MULCHING.

RATE OF APPLICATION (ALL ZONES)

PER/1000 SF	PER ACRE
2 LB	3 BU
1/2 LB	20-25 LBS
1 LB	30-40 LBS
3 LBS	2-3 BU
1/2 LB	20-25 LBS
3 LBS	2-3 BU



SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
TEMPORARY BESS MEASURES														
STRIP AND STOCKPILE SOIL														
ROUGH GRADING														
UNDERGROUND UTILITIES														
ROAD INSTALLATION														
BUILDING CONSTRUCTION (REMODEL)														
PERMANENT BESS MEASURES														
FINAL GRADE														
LANDSCAPING														

MAINTENANCE SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
STREET SWEEPING														
SILT FENCING														
MAINTAIN BUFFER STRIPS														
INLET STRUCTURES														
SEEDING AND MULCH														
SEDIMENT BASINS														
RIP-RAP														
REMOVE TEMPORARY MEASURES														

SOIL EROSION AND SEDIMENTATION CONTROL

- DEVELOPER / PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND / OR GRADING OPERATIONS.
- BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF PLAN REVIEW.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
- ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE REMOVED FROM ROAD RIGHT-OF-WAY AREAS PRIOR TO ACCEPTANCE OF STREETS FOR ROUTINE MAINTENANCE.
- VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION GUARANTEE BY THE ROAD COMMISSION.

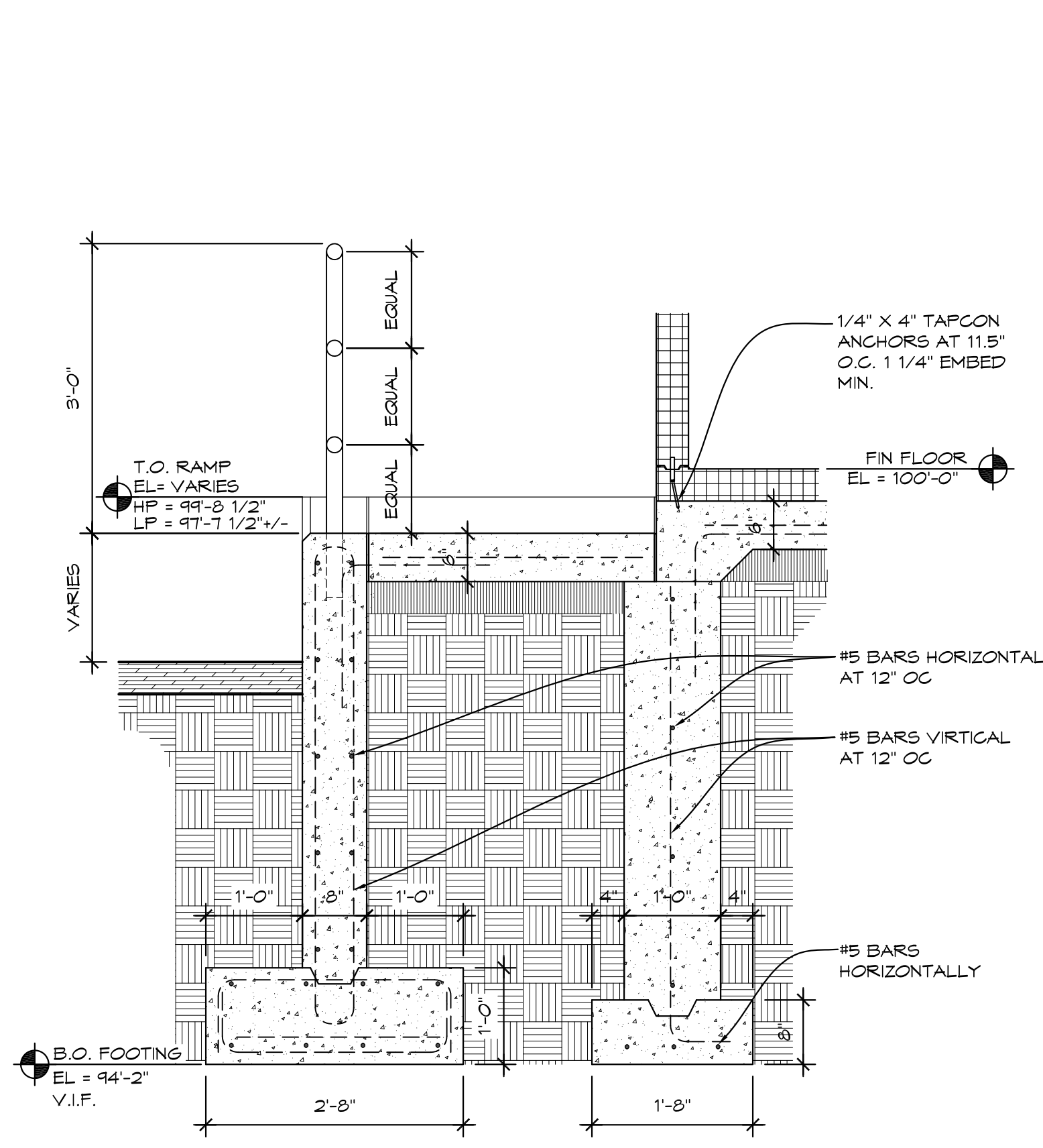
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PROJECT 'B'
BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

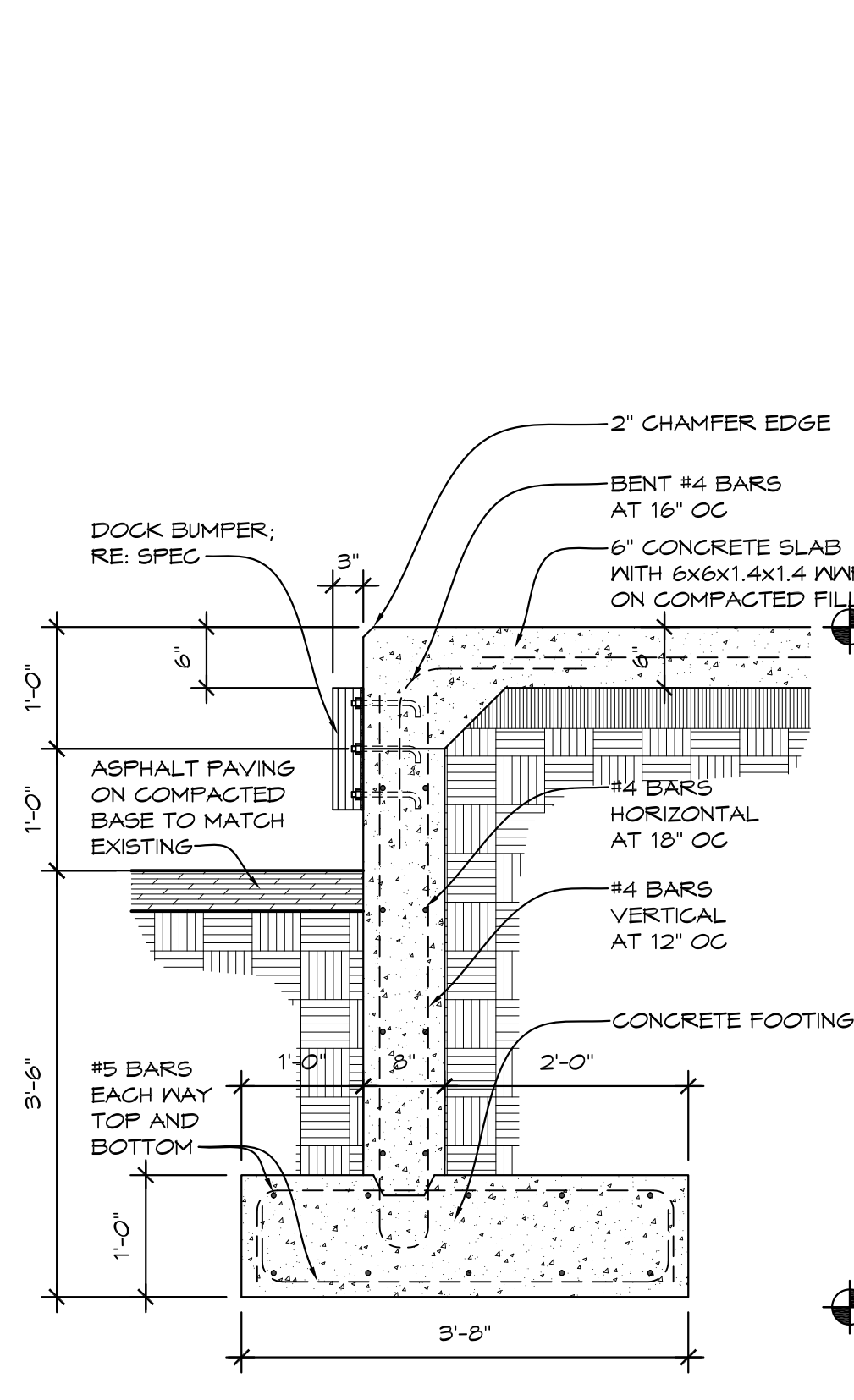
DRAWING TITLE
COOLER/ REFRIGERATOR DEMOLITION PLAN, FLOOR PLAN

SEAL	DRAWN	PROJECT NO.
	EVA	24-120
	CHECKED	CAD FILE NO.
	JESS	B-A102
	REVIEWED	DRAWING NO.
	MLB	B-A102
	DATE	SHEET NO.
	OCT 18, 2024	3 OF 7
	SCALE	
	1/8" = 1'-0"	

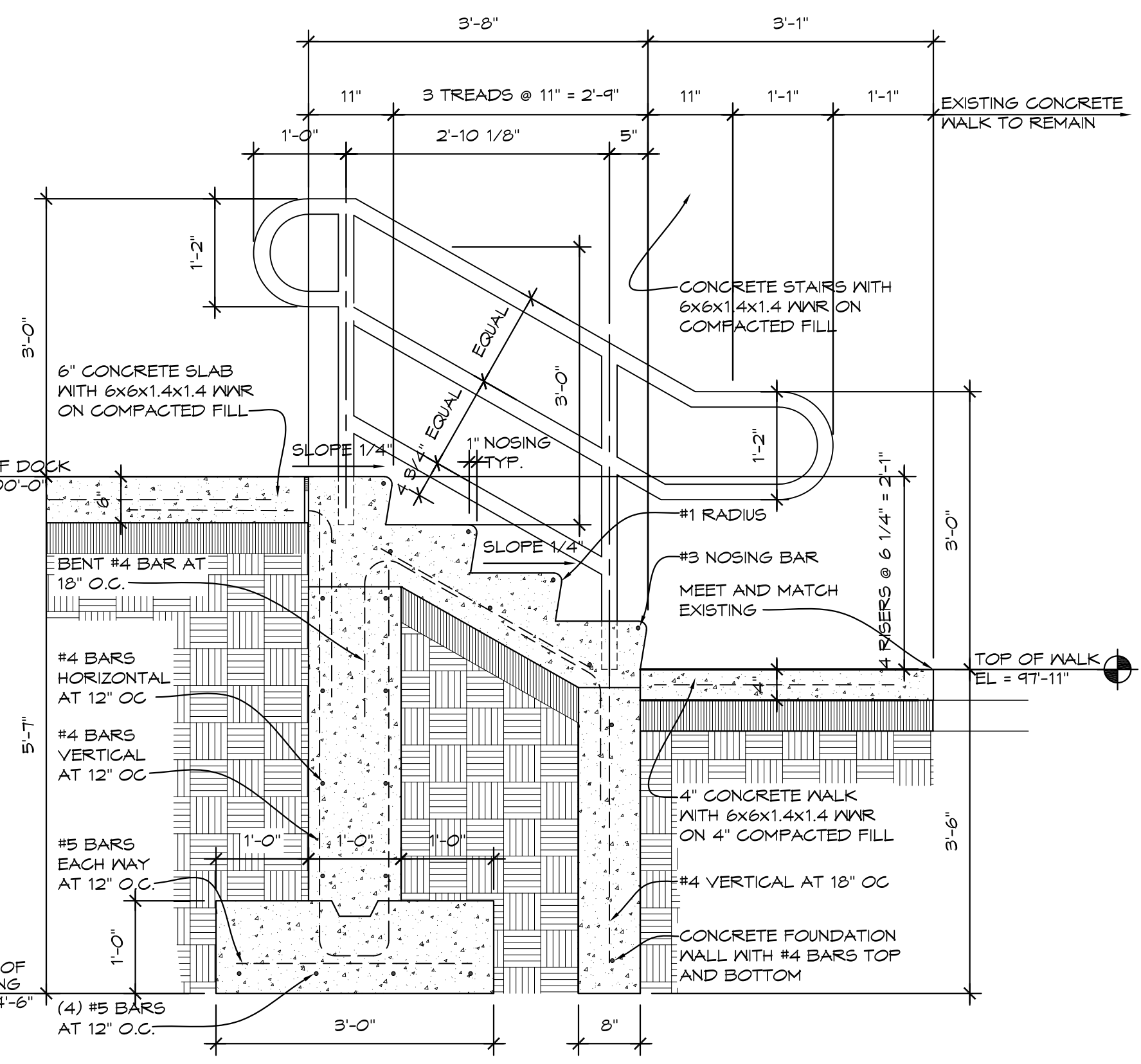
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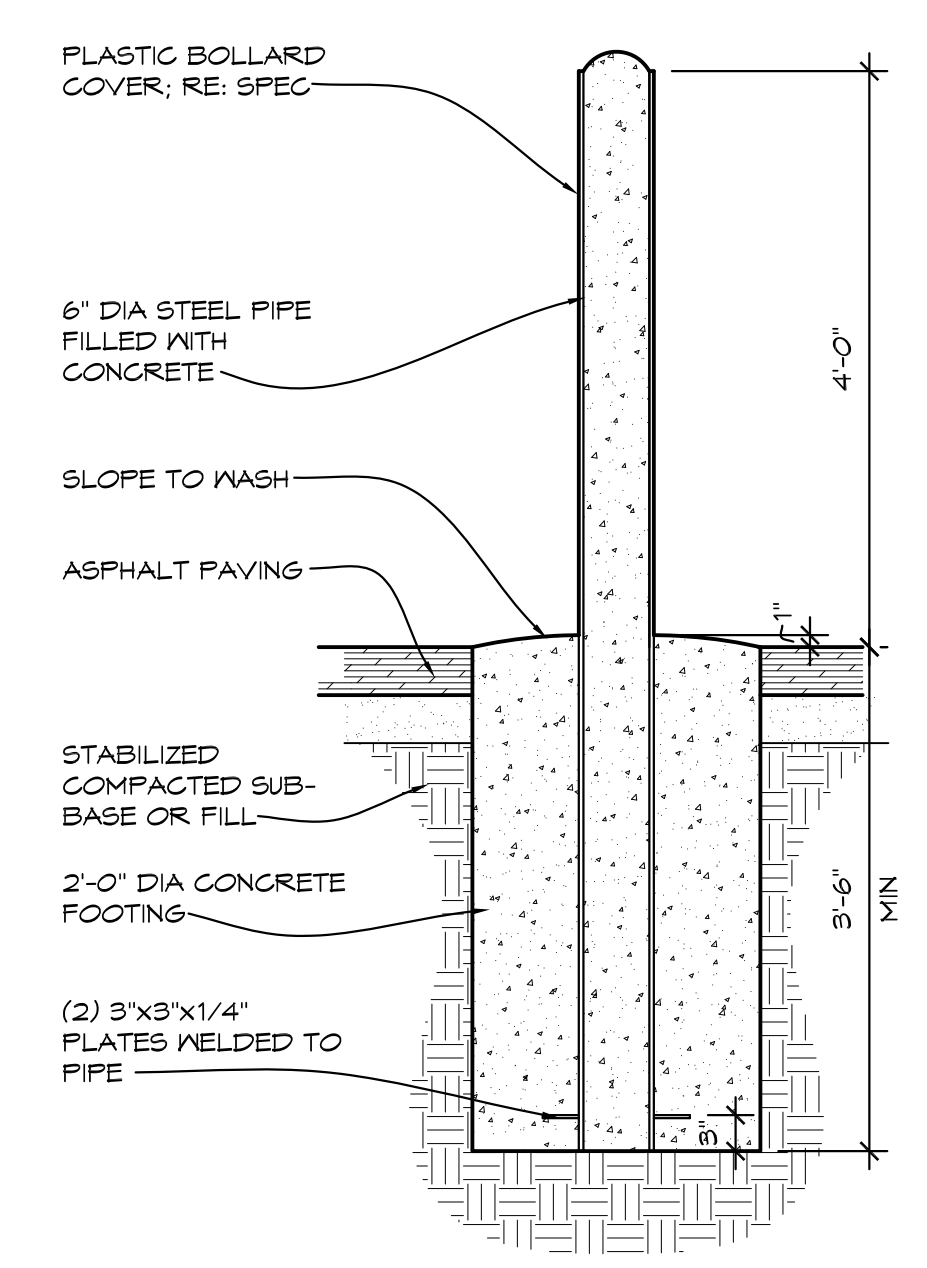
1 RAMP DETAIL
3/4" = 1'-0" WSECO2



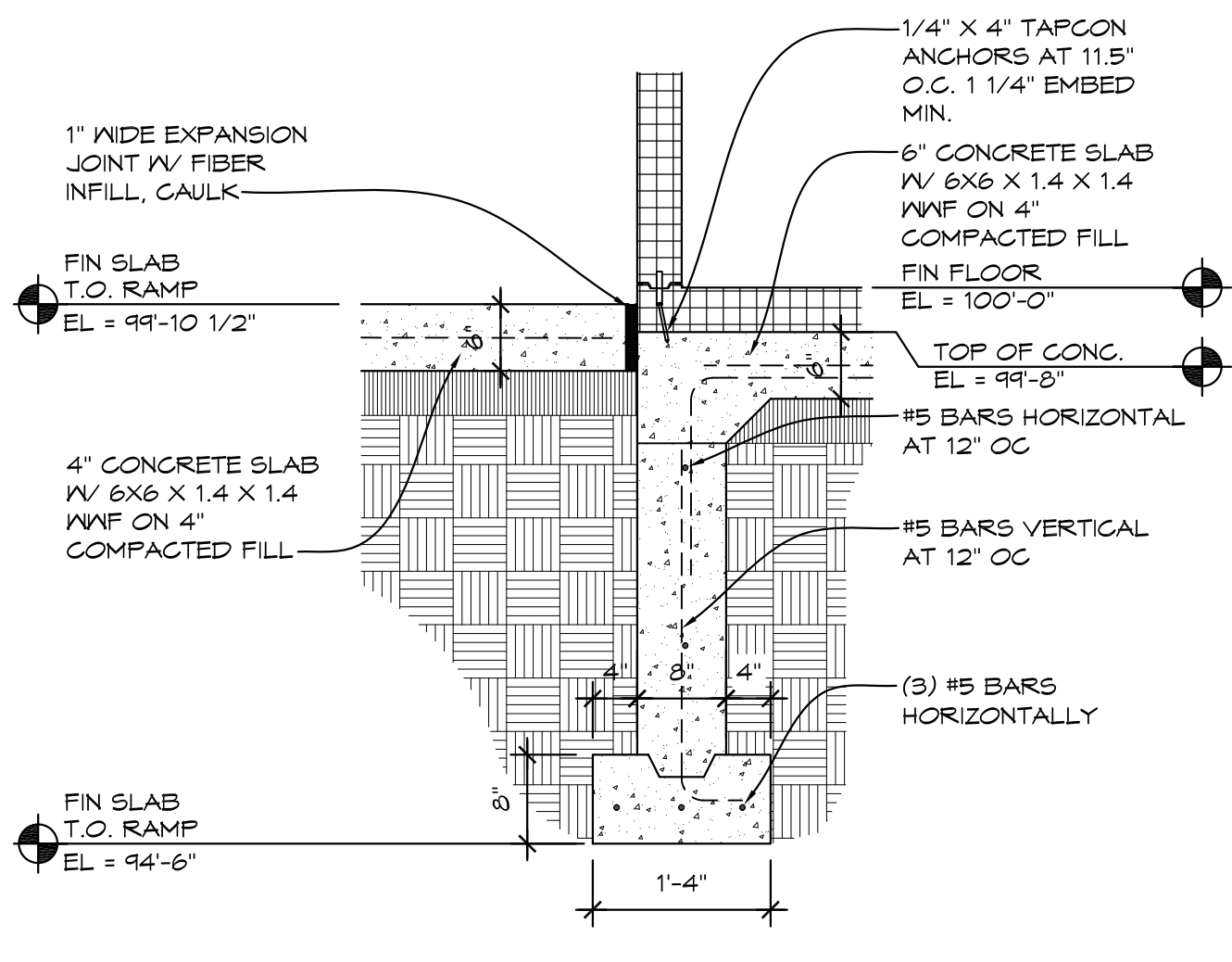
2 LOADING DOCK DETAIL
3/4" = 1'-0" WSECO1



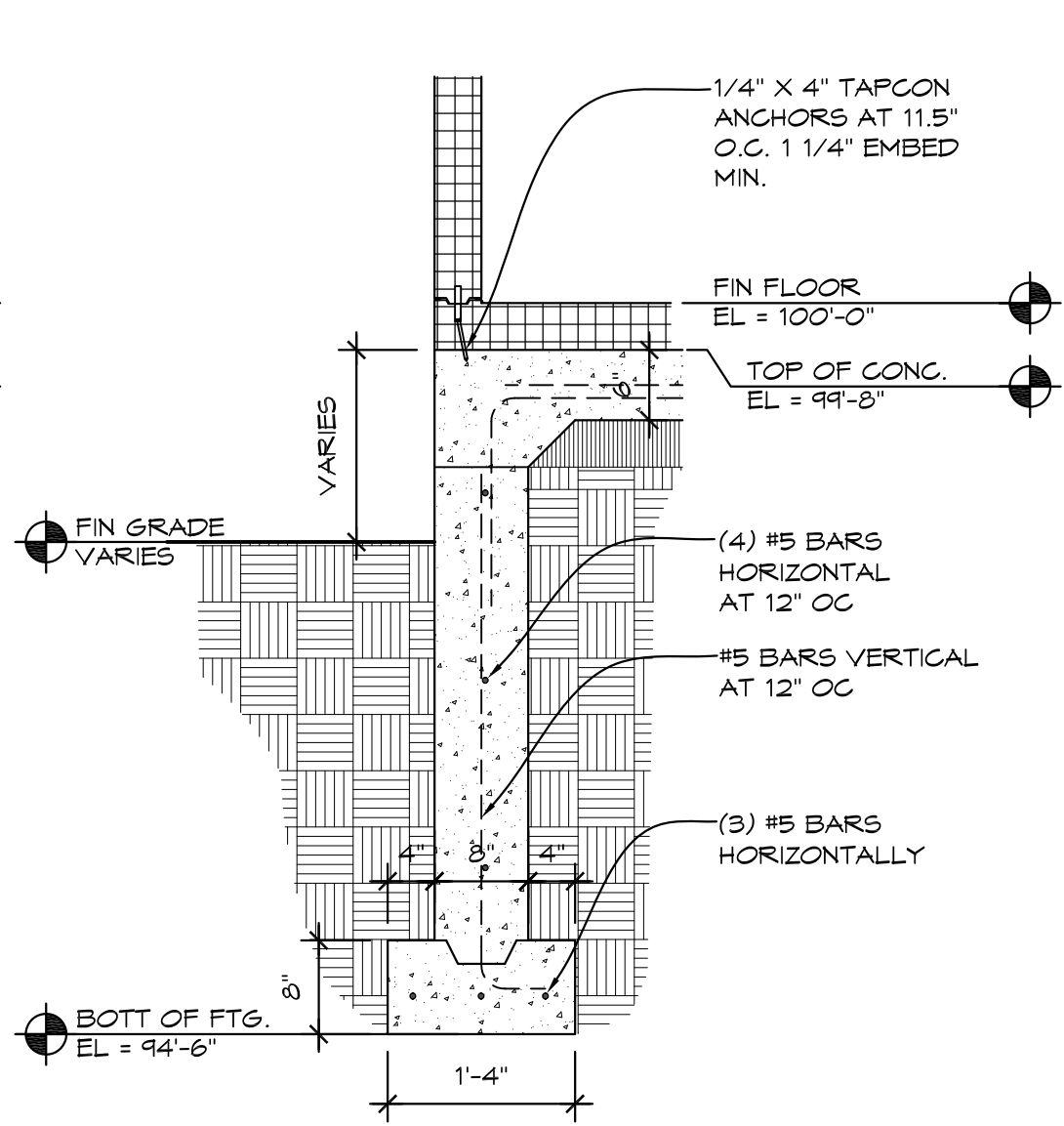
3 STAIR DETAIL
3/4" = 1'-0" WSECO4



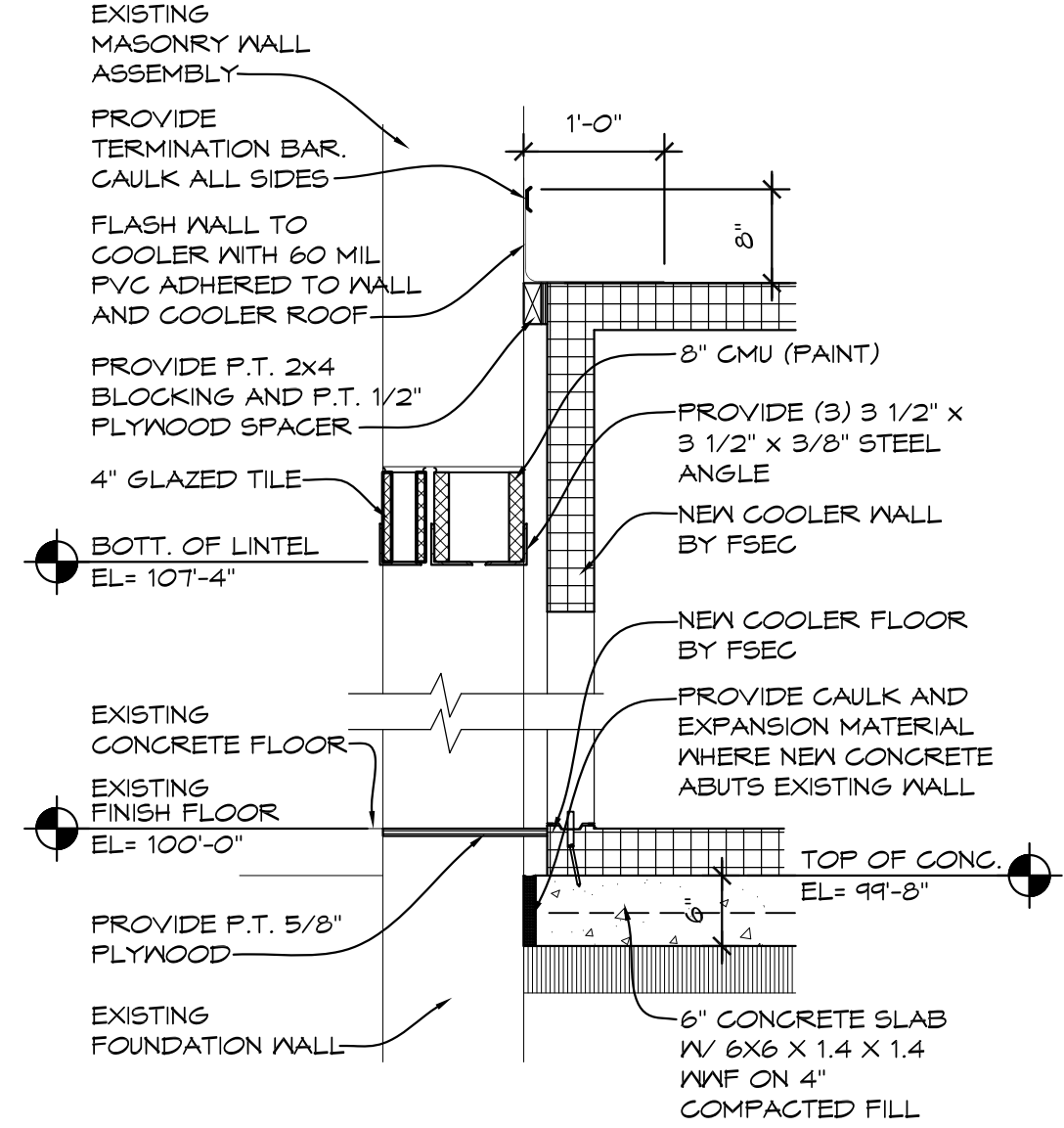
4 BOLLARD DETAIL
3/4" = 1'-0" WSECO4



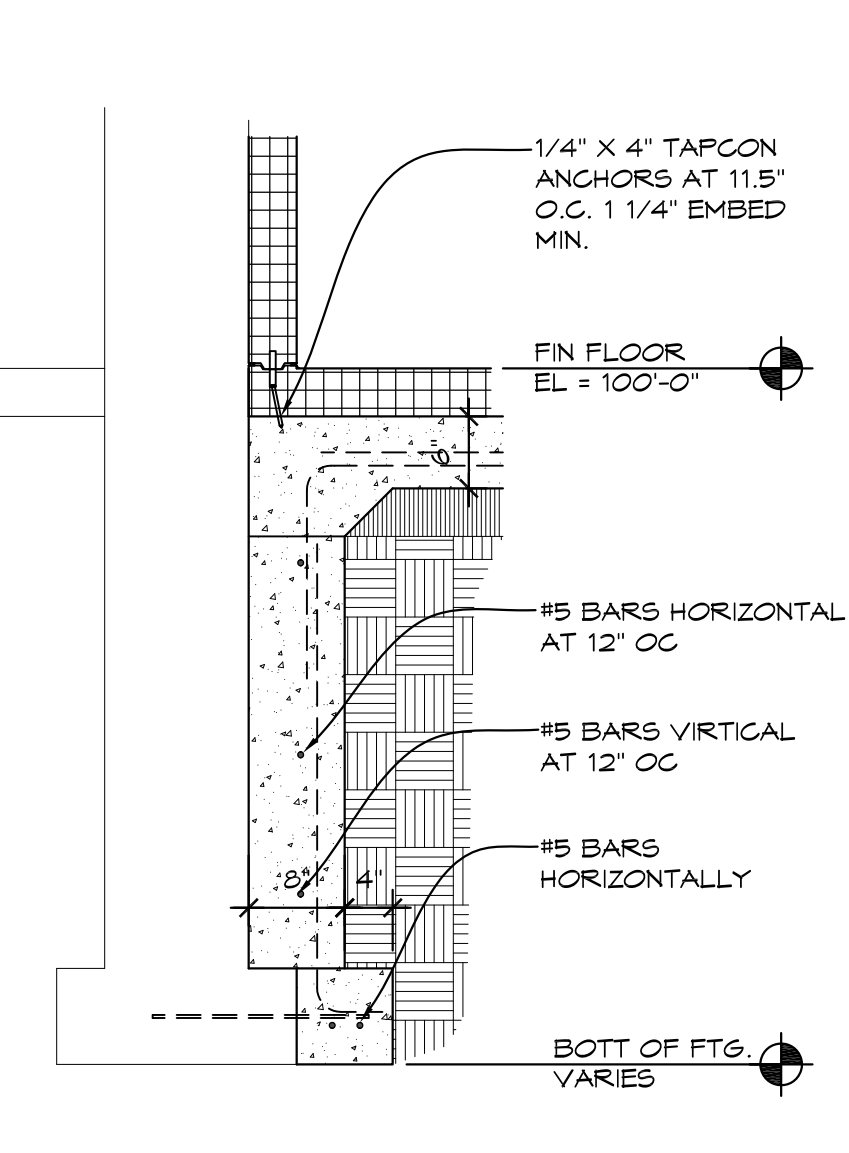
5 LOADING DOCK DETAIL
3/4" = 1'-0" WSECO3



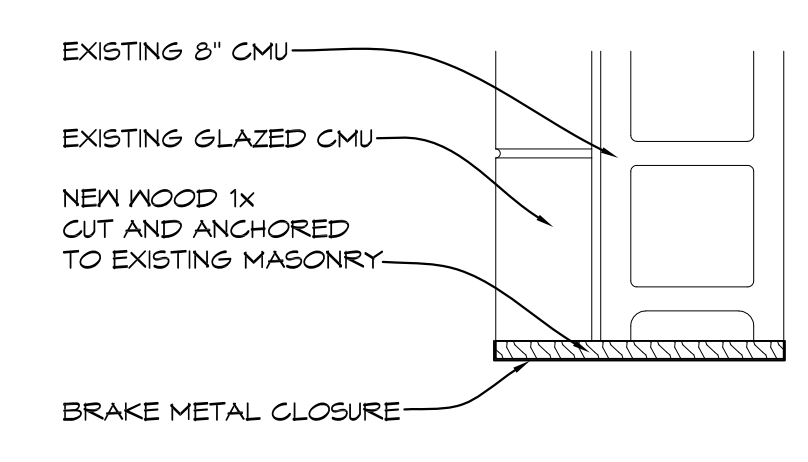
6 LOADING DOCK DETAIL
3/4" = 1'-0" WSECO5



7 DETAIL
3/4" = 1'-0" WSECO6



8 DETAIL
3/4" = 1'-0" WSECO6



9 DETAIL
1 1/2" = 1'-0" WSECO6

NO.	REVISIONS / SUBMISSIONS	DATE

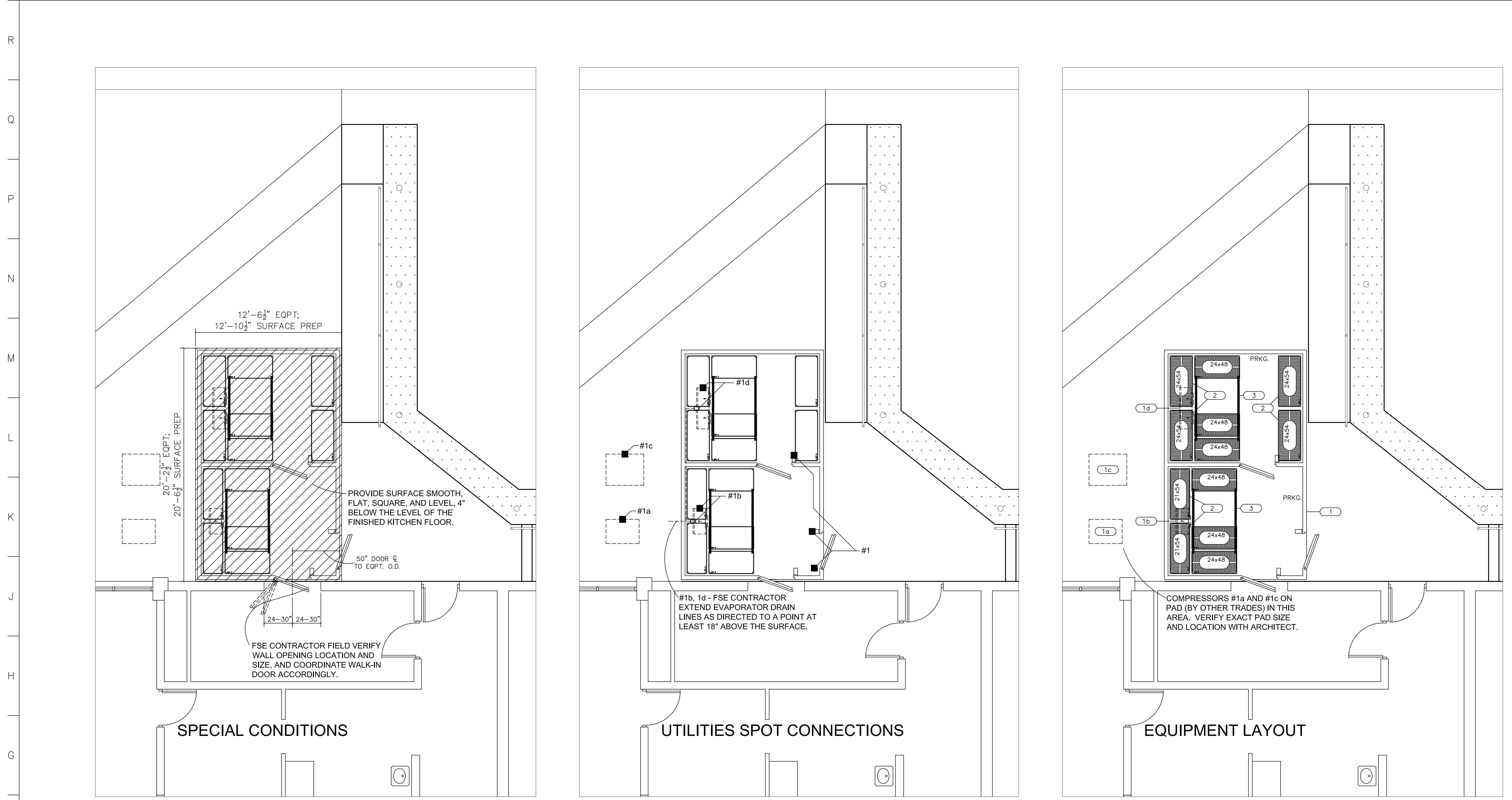
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PROJECT 'B'
**BULLOCK CREEK
MIDDLE SCHOOL
IMPROVEMENTS**
664 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
DETAILS

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. B-A103
	REVIEWED MLB	DRAWING NO. B-A103
	DATE OCT 18, 2024	SHEET NO. 4 OF 7
	SCALE 3/4" = 1'-0"	

PROJECT 'B'



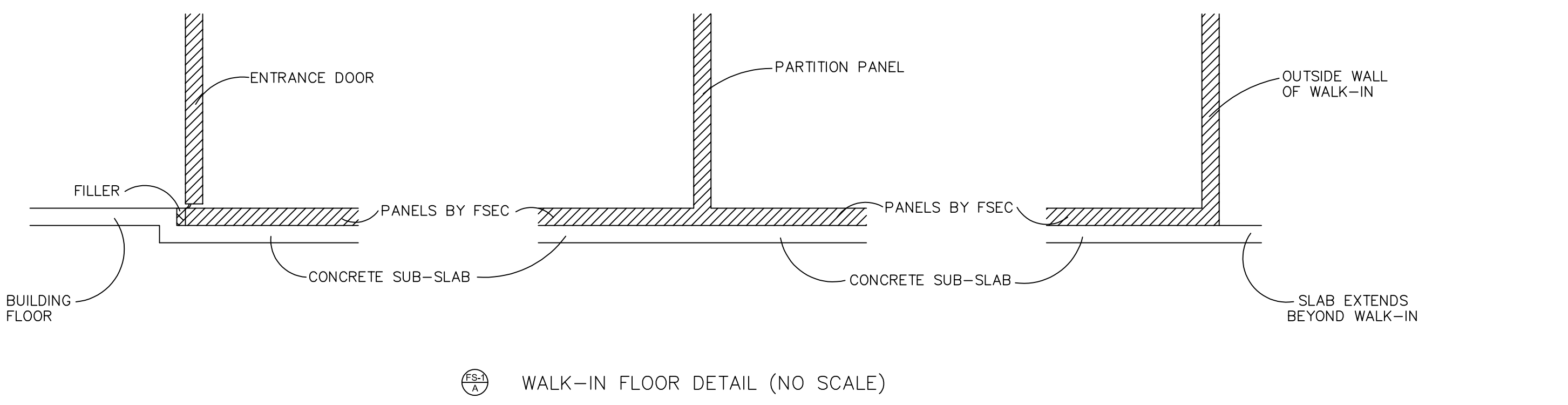
LEGEND

■	EC	ELECTRICAL CONNECTION
□	DR	DUPLEX RECEPTACLE (120/1φ)
○	SR	SINGLE RECEPTACLE (208/1φ)
○	DCR	DUPLEX CONVENIENCE RECEPTACLE (120/1φ)
○	SCR	SINGLE CONVENIENCE RECEPTACLE (208/1φ)
○	HP	HORSEPOWER
○	KW	KILOWATTS
○	FLA	FULL LOAD AMPS
○	FD	FLOOR DRAIN
○	FFD	FUNNEL FLOOR DRAIN
○	FS	FLOOR SINK
○	IW	INDIRECT WASTE
○	DFA	DOWN FROM ABOVE
○	AFF	ABOVE FINISHED FLOOR
○	FSEC	FOOD SERVICE EQUIPMENT CONTRACTOR

- NOTES**
- 1- LOCATIONS SHOWN ARE APPROXIMATE CONNECTION POINTS ON EQUIPMENT. FSEC TO PROVIDE FULLY DIMENSIONED ROUGH-IN PLAN.
 - 2- UTILITY REQUIREMENTS, DIMENSIONS, INTERCONNECTIONS, AND SO ON ARE BASED ON THE FIRST-NAMED MANUFACTURER IN THE SPECIFICATIONS. THE FSEC IS RESPONSIBLE FOR ADVISING ANY DEVIATIONS THAT MAY RESULT FROM THE USE OF MANUFACTURERS OTHER THAN THE FIRST-NAMED, AND FOR ANY ADDITIONAL COSTS BY ANY TRADES INCURRED AS A RESULT OF USING MANUFACTURERS OTHER THAN THE FIRST-NAMED.
 - 3- UTILITY REQUIREMENTS DO NOT NECESSARILY REFLECT EXISTING UTILITIES IN THE AREA. WHERE PRACTICAL, EXISTING UTILITIES SHALL BE USED IN LIEU OF PROVIDING NEW SERVICES.
 - 4- FSEC TO PROVIDE AND INSTALL HEAT TAPE AND INSULATION FOR CONDENSATE LINES IN WALK-IN FREEZERS. FINAL CONNECTION BY ELECTRICAL CONTRACTOR.
 - 5- ELECTRICAL CONTRACTOR TO PROVIDE EXTERIOR INTERWIRING IN WALK-IN REFRIGERATORS AND FREEZERS BETWEEN CEILING-MOUNTED LIGHT FIXTURES, DOOR SWITCH, AND POWER SOURCE.
 - 6- ELECTRICAL CONTRACTOR TO INTERWIRE TIME CLOCK SERVING FREEZER CONDENSING UNITS.
 - 7- FSEC SHALL VERIFY PROPER SIZING OF COOLING SYSTEMS FOR REMOTE REFRIGERATORS AND FREEZERS BASED ON LENGTH OF REFRIGERATION LINES HEAT LOAD, AMBIENT TEMPERATURES, AND SO ON.
 - 8- FSEC TO FURNISH AND INSTALL REFRIGERATION LINES FROM REMOTE COMPRESSORS TO FAN COILS IN REFRIGERATOR AND FREEZER COMPARTMENTS.
 - 9- GENERAL CONTRACTOR TO PROVIDE FINISHED OPENINGS, SLEEVES, OR CONDUIT AS REQUIRED IN WALLS, FLOORS AND CEILINGS FOR PASSAGE OF REFRIGERATION LINES.
 - 10- FSEC WILL NOT BE RESPONSIBLE FOR FURNISHING ELECTRICAL COMPONENTS SUCH AS LINE OR DISCONNECT SWITCHES, SAFETY CUT-OUTS, CONTROL PANELS, FUSE BOXES, FITTINGS, WIRING OR PLUMBING COMPONENTS AND FIXTURES SUCH AS TEES, MIXING VALVES, ELBOWS, SHUT-OFF VALVES, COUPLINGS, AND FITTINGS OTHER THAN THOSE FURNISHED AS STANDARD WITH HIS EQUIPMENT OR AS OTHERWISE SPECIFIED.

EQUIPMENT SCHEDULE

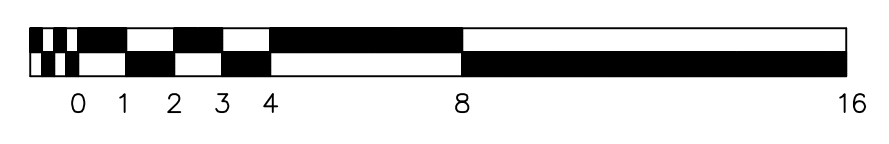
Item No	Qty	Equipment Category	Equipment Remarks	Indir Drain Size (in)	Plumbing Remarks	Volts	Phase	KW	HP	Amps	Electrical (AFF (in)	Direct Plug	Electrical Remarks
1	1	WALK-IN REFRIGERATOR/FREEZER				(3)120	1			15.0	DFA	X	DOORS, LIGHTS, HEATERS, ETC.
1a	1	REFRIGERATOR COMPRESSOR	VERIFY LOCATION			208-230	3		1-1/2	5.9	DFA	X	VERIFY LOCATION
1b	1	REFRIGERATOR EVAPORATOR COIL		1.0	TO AIR GAP WASTE	120				1.6	DFA	X	FAN
1c	1	REFRIGERATOR COMPRESSOR	VERIFY LOCATION			208-230	3		2-1/2	12.3	DFA	X	VERIFY LOCATION
1d	1	FREEZER EVAPORATOR COIL		1.0	TO AIR GAP WASTE	208-230	1			9.8	DFA	X	FAN, DEFROST
2	6	MOBILE SHELVING UNIT											
3	2	HIGH-DENSITY SHELVING											



545-A North Saginaw Street
Lapeer, MI 48446
810-667-3100
Fax 810-667-3101



NOT FOR CONSTRUCTION



BIDS		10-18-24
NO.	REVISIONS / SUBMISSIONS	DATE

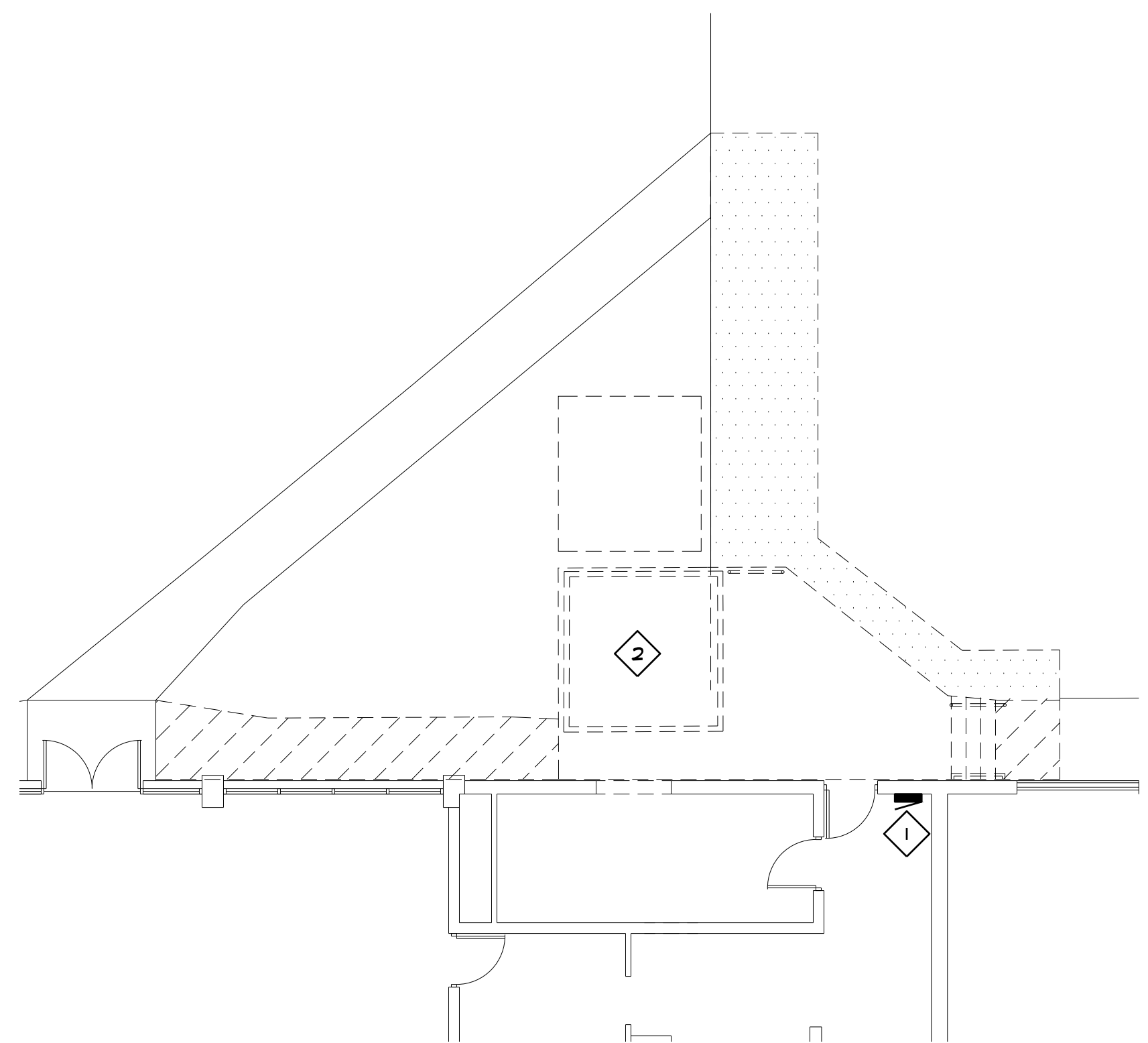
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PROJECT 'B'
BULLOCK CREEK
MIDDLE SCHOOL
IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

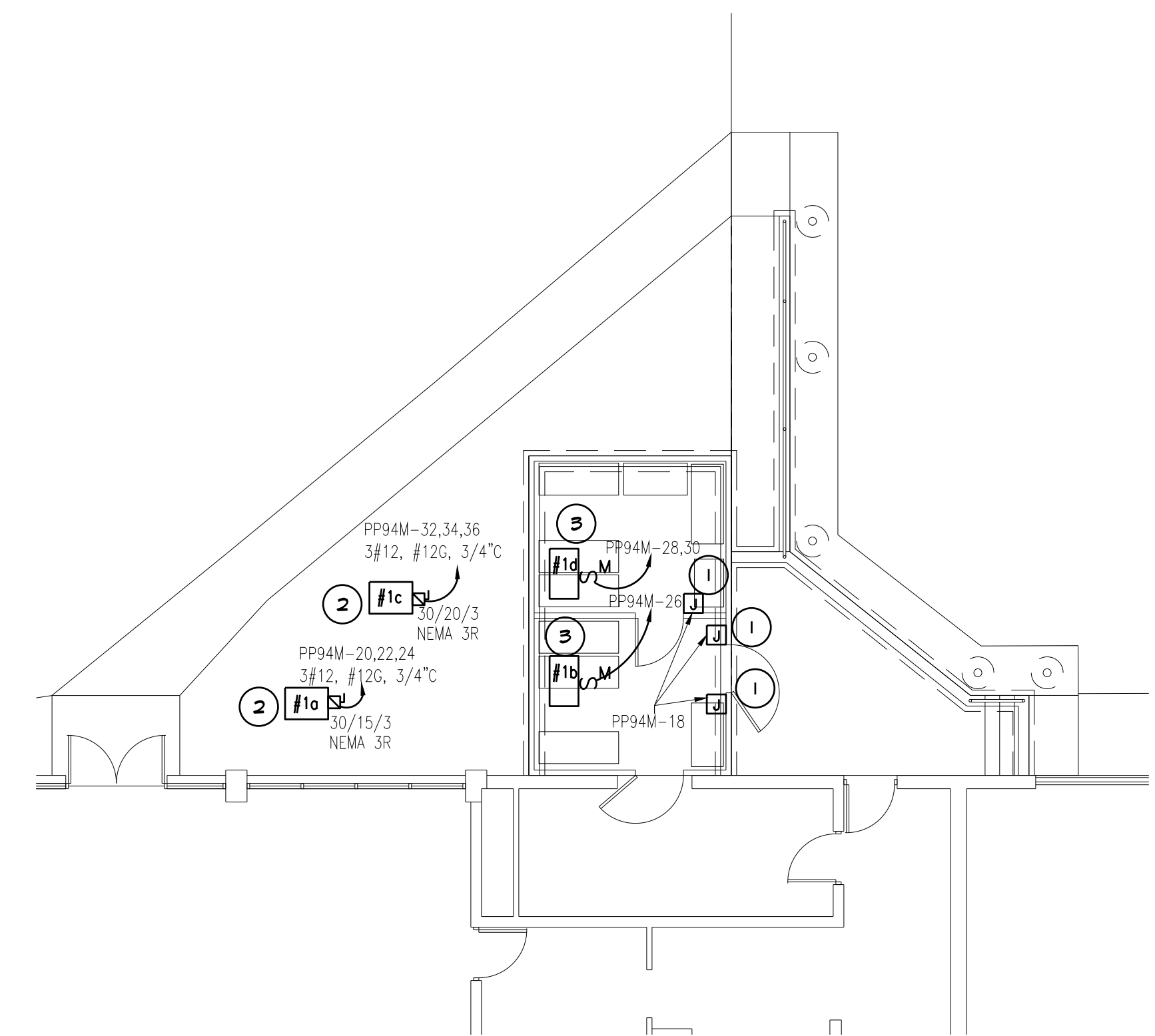
DRAWING TITLE
Food Service Equipment
Floor Plan, Schedule, Utilities,
and Special Conditions

SEAL	DRAWN JHP	PROJECT NO. 24-120
	CHECKED C.I.I.	CAD FILE NO.
	REVIEWED C.I.I.	DRAWING NO. B-FS1
	DATE 10-18-24	SHEET NO. 5 OF 7
	SCALE	

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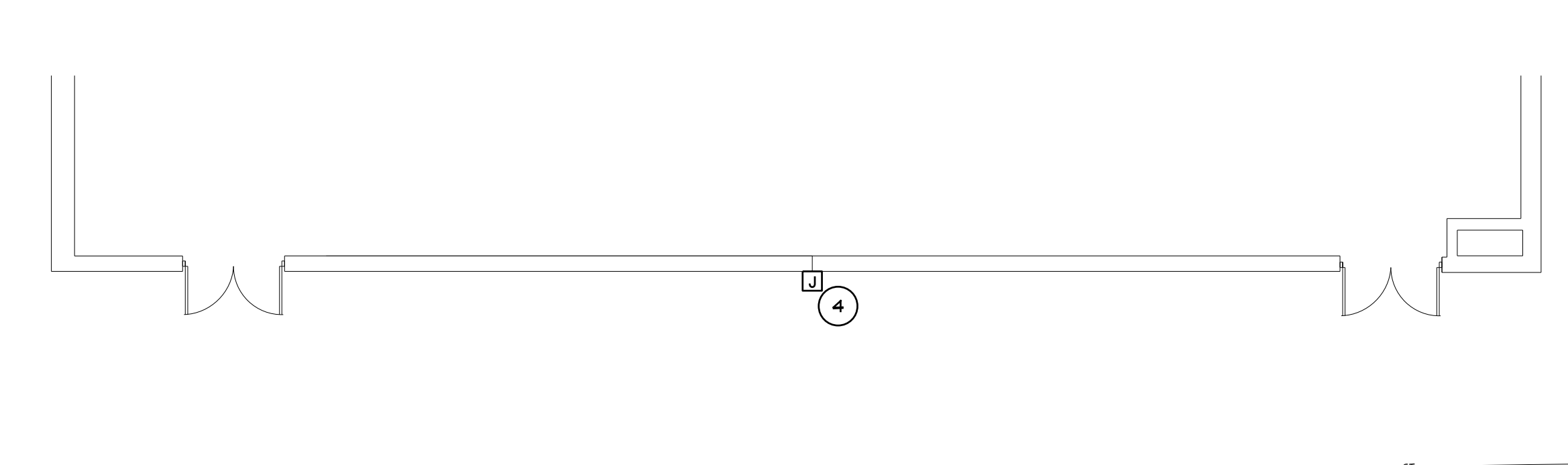
DEMOLITION COOLER PLAN
1/8" = 1'-0" X01



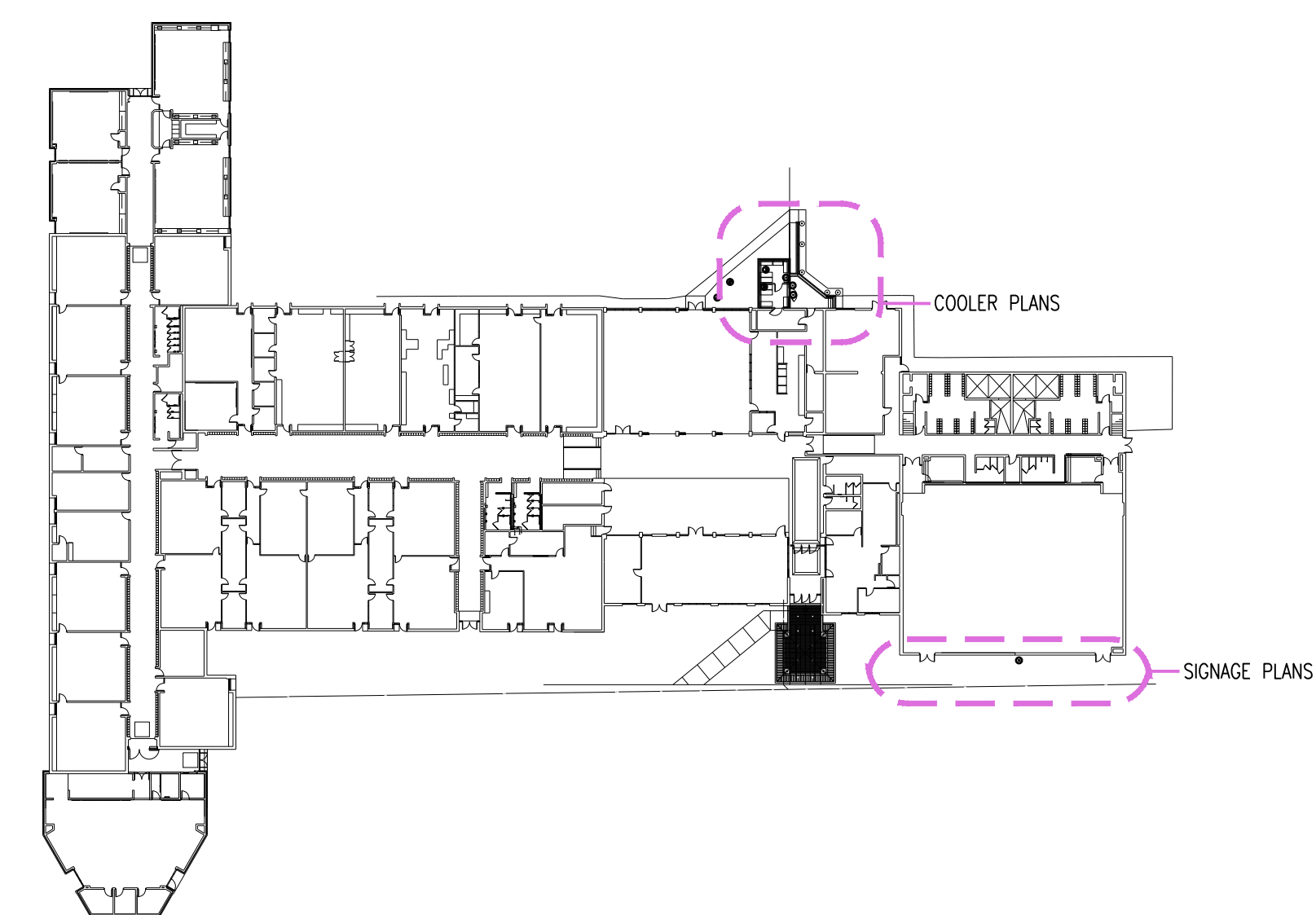
NEW COOLER PLAN
1/8" = 1'-0" X01



DEMOLITION SIGNAGE PLAN
1/8" = 1'-0" X01



NEW SIGNAGE PLAN
1/8" = 1'-0" X01



KEY PLAN
1/8" = 1'-0" X01

PANEL NAME PP94M																						
SECTION: 1 OF 1				BUS: 100A		L-L VOLTS: 208		PROJECT #: 24570.00		* DENOTES GFCI CIRCUIT BREAKER												
POLES: 42				MAIN: MLO		PHASE: 3		FED FROM: MDP		** DENOTES SCREW ON TYPE LOCKING DEVICE												
LOCATION: D WING HALLWAY				MIN KAIC: EXISTING		WIRE: 4		BOLD DENOTES NEW BREAKERS														
MOUNTING: RECESSED				ISO GND BUS: ND																		
CKT	LOAD DESCRIPTION	LOAD VOLT-AMPERES				LOAD VOLT-AMPERES				LOAD DESCRIPTION												
		LTS	REC	MOTOR	OTHER	KIT	OCPD	P	CKT	PH	CKT	P	OCPD	LTS	REC	MOTOR	OTHER	KIT		CKT		
1	EXISTING						20	1	A	2	1	20								EXISTING	2	
3	EXISTING						20	1	B	4	1	20								EXISTING	4	
5	EXISTING						20	2	C	6	1	20								EXISTING	6	
7	-						-	-	A	8	1	20								EXISTING	8	
9	EXISTING						20	1	B	10	1	20								EXISTING	10	
11	EXISTING						20	1	C	12	1	20								EXISTING	12	
13	EXISTING						20	1	A	14	1	20								EXISTING	14	
15	EXISTING						20	2	B	16	1	20								EXISTING	16	
17	-						-	-	C	18	1	20								1,800	#1 WALK-IN FRIDGE/FREEZE	18
19	EXISTING						20	1	A	20	3	15								708	#1a FRIDGE COMPRESSOR	20
21	EXISTING						20	2	B	22	-	-								708	-	22
23	-						-	-	C	24	-	-								708	-	24
25	EXISTING						30	2	A	26	1	20									EXISTING	26
27	-						-	-	B	28	2	30								1,020	#1a FRIDGE EVAPORATOR COIL	28
29	EXISTING						30	2	C	30	-	-								1,020	-	30
31	-						-	-	A	32	3	20								1,476	#1c FREEZER COMPRESSOR	32
33	EXISTING						20	1	B	34	-	-								1,476	-	34
35	EXISTING						20	1	C	36	-	-								1,476	-	36
37	EXISTING						30	2	A	38	1	20								192	#1b FRIDGE EVAPORATOR COIL	38
39	-						-	-	B	40	1	20									EXISTING SPACE	40
41	EXISTING SPACE						20	1	C	42	1	20									EXISTING SPACE	42

SUBTOTAL CONNECTED KVA				
PHASE	CONNECTED KVA	LTS	REC	TOTAL
PHASE A	0.0	0.0	0.0	2.4
PHASE B	0.0	0.0	0.0	3.2
PHASE C	0.0	0.0	0.0	5.0
25% OF LARGEST MOTOR	0.0			
RECEPTACLE DEMAND FACTOR:				
100% FIRST 10 KVA + 50% REMAINING				

LOAD SUMMARY & FEEDER CALCULATION									
LTS	REC	MOTOR	OTHER	KIT	SUBTOTAL	SPARE	TOTAL	CONNECTED KVA	DEMAND FACTOR
0.0	0.0	0.0	0.0	10.6	10.6	0%			
1.0	#1	1.0	1.0	1.0	10.6	0%			
0.0	0.0	0.0	0.0	10.6	10.6	0%			
1.25	1.0	1.0	1.0	1.0	1.0	1.0	29.4	29.4	1.0
							29.4	29.4	1.0

DEMOLITION NOTES

- EXISTING PANEL TO REMAIN.
- COOLER TO BE REMOVED. REMOVE ALL WIRE AND CONDUIT BACK TO SOURCE.
- SIGNAGE TO BE REMOVED. DISCONNECT SIGNAGE. MAINTAIN BRANCH CIRCUIT AT SIGNAGE FOR NEW SIGNAGE.

CONSTRUCTION NOTES

- PROVIDE CONNECTION TO LIGHTS AND DOOR HEATERS TO CIRCUIT AS SHOWN.
- PROVIDE CONNECTION TO NEW COMPRESSOR TO CIRCUIT AS SHOWN. COORDINATE FINAL LOCATION WITH FSE CONTRACTOR.
- PROVIDE CONNECTION TO NEW EVAPORATOR TO CIRCUIT AS SHOWN. COORDINATE FINAL LOCATION WITH FSE CONTRACTOR.
- EXTEND WIRE AND CONDUIT TO NEW SIGN LOCATION. ROUTE CONDUIT ON INTERIOR OF BUILDING UP WALL AND OVER TO NEW EXTERIOR PENETRATION AT NEW SIGN LOCATION.

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'B'
BULLOCK CREEK MIDDLE SCHOOL IMPROVEMENTS
664 SOUTH BADOUR ROAD
MIDLAND, MI

ELECTRICAL PLANS

SEAL	DRAWN	PROJECT NO.
	FLA	24-120
	CHECKED	CAD FILE NO.
	RCH	B-E101
	REVIEWED	DRAWING NO.
	RCH	B-E101
	DATE	SHEET NO.
	OCT 18, 2024	7 OF 7
	SCALE	
	AS NOTED	

THA Architects Engineers - B-E101 ELECTRICAL PLANS
Plot date: 10/21/2024 12:37 PM

PROJECT B

STANDARD ABBREVIATIONS

Table of standard abbreviations with columns for symbol, description, and acronym. Includes items like A/C, ACoust, AD, AFF, etc.

SYMBOLS KEY

Table of symbols key with columns for symbol, description, and acronym. Includes symbols for North Arrow, Existing Elevation Point, Next Elevation Point, etc.

DEVELOPMENT DATA

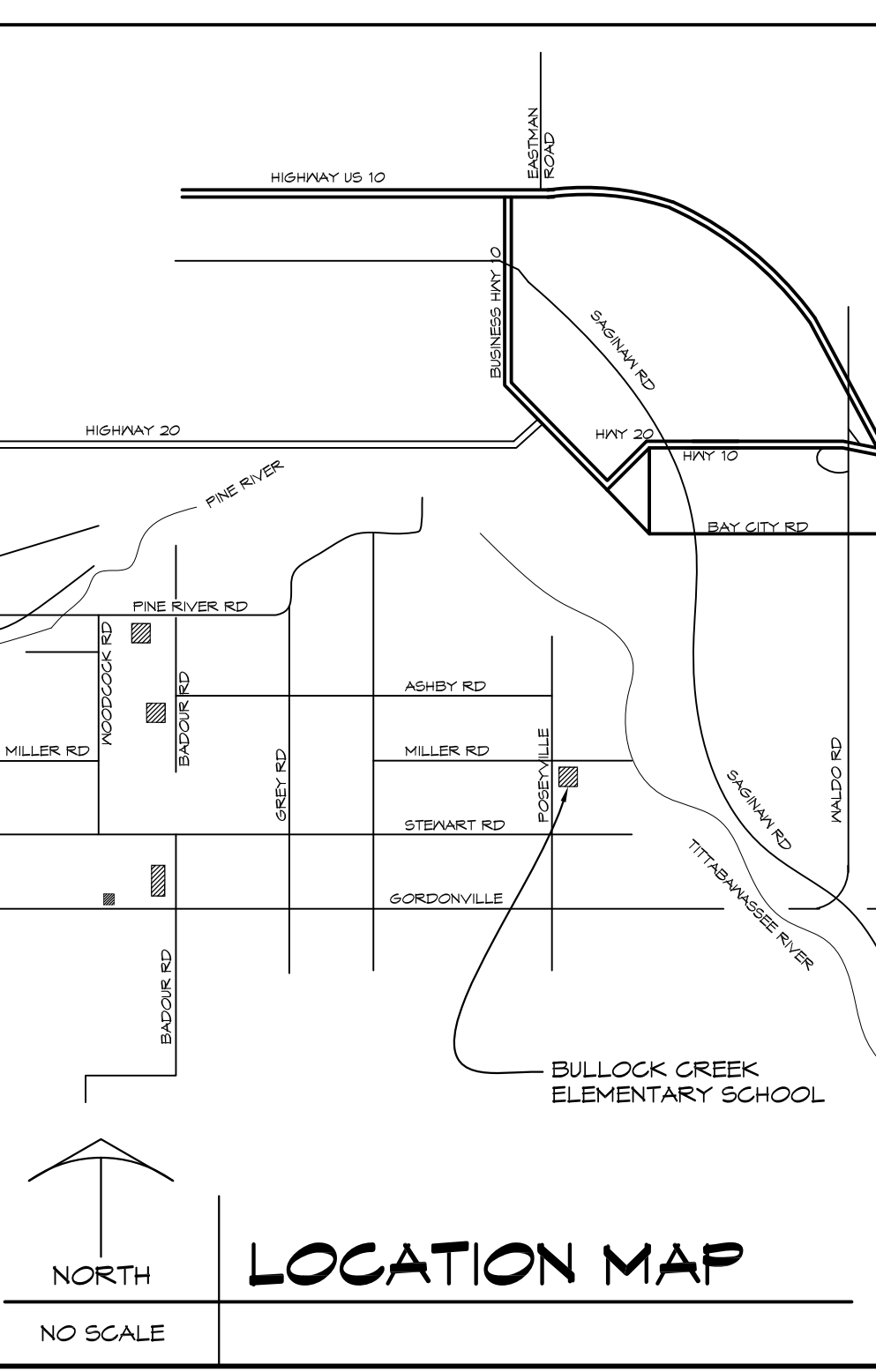
APPLICABLE CODES & ORDINANCES
2015 MICHIGAN REHABILITATION CODE
-ALTERATION, LEVEL 2
2015 MICHIGAN BUILDING CODE
2021 MICHIGAN MECHANICAL CODE
2015 MICHIGAN ENERGY CODE
2021 MICHIGAN PLUMBING CODE
2017 MICHIGAN ELECTRICAL CODE
NFPA 101 LIFE SAFETY CODE 2012 AS ADOPTED BY MICHIGAN BUREAU OF FIRE SAFETY
ICC A117.1 - 2009
MIDLAND TOWNSHIP ZONING ORDINANCE

HATCHING PATTERN KEY

Table of hatching patterns with columns for pattern, description, and material. Includes patterns for Brick, Cong Block, Rigid Insul, etc.

GENERAL NOTES

1. ANY PENETRATIONS OF CORRIDOR WALLS MUST MAINTAIN 1-HOUR FIRE RATING AND RESIST THE PASSAGE OF SMOKE



BULLOCK CREEK SCHOOL DISTRICT
2023 BOND- SERIES 1 2025 IMPROVEMENTS
THA PROJECT #24-120

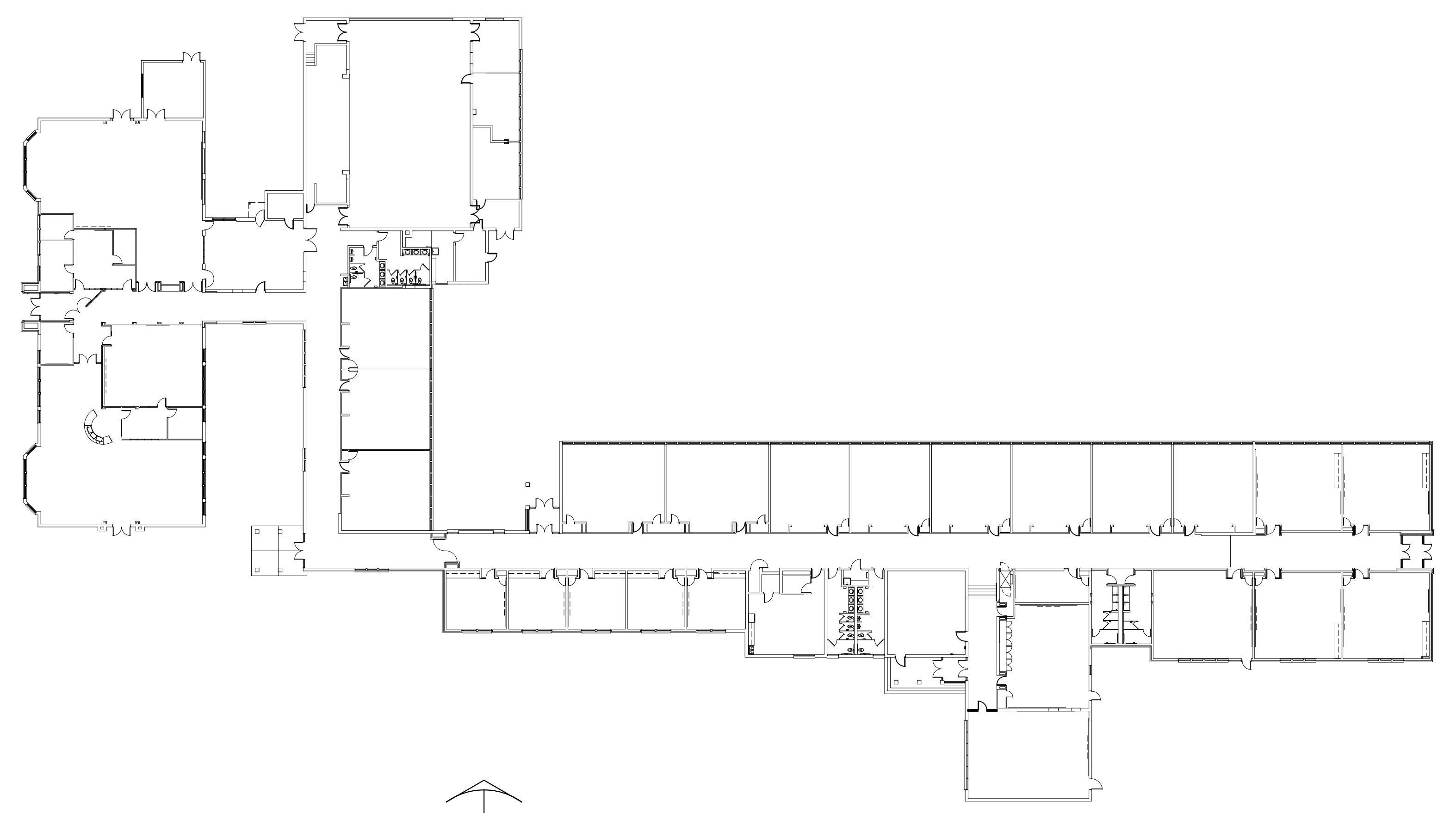
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

PROJECT 'C'
RENOVATIONS TO:
BULLOCK CREEK ELEMENTARY SCHOOL

1037 S. POSEYVILLE RD MIDLAND MI 48640

INDEX OF DRAWINGS

- C-G001 TITLE SHEET
C-S100 FRAMING PLAN
C-A101 DEMOLITION PLAN
C-A102 ROOF DEMOLITION PLAN
C-A103 FLOOR PLAN
C-A104 REFLECTED CEILING PLAN
C-A105 ROOF PLAN
C-A106 ROOF DETAILS
C-A107 ROOF DETAILS
C-A201 EXTERIOR ELEVATIONS
C-A301 WALL SECTIONS
C-A601 DOOR SCHEDULE, ROOM FINISH SCHEDULE, & DETAILS
C-M001 MECHANICAL SCHEDULES
C-M101 MECHANICAL DEMOLITION ROOF PLAN
C-M102 MECHANICAL ROOF PLAN
C-M103 UNIT A MECHANICAL PLAN
C-M104 UNITS B & C MECHANICAL PLAN
C-E000 ELECTRICAL COVER SHEET
C-E101 ELECTRICAL DEMOLITION PLAN
C-E102 ELECTRICAL PLANS
C-E103 ELECTRICAL ROOF PLAN



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BULLOCK CREEK SCHOOL DISTRICT
2023 BOND- SERIES 1 2025 IMPROVEMENTS
THA PROJECT# 24-120
1420 SOUTH BADOUR ROAD MIDLAND MI 48640
PROJECT 'C'
RENOVATIONS TO:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD MIDLAND MI 48640

Table with columns for NO., REVISIONS / SUBMISSIONS, DATE, SEAL, DRAWN, CHECKED, REVIEWED, DATE, SCALE, PROJECT NO., CAD FILE NO., DRAWING NO., SHEET NO., OF.

STRUCTURAL GENERAL NOTES

- GENERAL**
- THIS BUILDING HAS BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE, 2015 EDITION.
 - THE OWNER WILL EMPLOY QUALIFIED SPECIAL INSPECTORS TO PERFORM INSPECTIONS IN ACCORDANCE WITH CHAPTER 17 OF THE MICHIGAN BUILDING CODE, EXCEPT AS NOTED BELOW. SPECIAL INSPECTIONS WILL BE PERFORMED FOR THE FOLLOWING:
 - MASONRY SPECIAL INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH TMS 402 & TMS 602 AND SHALL BE LEVEL B QUALITY ASSURANCE.
 - STEEL SPECIAL INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH AISC 300.
 - WHEN "PROFESSIONAL ENGINEER" IS REFERRED TO IN THE FOLLOWING NOTES, IT DENOTES A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN, QUALIFIED TO PERFORM THE WORK.
 - THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS, THE OWNERS REQUIREMENTS FOR ACCESS TO THE SITE AND CONTINUED OPERATIONS DURING CONSTRUCTION.
 - THE PLAN, DETAIL DIMENSIONS & ELEVATIONS RELATIVE TO THE EXISTING STRUCTURE HAVE BEEN TAKEN FROM AVAILABLE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SUCH DIMENSIONS, ELEVATIONS & DETAILS AS NECESSARY AND MAKE APPROVED ADJUSTMENTS PRIOR TO CONSTRUCTION OR ORDERING OF MATERIAL.
 - THE STRUCTURE SHALL BE CONSIDERED TO BE IN AN UNSTABLE CONDITION UNTIL ALL WALL STRUCTURES ARE COMPLETED. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR STABILITY AND TO RESIST LATERAL LOADS DURING ERECTION.
- DIVISION 2 - DEMOLITION/SHORING**
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING WHERE REQUIRED DURING CONSTRUCTION. SHORING SHALL BE DESIGNED & DETAILED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER. SHORING PROCEDURES, DESIGNS AND DETAILS SHALL BE SUBMITTED FOR REVIEW PRIOR TO COMMENCEMENT OF WORK, ALLOW (2) WEEKS FOR ENGINEER TO REVIEW.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ERECTION PROCEDURE AND SEQUENCING AND TO SUBMIT WRITTEN PROCEDURES TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS DURING ERECTION.
 - FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. IF CONDITIONS EXIST THAT ARE DIFFERENT FROM WHAT IS INDICATED ON THE DRAWINGS, NOTIFY ARCHITECT FOR DIRECTION BEFORE PROCEEDING.
- DIVISION 4 - MASONRY**
- THE LATEST REVISION OF THE FOLLOWING CODES GOVERN THE DESIGN, DETAILING AND CONSTRUCTION OF ALL MASONRY:
 - THE MASONRY SOCIETY (TMS) TMS 402, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
 - TMS 602, SPECIFICATIONS FOR MASONRY STRUCTURES.
 - ALL MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF $F_m = 2000$ PSI.
 - ALL MORTAR SHALL BE TYPE S, PROPORTIONED BY VOLUME ACCORDING TO ASTM C270.
 - ALL GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI AND SHALL BE PROPORTIONED BY VOLUME ACCORDING TO ASTM C940.
 - ALL CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT ASTM C90, GRADE N, UNITS UNLESS NOTED OTHERWISE. UNITS SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 2000 PSI.
 - ALL MASONRY REINFORCING SHALL BE SECURED IN PLACE WITH REBAR POSITIONERS AND SPACERS.
 - IN ADDITION TO ALL OTHER REINFORCING IN MASONRY WALLS PROVIDE A MINIMUM OF (1) #5 BAR AT EACH SIDE OF ALL OPENINGS, EACH SIDE OF CONTROL JOINTS, AT CORNERS OR ENDS OF WALLS AND AT BEAM OR LINTEL BEARING. BAR TO BE FULL HEIGHT OF WALL.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY WALL BRACING ADEQUATE TO RESIST LATERAL LOADS.
 - REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR TYPE, SIZE, LOCATION AND ATTACHMENT REQUIREMENTS FOR MASONRY VENEER AND OTHER CLADDING.
- DIVISION 5 - STRUCTURAL STEEL**
- THE LATEST REVISION OF THE FOLLOWING CODES GOVERN THE DESIGN, DETAILING, FABRICATION AND ERECTION OF ALL STRUCTURAL STEEL:
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) AISC 360, SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
 - AISC 303, CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
 - STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM MATERIAL SPECIFICATIONS:
 - W AND WT SHAPES: ASTM A992, GRADE 50 ($F_y = 50$ KSI).
 - MISCELLANEOUS SHAPES AND PLATES: ASTM A36 ($F_y = 36$ KSI).
 - ALL WELDING SHALL BE PERFORMED USING THE ELECTRIC ARC METHOD IN ACCORDANCE WITH THE LATEST REVISION OF THE AMERICAN WELDING SOCIETY (AWS) D1.1 "STRUCTURAL WELDING CODES" E70XX ELECTRODES CONFORMING TO AWS A5.1 OR A5.5 SHALL BE USED FOR SHIELDED METAL ARC METHOD & F7-ECCX FLUX - ELECTRODE COMBINATION CONFORMING TO AWS A5.17 FOR SUBMERGED ARC METHOD.
 - ALL BOLTS SHALL BE 3/4" DIAMETER ASTM F3125 GRADE A325 TYPE N BOLTS. ALL BOLTED CONNECTIONS SHALL BE SNUG-TIGHT BEARING TYPE BOLTS UNLESS NOTED OTHERWISE.
 - ALL SHOP AND FIELD WELDS SHALL BE VISUALLY INSPECTED PER AWS D1.1. ALL DEFICIENT OR NON CONFORMING ITEMS SHALL BE REPORTED TO THE ENGINEER WHO WILL DETERMINE THE CORRECTIVE ACTION REQUIRED.
 - GROUT REQUIRED UNDER COLUMN BASE PLATES AS SHOWN IN THE DETAILS SHALL BE A STANDARD NON-SHRINK GROUT SUCH AS "MASTERFLOW 100" BY MASTER BUILDERS.
 - PROVIDE AND HAVE IN PLACE ADEQUATE LATERAL BRACING AND VERTICAL SUPPORTS FOR THE SAFE ERECTION AND TRUE ALIGNMENT OF THE STRUCTURAL STEEL. THIS CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE SAFE ERECTION AND TEMPORARY BRACING OF STRUCTURAL STEEL.
 - VERIFY NUMBER AND SIZE OF OPENINGS IN WALLS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. SEE DETAILS, AND SPECIFICATIONS, FOR STRUCTURAL REQUIREMENTS. VERIFY ALL INFORMATION WITH THE APPROPRIATE CONTRACTOR.
 - ALL DIMENSIONS RELATED TO STRUCTURAL STEEL USED TO SUPPORT EQUIPMENT OR FRAME OPENINGS SHALL BE VERIFIED WITH CERTIFIED AND APPROVED SHOP DRAWINGS OF PURCHASED EQUIPMENT PRIOR TO DETAILING AND FABRICATION.
 - ALL BEAMS, JOISTS, OR LINTELS BEARING ON MASONRY WALLS SHALL HAVE BEARING PLATES WITH ANCHOR BOLTS. IF NOT NOTED ON PLAN, SEE TYPICAL DETAILS.
 - ALL WF BEAMS SUPPORTING MASONRY AND WITH SPANS GREATER THAN 6' SHALL HAVE 1/2" DIAMETER BY 6' LONG HEADED CONCRETE ANCHORS SPACED AT 2' 0" O.C. WELDED TO THE TOP FLANGE.
 - ALL STEEL IN EXTERIOR MASONRY WALLS IS TO BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A-123.

DESIGN CRITERIA

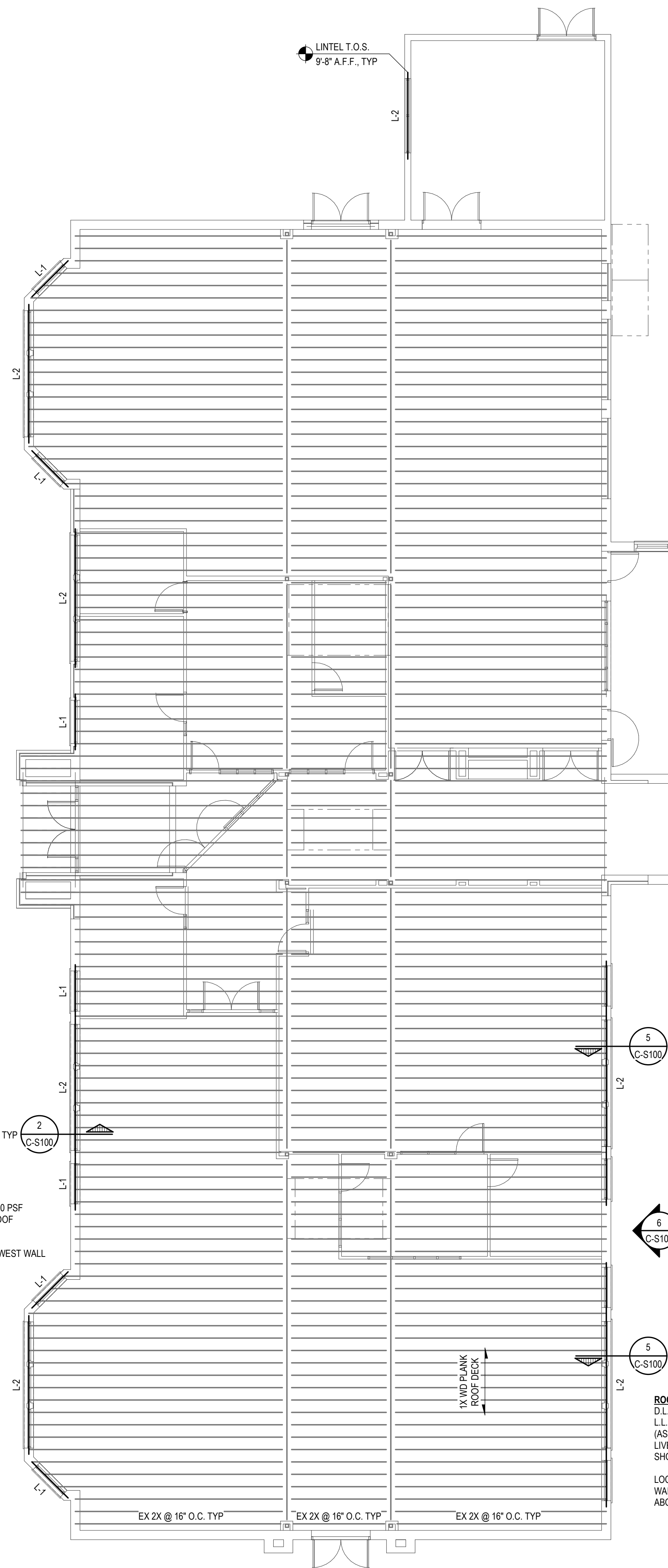
- MICHIGAN BUILDING CODE 2015 (ASCE 7-10)
RISK CATEGORY III.
- ROOF DEAD LOADS**
- WOOD SHEATHING 2 PSF
 - WOOD JOISTS 5 PSF
 - EPDM 1 PSF
 - CEILING SAP 3 PSF
 - MECHANICAL AND ELECTRICAL 4 PSF
 - MISCELLANEOUS 5 PSF
 - INSULATION 2 PSE
 - TOTAL 22 PSF**
- SNOW LOADS**
- IMPORTANCE FACTOR $I = 1.1$
 - GROUND SNOW LOAD $P_g = 35$ PSF
 - SNOW EXPOSURE FACTOR $C_e = 1.0$
 - THERMAL FACTOR $C_t = 1.0$
 - FLAT USE SNOW $P_s = 27$ PSF
 - SNOW DRIFT PER ASCE 7

ABBREVIATIONS

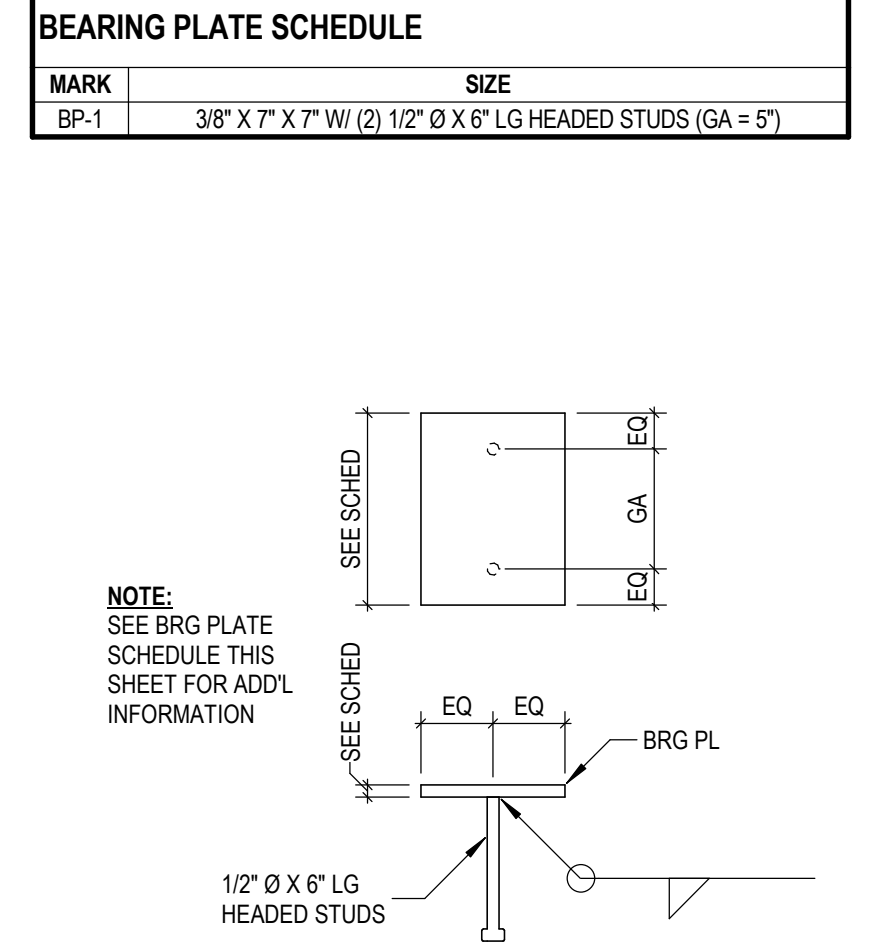
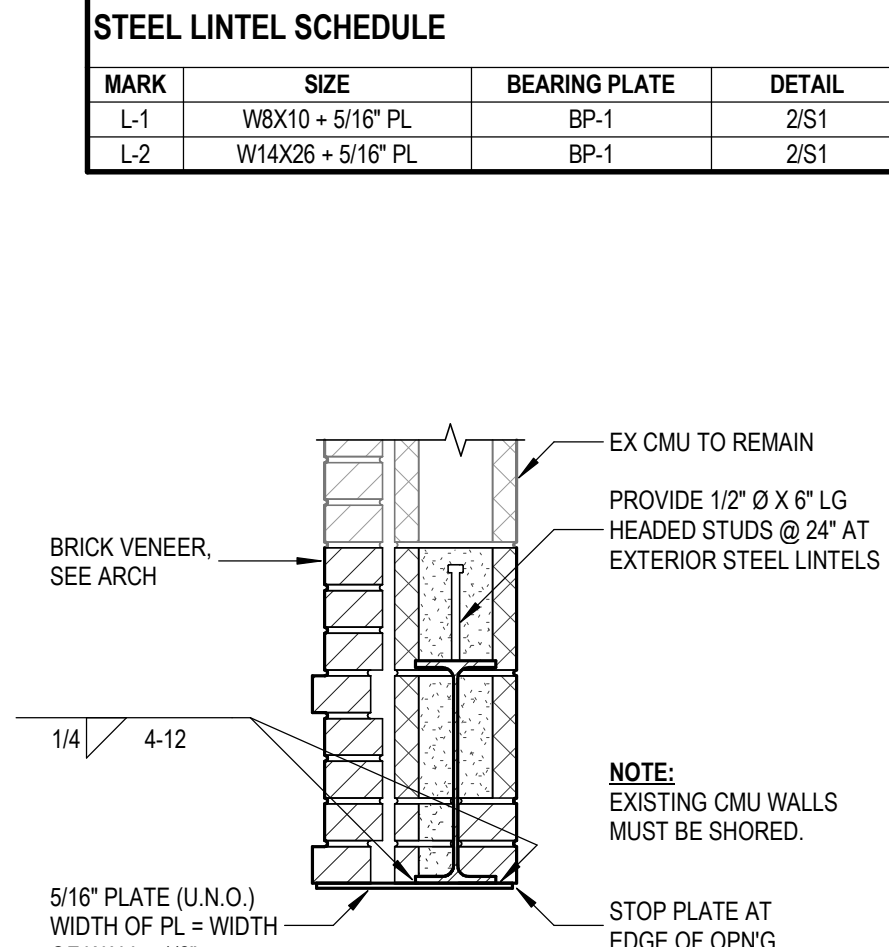
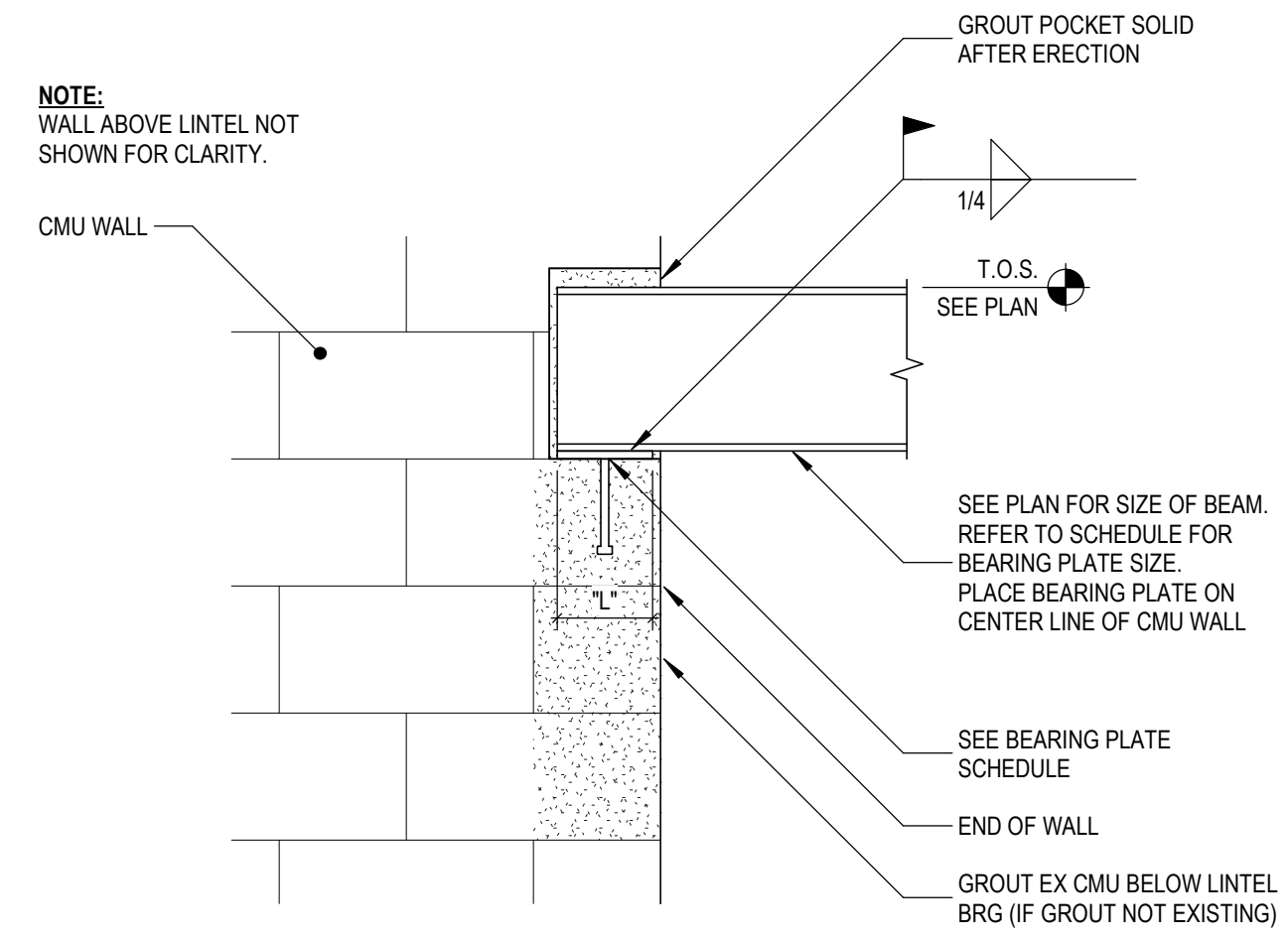
@	ANCHOR BOLT
AD	ADDITIONAL
ADD'L	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
B.C.	BOTTOM CHORD
B.O.	BOTTOM OF
B.O.D.	BOTTOM OF DECK
B.O.F.	BOTTOM OF FOOTING
B.O.S.	BOTTOM OF STEEL
B.O.T.	BOTTOM OF TRUSS
B.S.	BOTH SIDES
BM	BEAM
BOTT	BOTTOM
BRG	BEARING
C.L.	CENTER LINE
CJ	CONTROL JOINT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CSJ	CONSTRUCTION JOINT
DET	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DL	DEAD LOAD
DWG	DRAWING
E.F.	EACH FACE
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EX	EXISTING
F.S.	FAR SIDE
F.V.	FIELD VERIFY
FIN	FINISH
FLG	FLANGE
FLOOR	FLOOR
FDN	FOUNDATION
FT	FOOT
FTG	FOOTING
GA	GAGE
G.L.	GIRT LINE
H.P.	HIGH POINT
HORIZ	HORIZONTAL
K	KIPS
LG	LONG
LP	LOW POINT
LL	LIVE LOAD
LL.H.	LONG LEG HORIZONTAL
LL.V.	LONG LEG VERTICAL
LN	LINE
L.S.H.	LONG SIDE HORIZONTAL
MAX	MAXIMUM
MTL	METAL
MIN	MINIMUM
MISC	MISCELLANEOUS
N.S.	NEAR SIDE
N.T.S.	NOT TO SCALE
NO	NUMBER
O.C.	ON CENTER
OPP	OPPOSITE
PC	PIECE
PL	PLATE
PLCS	PLACES
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REF	REFERENCE
REINFC-ED.	REINFORCED
REQD	REQUIRED
SCHED	SCHEDULE
SECT	SECTION
SIM	SIMILAR
SPA	SPACES
STD	STANDARD
STL	STEEL
T.O.	TOP OF
T.O.C.	TOP OF CONCRETE
T.O.F.	TOP OF FOOTING
T.O.M.	TOP OF MASONRY
T.O.S.	TOP OF STEEL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT	VERTICAL
W.P.	WORK POINT
W	WITH
WWR	WELDED WIRE REINFORCEMENT

SHORING LOAD:
D.L. = 880 PLF
L.L. = 300 PLF
LIVE LOAD ON ROOF
(SHORING LOAD)

TYPICAL ALONG WEST WALL



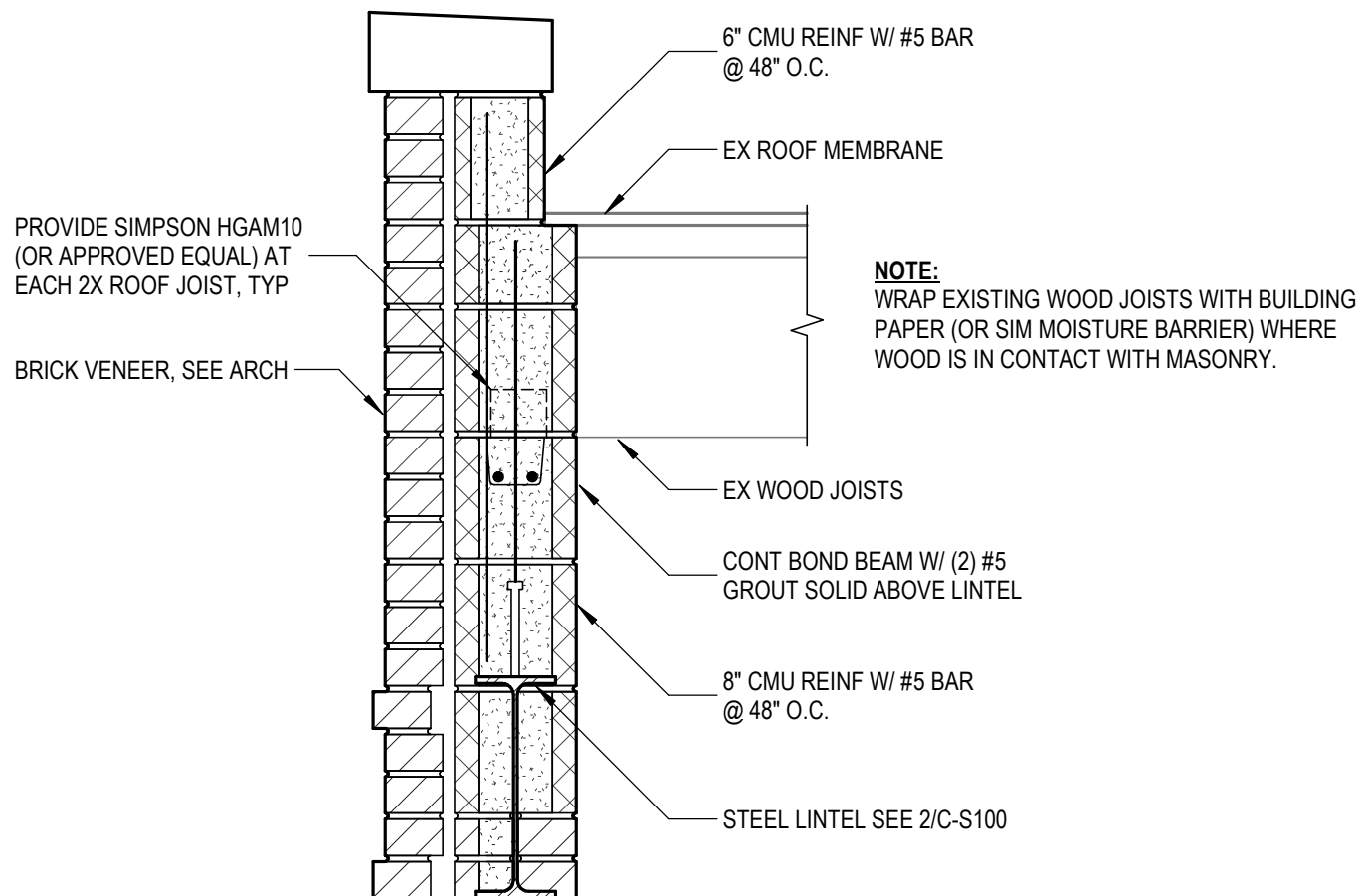
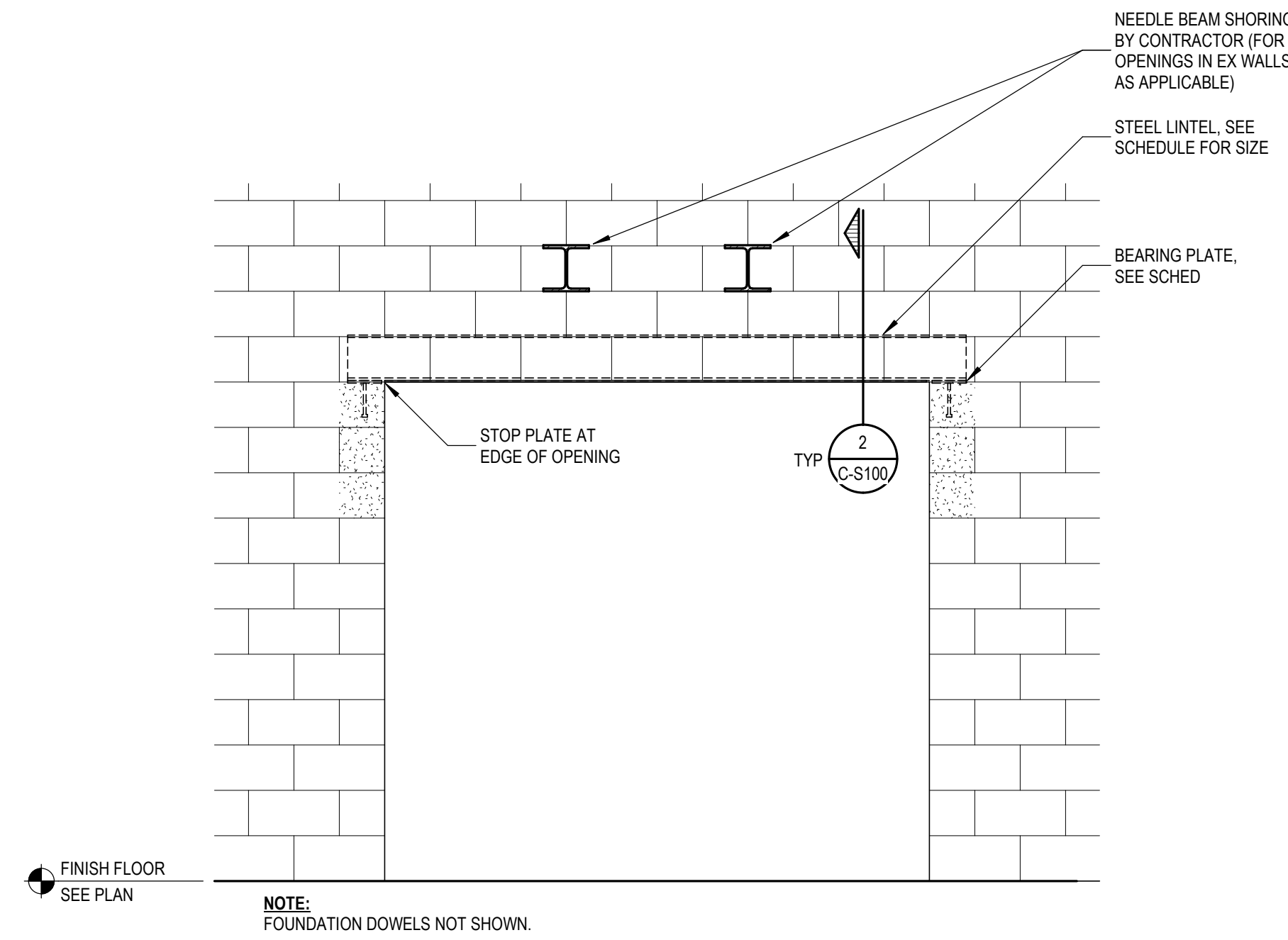
PARTIAL ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



1 TYPICAL BEAM PARALLEL TO WALL
SCALE: NOT TO SCALE

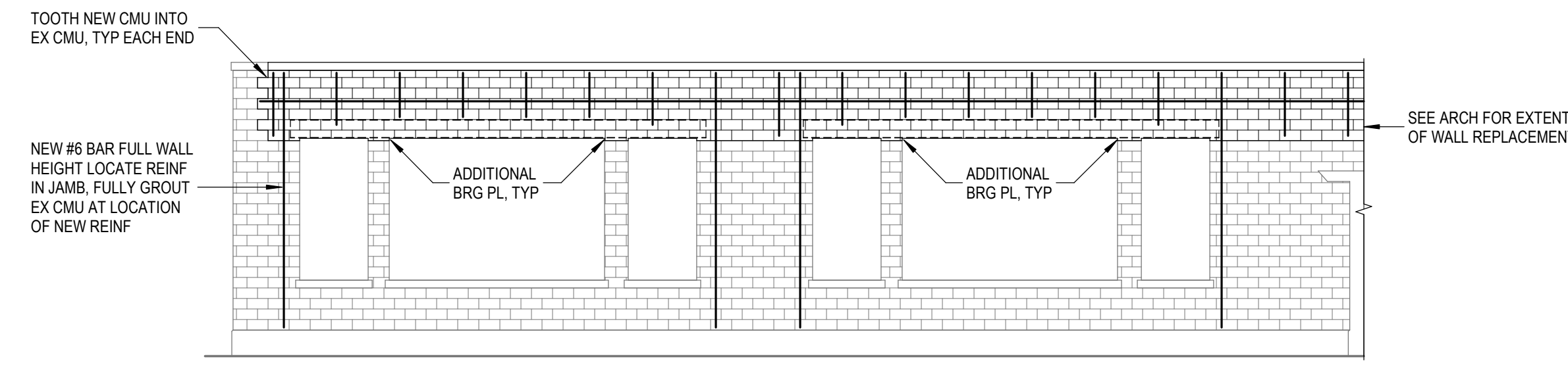
2 TYP STEEL LINTEL DETAIL
SCALE: NOT TO SCALE

3 TYP BEARING PL DETAIL
SCALE: NOT TO SCALE



4 TYPICAL MASONRY OPENING W/ STEEL LINTEL
SCALE: NOT TO SCALE

5 DETAIL
SCALE: 1" = 1'-0"



6 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

NO.	REVISIONS / SUBMISSIONS	DATE

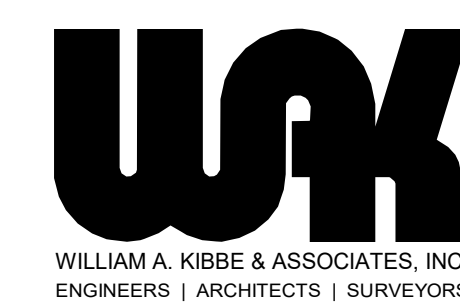
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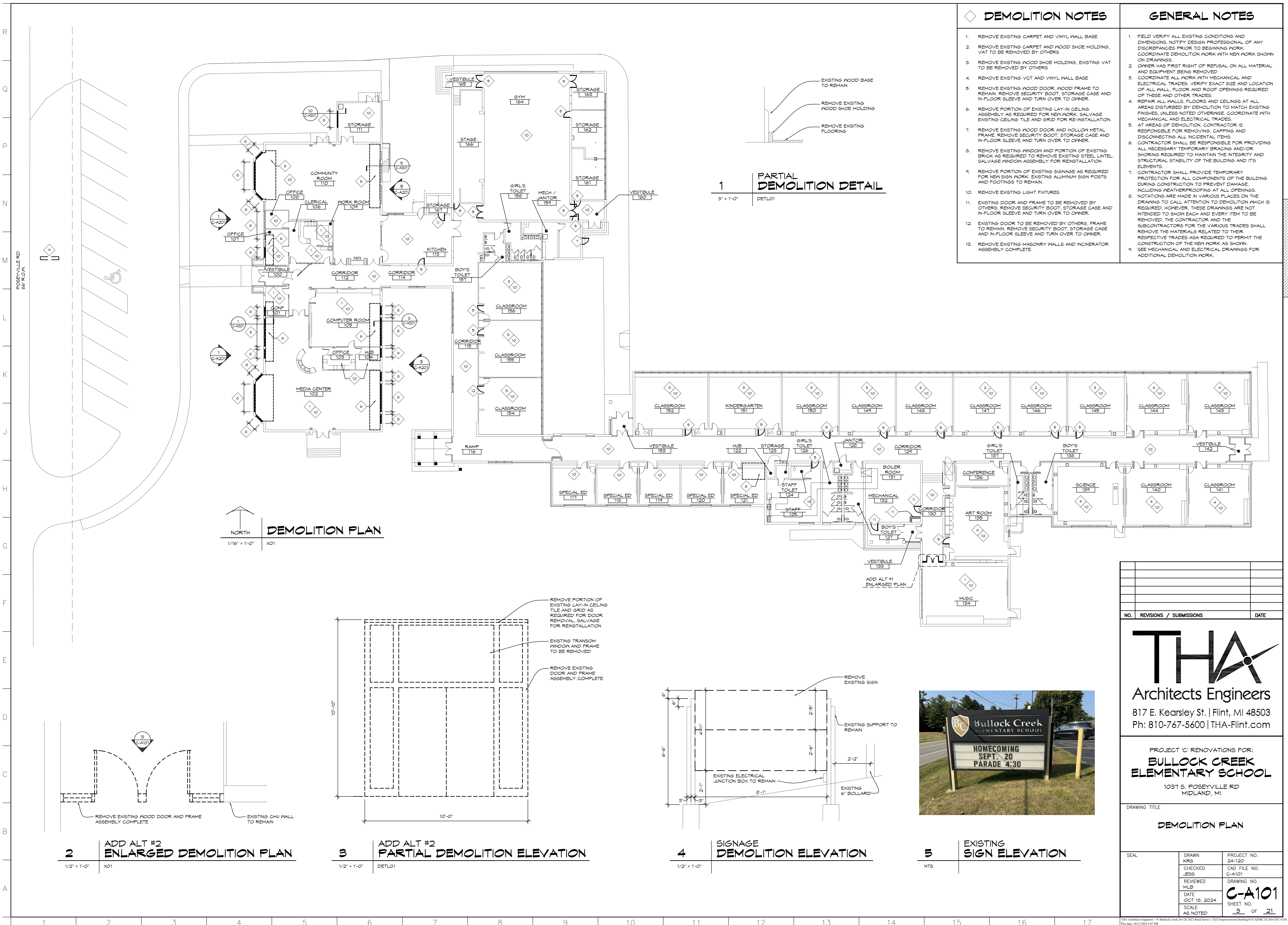
PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
FRAMING PLAN

SEAL	DRAWN D. BART	PROJECT NO. 24-199
	CHECKED N. STURTEVANT	CAD FILE NO. C-S100
	REVIEWED E. MANNOR	DRAWING NO. C-S100
	DATE 10-18-24	SHEET NO. 2 OF 21
	SCALE As indicated	



THA Architects Engineers - C:\Users\kibbe\Documents\24-199\24-199-Bullock Creek Elem Lintel Roofplan_S-04_Drawing.rvt
Plot date: 10/18/2024 3:53:31 PM



- ### DEMOLITION NOTES
- REMOVE EXISTING CARPET AND VINYL WALL BASE
 - REMOVE EXISTING CARPET AND WOOD SHOE MOLDING, VAT TO BE REMOVED BY OTHERS
 - REMOVE EXISTING WOOD SHOE MOLDING, EXISTING VAT TO BE REMOVED BY OTHERS
 - REMOVE EXISTING VCT AND VINYL WALL BASE
 - REMOVE EXISTING WOOD DOOR, WOOD FRAME TO REMAIN, REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER
 - REMOVE PORTION OF EXISTING LAY-IN CEILING ASSEMBLY AS REQUIRED FOR NEW WORK, SALVAGE EXISTING CEILING TILE AND GRID FOR RE-INSTALLATION
 - REMOVE EXISTING WOOD DOOR AND HOLLOW METAL FRAME, REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER
 - REMOVE EXISTING WINDOW AND PORTION OF EXISTING BRICK AS REQUIRED TO REMOVE EXISTING STEEL LINTEL, SALVAGE WINDOW ASSEMBLY FOR REINSTALLATION
 - REMOVE PORTION OF EXISTING SIGNAGE AS REQUIRED FOR NEW SIGN WORK, EXISTING ALUMINUM SIGN POSTS AND FOOTINGS TO REMAIN
 - REMOVE EXISTING LIGHT FIXTURES
 - EXISTING DOOR AND FRAME TO BE REMOVED BY OTHERS, REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER
 - EXISTING DOOR TO BE REMOVED BY OTHERS, FRAME TO REMAIN, REMOVE SECURITY BOOT, STORAGE CASE AND IN-FLOOR SLEEVE AND TURN OVER TO OWNER
 - REMOVE EXISTING MASONRY WALLS AND INCINERATOR ASSEMBLY COMPLETE

- ### GENERAL NOTES
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
 - COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, FLOORS AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
 - AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
 - NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

1 PARTIAL DEMOLITION DETAIL
3' = 1'-0" DETL01

DEMOLITION PLAN
1/16" = 1'-0" X01

2 ADD ALT #2 ENLARGED DEMOLITION PLAN
1/2' = 1'-0" X01

3 ADD ALT #2 PARTIAL DEMOLITION ELEVATION
1/2' = 1'-0" DETL01

4 SIGNAGE DEMOLITION ELEVATION
1/2' = 1'-0"

5 EXISTING SIGN ELEVATION
NTS

NO.	REVISIONS / SUBMISSIONS	DATE

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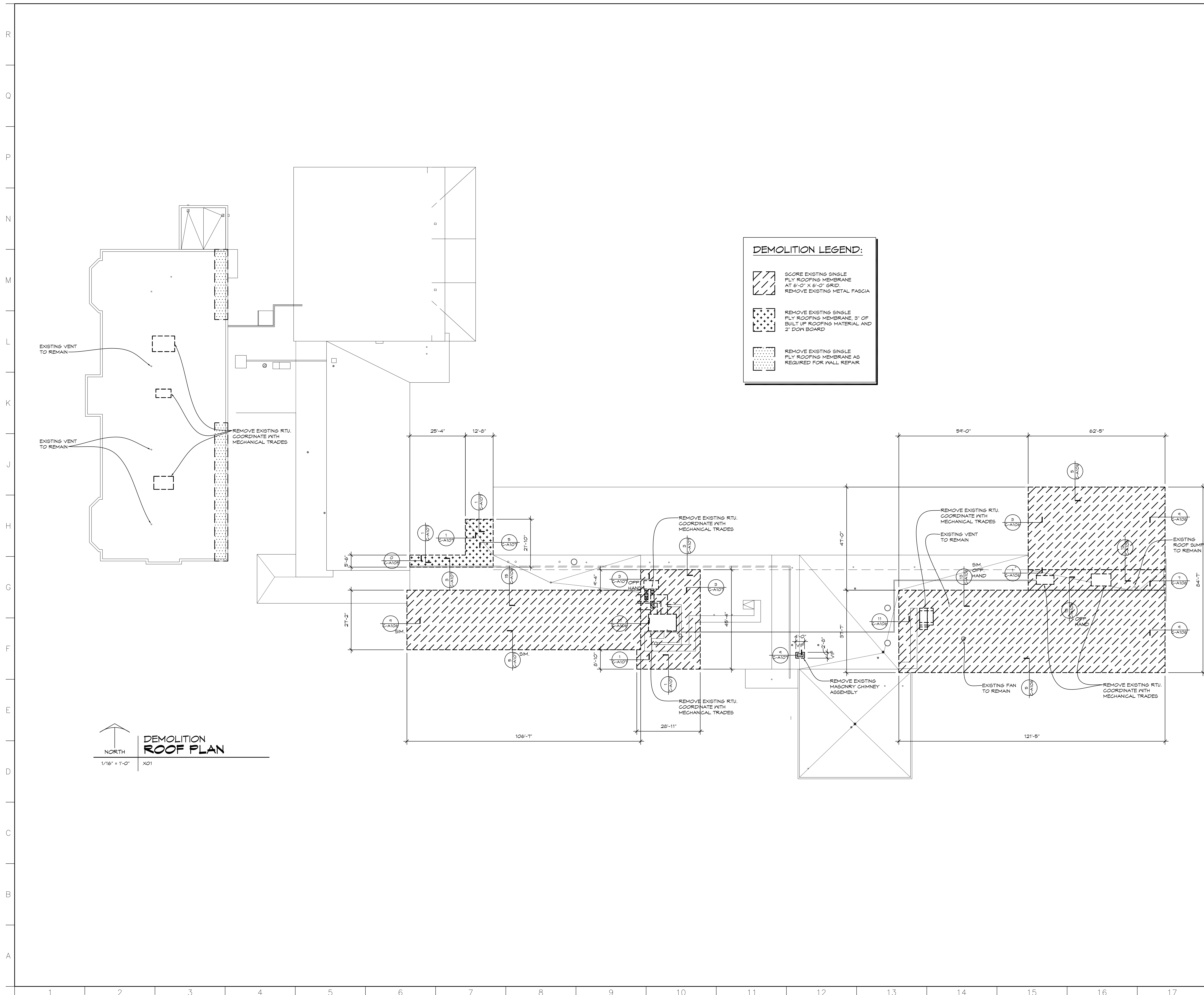
PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
DEMOLITION PLAN

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A101
	SCALE AS NOTED	SHEET NO. 3 OF 21



THA Architects Engineers - P: Bullock Creek 24-120 2023 Bull Creek 1037 S. Poseyville Rd Midland, MI 48601



DEMOLITION LEGEND:

	SCORE EXISTING SINGLE PLY ROOFING MEMBRANE AT 6'-0" X 6'-0" GRID. REMOVE EXISTING METAL FASCIA.
	REMOVE EXISTING SINGLE PLY ROOFING MEMBRANE 3' OF BUILT UP ROOFING MATERIAL AND 2" DOWN BOARD.
	REMOVE EXISTING SINGLE PLY ROOFING MEMBRANE AS REQUIRED FOR WALL REPAIR.

ROOFING GENERAL NOTES

- DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
- ROOFING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ROOF MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- INSTALL INSULATION CRICKETS AS REQUIRED TO PROVIDE DRAINAGE AROUND EQUIPMENT AND ALL MAJOR ROOF PENETRATIONS.
- EXHAUST FANS, VENTS AND OTHER ROOF PENETRATIONS ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. ALL BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. RAISE CURBS OF EXISTING EQUIPMENT TO MEET CURB FLASHING REQUIREMENTS.
- REMOVE ALL METAL ROOF EDGE, GAPPING AND MEMBRANE FLASHINGS.
- INSTALL FLASHINGS AND FASCIAS WITH NECESSARY NAILERS, TERMINATION BARS OR COUNTER FLASHINGS.
- REMOVE ROOF SUMP GRATES, CLEAN AND ROD SUMP LINES AND REINSTALL GRATES.
- ADJUST HEIGHT OF EXISTING ROOF TOP EQUIPMENT TO PROVIDE MINIMUM 6" FLASHING HEIGHT.

PROJECT 'C'

NO.	REVISIONS / SUBMISSIONS	DATE

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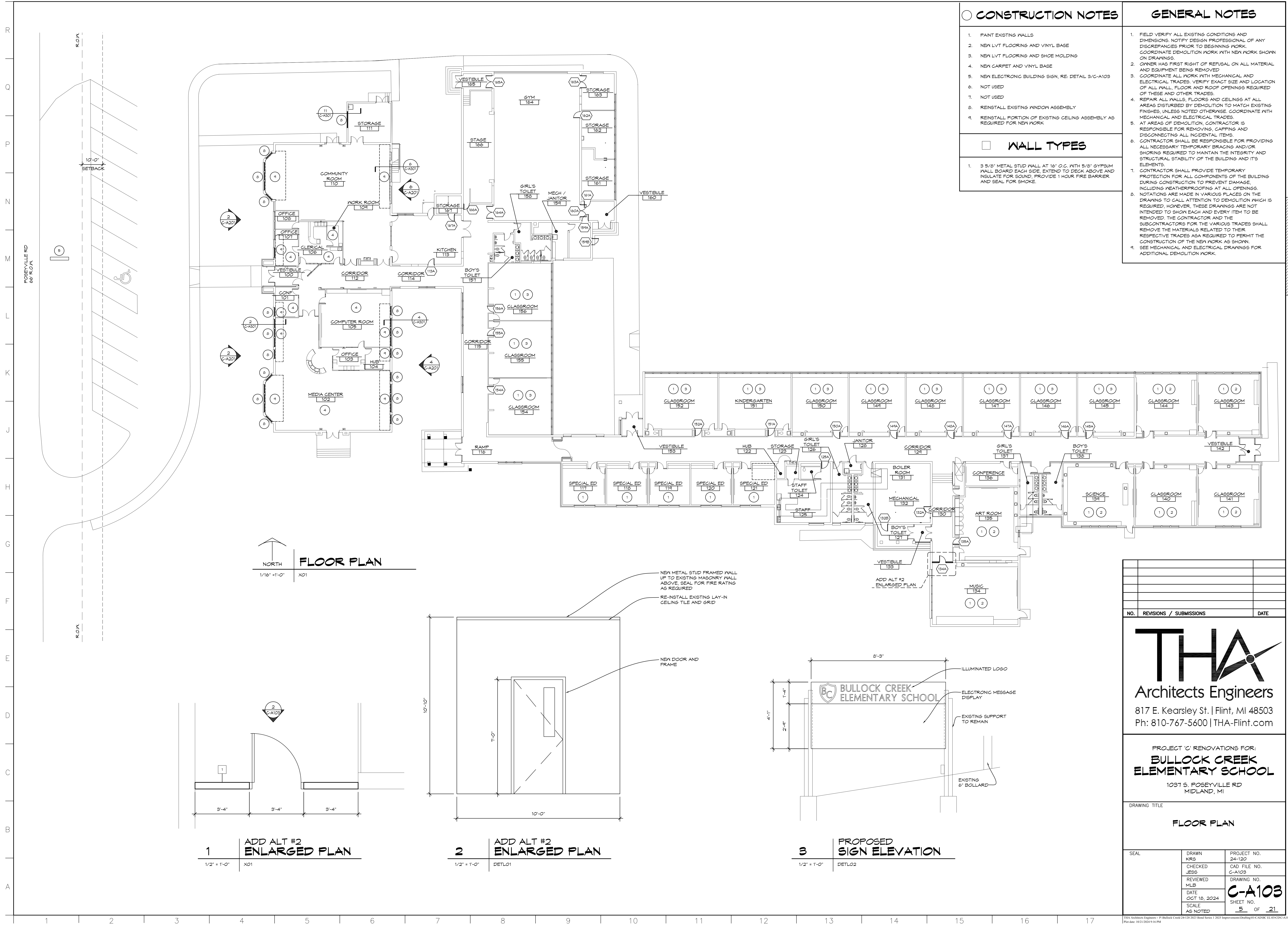
PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
 1037 S. ROSEVILLE RD
 MIDLAND, MI

DRAWING TITLE

DEMOLITION ROOF PLAN

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A102
	REVIEWED MLB	DRAWING NO. C-A102
	DATE OCT 18, 2024	SHEET NO.
	SCALE 1/16" = 1'-0"	4 OF 21

THA Architects Engineers - P:\Bullock Creek\24-120\2023\Bullock Creek\24-120\2023\08-18-2024\01-C-A102-10 - ROOF D1300.dwg
 Plot date: 10/22/2024 2:42 PM

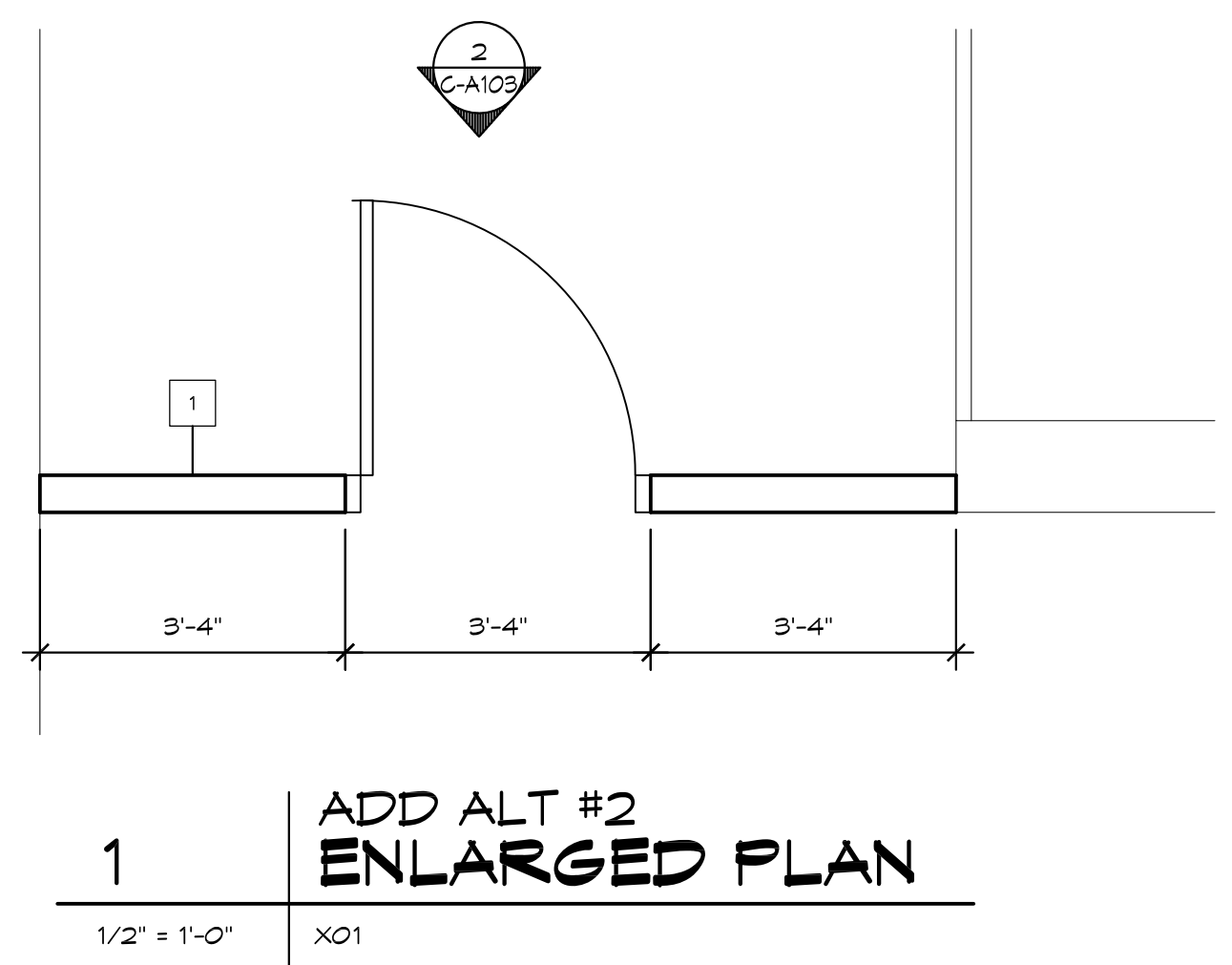


- CONSTRUCTION NOTES**
1. PAINT EXISTING WALLS
 2. NEW LVT FLOORING AND VINYL BASE
 3. NEW LVT FLOORING AND SHOE MOLDING
 4. NEW CARPET AND VINYL BASE
 5. NEW ELECTRONIC BUILDING SIGN, RE. DETAIL 3/C-A103
 6. NOT USED
 7. NOT USED
 8. REINSTALL EXISTING WINDOW ASSEMBLY
 9. REINSTALL PORTION OF EXISTING CEILING ASSEMBLY AS REQUIRED FOR NEW WORK

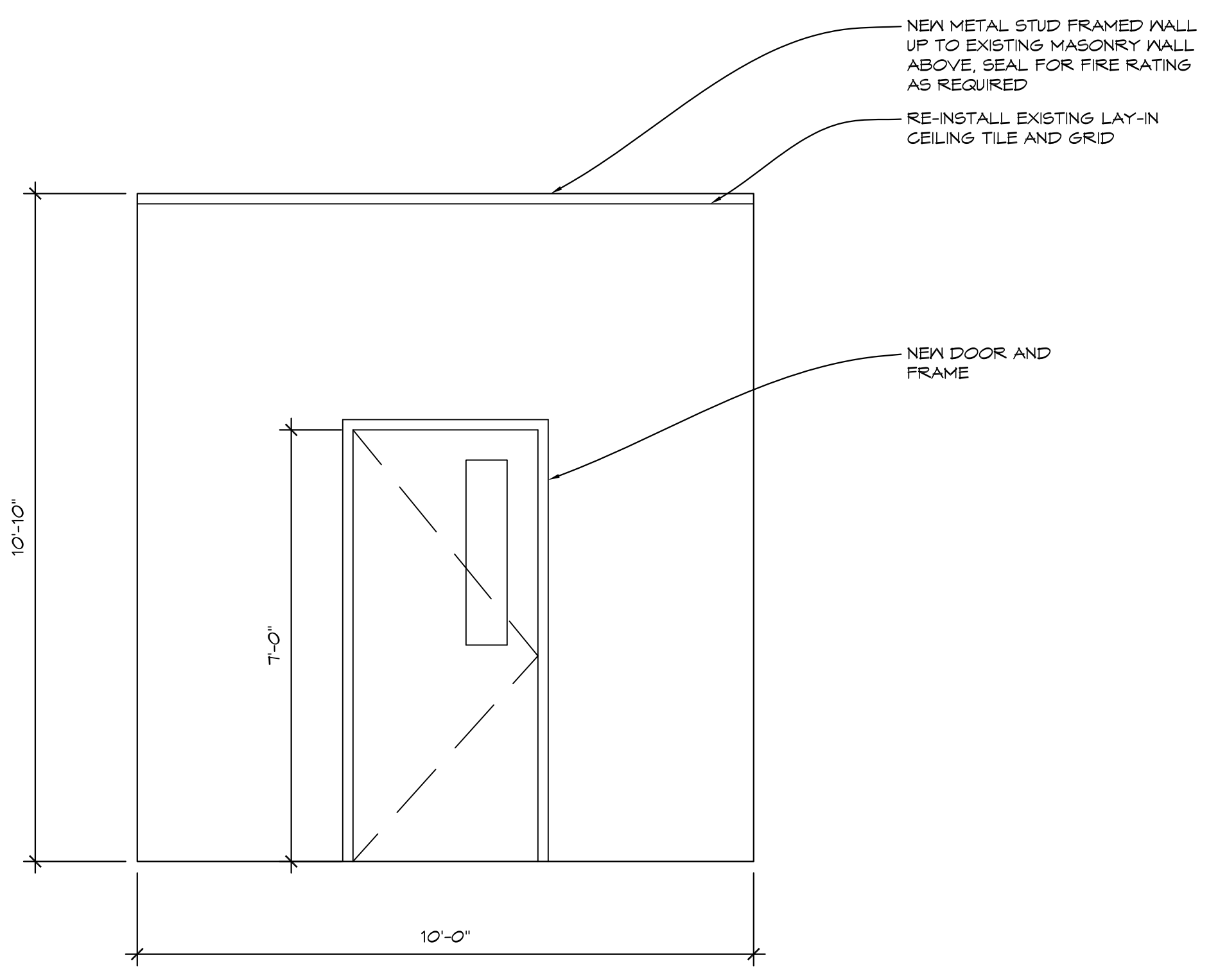
- GENERAL NOTES**
1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 2. OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
 3. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 4. REPAIR ALL WALLS, FLOORS AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
 5. AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 7. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
 8. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
 9. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

- WALL TYPES**
1. 3 5/8" METAL STUD WALL AT 16" O.C. WITH 5/8" GYPSUM WALL BOARD EACH SIDE. EXTEND TO DECK ABOVE AND INSULATE FOR SOUND. PROVIDE 1 HOUR FIRE BARRIER AND SEAL FOR SMOKE.

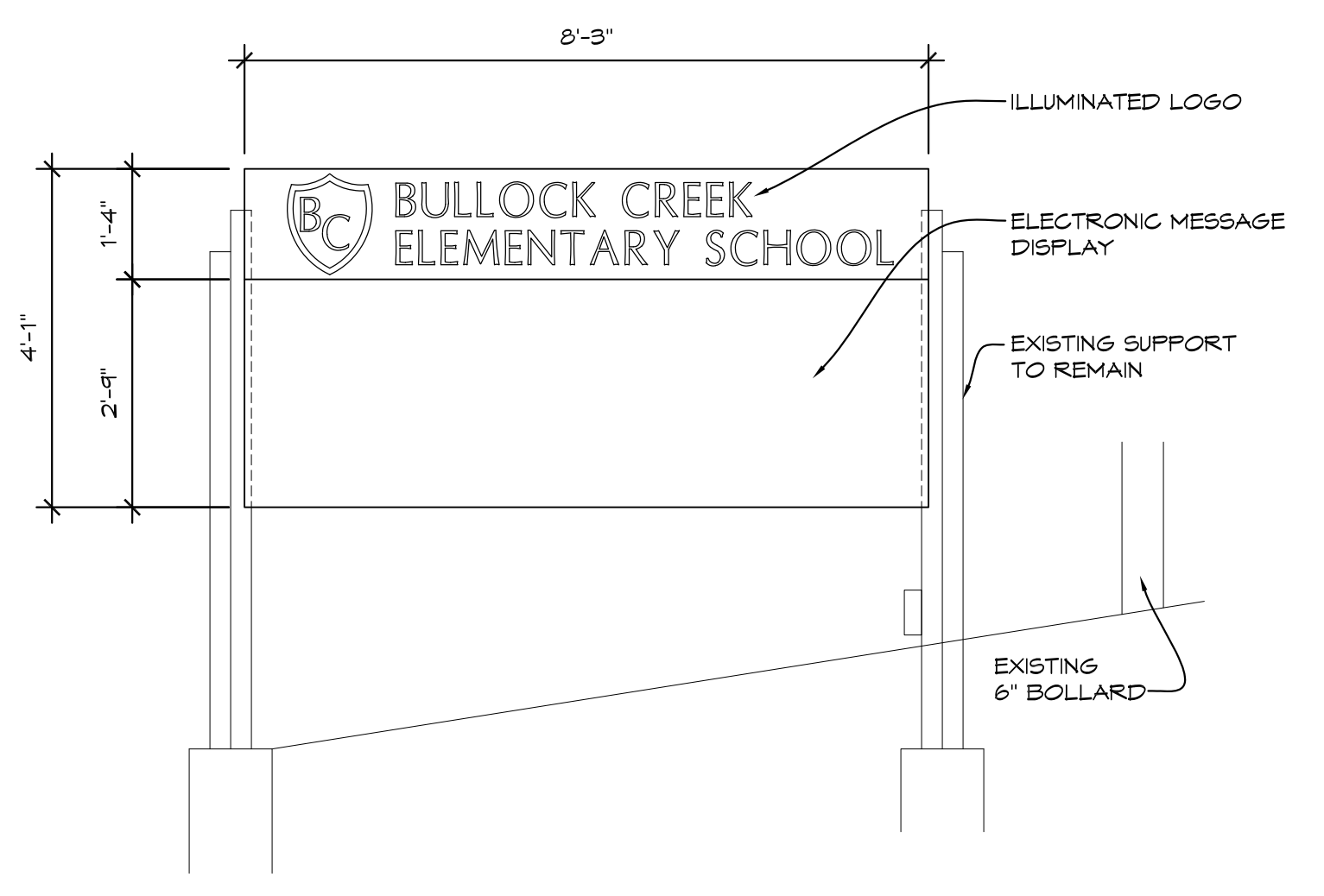
FLOOR PLAN
1/16" = 1'-0" X01



1 ADD ALT #2 ENLARGED PLAN
1/2" = 1'-0" X01



2 ADD ALT #2 ENLARGED PLAN
1/2" = 1'-0" DETLO1



3 PROPOSED SIGN ELEVATION
1/2" = 1'-0" DETLO2

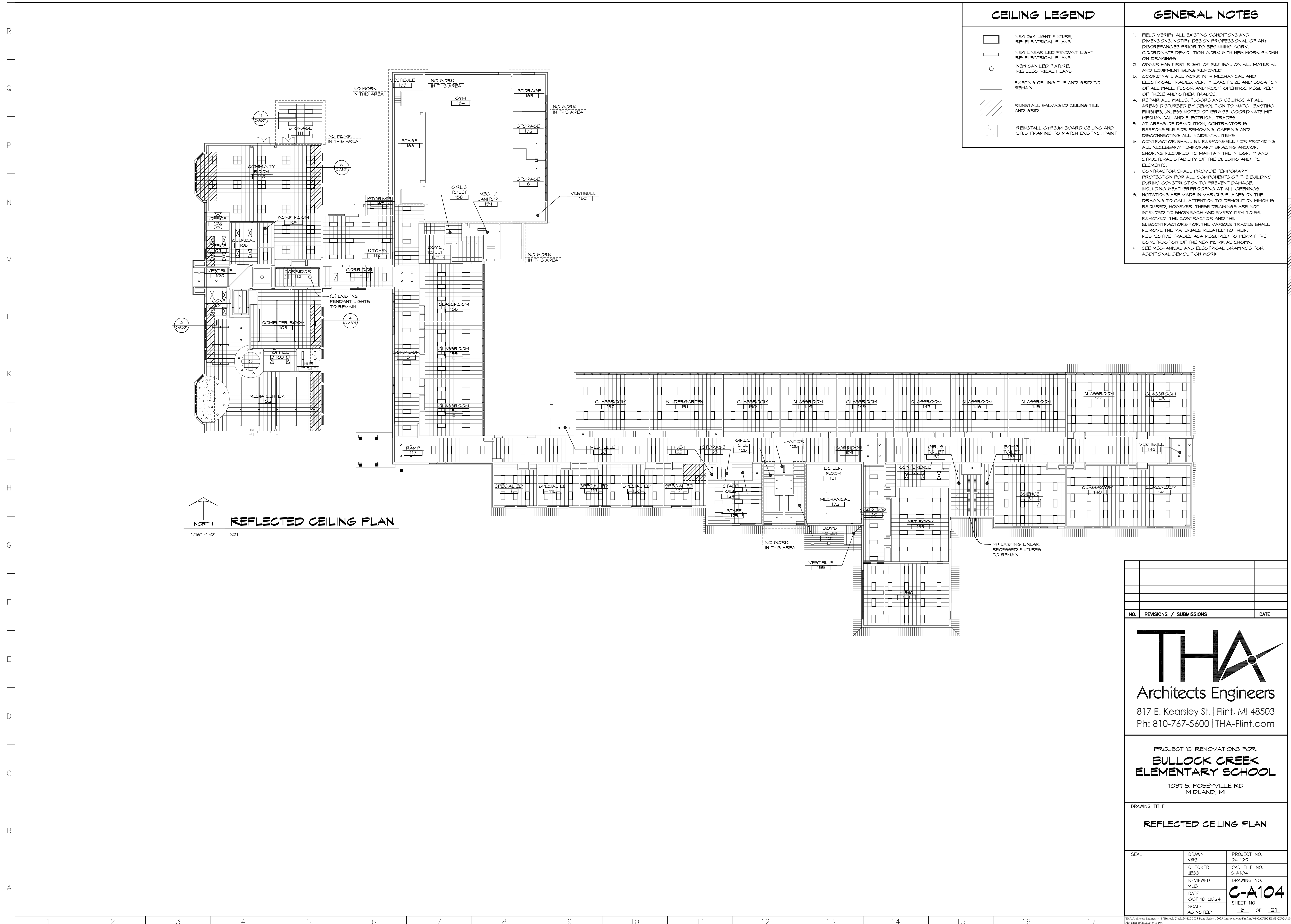
NO.	REVISIONS / SUBMISSIONS	DATE

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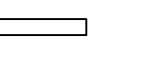



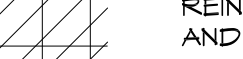
PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
FLOOR PLAN

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A103
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A103
	SCALE AS NOTED	SHEET NO. 5 OF 21



CEILING LEGEND

-  NEW 2x4 LIGHT FIXTURE, RE. ELECTRICAL PLANS
-  NEW LINEAR LED PENDANT LIGHT, RE. ELECTRICAL PLANS
-  NEW CAN LED FIXTURE, RE. ELECTRICAL PLANS
-  EXISTING CEILING TILE AND GRID TO REMAIN
-  REINSTALL SALVAGED CEILING TILE AND GRID
-  REINSTALL GYPSUM BOARD CEILING AND STUD FRAMING TO MATCH EXISTING, PAINT

GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
2. OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
3. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
4. REPAIR ALL WALLS, FLOORS AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
5. AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
7. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
8. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED; HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
9. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

 NORTH
 1/16" = 1'-0" X01
REFLECTED CEILING PLAN

PROJECT 'C'

NO.	REVISIONS / SUBMISSIONS	DATE



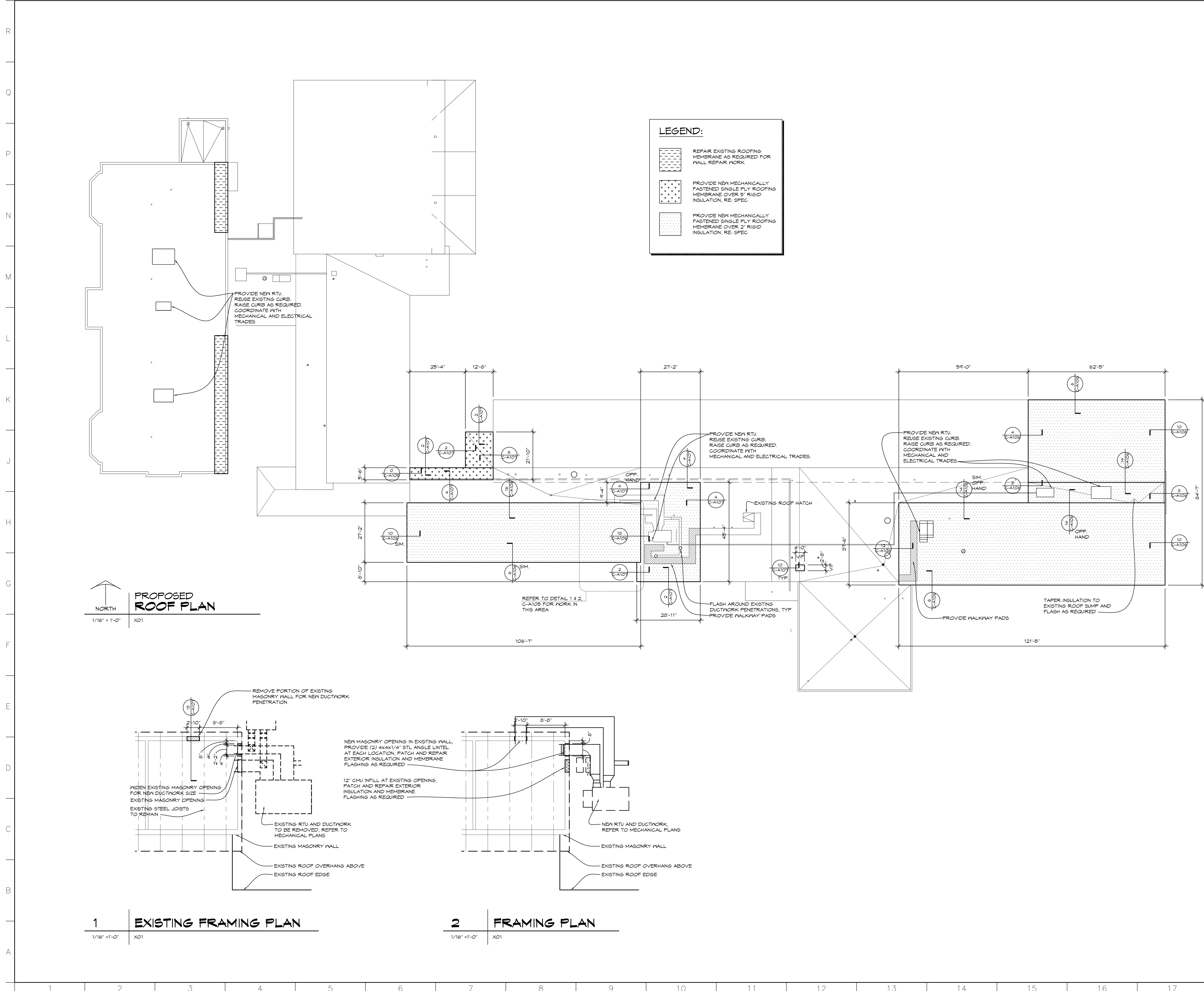
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
 1031 S. ROSEVILLE RD
 MIDLAND, MI

DRAWING TITLE
REFLECTED CEILING PLAN

DRAWN	PROJECT NO.
KRS	24-120
CHECKED	CAD FILE NO.
JESS	G-A104
REVIEWED	DRAWING NO.
MLB	C-A104
DATE	SHEET NO.
OCT 18, 2024	6 OF 21
SCALE	AS NOTED

THA Architects Engineers - P:\Bullock Creek 24-120\Bldg Srvs 1 2023\Improvements\08\Drawings\CAD\BC EL 04 CD C-A104 - REFLECTED Ceiling Plan.dwg, 10/18/2024 9:11 PM



**ROOFING
GENERAL NOTES**

1. DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
2. ROOFING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ROOF MANUFACTURER'S DETAILS AND SPECIFICATIONS.
3. INSTALL INSULATION CRICKETS AS REQUIRED TO PROVIDE DRAINAGE AROUND EQUIPMENT AND ALL MAJOR ROOF PENETRATIONS.
4. EXHAUST FANS, VENTS AND OTHER ROOF PENETRATIONS ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. ALL BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. RAISE CURBS OF EXISTING EQUIPMENT TO MEET CURB FLASHING REQUIREMENTS.
5. REMOVE ALL METAL ROOF EDGE, CAPPING AND MEMBRANE FLASHINGS.
6. INSTALL FLASHINGS AND FASCIAS WITH NECESSARY NAILERS, TERMINATION BARS OR COUNTER FLASHINGS.
7. REMOVE ROOF SUMP GRATES, CLEAN AND ROD SUMP LINES AND REINSTALL GRATES.
8. ADJUST HEIGHT OF EXISTING ROOF TOP EQUIPMENT TO PROVIDE MINIMUM 6" FLASHING HEIGHT.

LEGEND:

	REPAIR EXISTING ROOFING MEMBRANE AS REQUIRED FOR WALL REPAIR WORK
	PROVIDE NEW MECHANICALLY FASTENED SINGLE PLY ROOFING MEMBRANE OVER 5" RIGID INSULATION, RE: SPEC
	PROVIDE NEW MECHANICALLY FASTENED SINGLE PLY ROOFING MEMBRANE OVER 2" RIGID INSULATION, RE: SPEC

**PROPOSED
ROOF PLAN**
1/16" = 1'-0"
X01

**1
EXISTING FRAMING PLAN**
1/16" = 1'-0"
X01

**2
FRAMING PLAN**
1/16" = 1'-0"
X01

PROJECT 'C'

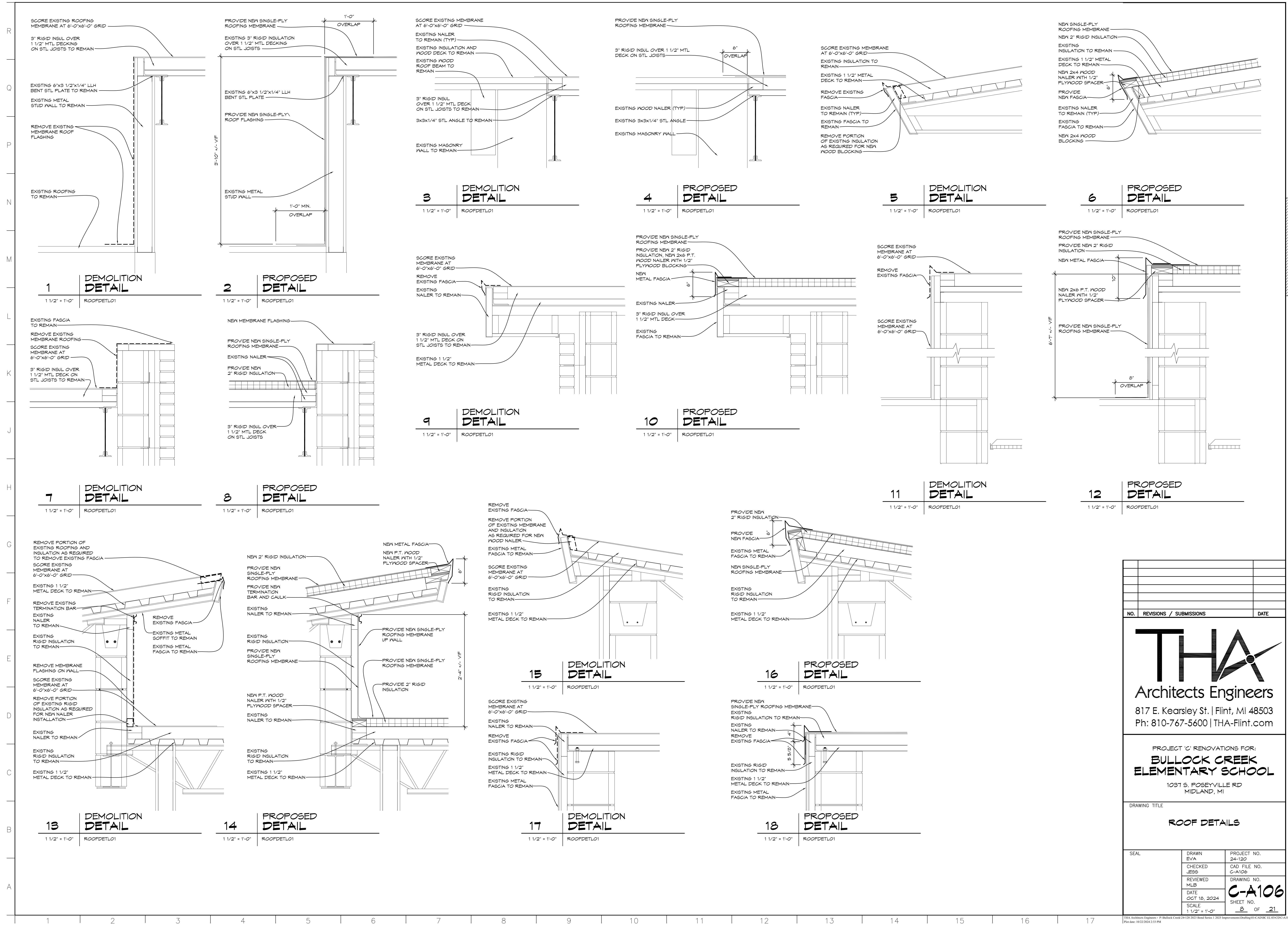
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
ROOF PLAN

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A105
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A105
	SCALE 1/16" = 1'-0"	SHEET NO. 7 OF 21



PROJECT 'C'

NO.	REVISIONS / SUBMISSIONS	DATE

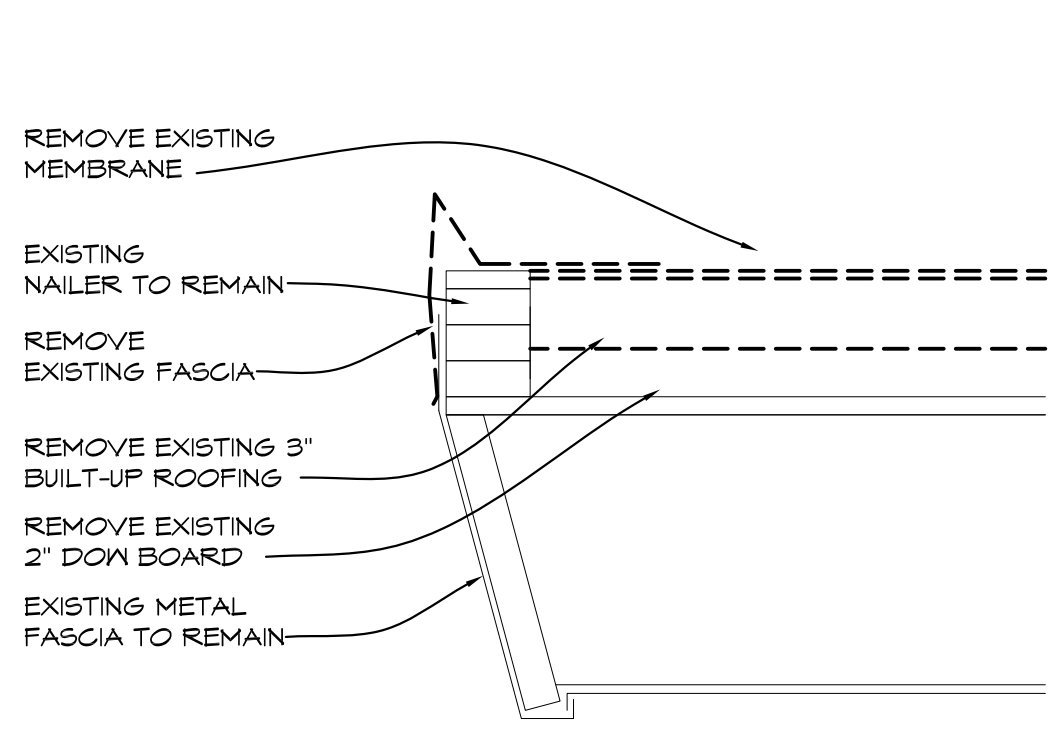


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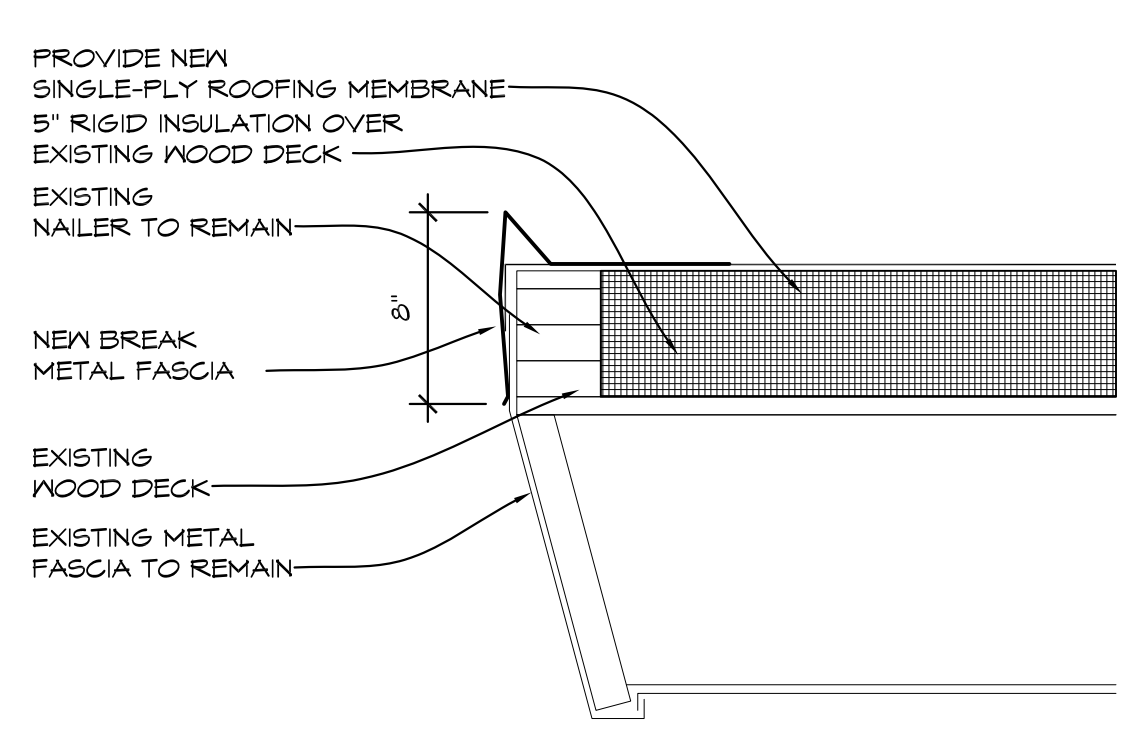
PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1031 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ROOF DETAILS

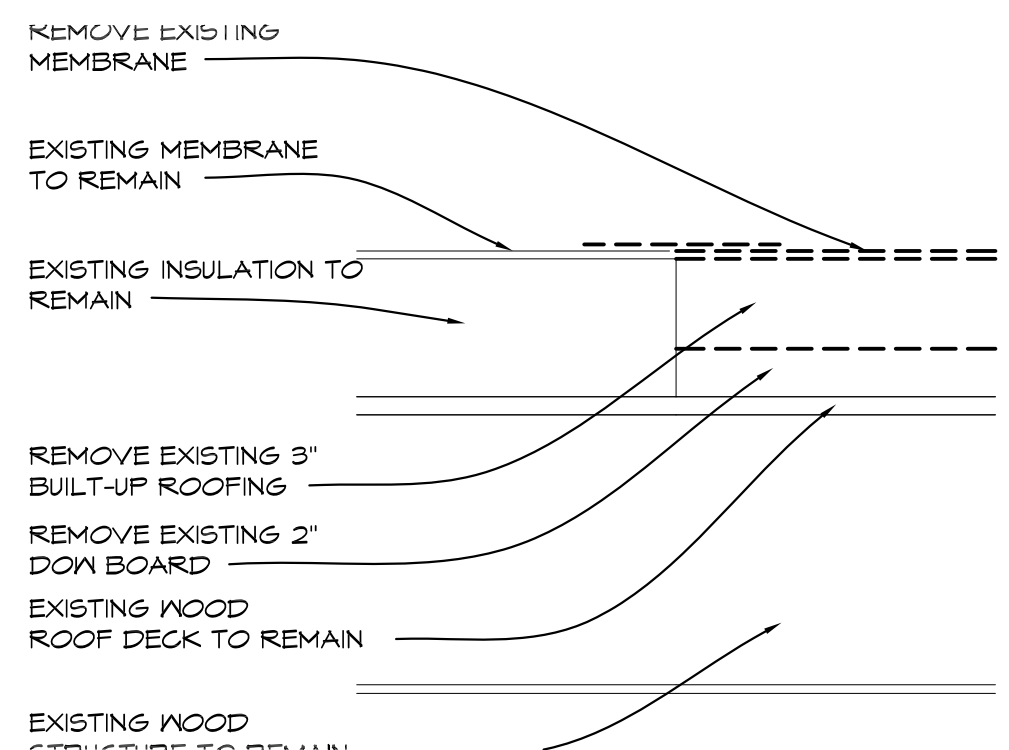
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	CHECKED JESS	CAD FILE NO. C-A106
	REVIEWED MLB	DRAWING NO. C-A106
	DATE OCT 18, 2024	SHEET NO. 8 OF 21
	SCALE 1/2" = 1'-0"	



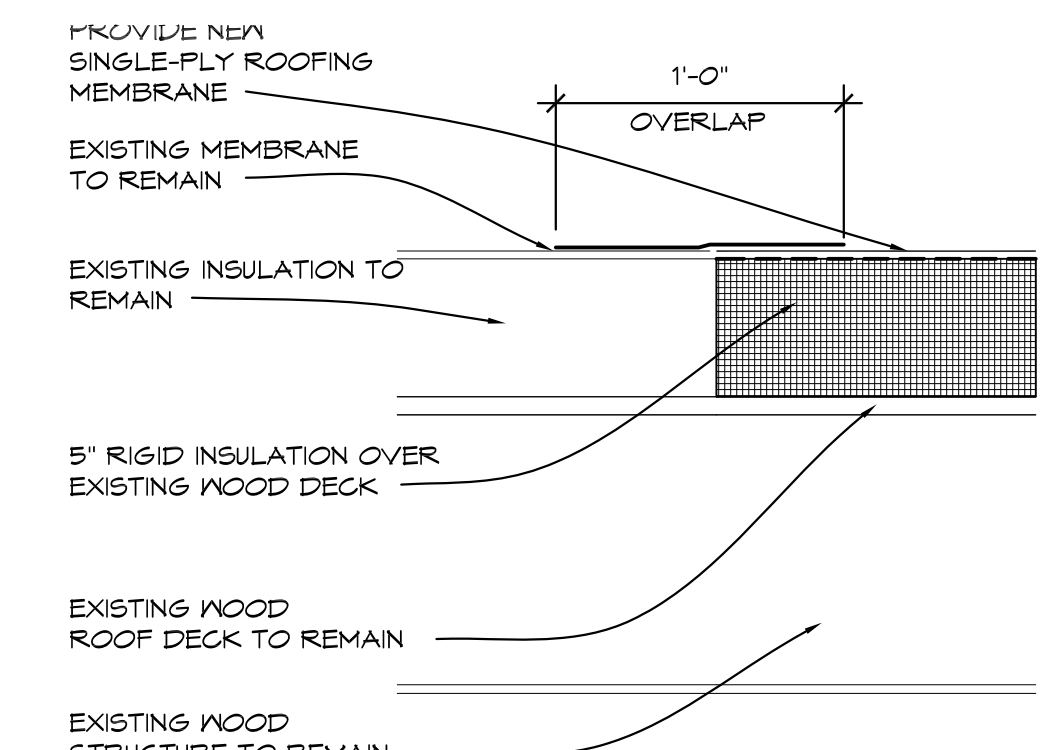
1 DEMOLITION DETAIL
1 1/2" = 1'-0" ROOFDETLO1



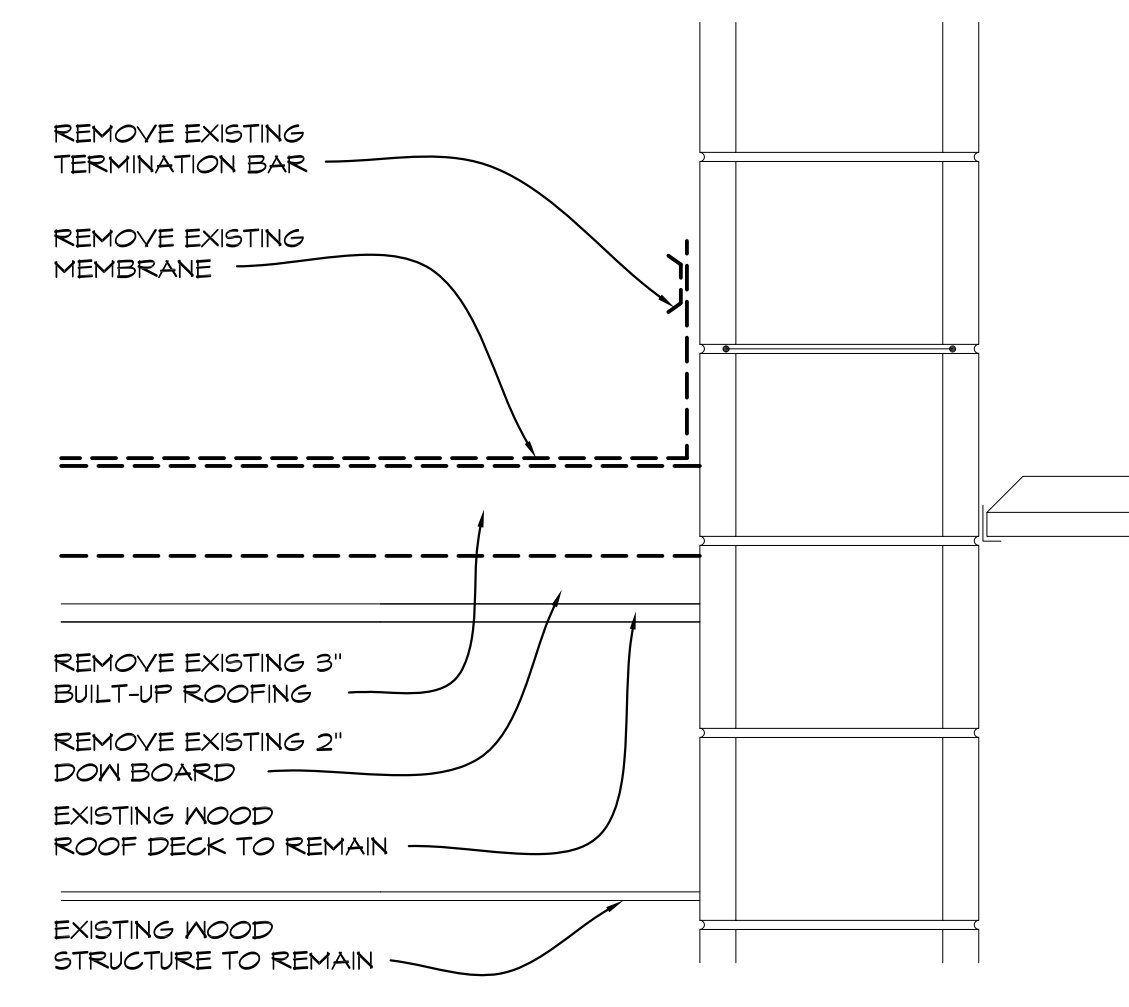
2 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1



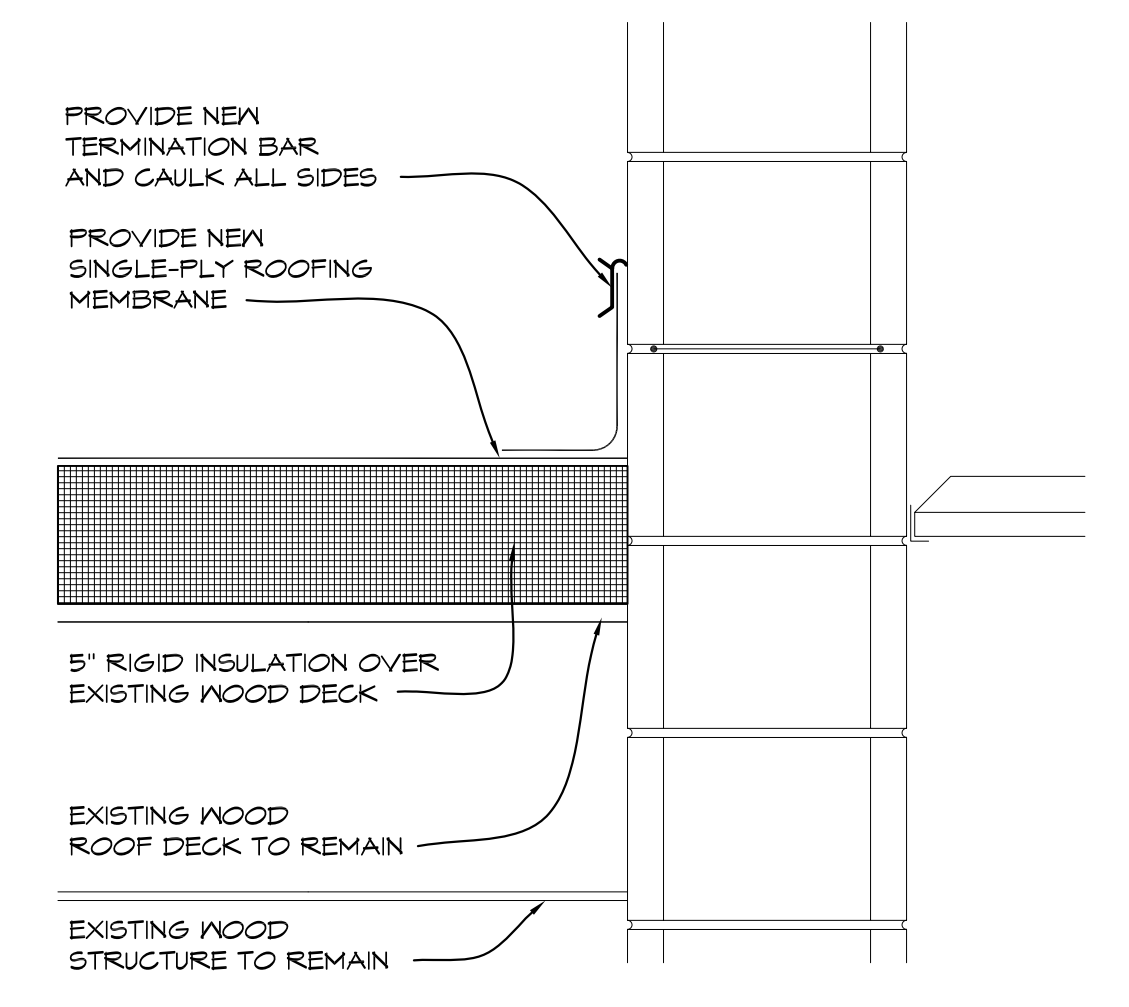
3 DEMOLITION DETAIL
1 1/2" = 1'-0" ROOFDETLO1



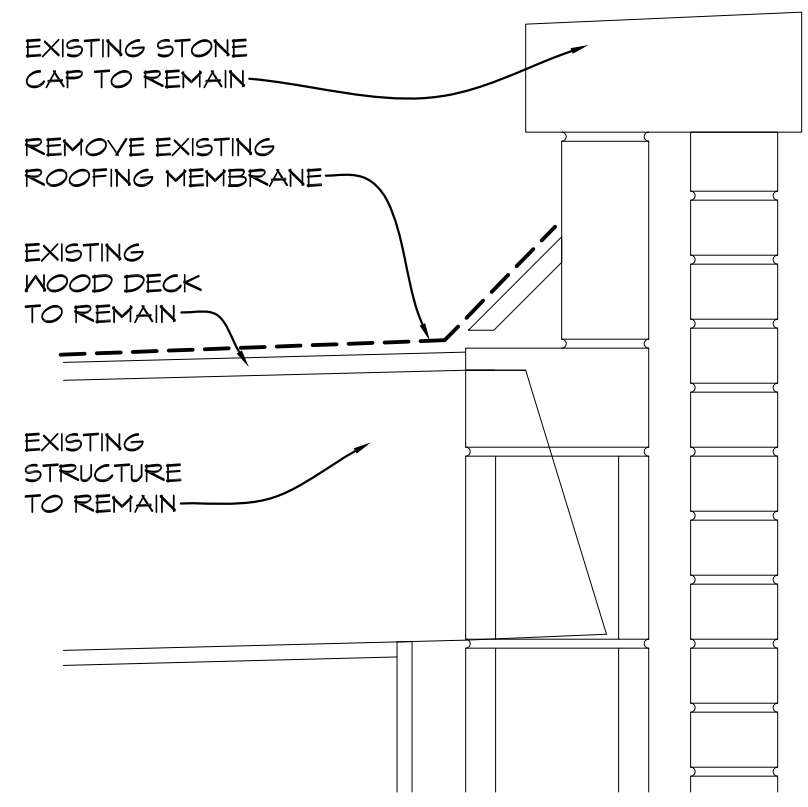
4 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1



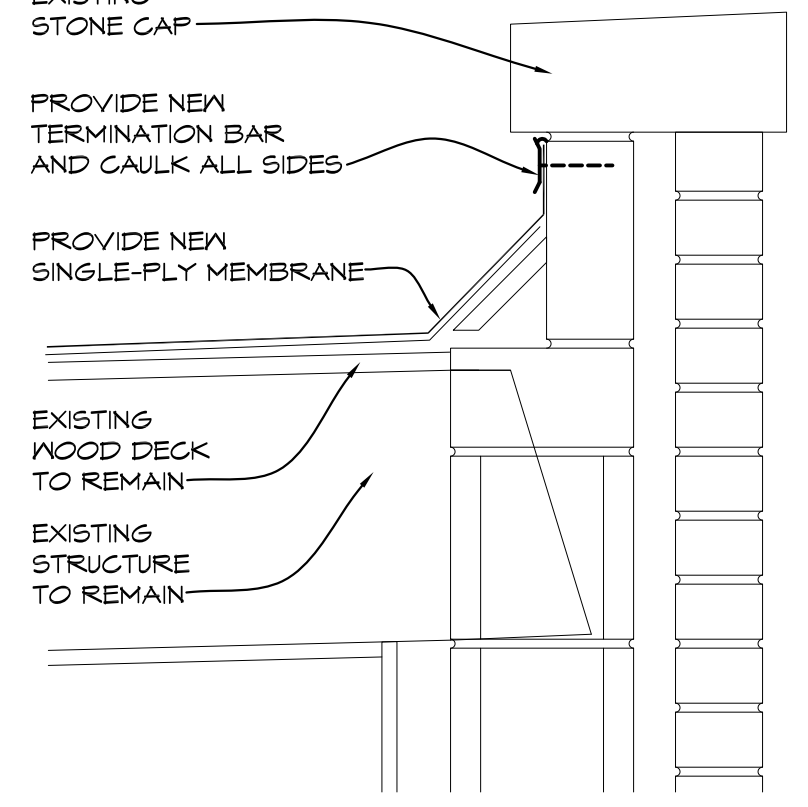
5 DEMOLITION DETAIL
1 1/2" = 1'-0" ROOFDETLO1



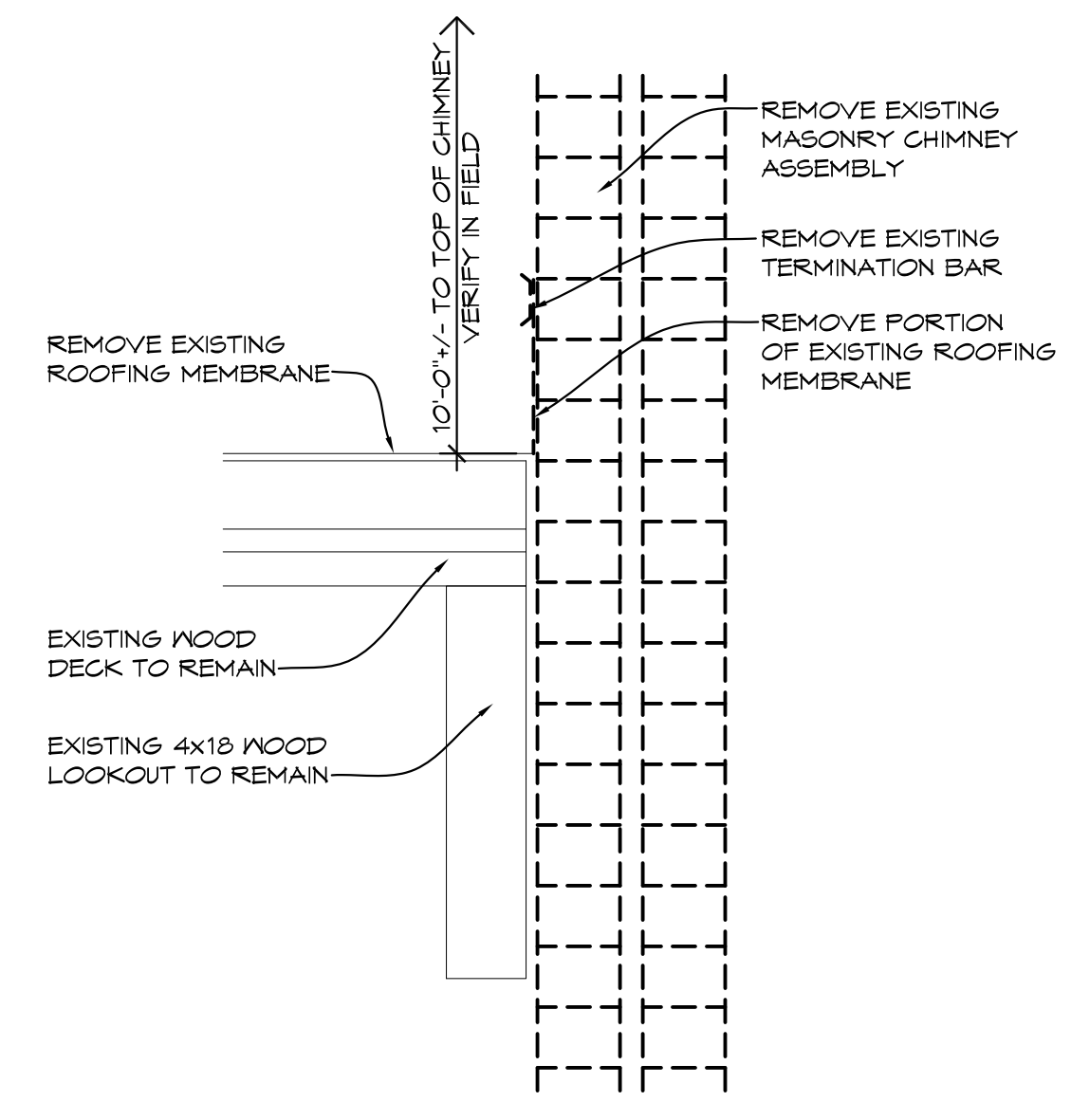
6 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1



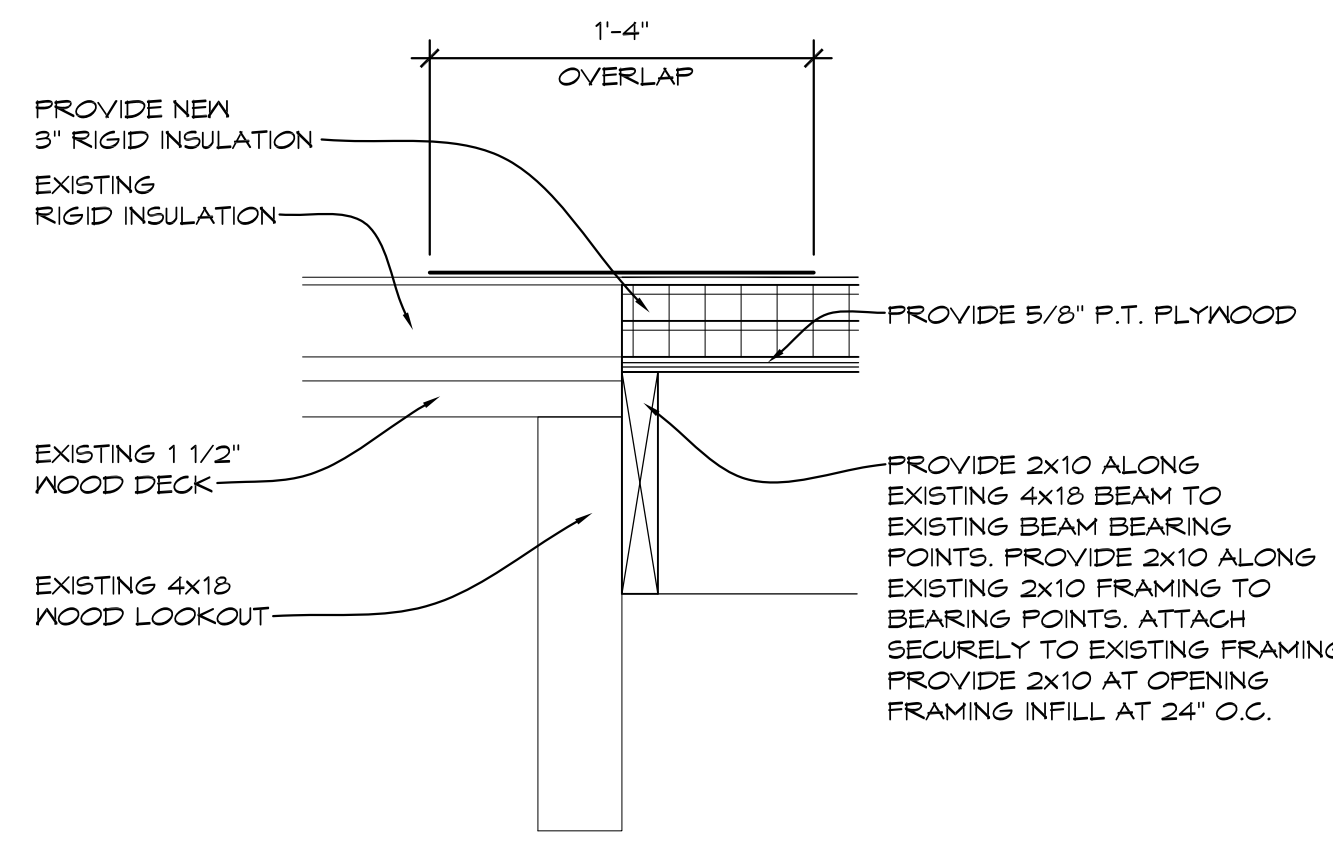
7 DEMOLITION DETAIL
1 1/2" = 1'-0" ROOFDETLO1



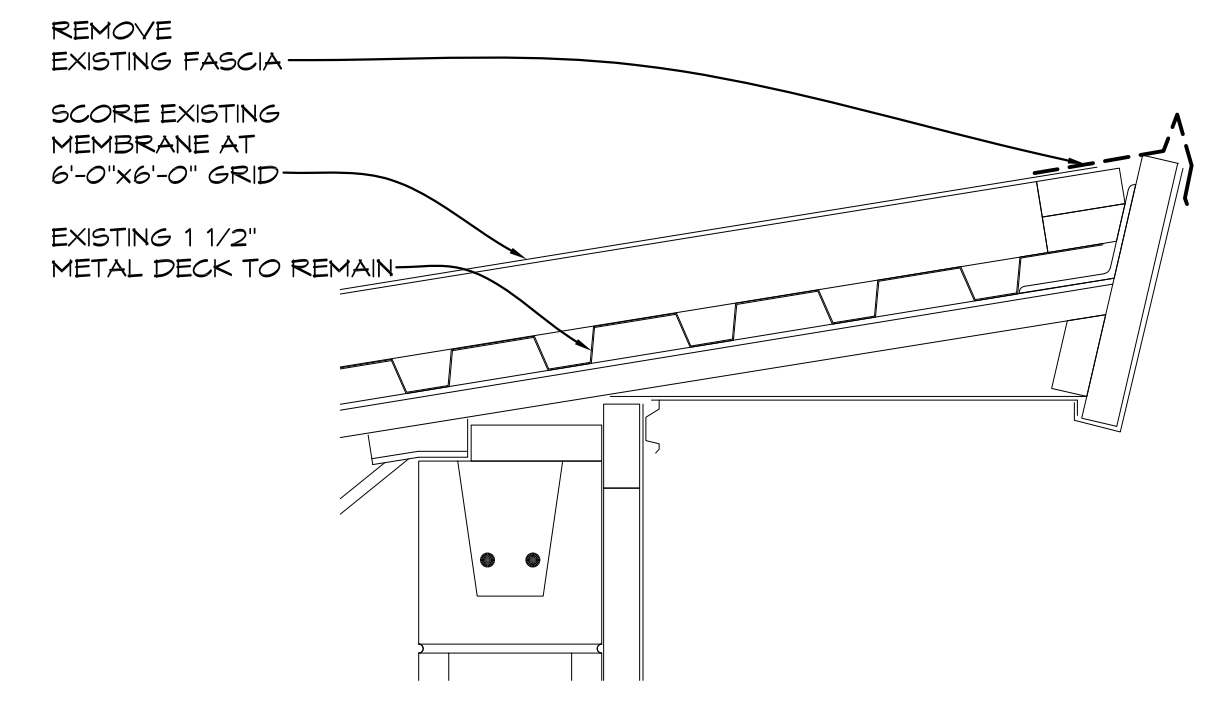
8 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1



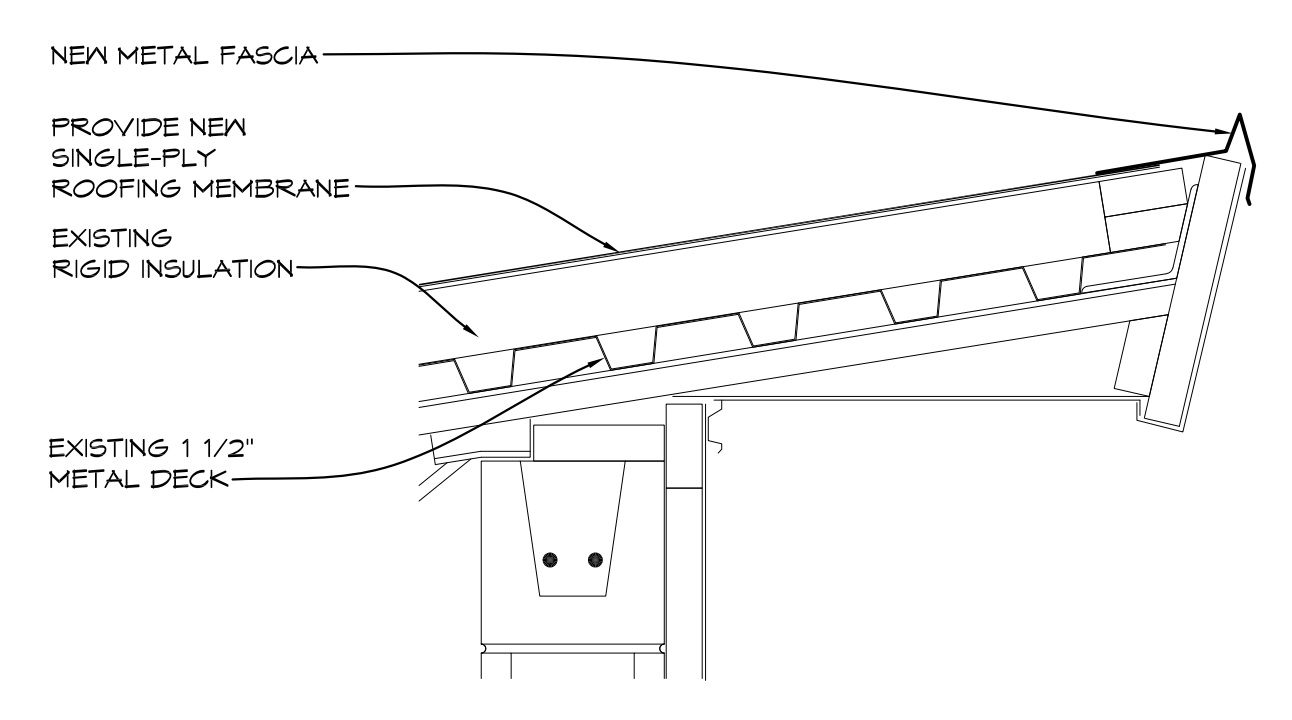
9 DEMOLITION DETAIL
1 1/2" = 1'-0" ROOFDETLO1



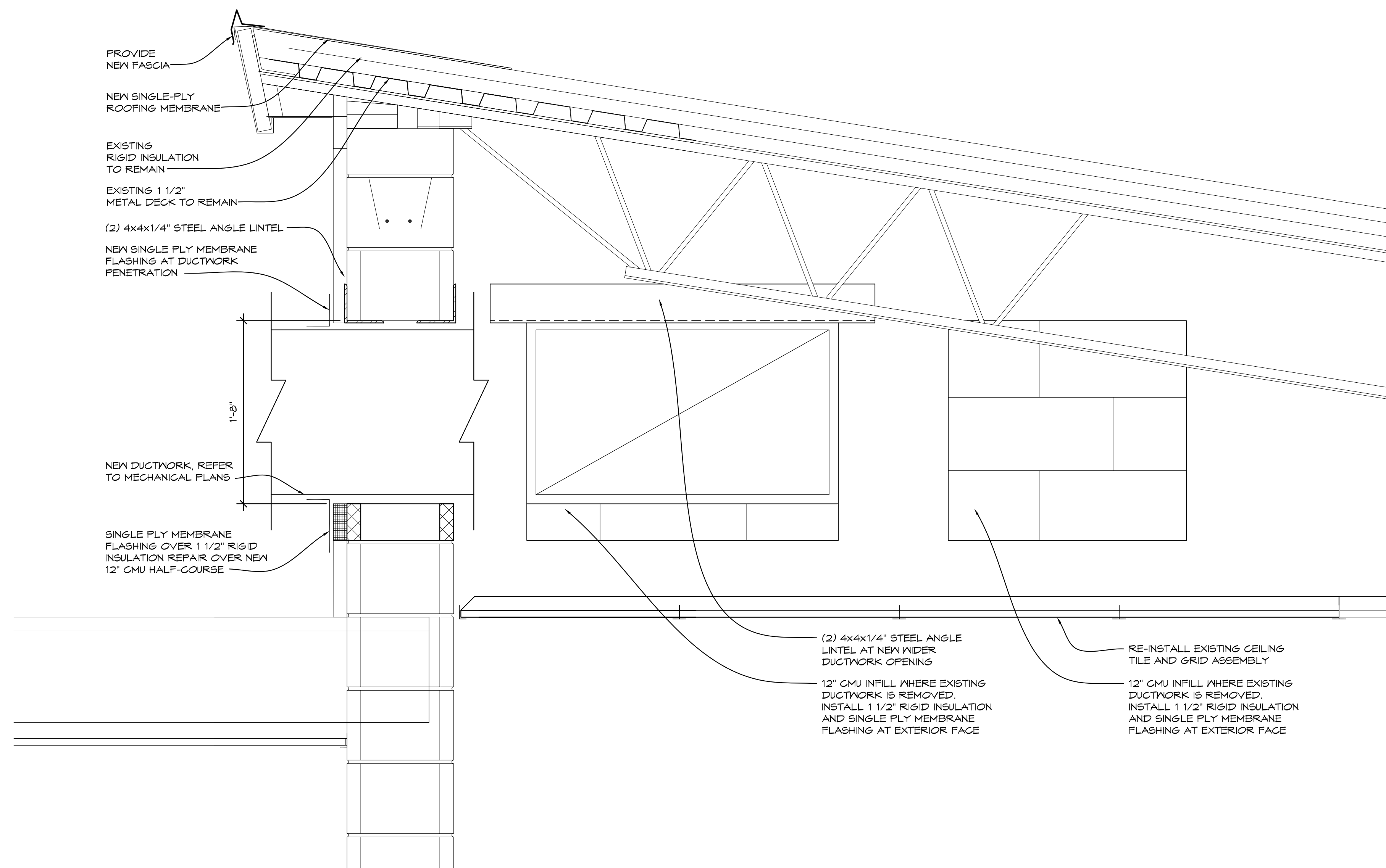
10 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1



11 DEMOLITION DETAIL
1 1/2" = 1'-0" ROOFDETLO1



12 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1



13 PROPOSED DETAIL
1 1/2" = 1'-0" ROOFDETLO1

PROJECT 'C'

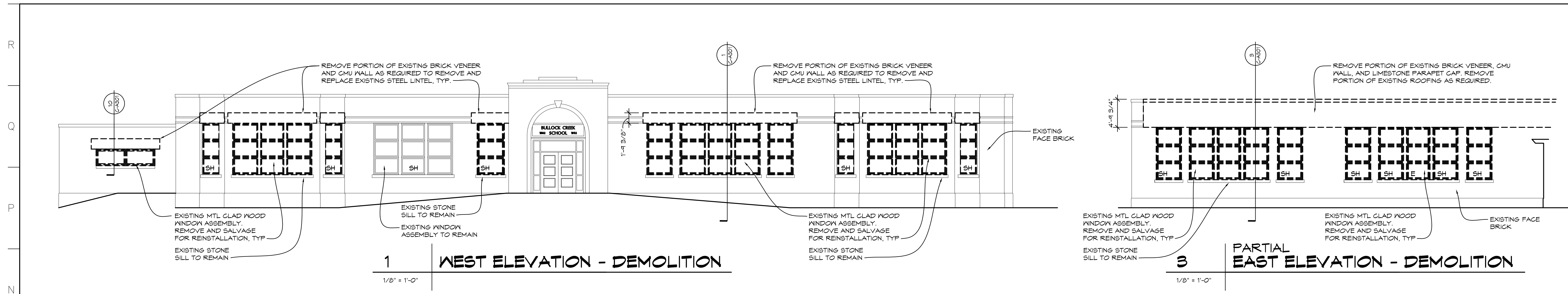
NO.	REVISIONS / SUBMISSIONS	DATE

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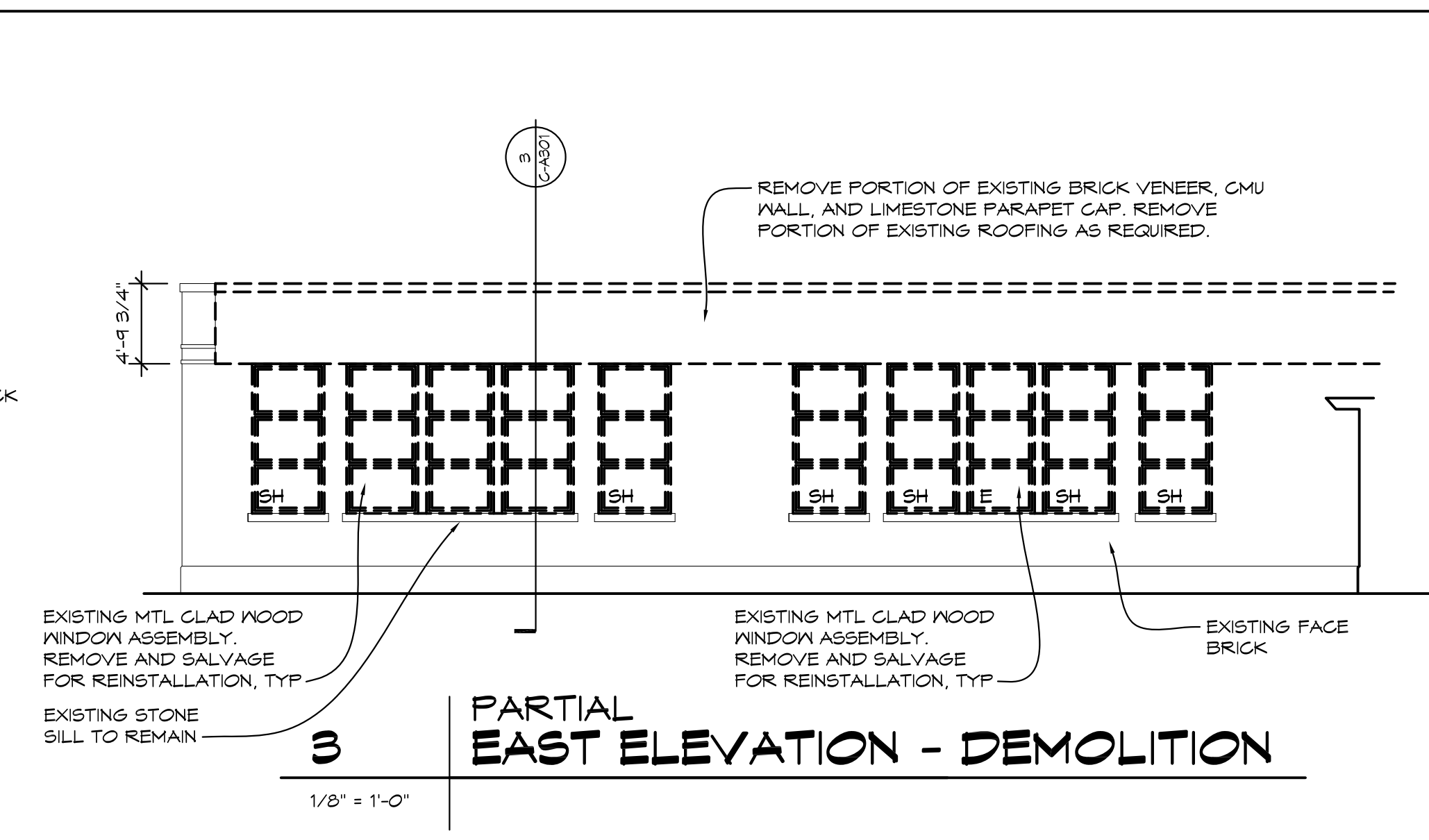
PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1031 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ROOF DETAILS

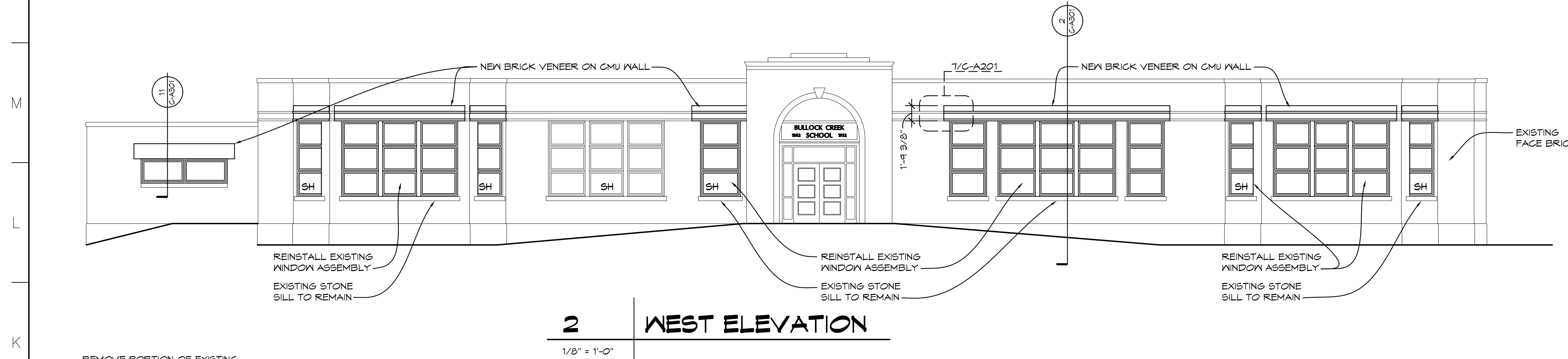
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	CHECKED JESS	CAD FILE NO. C-A107
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A107
	SCALE 1 1/2" = 1'-0"	SHEET NO. 9 OF 21



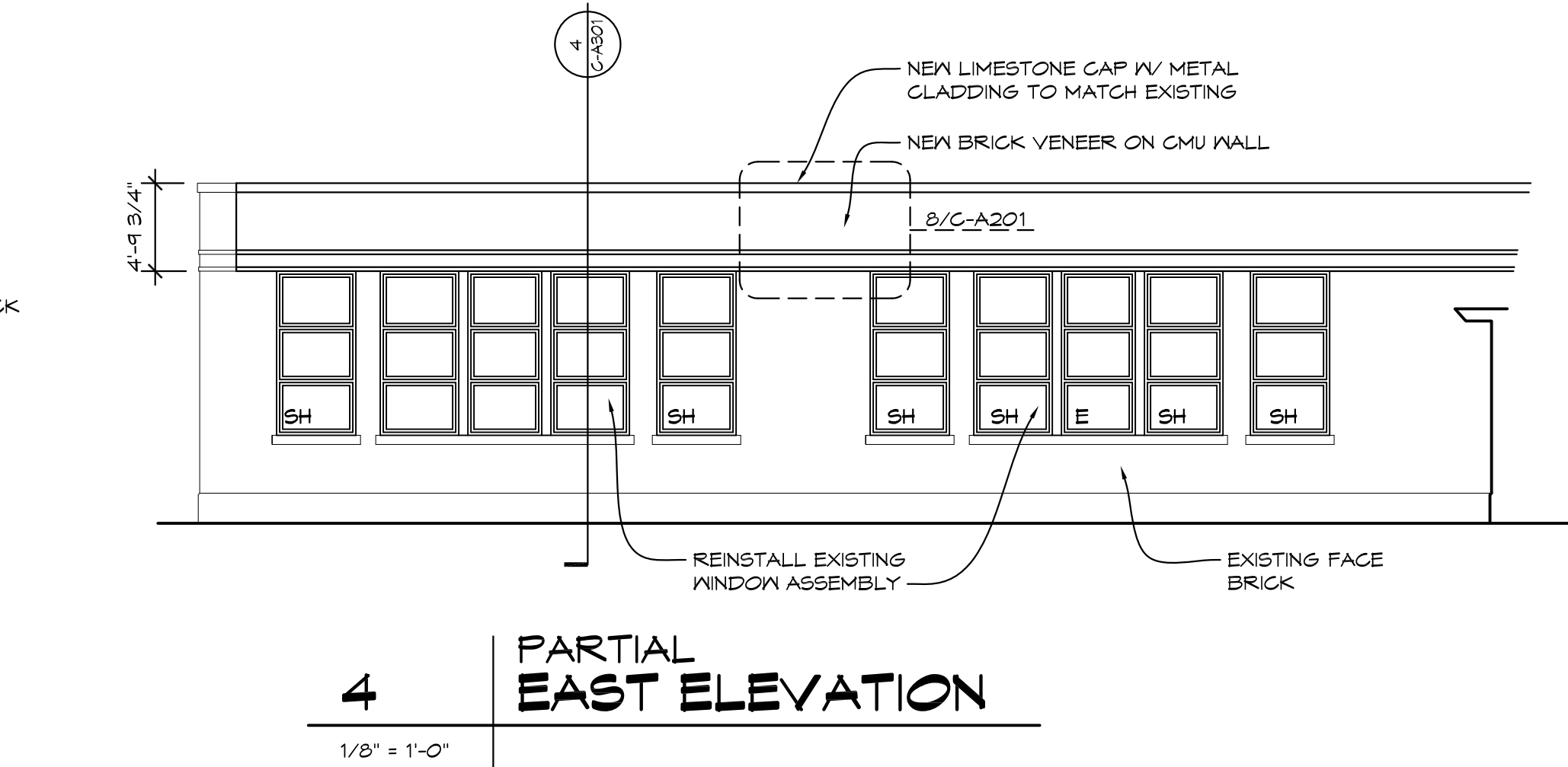
1 WEST ELEVATION - DEMOLITION
1/8" = 1'-0"



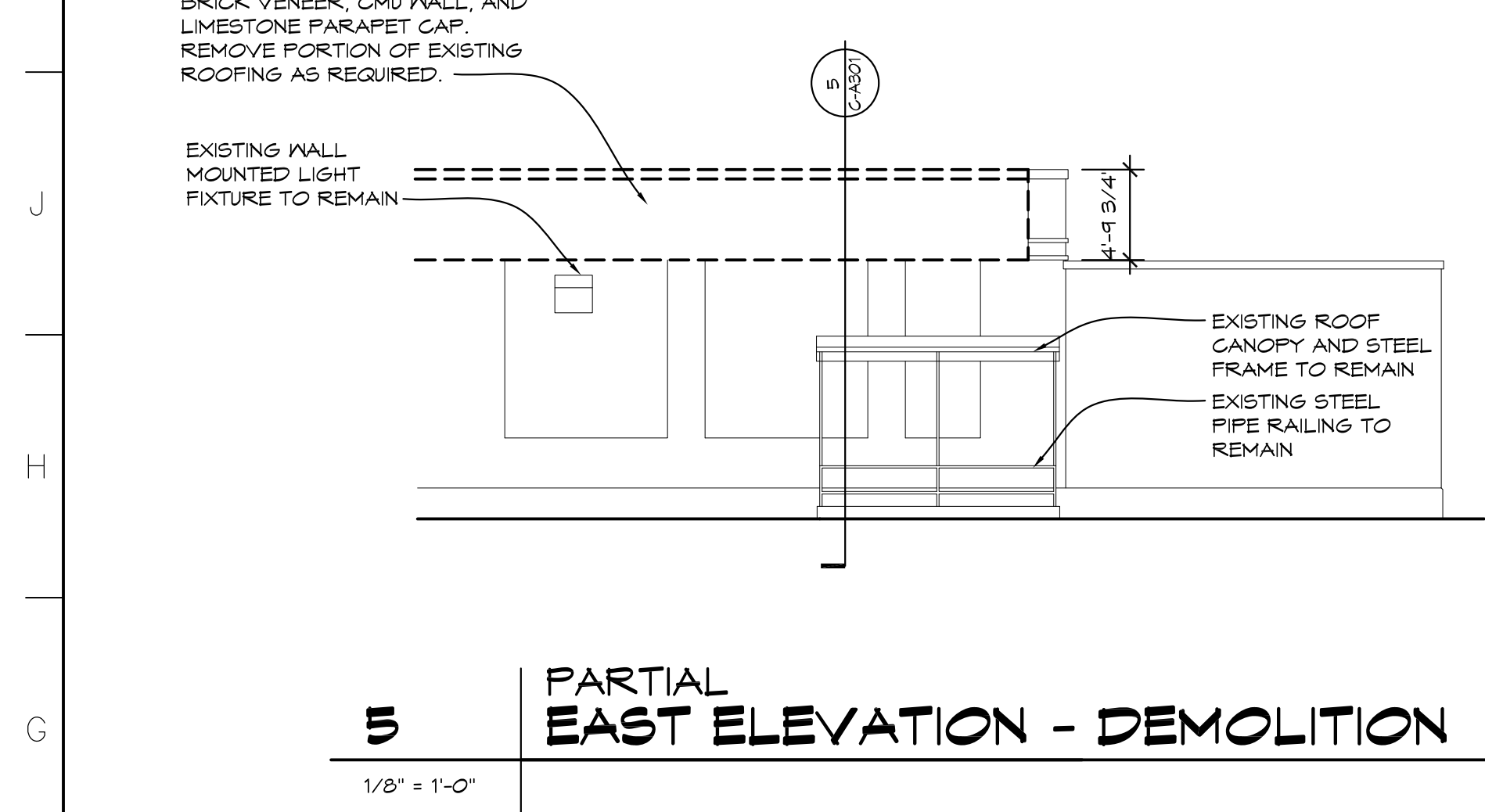
3 PARTIAL EAST ELEVATION - DEMOLITION
1/8" = 1'-0"



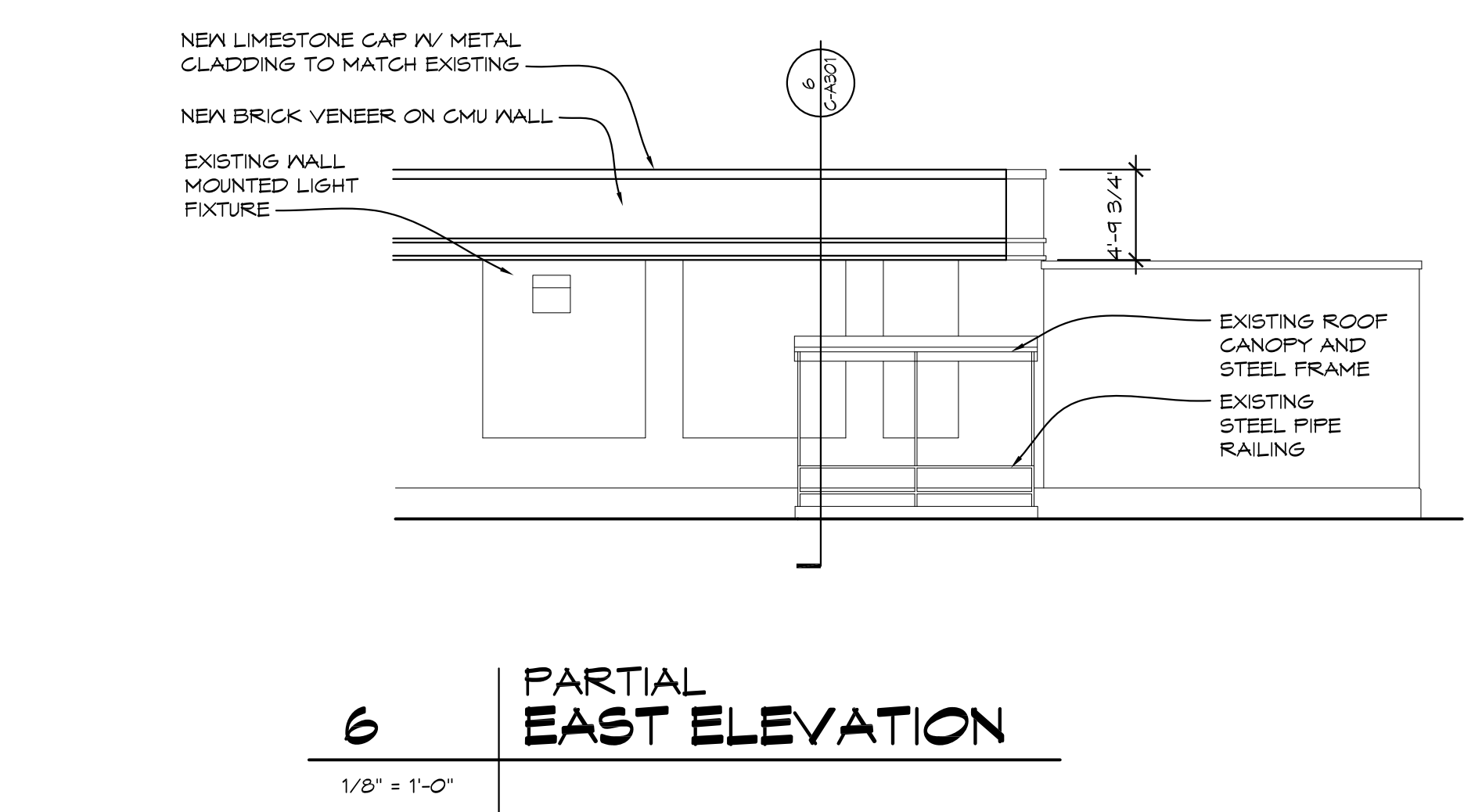
2 WEST ELEVATION
1/8" = 1'-0"



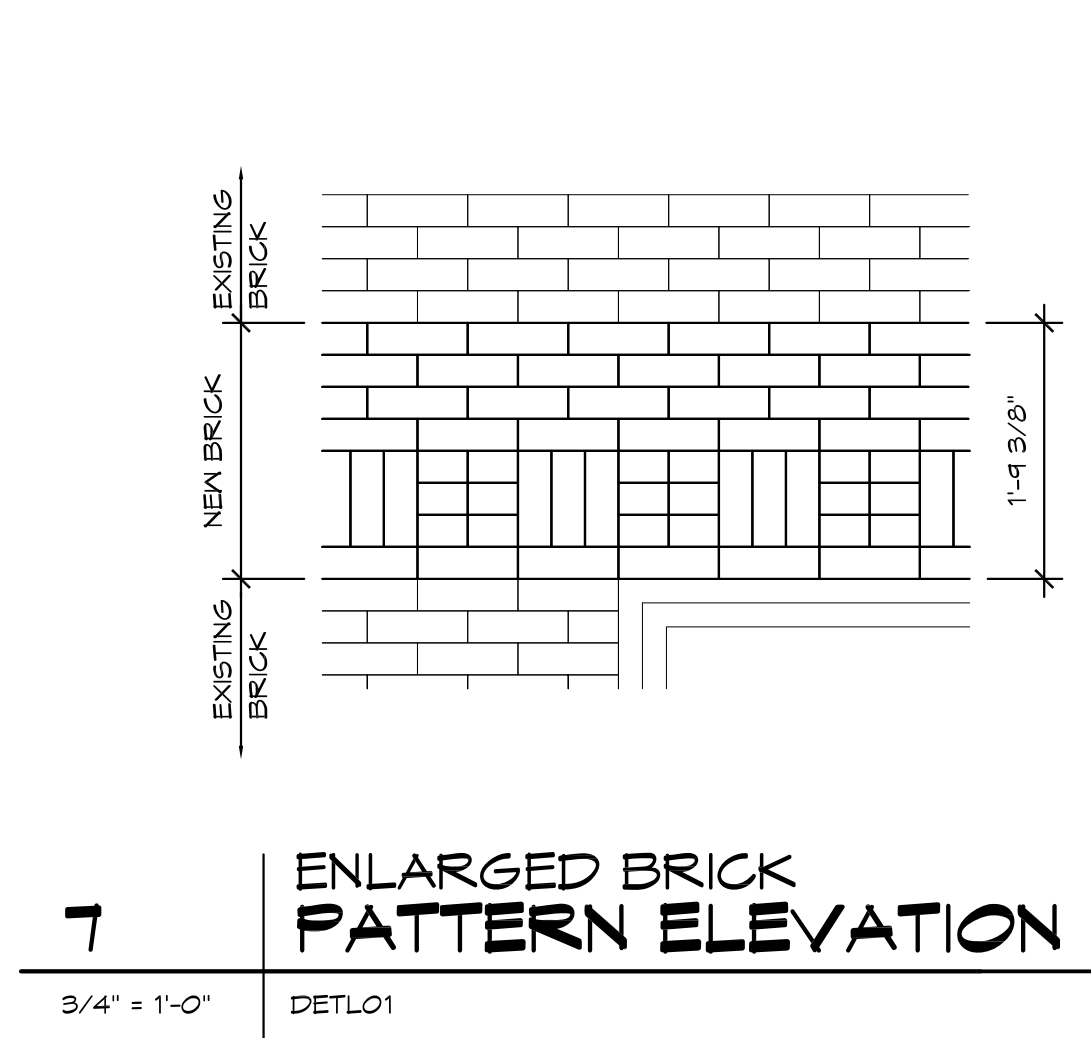
4 PARTIAL EAST ELEVATION
1/8" = 1'-0"



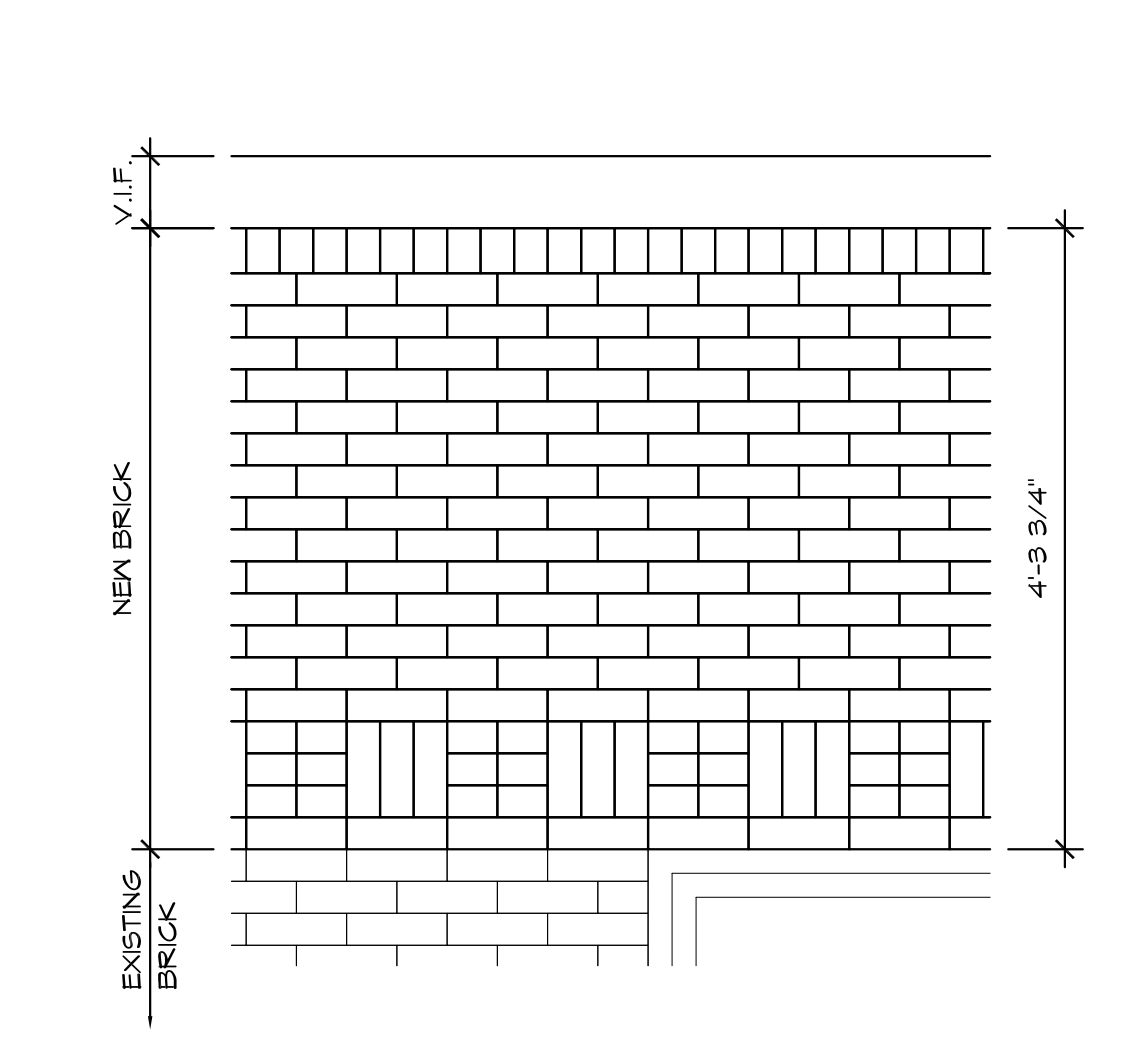
5 PARTIAL EAST ELEVATION - DEMOLITION
1/8" = 1'-0"



6 PARTIAL EAST ELEVATION
1/8" = 1'-0"



7 ENLARGED BRICK PATTERN ELEVATION
3/4" = 1'-0" DETL01



8 ENLARGED BRICK PATTERN ELEVATION
3/4" = 1'-0" DETL01



9 TUCK-POINTING DIAGRAMS
NTS

PROJECT 'C'

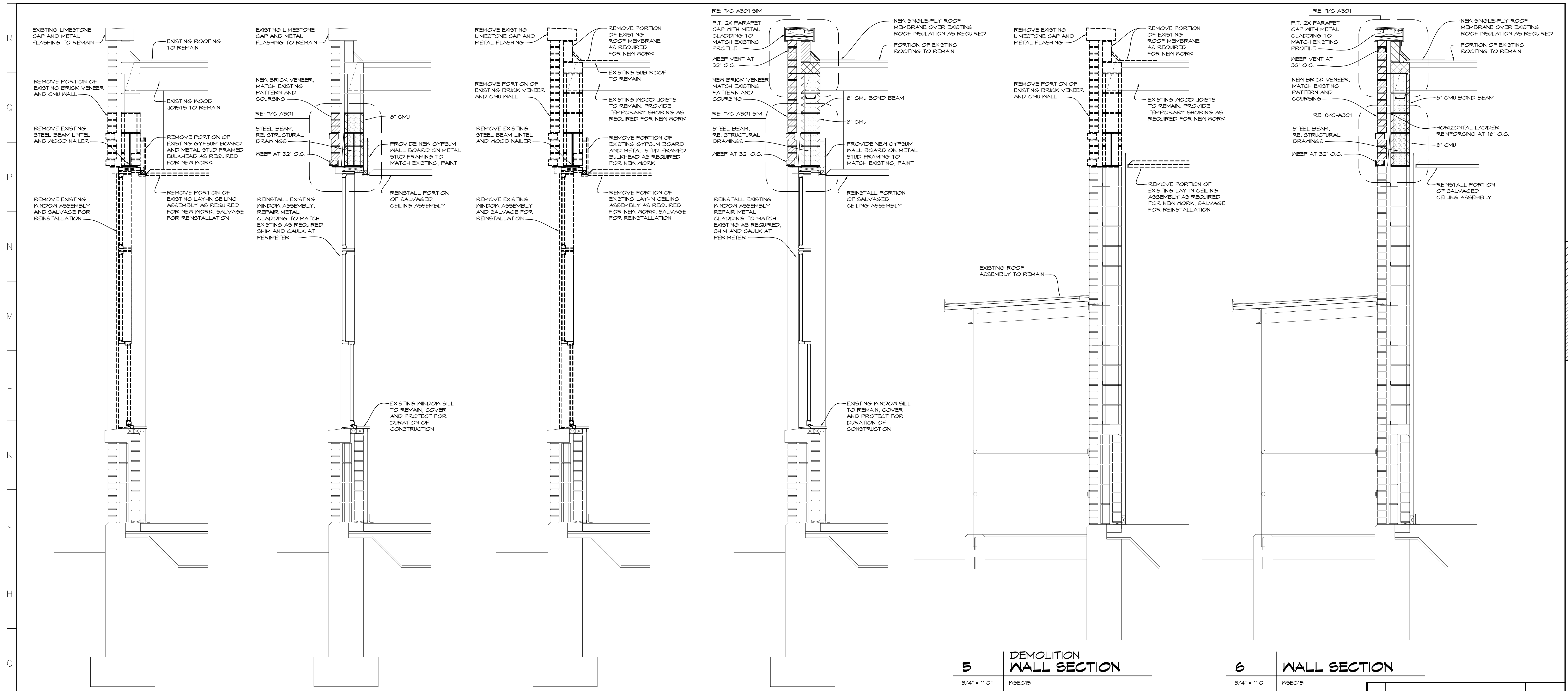
NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
EXTERIOR ELEVATIONS

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A201
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A201
	SCALE AS NOTED	SHEET NO. 10 OF 21



1 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC01

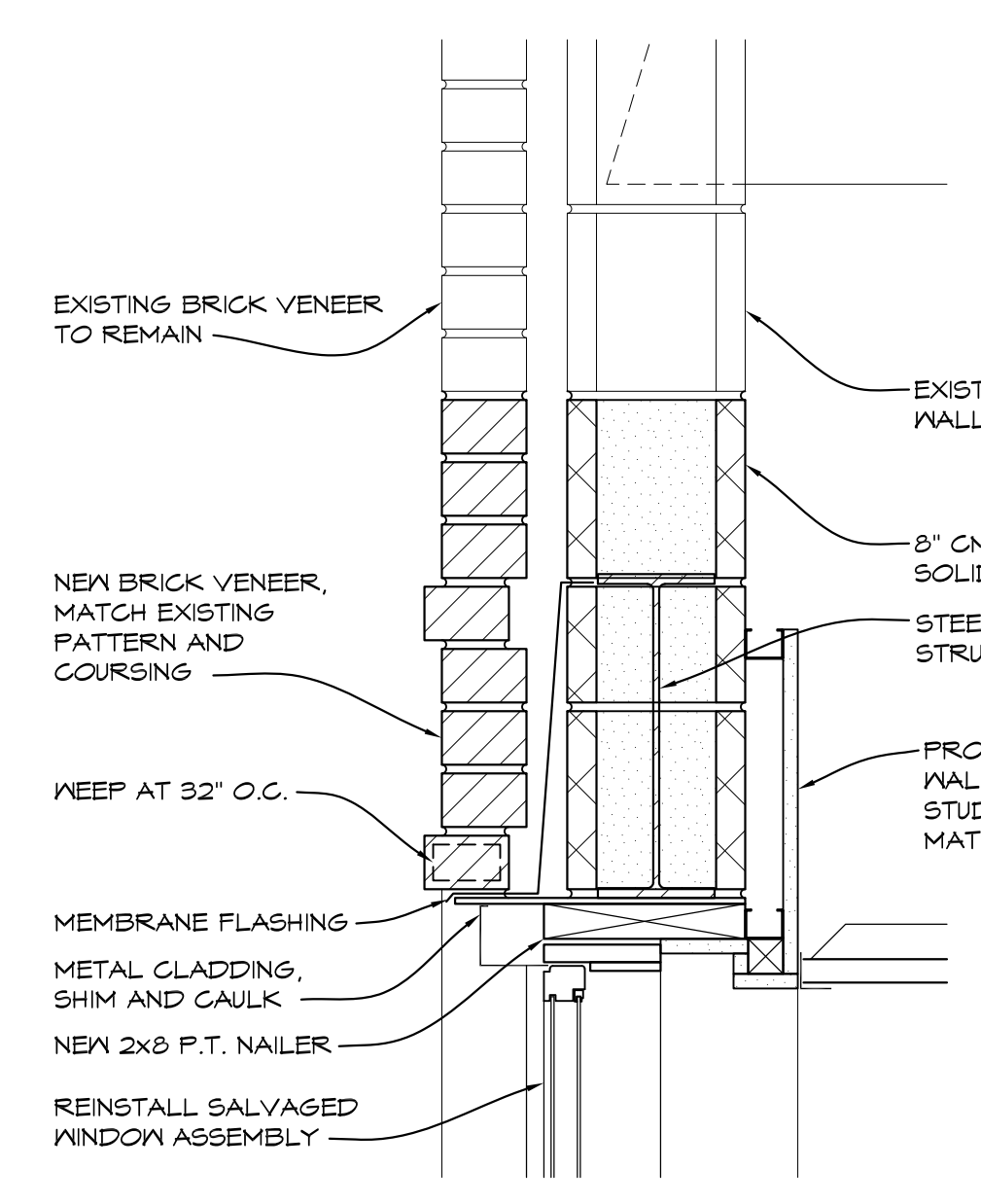
2 WALL SECTION
3/4" = 1'-0" WSEC01

3 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC02

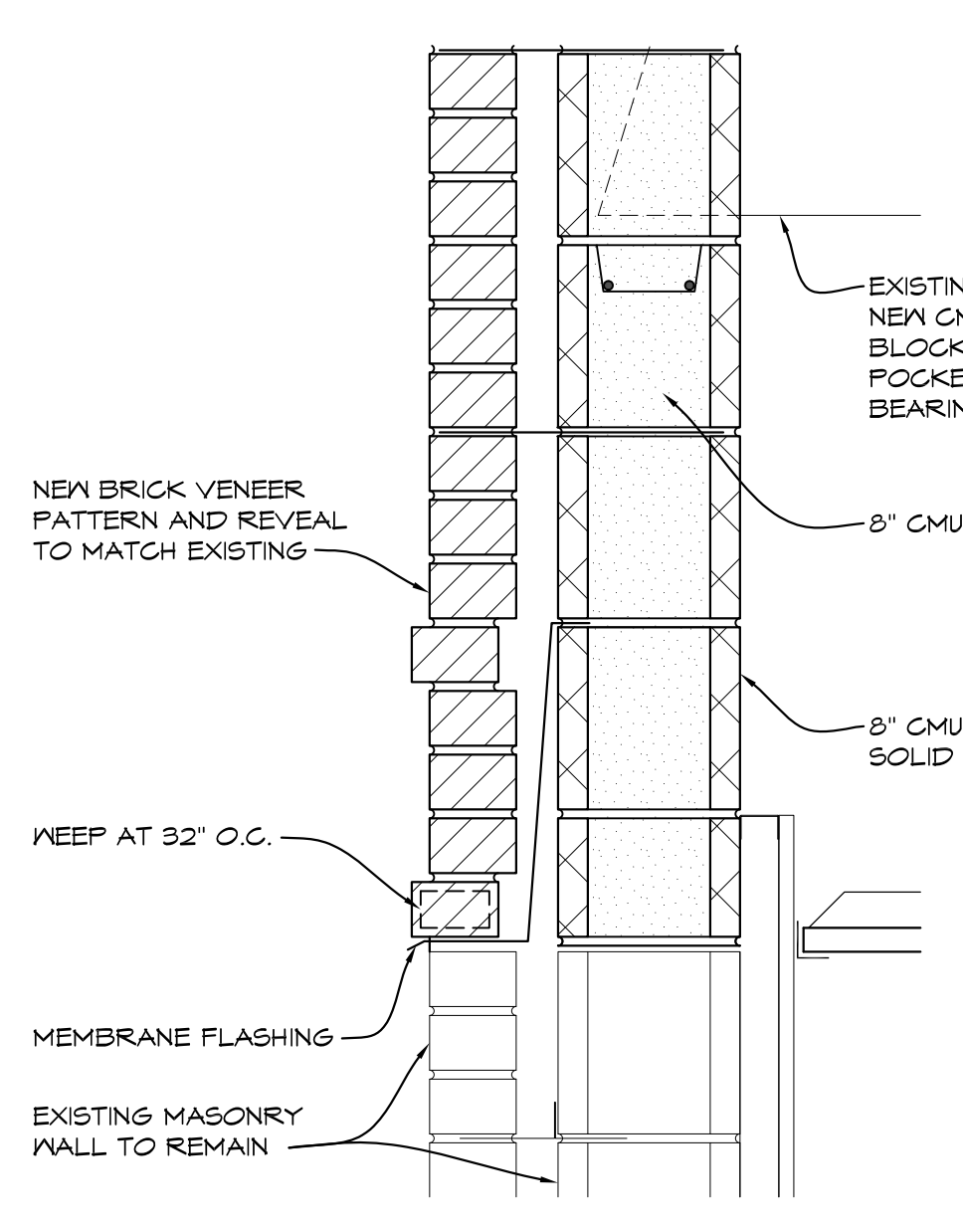
4 WALL SECTION
3/4" = 1'-0" WSEC02

5 DEMOLITION WALL SECTION
3/4" = 1'-0" WSEC15

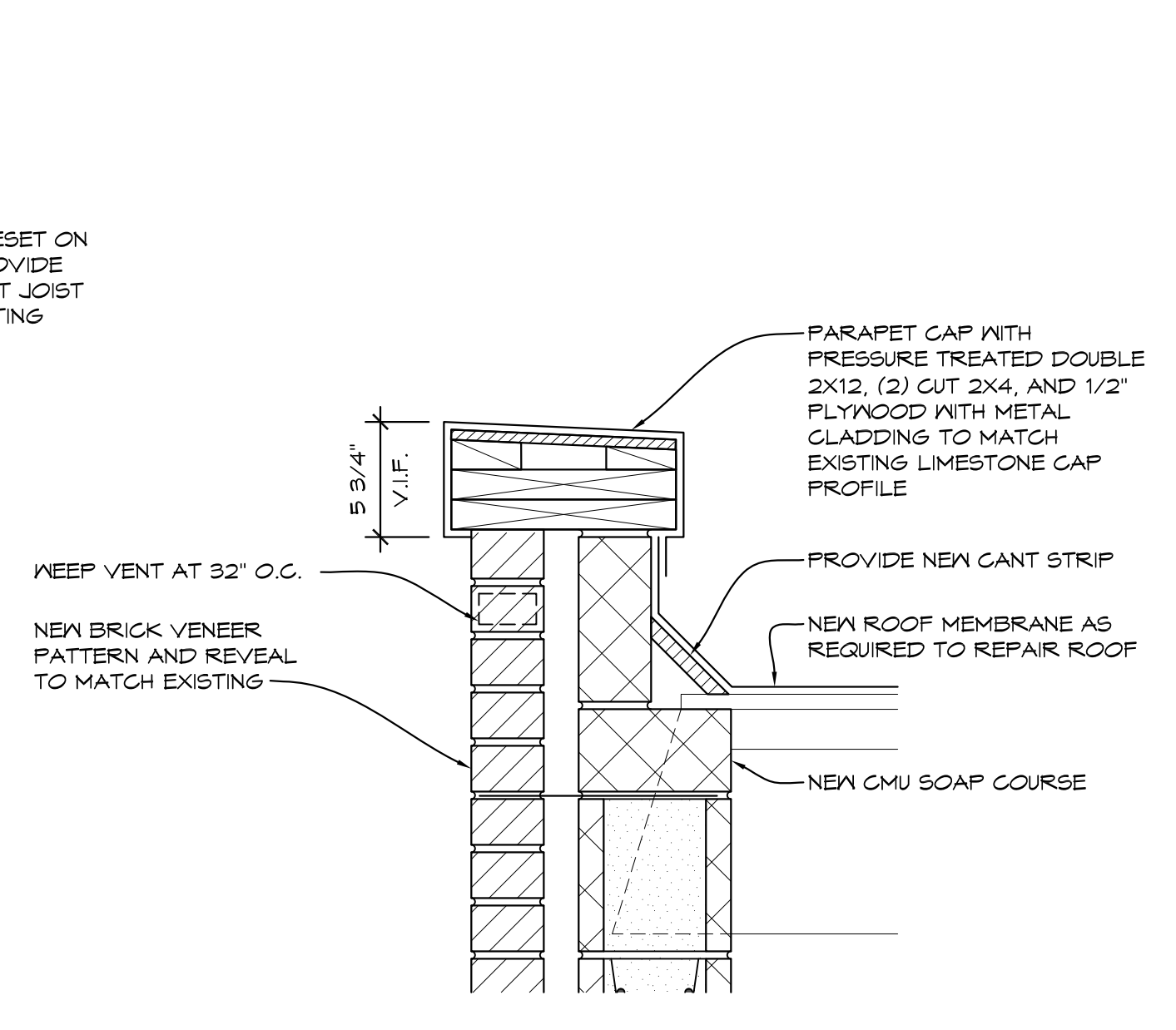
6 WALL SECTION
3/4" = 1'-0" WSEC15



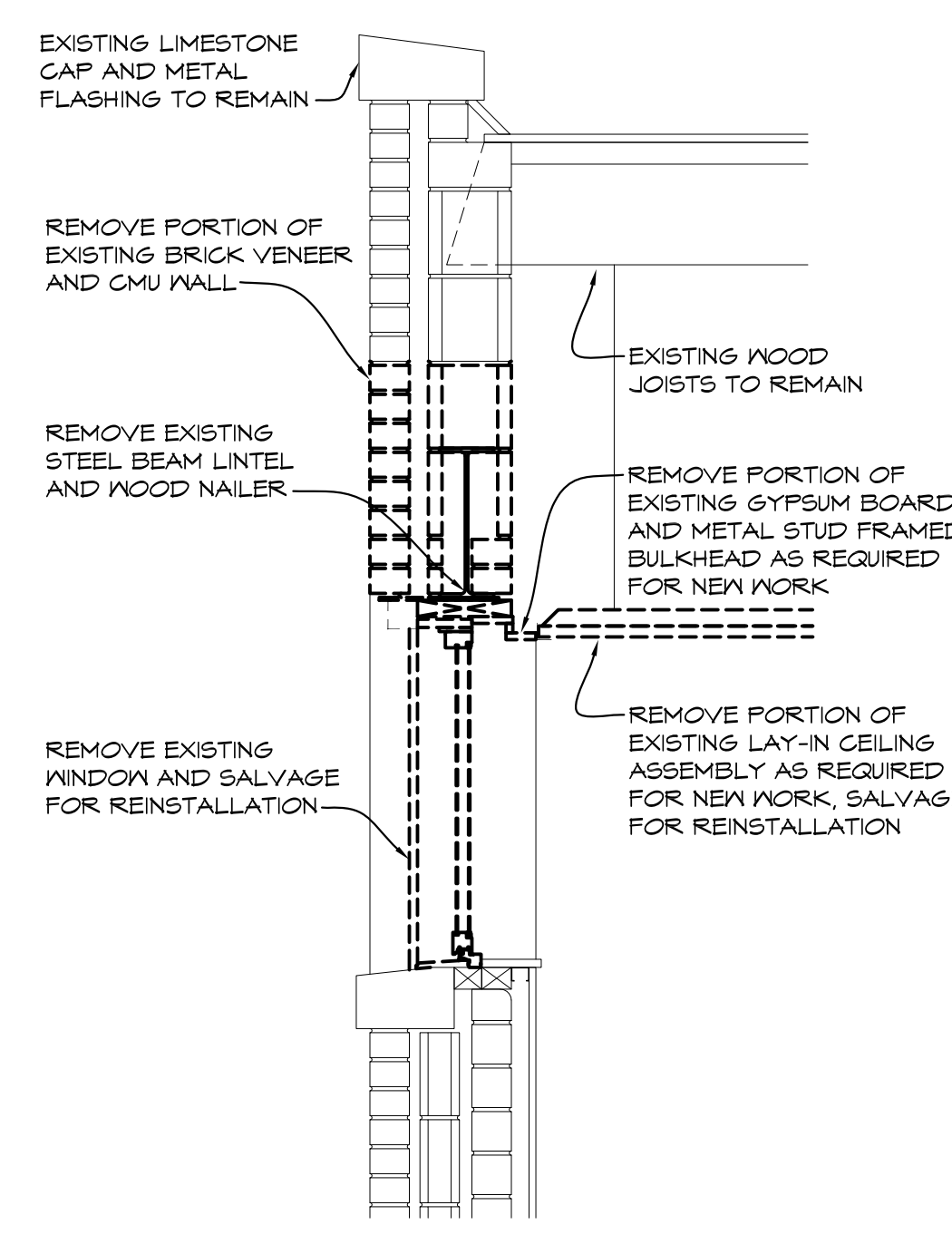
7 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC01



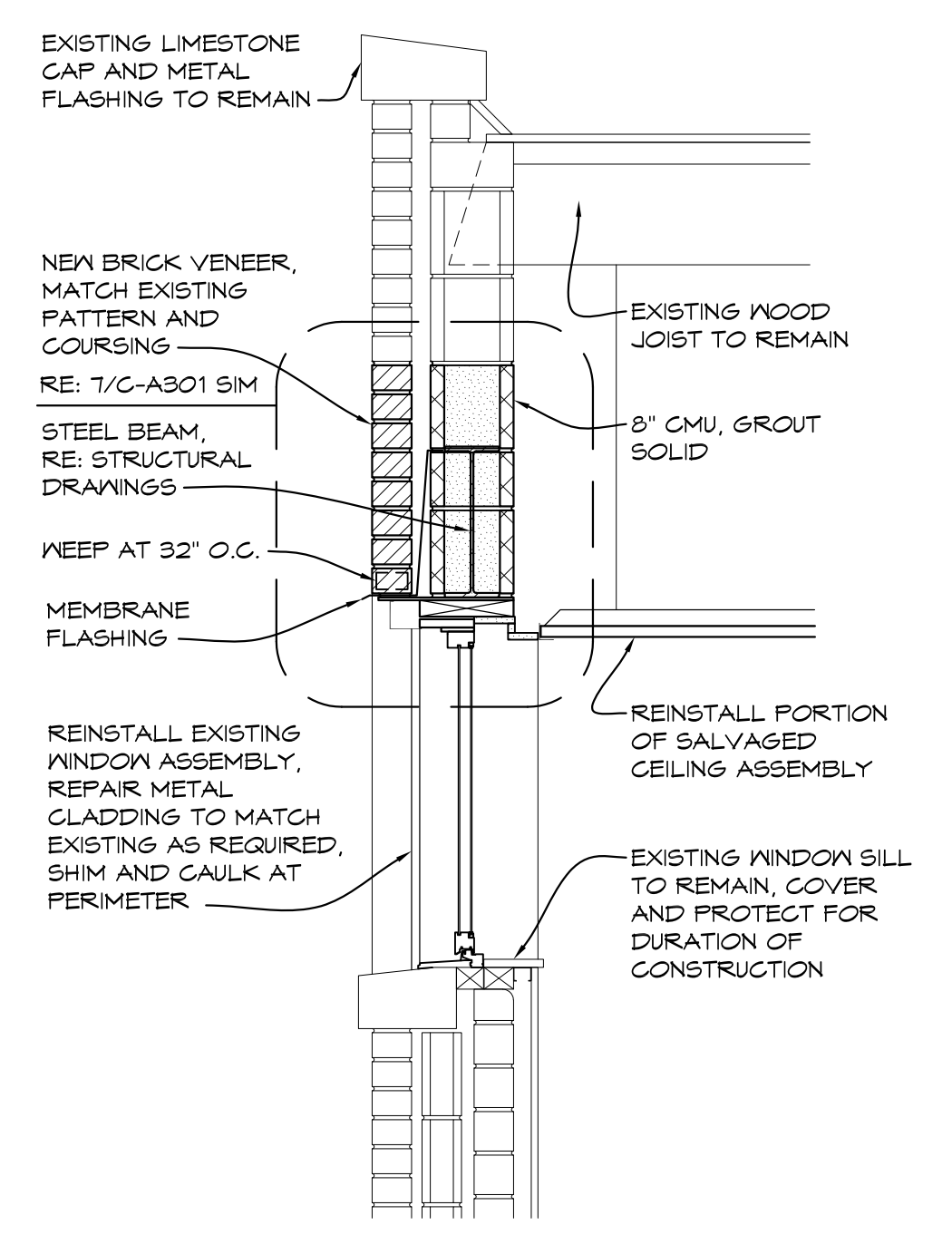
8 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC15



9 ENLARGED DETAIL
1 1/2" = 1'-0" WSEC15



10 WALL SECTION
3/4" = 1'-0" WSEC03



11 WALL SECTION
3/4" = 1'-0" WSEC03

NO.	REVISIONS / SUBMISSIONS	DATE

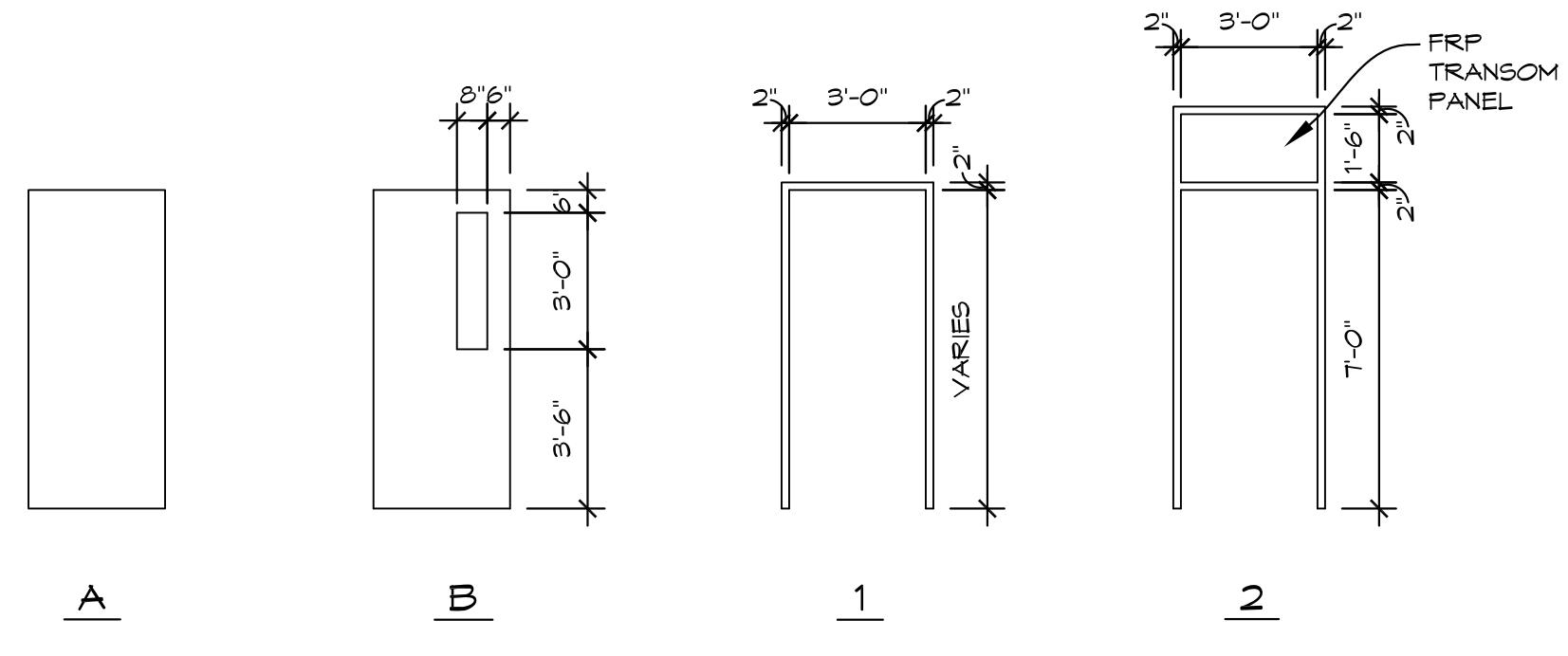
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. POSEYVILLE RD
MIDLAND, MI

DRAWING TITLE
WALL SECTIONS

SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JEGS	CAD FILE NO. C-A301
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-A301
	SCALE AS NOTED	SHEET NO. 11 OF 21

DOOR & FRAME SCHEDULE										
DOOR NO.	DOOR			FRAME			FIRE RATING (HOURS)	HARDWARE	NOTES	
	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD				JAMB
118A	3'-0" x 7'-0"	A	VD	EX	VD	N/A	N/A	20	05	
125A	3'-0" x 6'-8"	A	VD	EX	VD	5/C-A601	6/C-A601	20	05	
132A	3'-0" x 6'-8"	A	HM	1	HM	11/C-A601	12/C-A601	45	11	
132B	3'-0" x 7'-0"	A	FRFP	2	ALUM	1/C-A601	2/C-A601	---	01	
134A	3'-0" x 7'-0"	B	VD	1	HM	3/C-A601	4/C-A601	20	06	1
135A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	06	1
145A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
146A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
147A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
148A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
149A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
150A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
151A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
152A	3'-0" x 6'-8"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
154A	3'-0" x 7'-0"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
155A	3'-0" x 7'-0"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
156A	3'-0" x 7'-0"	B	VD	EX	VD	5/C-A601	6/C-A601	20	04	1
157A	3'-0" x 7'-2"	A	VD	EX	VD	5/C-A601	6/C-A601	20	09	1
157B	3'-0" x 7'-2"	A	FRFP	1	ALUM	1/C-A601	2/C-A601	---	02	1
160A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	20	13	1
161A	3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	20	09	1
162A	3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	---	09	1
163A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	---	10	1
164A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	20	12	1
165A	(2) 3'-0" x 7'-2"	A	VD	EX	VD	7/C-A601	8/C-A601	---	13	1
166A	3'-0" x 7'-0"	A	VD	EX	VD	7/C-A601	8/C-A601	20	06	1
167A	3'-0" x 7'-0"	A	HM	1	HM	9/C-A601	10/C-A601	45	03	



DOOR AND FRAME ELEVATIONS

1/4" = 1'-0"

ROOM FINISH SCHEDULE											
ROOM NO.	ROOM TITLE	FLOOR	BASE	WALLS				CEILING		ACCESSORIES	NOTES
		MATERIAL	MATERIAL	NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT		
102	MEDIA CENTER	F02	B01	N/A	N/A	N/A	N/A				
105	COMPUTER ROOM	F02	B01	N/A	N/A	N/A	N/A				
106	CLERICAL	F02	B01	N/A	N/A	N/A	N/A				
107	OFFICE	F02	B01	N/A	N/A	N/A	N/A				
109	WORK ROOM	F02	B01	N/A	N/A	N/A	N/A				
117	SPECIAL ED	N/A	N/A	A01	A01	A01	A01				
118	SPECIAL ED	N/A	N/A	A01	A01	A01	A01				
119	SPECIAL ED	N/A	N/A	A01	A01	A01	A01				
120	SPECIAL ED	N/A	N/A	A01	A01	A01	A01				
121	SPECIAL ED	N/A	N/A	A01	A01	A01	A01				
134	MUSIC	F01	B01	A01	A01	A01	A01				
135	ART ROOM	F01	B02	A01	A01	A01	A01				
139	SCIENCE	F01	B01	A01	A01	A01	A01				
140	CLASSROOM	F01	B01	A01	A01	A01	A01				
141	CLASSROOM	F01	B01	A01	A01	A01	A01				
143	CLASSROOM	F01	B01	A01	A01	A01	A01				
144	CLASSROOM	F01	B01	A01	A01	A01	A01				
145	CLASSROOM	F01	B02	A01	A01	A01	A01				
146	CLASSROOM	F01	B02	A01	A01	A01	A01				
147	CLASSROOM	F01	B02	A01	A01	A01	A01				
148	CLASSROOM	F01	B02	A01	A01	A01	A01				
149	CLASSROOM	F01	B02	A01	A01	A01	A01				
150	CLASSROOM	F01	B02	A01	A01	A01	A01				
151	KINDERGARTEN	F01	B02	A01	A01	A01	A01				
152	CLASSROOM	F01	B02	A01	A01	A01	A01				
154	CLASSROOM	F01	B02	A01	A01	A01	A01				
155	CLASSROOM	F01	B02	A01	A01	A01	A01				
156	CLASSROOM	F01	B02	A01	A01	A01	A01				

ROOM FINISH LEGEND

FLOOR	
F01	LVT
F02	CARPET
BASE	
B01	4" VINYL
B02	SHOE HOLDING, STAINED TO MATCH EXISTING
WALLS	
W01	EXISTING - PAINT
CEILING	
C01	
ACCESSORIES	
A01	
NOTES	
NO1	

NOTES:
1. SAND EXISTING WOOD FRAME AND RE-FINISH TO MATCH EXISTING

1 HEAD DETAIL 1 1/2" = 1'-0" JAMB01	2 JAMB DETAIL 1 1/2" = 1'-0" JAMB01	3 HEAD DETAIL 1 1/2" = 1'-0" JAMB01	4 JAMB DETAIL 1 1/2" = 1'-0" JAMB01	5 HEAD DETAIL 1 1/2" = 1'-0" JAMB01	6 JAMB DETAIL 1 1/2" = 1'-0" JAMB01
7 HEAD DETAIL 1 1/2" = 1'-0" JAMB01	8 JAMB DETAIL 1 1/2" = 1'-0" JAMB01	9 HEAD DETAIL 1 1/2" = 1'-0" JAMB01	10 JAMB DETAIL 1 1/2" = 1'-0" JAMB01	11 HEAD DETAIL 1 1/2" = 1'-0" JAMB01	12 JAMB DETAIL 1 1/2" = 1'-0" JAMB01

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
**DOOR SCHEDULE
ROOM FINISH SCHEDULE,
& DETAILS**

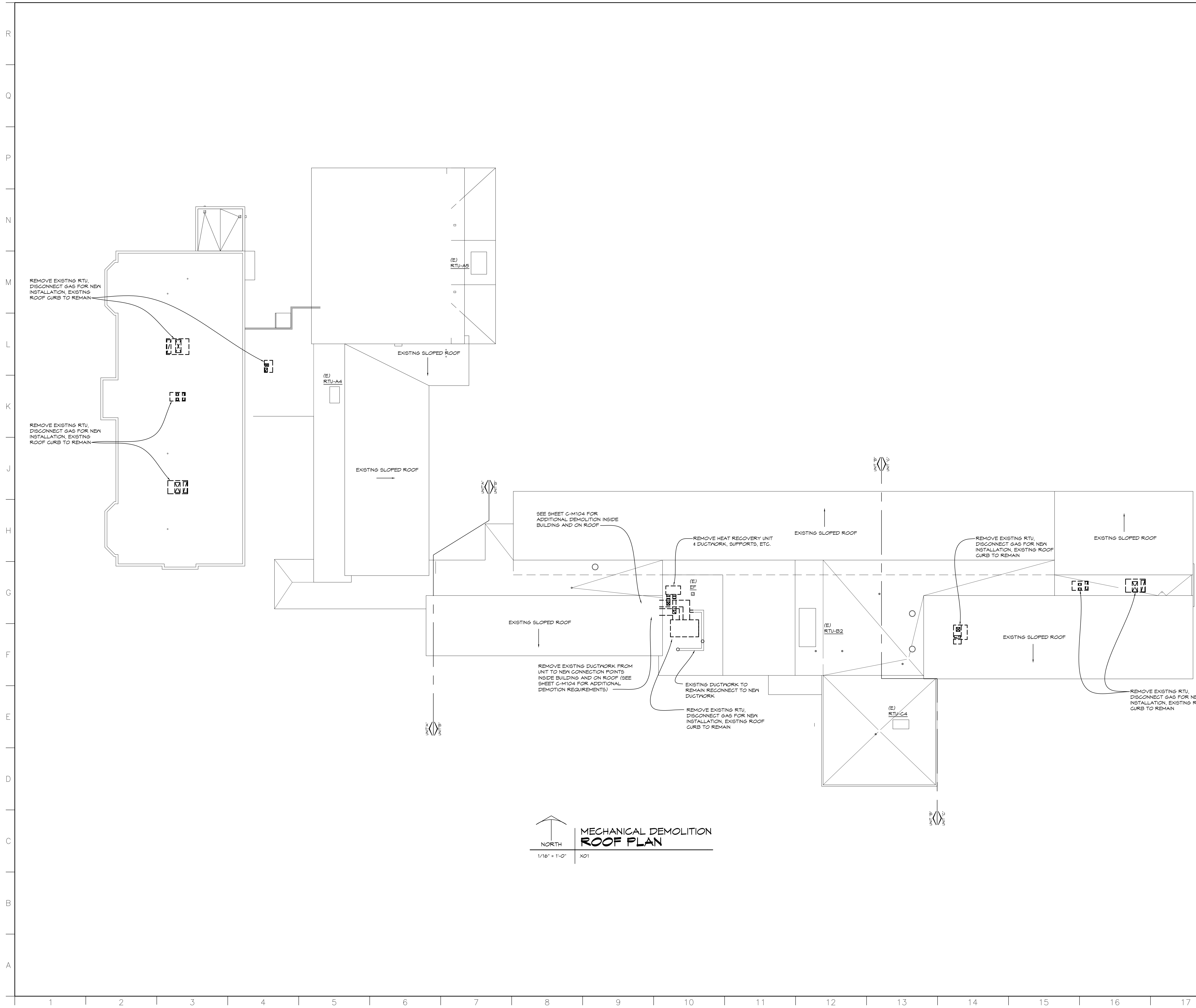
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. C-A601
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	SHEET NO. C-A601
	SCALE AS NOTED	12 OF 21

PROJECT 'C'

GENERAL MECHANICAL NOTES

- SEE ALL PLANS FOR FOR REQUIRED WORK.
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE.
- FIELD VERIFY ALL EXISTING PIPING, DUCTWORK AND ADJUST AS REQUIRED WITH NO EXTRA COST TO OWNER.
- CONTRACTOR TO RUN ALL DRAIN PIPING TO NEAREST FLOOR DRAIN WITHOUT CAUSING A TRIP HAZARD.
- COORDINATE ALL WORK WITH ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- INSTALL AT MECHANICAL EQUIPMENT MINIMUM OF 10'-0" FROM ROOF EDGE.
- ALL EXHAUST FAN DISCHARGE AND VENTING SHALL BE INSTALLED MINIMUM OF 10'-0" FROM OUTSIDE AIR INTAKES.
- PAINT ALL EXTERIOR GAS PIPING AND INSTALL MINIMUM OF 3/2" ABOVE ROOF.
- REMOVE EXISTING GAS PIPING AT EXISTING RTUS, REROUTE AND INSTALL NEW DIRT LEG, UNION, ISOLATION AT UNIT.
- COORDINATE POWER WIRING WITH ELECTRIC TRADES, RUN WIRING IN UNIT.
- REWORK CONTROL WIRING TO NEW RTUS AND CONNECT TO EXISTING BMS SYSTEM. INSTALL NEW THERMOSTATS, CO2 DETECTORS, ETC.
- UPDATE CONTROL GRAPHICS FOR EXISTING RTUS ADD ADDITIONAL POINTS TO MATCH EXISTING DISTRICT GRAPHICS AT OTHER BUILDINGS.
- PROVIDE EXTERIOR DUCT INSULATION AT RTU-B1 (SEE SPECIFICATION)

PROJECT 'C'



MECHANICAL DEMOLITION ROOF PLAN
 1/16" = 1'-0" X01

NO.	REVISIONS / SUBMISSIONS	DATE

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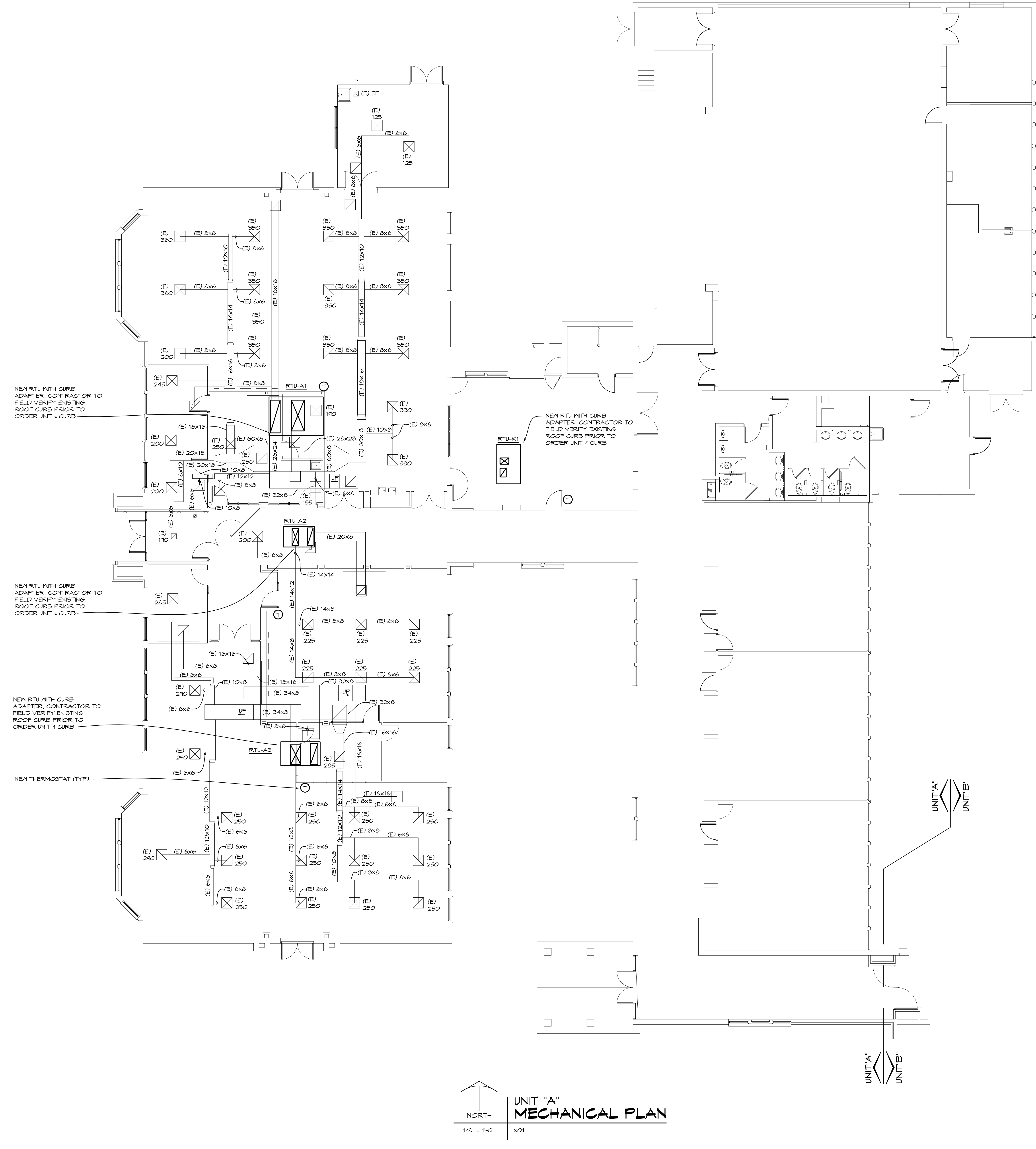
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
 1037 S. ROSEVILLE RD
 MIDLAND, MI

DRAWING TITLE
MECHANICAL DEMOLITION ROOF PLAN

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. C-M101
	REVIEWED MLB	DRAWING NO. C-M101
	DATE OCT 18, 2024	SHEET NO.
	SCALE 1/16" = 1'-0"	14 OF 21

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NORTH
1/8" = 1'-0"
**UNIT "A"
MECHANICAL PLAN**
X01

**GENERAL
MECHANICAL NOTES**

- SEE ALL PLANS FOR REQUIRED WORK.
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE.
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- CONTRACTOR TO RUN ALL DRAIN PIPING TO NEAREST FLOOR DRAIN WITHOUT CAUSING A TRIP HAZARD.
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- SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- INSTALL AT MECHANICAL EQUIPMENT MINIMUM OF 10'-0" FROM ROOF EDGE.
- ALL EXHAUST FAN DISCHARGE AND VENTING SHALL BE INSTALLED MINIMUM OF 10'-0" FROM OUTSIDE AIR INTAKES.
- PAINT ALL EXTERIOR GAS PIPING AND INSTALL MINIMUM OF 9 1/2" ABOVE ROOF.
- REMOVE EXISTING GAS PIPING AT EXISTING RTUS, REROUTE AND INSTALL NEW DIRT LEG, UNION, ISOLATION AT UNIT.
- COORDINATE POWER WIRING WITH ELECTRIC TRADES, RUN WIRING IN UNIT.
- REWORK CONTROL WIRING TO NEW RTUS AND CONNECT TO EXISTING BMS SYSTEM. INSTALL NEW THERMOSTATS, CO2 DETECTORS, ETC.
- UPDATE CONTROL GRAPHICS FOR EXISTING RTUS ADD ADDITIONAL POINTS TO MATCH EXISTING DISTRICT GRAPHICS AT OTHER BUILDINGS.
- PROVIDE EXTERIOR DUCT INSULATION AT RTU-B1 (SEE SPECIFICATION)

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. ROSEVILLE RD
MIDLAND, MI

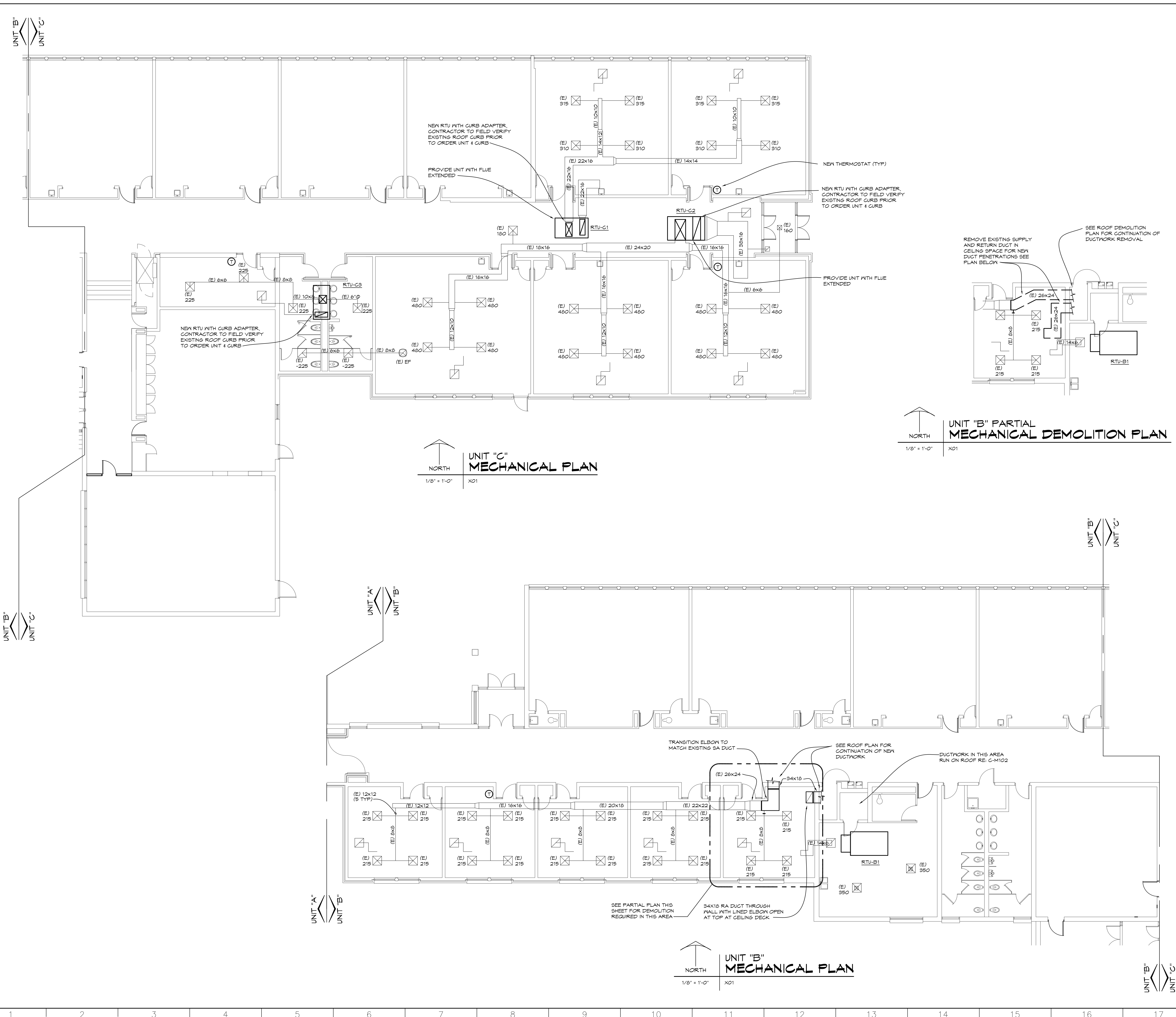
**UNIT A
MECHANICAL PLAN**

SEAL	DRAWN C-V/R/LS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. C-M103
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	C-M103
	SCALE 1/8" = 1'-0"	SHEET NO. 16 OF 21

PROJECT 'C'

GENERAL MECHANICAL NOTES

- SEE ALL PLANS FOR REQUIRED WORK.
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE.
- FIELD VERIFY ALL EXISTING PIPING, DUCTWORK AND ADJUST AS REQUIRED WITH NO EXTRA COST TO OWNER.
- CONTRACTOR TO RUN ALL DRAIN PIPING TO NEAREST FLOOR DRAIN WITHOUT CAUSING A TRIP HAZARD.
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- UPDATE CONTROL GRAPHICS FOR EXISTING RTUS ADD ADDITIONAL POINTS TO MATCH EXISTING DISTRICT GRAPHICS AT OTHER BUILDINGS.
- PROVIDE EXTERIOR DUCT INSULATION AT RTU-B1 (SEE SPECIFICATION)



NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
UNITS B&C MECHANICAL PLANS

SEAL	DRAWN C-V/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. G-M104
	REVIEWED MLB	DRAWING NO. C-M104
	DATE OCT 18, 2024	SHEET NO. 17 OF 21
	SCALE 1/8" = 1'-0"	

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ABBREVIATIONS	CIRCUIT DESIGNATIONS	POWER AND DIAGRAMS	FIRE DETECTION AND ALARM																				
ABBREVIATIONS <p>A, AMP AF, AMP FRAME AFC, AVAILABLE FAULT CURRENT (SYMMETRICAL) A.F.F., ABOVE FINISHED FLOOR AIC, AMPERE INTERRUPTING CAPACITY AM, AMMETER ASYM, ASYMMETRICAL AT, AMP TRIP ATIS, AUTOMATIC TRANSFER SWITCH AWG, AMERICAN WIRE GAUGE CONDUIT CAP, CAPACITOR CATV, COMMUNITY ANTENNA TELEVISION CB, CIRCUIT BREAKER CCIV, CLOSED CIRCUIT TELEVISION CCT, CCT C.O., CONDUIT ONLY CONN, CONNECT OR CONNECTION CU, COPPER DA, DURESS ALARM DB, DOOR BELL DISC, DISCONNECT DPST, DOUBLE POLE SINGLE THROW EC, ELECTRICAL CONTRACTOR EWC, ELECTRIC WATER COOLER ELEC, ELECTRIC OR ELECTRICAL ELEV, ELEVATION OR ELEVATOR EMERG, EMERGENCY EPO, EMERGENCY POWER OFF EMT, ELECTRICAL METAL TUBING FIXT, FIXTURE FLA, FULL LOAD AMPERES FLUOR, FLUORESCENT GRG, GALVANIZED RIGID CONDUIT GEN, GENERATOR GFCI, GROUND FAULT CIRCUIT INTERRUPTER GFI, GROUND FAULT INTERRUPTER GRD, GND, GROUND HD, HIGH INTENSITY DISCHARGE HDA, HAND-DEPT-AUTO HP, HORSEPOWER HPS, HIGH PRESSURE SODIUM HZ, HERTZ IMC, INTERMEDIATE METAL CONDUIT I.G., ISOLATED GROUND INCAND, INCANDESCENT JB, JUNCTION BOX KAIC, KILOWATT AMPERE INTERRUPTING CAPACITY KVA, KILOWATT AMPERES KW, KILOWATT KWH, KILOWATT HOUR LTG, LIGHTING LV, LOW VOLTAGE MATV, MASTER ANTENNA TELEVISION MCB, MAIN CIRCUIT BREAKER MCC, MOTOR CONTROL CENTER MH, MAIN METAL HALIDE OR MOUNTING HEIGHT MLO, MAIN LUGS ONLY N.C., NORMALLY CLOSED N.E.C., NATIONAL ELECTRICAL CODE N.I.C., NOT IN CONTRACT NF, NON FUSIBLE N.O., NORMALLY OPEN NTS, NOT TO SCALE OL, OVERLOADS P, POLE PB, PULLBOX PH OR Ø, PHASE PIL, PANEL PPR, POLYVINYL CHLORIDE PWR, POWER REC, RECEPTACLE RSS, RIGID GALVANIZED STEEL SOL, SOLENOID SPDT, SINGLE POLE DOUBLE THROW SPKR, SPEAKER SPST, SINGLE POLE SINGLE THROW SW, SWITCH SWD, SWITCHBOARD SYM, SYMMETRICAL TEL, TELEPHONE TRMR, TRANSFORMER TTB, TELEPHONE TERMINAL BACKBOARD TV, TELEVISION TYP, TYPICAL UG, UNDERGROUND U.O.N., UNLESS OTHERWISE NOTED V, VOLT VA, VOLT AMPERES VD, VOLTAGE DROP VM, VOLT METER W, WATTS OR WIRE W/, WITH W/O, WITHOUT WP, WEATHERPROOF XP, EXPLOSION PROOF</p>	CIRCUIT DESIGNATIONS <p>BRANCH CIRCUIT HOMERUN, PROVIDE PHASE, NEUTRAL AND GROUND CONDUCTORS FOR EACH INDICATED CIRCUIT OR MULTI WIRE BRANCH AS REQUIRED. PROVIDE SWITCH LESS FOR SWITCH CIRCUITING AS REQUIRED. PROVIDE EQUIPMENT GROUND WIRE IN ALL BRANCH CIRCUIT RACKWAYS/CIRCUITS. PROVIDE SEPARATE ISOLATED GROUND WIRE TO ALL ISOLATED GROUND DEVICES.</p> <table border="1"><tr><th rowspan="2">CONDUIT SIZE</th><th colspan="3">MAX QUANTITY OF CONDUCTORS PER CONDUIT</th></tr><tr><th>CONDUCTOR SIZE</th><th>12</th><th>10</th><th>8</th></tr><tr><td>1 1/2 INCH</td><td>1 TO 4</td><td>1 TO 4</td><td>NA</td></tr><tr><td>1 3/4 INCH</td><td>5 TO 8</td><td>5 TO 8</td><td>1 TO 3</td></tr><tr><td>1 INCH</td><td>9 TO 13</td><td>7 TO 11</td><td>4 TO 5</td></tr></table> <p>SEE SPECIFICATIONS FOR LIMITATIONS ON QUANTITY OF CURRENT CARRYING CONDUCTORS PER CONDUIT.</p> <p>PANEL NAME POLE NUMBERS</p>	CONDUIT SIZE	MAX QUANTITY OF CONDUCTORS PER CONDUIT			CONDUCTOR SIZE	12	10	8	1 1/2 INCH	1 TO 4	1 TO 4	NA	1 3/4 INCH	5 TO 8	5 TO 8	1 TO 3	1 INCH	9 TO 13	7 TO 11	4 TO 5	POWER AND DIAGRAMS <p>NOTE A: OUTLETS IN FINISHED OR SHELL SPACES SHALL BE MOUNTED AT +18" U.O.N.</p> <p>NOTE B: RECEPTABLES LOCATED AT COUNTERS SHALL BE LOCATED 18" AFF IN KNEE SPACE IF PROVIDED OR 4" ABOVE COUNTER OR BACK SPLASH AS APPLICABLE IF NO KNEE SPACE IS PROVIDED U.O.N.</p> <p>NOTE C: WHERE (AC) IS INDICATED NEXT TO RECEPTABLES AT WORK COUNTER, RECEPTABLES SHALL BE LOCATED ABOVE COUNTER RATHER THAN IN KNEE SPACE.</p> <p>NOTE D: RECEPTABLES IN MECHANICAL AND ELECTRICAL SPACES SHALL BE MOUNTED AT +48" U.O.N.</p> <p>THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE DIFFERENT TYPES OF RECEPTABLES</p> <p>GF — GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE AT +42" IN TOILETS ST — SAFETY TYPE RECEPTACLE XP — EXPLOSION PROOF RECEPTACLE IG — ISOLATED GROUND RECEPTACLE WP — WEATHERPROOF SW — TOP HALF OF DUPLEX RECEPTACLE SWITCHED CL — CLOCK RECEPTACLE AT +84" H — HORIZONTAL MOUNTING U — RECEPTACLE SERVED BY UPS</p> <p>20A, 125V, 2 POLE, 3 WIRE GROUNDING DUPLEX RECEPTACLE, NEMA 5-20R 20A, 125V, 2 POLE, 3 WIRE GROUNDING SINGLE RECEPTACLE, NEMA 5-20R 20A, 125V, 2 POLE, 3 WIRE GROUNDING DOUBLE DUPLEX RECEPTACLE, NEMA 5-20R</p> <p>PEDESTAL TYPE, FLOOR OR COUNTER MOUNTED RECEPTACLE RECEPTACLE TYPE AS INDICATED ABOVE CEILING MOUNTED RECEPTACLE, TYPE AS INDICATED ABOVE FLUSH FLOOR BOX WITH RECEPTACLE, TYPE AS INDICATED ABOVE COMBINATION POWER/COMMUNICATIONS FLOOR BOX, SEE COMMUNICATIONS PLAN FOR SYSTEMS DEVICE</p> <p>PICL DENOTES CONNECTION TO LIGHT SWITCH, LIGHT FIXTURE OR FIXED EQUIPMENT SPECIAL PURPOSE RECEPTACLE SUBSCRIPT DENOTES NEMA TYPE, REFER TO SPECIFICATIONS</p> <p>JUNCTION BOX, 4 INCH SQUARE UNLESS OTHERWISE NOTED</p> <p>PLUG-IN RECEPTACLE STRIP (LENGTH AS INDICATED) TELECOMMUNICATIONS/POWER POLE 208 VOLT PANELBOARD AT +72" TO TOP 480 VOLT PANELBOARD AT +72" TO TOP CABLE TRAY OR WIREWAY</p> <p>SAFETY SWITCH AT +54". CHARACTERISTICS AS INDICATED BY FRAME/POLES.</p> <p>FUSED SAFETY SWITCH AT +54". CHARACTERISTICS AS INDICATED BY FRAME/FUSE/SIZE/POLES.</p> <p>MAGNETIC MOTOR STARTER AT +54". CHARACTERISTICS AS INDICATED BY FRAME SIZE/POLES/NEMA SIZE. COMBINATION MAGNETIC MOTOR STARTER WITH DISCONNECT AT +54". CHARACTERISTICS AS INDICATED BY FRAME/FUSE/POLES/NEMA SIZE</p> <p>ADJUSTABLE FREQUENCY DRIVE MAGNETIC CONTACTOR AT +54". AMPS/POLES/CONTACT VOLTS/ COIL VOLTS AS INDICATED. SEPARATELY MOUNTED, ENCLOSED MOLEDED CASE CIRCUIT BREAKER AT +48". FLUSH MOUNTED IN FINISHED AREAS. AMP/POLES AS INDICATED.</p> <p>CIRCUIT BREAKER, AMP/POLES AS INDICATED FUSE, SIZE AS INDICATED FUSIBLE SWITCH, AMP/POLES/FUSE SIZE AS INDICATED</p> <p>AUTOMATIC TRANSFER SWITCH +72" TO TOP OR FLOOR MOUNTED.</p> <p>DISCONNECT STABS FOR DRAWOUT TYPE EQUIPMENT</p> <p>TRANSFORMER GROUND CONNECTION MOTOR CONNECTION, HP AS INDICATED GENERATOR START-STOP PUSHBUTTON STATION AT +48" GROUNDING SYSTEM TEST WELL GROUNDING CONNECTION GROUND BUS ON STANDOFFS CONTROL PANEL: INTEGRAL PART OF, OR FURNISHED BY OTHER THAN DIVISION 16 EQUIPMENT OR TERMINAL CABINET AT +72" TO TOP POWER SUPPLY PUSHBUTTON STATION AT +48"</p>	FIRE DETECTION AND ALARM <p>CONTROL PANEL AT +72" TO TOP FIRE ALARM ANNUNCIATOR PANEL AT +72" TO TOP FIRE SUPPRESSION SYSTEM ABORT SWITCH STATION AT +48" MANUAL STATION AT +48" THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPE OF MANUAL STATIONS, FIRE SUPPRESSION SYSTEM CONTROL PANELS AND/OR ABORT SWITCHES NO SUBSCRIPT — STANDARD FIRE ALARM PULL STATION SMOKE DETECTOR THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPE OF SMOKE DETECTORS NO SUBSCRIPT — PHOTO ELECTRIC AREA BEAM DUCT SMOKE DETECTOR AUTOMATIC HEAT DETECTOR THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPE OF HEAT DETECTORS NO SUBSCRIPT — FIXED TEMPERATURE (155 DEGREE U.O.N.) R/F — COMBINATION RATE OF RISE FIXED TEMPERATURE (135 DEGREE U.O.N.) XP — EXPLOSION PROOF, FIXED TEMPERATURE (135 DEGREE U.O.N.) CLASS 1, GROUP C NOTE: WALL MOUNT VISUAL AND COMBINATION AUDIO/VISUAL NOTIFICATION APPLIANCES AT +80" AFF TO BOTTOM OF FACE PLATE U.O.N.</p> <p>VISUAL NOTIFICATION APPLIANCE WALL MOUNTED AUDIBLE NOTIFICATION APPLIANCE WALL MOUNTED COMBINATION AUDIBLE/VISUAL NOTIFICATION APPLIANCE CEILING MOUNTED VISUAL NOTIFICATION APPLIANCE CEILING MOUNTED COMBINATION AUDIBLE/VISUAL NOTIFICATION APPLIANCE MAGNETIC DOOR HOLDER/RELEASE, COORDINATE MOUNTING HEIGHT WITH DOOR MANUFACTURER. SPRINKLER OR STANDPIPE FLOW ALARM SWITCH CONNECTION VALVE TAMPER SWITCH SOLENOID VALVE FOR PREACTION SPRINKLER SYSTEM AIR PRESSURE MONITOR SWITCH FOR PRE-ACTION OR DRY PIPE SPRINKLER SYSTEM CEILING MOUNTED REMOTE ALARM INDICATOR WALL MOUNTED REMOTE ALARM INDICATOR AND TEST STATION AT +48" FIRE FIGHTERS TELEPHONE JACK AT +48" FIRE FIGHTERS TELEPHONE HANDSET AT +48"</p>
CONDUIT SIZE	MAX QUANTITY OF CONDUCTORS PER CONDUIT																						
	CONDUCTOR SIZE	12	10	8																			
1 1/2 INCH	1 TO 4	1 TO 4	NA																				
1 3/4 INCH	5 TO 8	5 TO 8	1 TO 3																				
1 INCH	9 TO 13	7 TO 11	4 TO 5																				
GENERAL <p>MOUNTING HEIGHTS TO BE AS INDICATED U.O.N. MOUNTING HEIGHTS ARE TO CENTER OF DEVICE FROM FINISHED FLOOR OR GRADE U.O.N. SEE SPECIFICATION 16010 FOR ADDITIONAL REQUIREMENTS</p> <p>KEY NOTE REFERENCE SYMBOL DENOTES "SEE KEY NOTE NO. 2"</p> <p>FOOT ON DEVICE INDICATES WALL MOUNTED</p>	LIGHTING <p>NOTE A: UPPER CASE ALPHANUMERIC SUBSCRIPT DENOTES FIXTURE TYPE. SEE SCHEDULE(S)</p> <p>NOTE B: LOWER CASE LETTER SUBSCRIPT PROVIDED ADJACENT TO SWITCHING DEVICE AND ASSOCIATED LIGHT FIXTURE(S) WHERE REQUIRED FOR CLARIFICATION.</p> <p>CEILING LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE DIRECTIONAL AIMED FIXTURE AIM IN DIRECTION OF ARROW WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE UNDER CABINET/COUNTER LIGHT OUTLET OR STRIP LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE LINEAR PENDANT/SUSPENDED LIGHT FIXTURE CONNECTED TO NORMAL SOURCE EXIT LIGHT OUTLET WITH FIXTURE — SHADING INDICATES LOCATION OF FACE(S). ARROWS INDICATE DIRECTIONAL ARROWS WHERE REQUIRED. WALL MOUNTED SIGNS AT +90° CENTERED ABOVE DOOR WHERE APPLICABLE EMERGENCY LIGHT FIXTURE WITH INTEGRAL BATTERY SOURCE AND ADJUSTABLE HEADS TRACK LIGHT OUTLET WITH FIXTURE, TYPE INDICATED, QUANTITY AND LENGTH AS SHOWN OR SCHEDULED PENDANT LIGHT FIXTURE CONNECTED TO NORMAL SOURCE LIGHTING STANDARD POLE FIXTURE, PROVIDE QUANTITY OF HEADS AND ORIENTATION AS INDICATED LIGHTING STANDARD WITH POST-TOP FIXTURE BOLLARD FIXTURE CEILING LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH) WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH) LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH) WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH) STRIP LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH) PENDANT LIGHT FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH) LINEAR PENDANT/SUSPENDED LIGHT FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)</p> <p>S SWITCH AT +48" U.O.N. THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE VARIOUS TYPES OF SWITCHES.</p> <p>NO SUBSCRIPT — SINGLE POLE 2 — DOUBLE POLE 3 — THREE WAY 4 — FOUR WAY D — LIGHTING DIMMER P — PILOT LIGHT L — LIGHTED HANDLE K — KEY OPERATED TE — MANUAL STARTER WITH THERMAL ELEMENT XP — EXPLOSION PROOF M — MOTOR RATED</p> <p>LOW VOLTAGE SWITCH PHOTOCELL TIME CLOCK AT +48" OCCUPANCY SENSOR WITH INTEGRAL SWITCH-WALL MOUNTED AT +48" OCCUPANCY SENSOR — CEILING MOUNTED</p> <p>THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPES OF OCCUPANCY SENSORS</p> <p>NO SUBSCRIPT — COMBINATION INFRARED/ULTRASONIC SENSOR I — INFRARED SENSOR U — ULTRASONIC SENSOR</p>	TELECOMMUNICATION <p>GENERAL NOTES NOTE A: OUTLETS IN FINISHED OR SHELL SPACES SHALL BE MOUNTED AT +18" U.O.N. NOTE B: OUTLETS LOCATED AT COUNTERS SHALL BE LOCATED 18" AFF IN KNEE SPACE IF PROVIDED OR 4" ABOVE COUNTER OR BACK SPLASH AS APPLICABLE IF NO KNEE SPACE IS PROVIDED U.O.N. NOTE C: WHERE ASTERISK (*) IS INDICATED NEXT TO OUTLET AT WORK COUNTER, OUTLET SHALL BE LOCATED ABOVE COUNTER RATHER THAN IN KNEE SPACE.</p> <p>STANDARD TELECOMMUNICATIONS OUTLET — PROVIDE EXTRA DEEP DOUBLE GANG BOX WITH SINGLE GANG MUD RING AND 1-1/4" CONDUITS TO ABOVE FINISHED CEILING. PROVIDE PLASTIC BUSHING AT THE ENDS OF THE CONDUITS. DATA DEVICES AND WIRING PROVIDED BY OTHERS U.O.N.</p> <p>THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS (NON-STANDARD) TYPES OF OUTLETS ## — 1ST NUMBER INDICATES QUANTITY OF DATA CABLES ## — 2ND NUMBER INDICATES QUANTITY OF VOICE CABLES B — BLANK (ROUGH-IN TO ACCESSIBLE CEILING CEILING) F — FIBER W — WALL PHONE OUTLET AT +48" C — CEILING PHONE OUTLET P — PUBLIC TELEPHONE AT +44" FL — PEDESTAL FLOOR FITTING</p>	SECURITY <p>FIXED VIDEO SURVEILLANCE CAMERA PAN/TILT/ZOOM VIDEO SURVEILLANCE CAMERA DOOR POSITION SWITCH CONNECTION TO ELECTRIC OR PNEUMATIC DOOR LOCK CARD READER AT +48"</p> <p>NOTE: SYMBOLS SHOWN ARE FOR REFERENCE ONLY AND DO NOT CONSTITUTE A CHECK LIST OF DEVICES REQUIRED BY THE CONTRACT</p>																				
DEMOLITION AND REMODEL <p>EXISTING ELECTRICAL ITEM TO BE REMOVED EXISTING ELECTRICAL ITEM TO BE REMOVED AND RELOCATED EXISTING ELECTRICAL ITEM RELOCATED. NEW LOCATION EXISTING ELECTRICAL ITEM TO REMAIN EXISTING ELECTRICAL ITEM TO BE REMOVED AND PROVIDED WITH A BLANK COVERPLATE EXISTING ELECTRICAL OR SYSTEMS CIRCUIT TO REMAIN EXISTING ELECTRICAL CIRCUIT TO BE REMOVED SHOWN ONLY WHERE CLARIFICATION BETWEEN EXISTING TO REMAIN AND REMOVED ITEMS IS REQUIRED</p>																							

PROJECT 'C'

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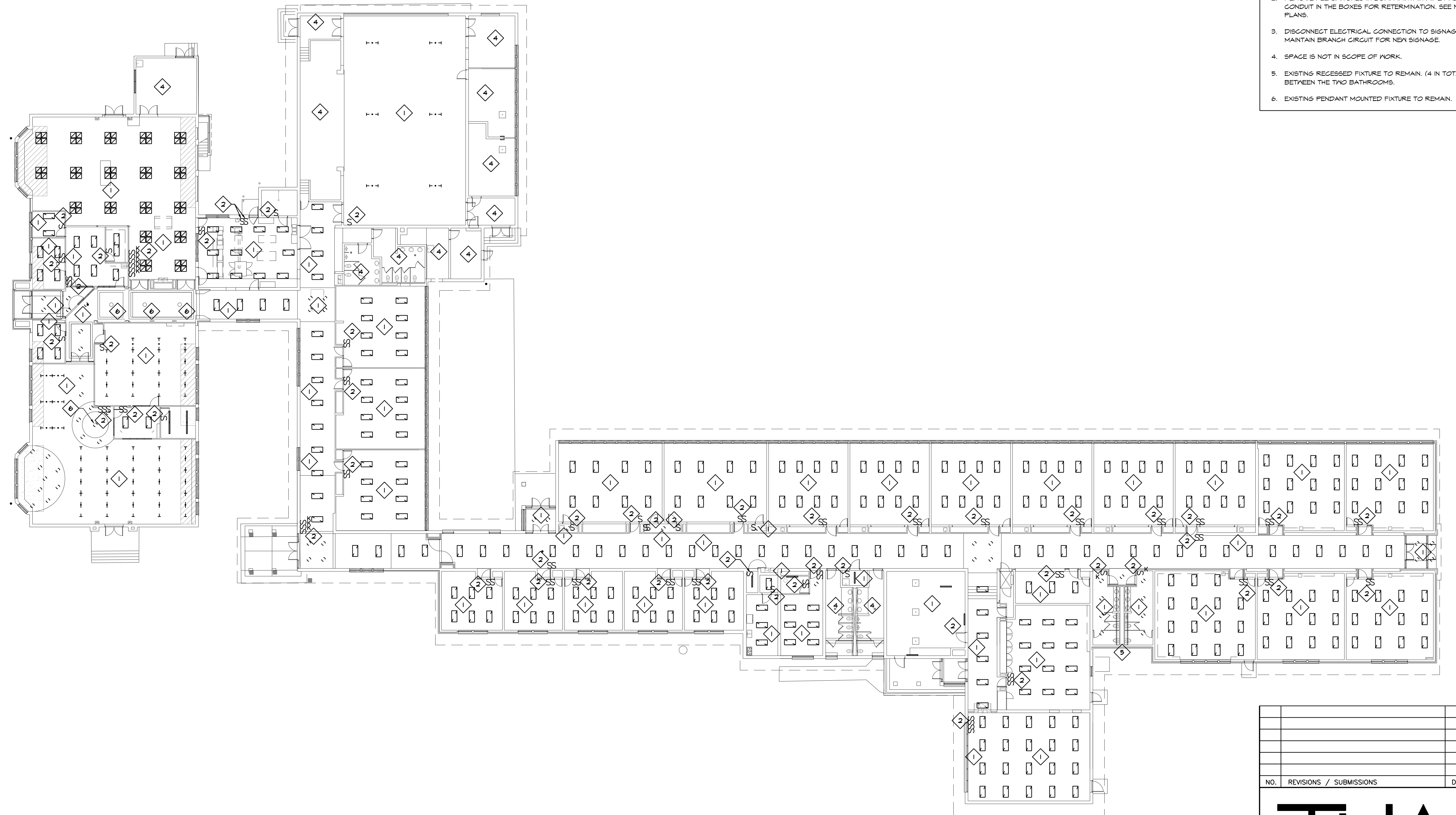
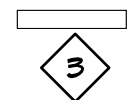
PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
ELEMENTARY SCHOOL**
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ELECTRICAL COVER SHEET

SEAL	DRAWN	PROJECT NO.
	FJA	24-120
	CHECKED	CAD FILE NO.
	RGH	A-E000
	REVIEWED	DRAWING NO.
	RGH	OCT 18, 2024
	DATE	C-E000
	SCALE	SHEET NO.
	AS NOTED	18 OF 21

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Poc date: 10/22/2024 1:04 PM

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DEMOLITION NOTES

1. REMOVE ALL LIGHT FIXTURES IN SPACE UNLESS OTHERWISE NOTED. MAINTAIN WIRE AND CONDUIT FOR CONNECTION TO NEW LIGHT FIXTURES. FIXTURES TO BE 1 FOR 1. SEE NEW PLANS.
2. REMOVE ALL SWITCHES IN BOX. MAINTAIN WIRE AND CONDUIT IN THE BOXES FOR RETERMINATION. SEE NEW PLANS.
3. DISCONNECT ELECTRICAL CONNECTION TO SIGNAGE. MAINTAIN BRANCH CIRCUIT FOR NEW SIGNAGE.
4. SPACE IS NOT IN SCOPE OF WORK.
5. EXISTING RECESSED FIXTURE TO REMAIN. (4 IN TOTAL BETWEEN THE TWO BATHROOMS).
6. EXISTING PENDANT MOUNTED FIXTURE TO REMAIN.

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PROJECT 'C' RENOVATIONS FOR:
**BULLOCK CREEK
 ELEMENTARY SCHOOL**
 1037 S. ROSEVILLE RD
 MIDLAND, MI

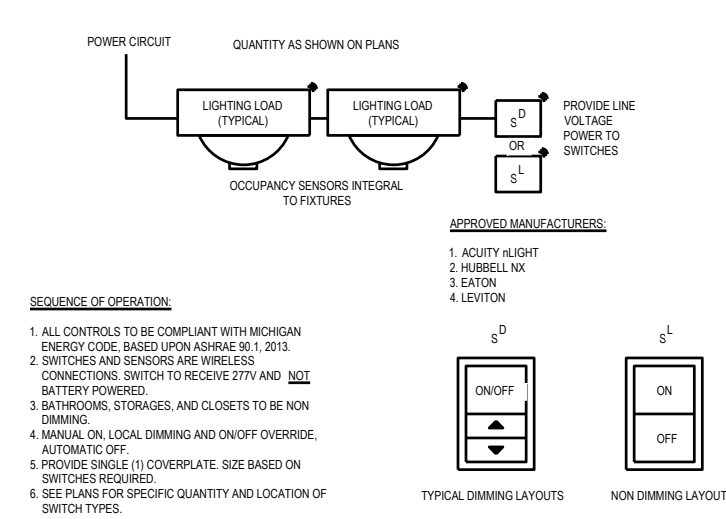
DRAWING TITLE
ELECTRICAL DEMOLITION PLAN

SEAL	DRAWN TJA 24-120	PROJECT NO. 24-120
	CHECKED RCH A-E000	CAD FILE NO. A-E000
	REVIEWED RCH	DRAWING NO. C-E101
	DATE OCT 18, 2024	SHEET NO. 11 OF 21
	SCALE AS NOTED	

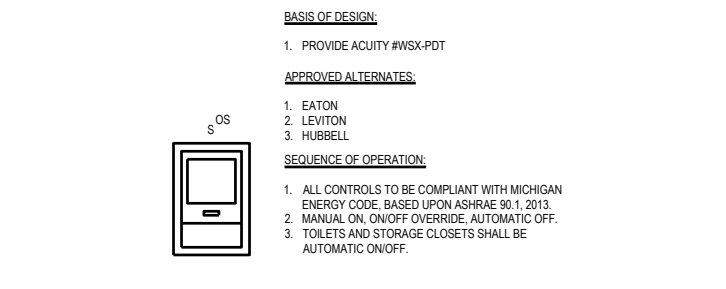
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CONSTRUCTION NOTES

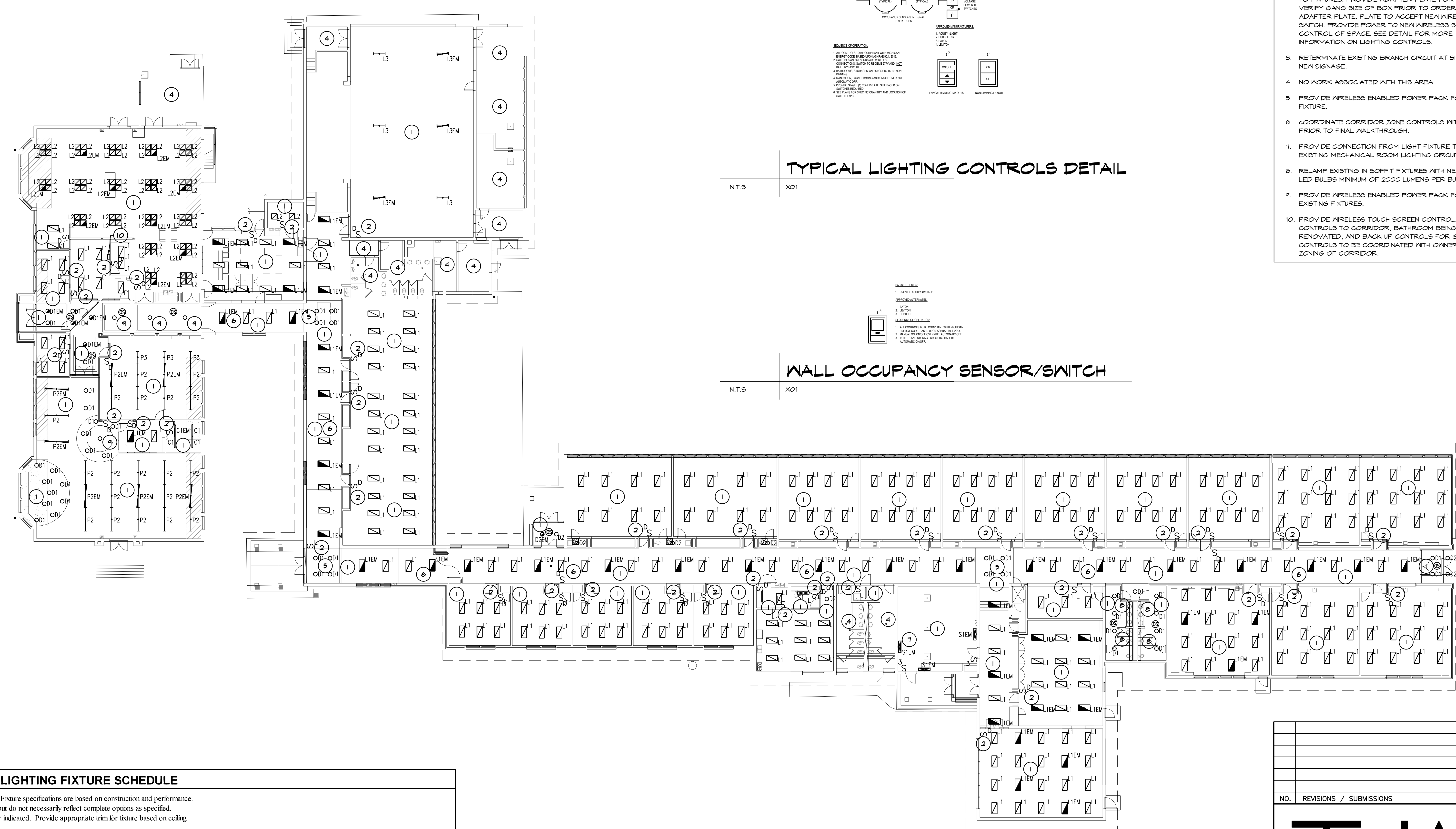
1. PROVIDE CONNECTION TO NEW LIGHT FIXTURES FROM EXISTING CIRCUIT. FIXTURES TO BE 1 FOR 1.
2. TERMINATE HOT LEGS AND SWITCHED LEGS FOR POWER TO FIXTURES. PROVIDE ADAPTER PLATE FOR BOX. VERIFY GANG SIZE OF BOX PRIOR TO ORDERING ADAPTER PLATE. PLATE TO ACCEPT NEW WIRELESS SWITCH. PROVIDE POWER TO NEW WIRELESS SWITCH FOR CONTROL OF SPACE. SEE DETAIL FOR MORE INFORMATION ON LIGHTING CONTROLS.
3. RETERMINATE EXISTING BRANCH CIRCUIT AT SIGNAGE TO NEW SIGNAGE.
4. NO WORK ASSOCIATED WITH THIS AREA.
5. PROVIDE WIRELESS ENABLED POWER PACK FOR NEW FIXTURE.
6. COORDINATE CORRIDOR ZONE CONTROLS WITH OWNER PRIOR TO FINAL WALKTHROUGH.
7. PROVIDE CONNECTION FROM LIGHT FIXTURE TO EXISTING MECHANICAL ROOM LIGHTING CIRCUIT.
8. RELAMP EXISTING IN SOFFIT FIXTURES WITH NEW 4000K LED BULBS MINIMUM OF 2000 LUMENS PER BULB.
9. PROVIDE WIRELESS ENABLED POWER PACK FOR EXISTING FIXTURES.
10. PROVIDE WIRELESS TOUCH SCREEN CONTROLLER FOR CONTROLS TO CORRIDOR, BATHROOM BEING RENOVATED, AND BACK UP CONTROLS FOR 6PM AREA. CONTROLS TO BE COORDINATED WITH OWNER FOR ZONING OF CORRIDOR.



TYPICAL LIGHTING CONTROLS DETAIL



WALL OCCUPANCY SENSOR/SWITCH



LIGHTING FIXTURE SCHEDULE

General: Lighting fixtures as hereinafter specified are identified by type as noted on drawings. Fixture specifications are based on construction and performance. Manufacturer's catalogue numbers are of general nature and indicate level of quality required, but do not necessarily reflect complete options as specified. Approval shall be based on description and specification of fixture as well as catalogue number indicated. Provide appropriate trim for fixture based on ceiling.

DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS			BALLAST	MOUNTING	NOTES
		FLUOR	LED	INC			
C1 4' LED STRIPLIGHT. 8000 LUMEN. SNAP ON FROSTED LENS. 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E7W. WHITE FINISH.	LITHONIA: ZL1N-L48-5000LM-FST-120-40K-80CRI-WH		42W		DRIVER	PENDANT/UNIVERSAL	
D1 6" LED DOWN LIGHT. 1000 LUMENS. 4000K COLOR TEMPERATURE. N/LIGHT AIR ENABLED. PROVIDE TYPE 'EM' WITH OPTION EL. 10W BATTERY BACK UP.	GOTHAM: EVO6-40/10-AR-LSS-MWD-4VOLT-G210-NLTAIR2		10W		DRIVER	RECESSED	
D2 13" SURFACE MOUNTED LED CIRCULAR FIXTURE. 1800 LUMEN. 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION EM. BATTERY BACK UP OPTION.	JUNO: JSF-13IN18LM-SWWS-80CRI-MVOLTZF-WH		20W		DRIVER	SURFACE	
L1 2'X4' LED FLAT PANEL. 4000 LUMEN. 4000K COLOR TEMPERATURE. N/LIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10W/CP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CPX-2X4-4000LM-80CRI-40K-SWL-MIN10-MVOLT-NLTAIR2-APDT		37W		DRIVER	RECESSED	
L2 2'X2' LED FLAT PANEL. 3200 LUMEN. 4000K COLOR TEMPERATURE. N/LIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10W/CP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CPX-2X2-3200LM-80CRI-40K-SWL-MIN10-MVOLT-NLTAIR2-APDT		30W		DRIVER	RECESSED	
L3 LED HIGH BAY FIXTURE. 30000 LUMEN. 4000K COLOR TEMPERATURE. N/LIGHT AIR ENABLED. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E20W/CPHE. 20 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: 1BG-30000LM-SEF-PC-LD-WD-MVOLT-G210-40K-80CRI-NLTAIR2-RLSXR6		178W		DRIVER	PENDANT	
S1 SURFACE MOUNT 4' LED FIXTURE. 4000LUMEN. 4000K COLOR TEMPERATURE.	LITHONIA: BLWP4-40L-SDPT-G21-LP84-		35W		DRIVER	SURFACE	



FLOOR PLAN

NO.	REVISIONS / SUBMISSIONS	DATE

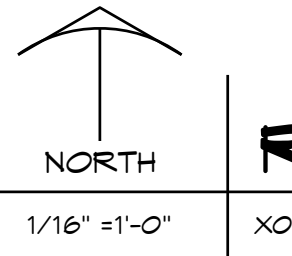
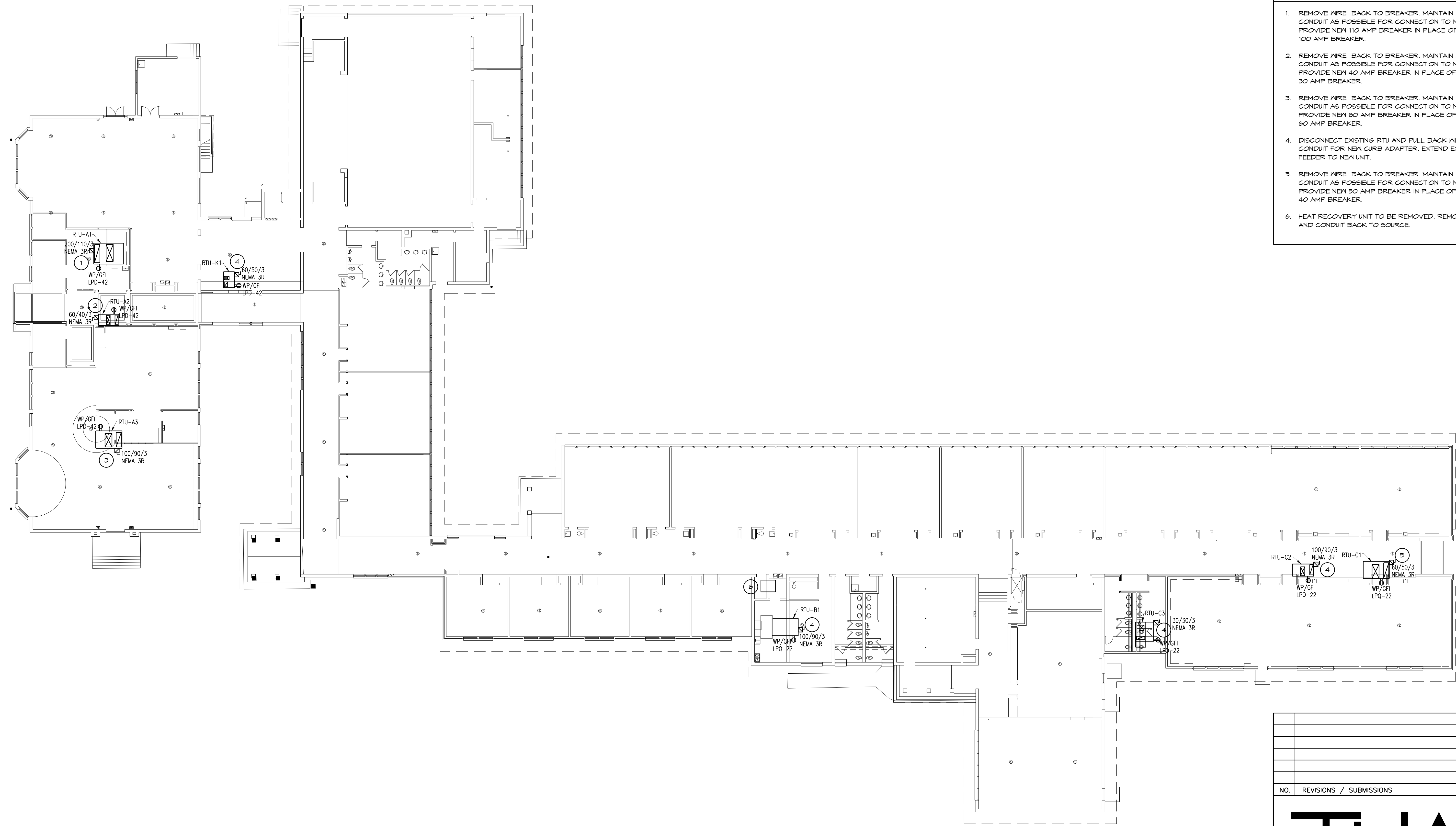
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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ELECTRICAL PLANS

SEAL	DRAWN	PROJECT NO.
	FLJ	24-120
	CHECKED	CAD FILE NO.
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	REVIEWED	DRAWING NO.
	RCH	C-E102
	DATE	SHEET NO.
	OCT 18, 2024	20 OF 21
	SCALE	AS NOTED

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ROOF ELECTRICAL PLAN

1/16" = 1'-0" x01

- GENERAL NOTES**
- COORDINATE ALL MECHANICAL DISCONNECTS AND BREAKERS PRIOR TO CONSTRUCTION.
- CONSTRUCTION NOTES**
- REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 110 AMP BREAKER IN PLACE OF EXISTING 100 AMP BREAKER.
 - REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 40 AMP BREAKER IN PLACE OF EXISTING 30 AMP BREAKER.
 - REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 80 AMP BREAKER IN PLACE OF EXISTING 60 AMP BREAKER.
 - DISCONNECT EXISTING RTU AND PULL BACK WIRE AND CONDUIT FOR NEW CURB ADAPTER. EXTEND EXISTING FEEDER TO NEW UNIT.
 - REMOVE WIRE BACK TO BREAKER. MAINTAIN AS MUCH CONDUIT AS POSSIBLE FOR CONNECTION TO NEW UNIT. PROVIDE NEW 50 AMP BREAKER IN PLACE OF EXISTING 40 AMP BREAKER.
 - HEAT RECOVERY UNIT TO BE REMOVED. REMOVE WIRE AND CONDUIT BACK TO SOURCE.

PROJECT 'C'

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PROJECT 'C' RENOVATIONS FOR:
BULLOCK CREEK ELEMENTARY SCHOOL
1037 S. ROSEVILLE RD
MIDLAND, MI

DRAWING TITLE
ELECTRICAL ROOF PLAN

SEAL	DRAWN TJA	PROJECT NO. 24-120
	CHECKED RGH	CAD FILE NO. A-E000
	REVIEWED RGH	DRAWING NO. C-E103
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	<u>21</u> OF <u>21</u>

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STANDARD ABBREVIATIONS

at	air conditioning	KO	knockout
A/C	acoustical	LAM	laminated
ACGUST	adjustable	LAV	lavatory
AD	above Finish Floor	LH	left hand
AFF	aluminum	LL	live load
ALT	aluminum	LLH	long leg horizontal
ALUM	anchor, anchorage	LLV	long leg vertical
ANCH	architect/architectural	LTN	light weight
ASCH			
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	block	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRG	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHWR	chilled water return	OA	overall
CHWS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit	PCF	pounds per cubic foot
CO	clear out	PLAS	plaster
COL	column	±	plus or minus
CONC	concrete	PLF	pounds per linear foot
CONST	construction	PSF	pounds per square foot
CONT	continuous/continuing	PSI	pounds per square inch
CONTR	contract/contractor	PART	partition
CONV	convector	PVC	polyvinyl chloride
CRS	course(s)	PMT	pavement
CT	ceramic tile		
CUH	cabinet unit ventilator		
CW	domestic cold water		
CY	cubic yard		
°	degree		
DET	detail	R	riser/radius
DF	drinking fountain	RA	return air
DIAS	diagonal	RD	roof drain
DIA or Ø	diameter	RE	reference
DM	dimension	REF	refrigerator
DIV	division	REINF	reinforce(d)/reinforcing
DP	dampproofing	RES	resilient
DS	downspout	REV	revision(s)/revised
DWS	drawing	RH	right hand
		RM	room
EA	each	RO	rough opening
EFS	exterior insulation finish system	ROV	right of way
		RS	roof sump
ELEG	electric/electrical	RWC	rainwater conductor
EQ	equal		
EQUIP	equipment	SAN	sanitary
EWAC	electric water cooler	SD	storm drain
EXST	existing	SECT	section
EXH	exhaust	SHT	sheet
EXT	exterior	SIM	similar
		SPEC	specification(s)
FA	fire alarm	SQ	squares
FAI	fresh air intake	SS	service sink
FD	floor drain	SSS	stainless steel
FE	fire extinguisher	STL	steel
FEC	fire extinguisher cabinet	STD	standard
FIN	finish(ed)	SUSP	suspended
FL	flooring	SYM	symmetry/symmetrical
FOUND	foundation		
FTR	fin tube radiation	T&G	tongue/groove
FTG	footing	T&B	trade
		TEL	telephone
G	gas	TERR	terrace
GA	gauge/gauge	THR	threshold
GC	general contractor	TV	television
GI	galvanized iron	TYF	typical
GL	glass/glazing		
GST	glazed structural tile		
GALV	galvanized	UH	unit heater
		UR	urinal
HB	hose bibb	UV	unit ventilator
HDX	hardware		
HM	hollow metal	V	vent
HORIZ	horizontal	VERT	vertical
HGT	height		
HTG	heating	W	width/wide
HVAC	heating/ventilating/air conditioning	W/W	with
HX	hot water	WC	water closet
HNHR	hot water heating return	WD	wood
HNHS	hot water heating supply	WH	water heater
HWR	domestic hot water return	WI	wrought iron
		W/W	wall to wall
ID	inside dimension	WWR	welded wire reinforcement
INT	interior		
INV	invert		

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACOUST TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	FLYWOOD

SYMBOLS KEY

	NORTH		NORTH ARROW
	EXISTING ELEVATION POINT		NEXT ELEVATION POINT
	ELEVATION TARGET		COLUMN CENTERLINE
	COLUMN NUMBER		BUILDING SECTION
	DETAIL NUMBER		WALL SECTION
	DETAIL BUBBLE		ROOM NAME
	ROOM NUMBER		DOOR NUMBER
	WINDOW NUMBER		INTERIOR ELEVATION
	DEMOLITION NOTE		

DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES
 2015 MICHIGAN REHABILITATION CODE
 -ALTERNATION, LEVEL 1
 2017 MICHIGAN ELECTRICAL CODE
 NFPA 101 LIFE SAFETY CODE 2012 AS ADOPTED BY
 MICHIGAN BUREAU OF FIRE SAFETY (MBFS)
 ICC A117.1 - 2009
 LEE TOWNSHIP ZONING ORDINANCE

BUILDING USE
 EXISTING: E, EDUCATION

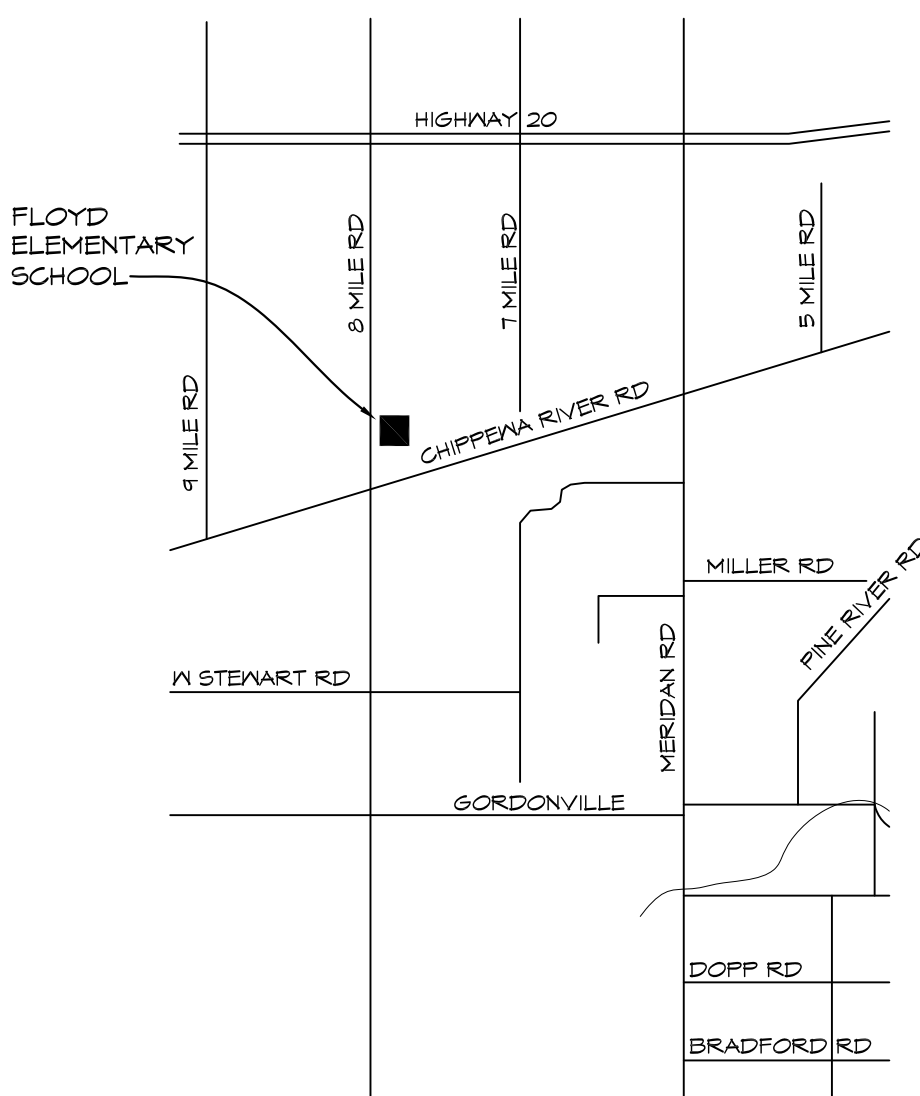
BUILDING CONSTRUCTION TYPE
 TYPE II-B (0,0,0) NON-COMBUSTIBLE

BUILDING AREA
 EXISTING GROSS AREA = 44,950 SF

OCCUPANCY
 PER CODE = 469 OCCUPANTS TOTAL

GENERAL NOTES

- ANY PENETRATIONS OF CORRIDOR WALLS MUST MAINTAIN 1-HOUR FIRE RATING AND RESIST THE PASSAGE OF SMOKE



LOCATION MAP
NO SCALE

BULLOCK CREEK SCHOOL DISTRICT 2023 BOND- SERIES 1 2025 IMPROVEMENTS THA PROJECT #24-120

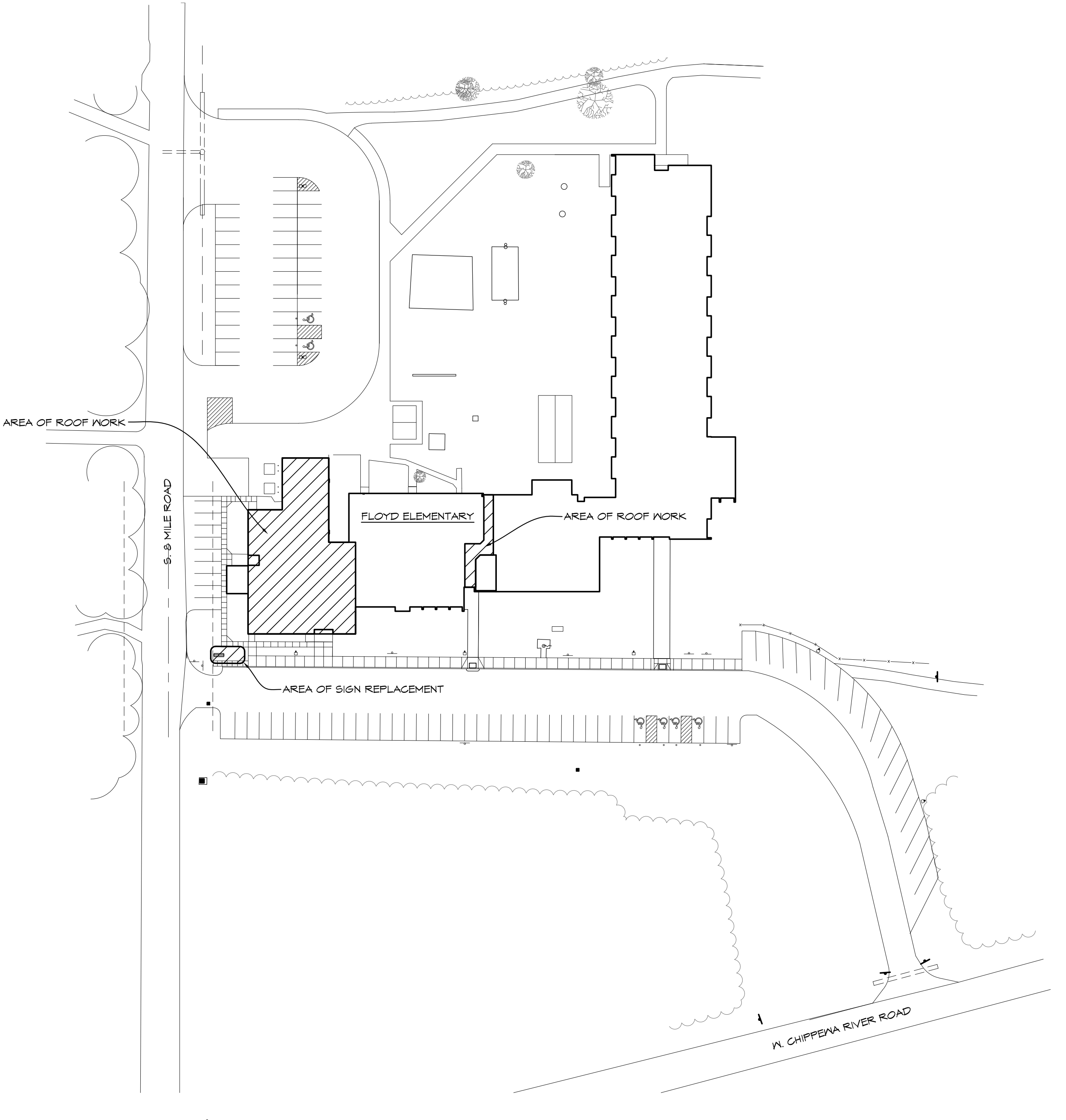
1420 SOUTH BADOUR ROAD MIDLAND, MI 48640

PROJECT 'D' RENOVATIONS TO: FLOYD ELEMENTARY SCHOOL

725 SOUTH EIGHT MILE ROAD MIDLAND, MI 48640

INDEX OF DRAWINGS

- D-G001 TITLE SHEET
- D-C101 SIGNAGE PLAN WITH ELECTRICAL AND ELEVATIONS
- D-A101 ROOF DEMOLITION PLAN AND DETAILS
- D-A102 ROOF PLAN AND DETAILS



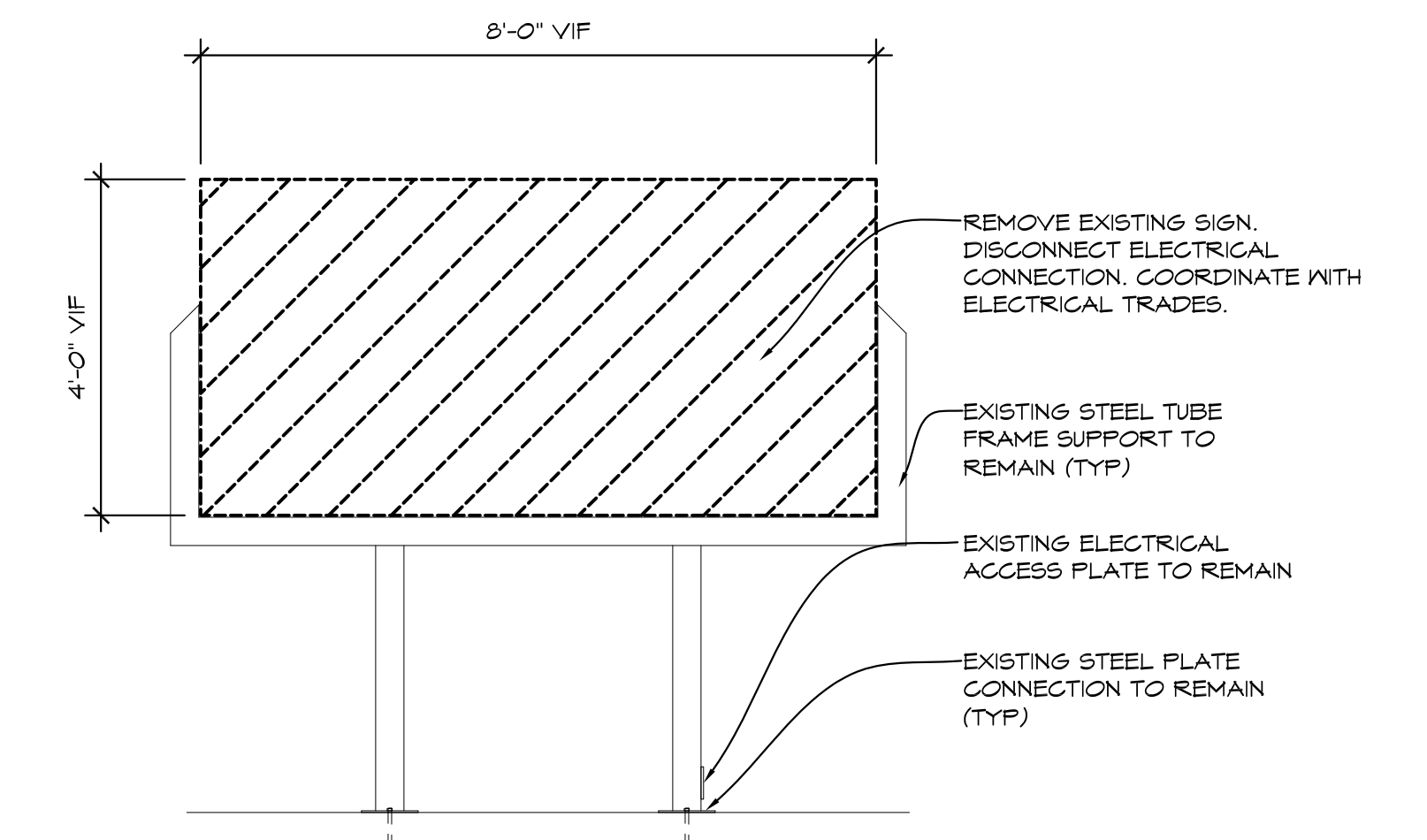
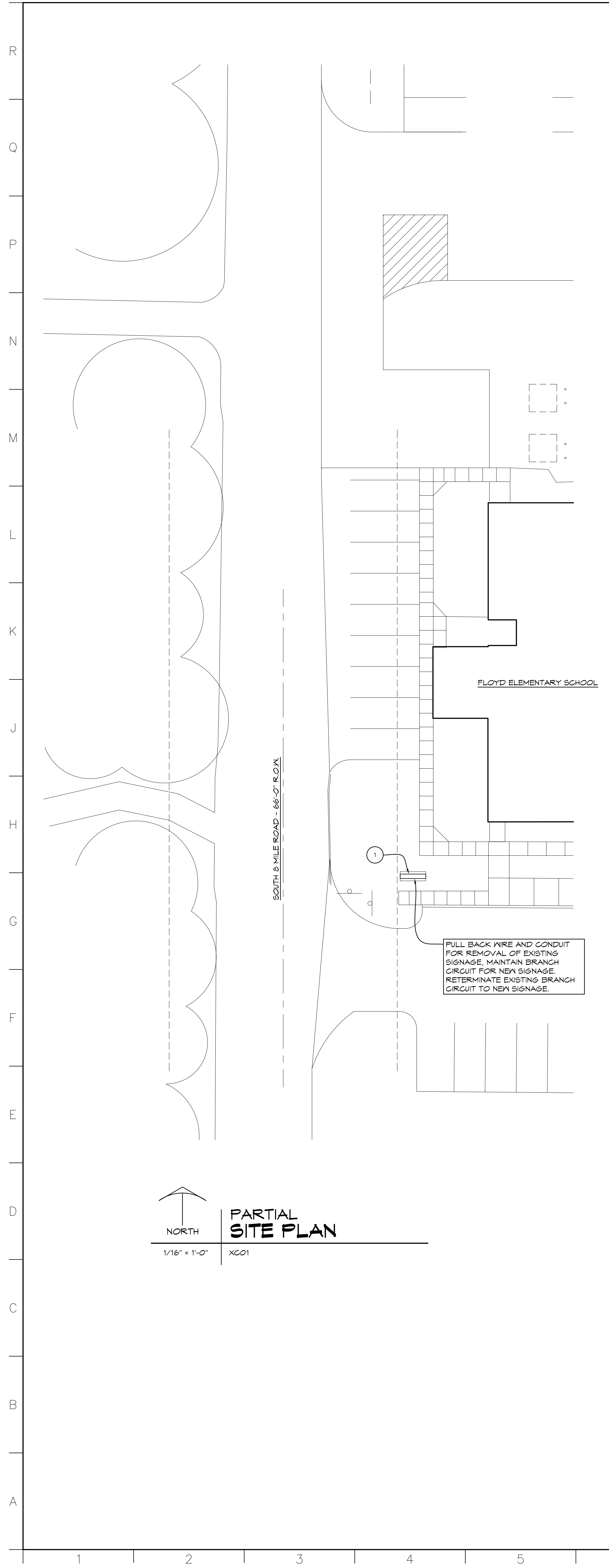
SITE PLAN
NTS

THA
Architects Engineers
817 E. Kearsley St. | Flint, MI 48503
Ph: 810-767-5600 | THA-Flint.com

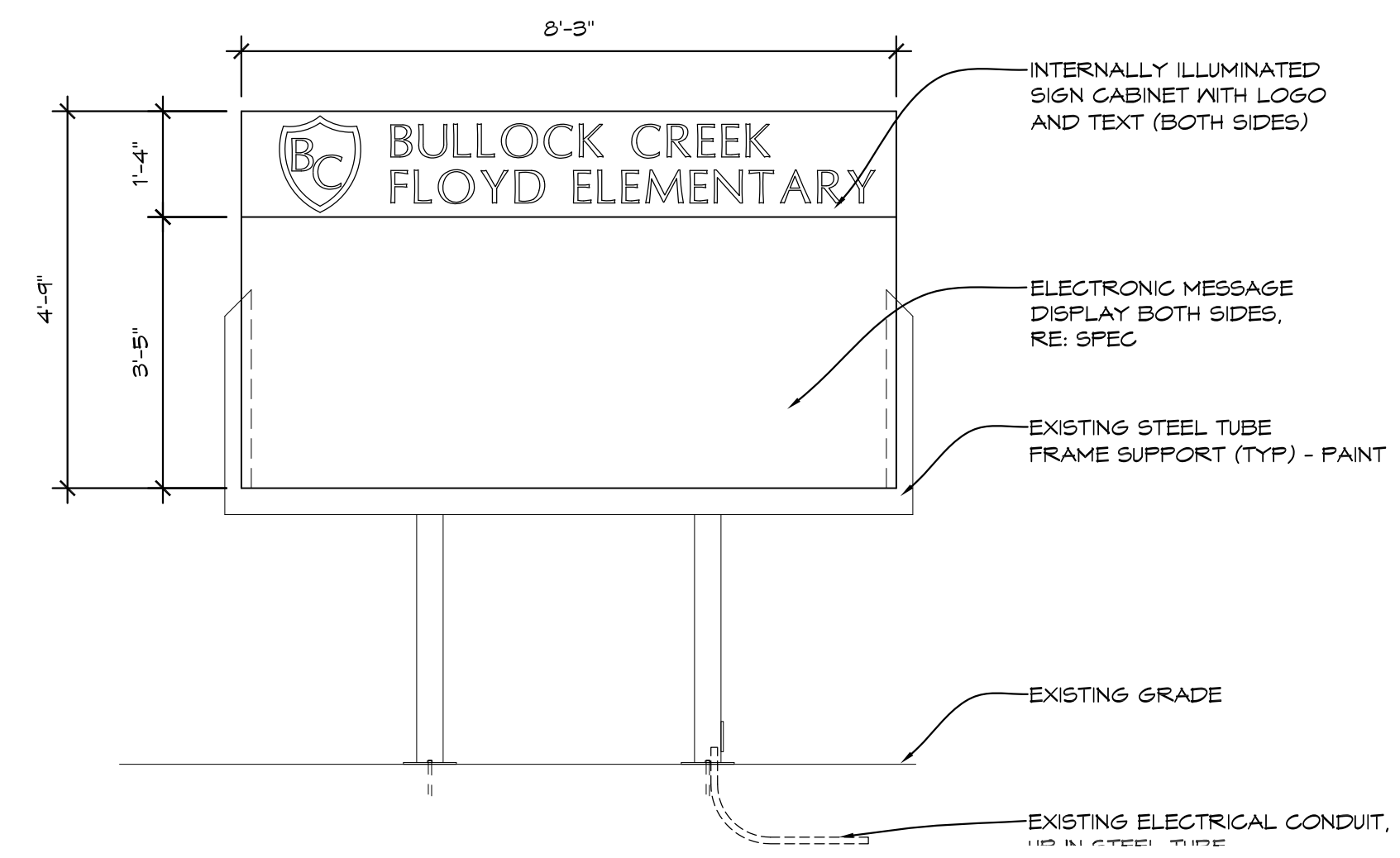
Wolcast
CORPORATION
Executive Office
Executive One Building
4835 Towne Centre Road
Suite 201
Saginaw, MI 48604
Phone: (989) 796-9128
Fax: (989) 796-9063
www.wolcastconstruction.com

**BULLOCK CREEK SCHOOL DISTRICT
2023 BOND- SERIES 1 2025 IMPROVEMENTS
THA PROJECT# 24-120
1420 SOUTH BADOUR ROAD MIDLAND MI 48640
PROJECT 'D'
RENOVATIONS TO:
FLOYD ELEMENTARY SCHOOL
725 SOUTH EIGHT MILE ROAD MIDLAND MI 48640**

NO.	REVISIONS / SUBMISSIONS	DATE
SEAL	DRAWN KRS	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. D-G001
	REVIEWED MJS	DRAWING NO. D-G001
	DATE OCT 18, 2024	SHEET NO. 1 OF 4
	SCALE N.T.S.	



1 DEMOLITION SIGN ELEVATION
1/2" = 1'-0" DETL01



3 PROPOSED SIGN ELEVATION
1/2" = 1'-0" DETL01



2 EXISTING SIGN ELEVATION
NTS DETL01

REMOVE EXISTING SIGN PANELS

EXISTING STEEL SIGN SUPPORT FRAME TO REMAIN

- GENERAL DEMOLITION NOTES**
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
 - OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
 - COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
 - REPAIR ALL WALLS, FLOORS AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
 - AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
 - NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

- CONSTRUCTION NOTES**
- REMOVE PORTION OF EXISTING BUILDING SIGN. EXISTING POST STRUCTURE AND FOUNDATION TO REMAIN. INSTALL NEW BUILDING SIGN ON EXISTING STRUCTURE. REFER TO ELEVATIONS ON THIS SHEET.

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'D' RENOVATIONS FOR:
FLOYD ELEMENTARY SCHOOL
125 SOUTH EIGHT MILE ROAD
MIDLAND, MI

DRAWING TITLE
SIGNAGE PLAN WITH ELECTRICAL AND ELEVATIONS

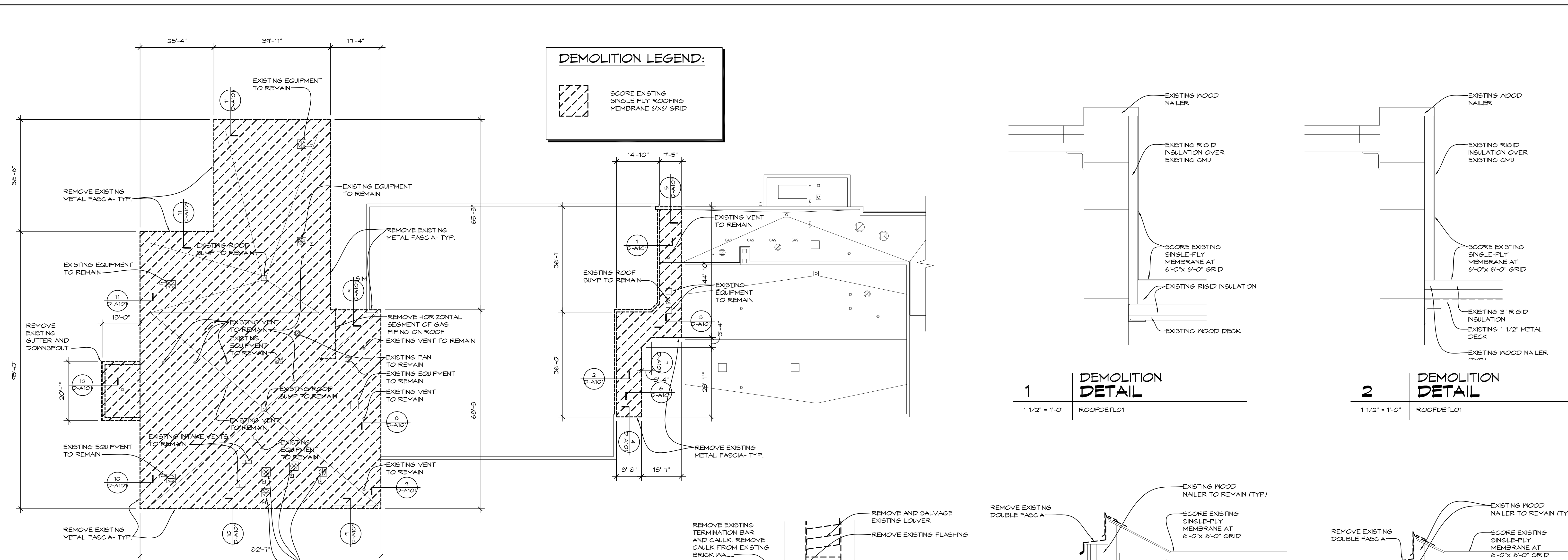
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	CHECKED JESS	CAD FILE NO. P-C101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	D-C101
	SCALE AS NOTED	SHEET NO. 2 OF 4

THA Architects Engineers - P:\Bullock Creek\24-120\2023\Bullock Creek\1-2023\Improvements\Challenging\Bullock Creek\Floyd\04-C101 - SITE PLAN
Plot date: 10/22/2024 12:55 PM

PROJECT 'D'

DEMOLITION LEGEND:

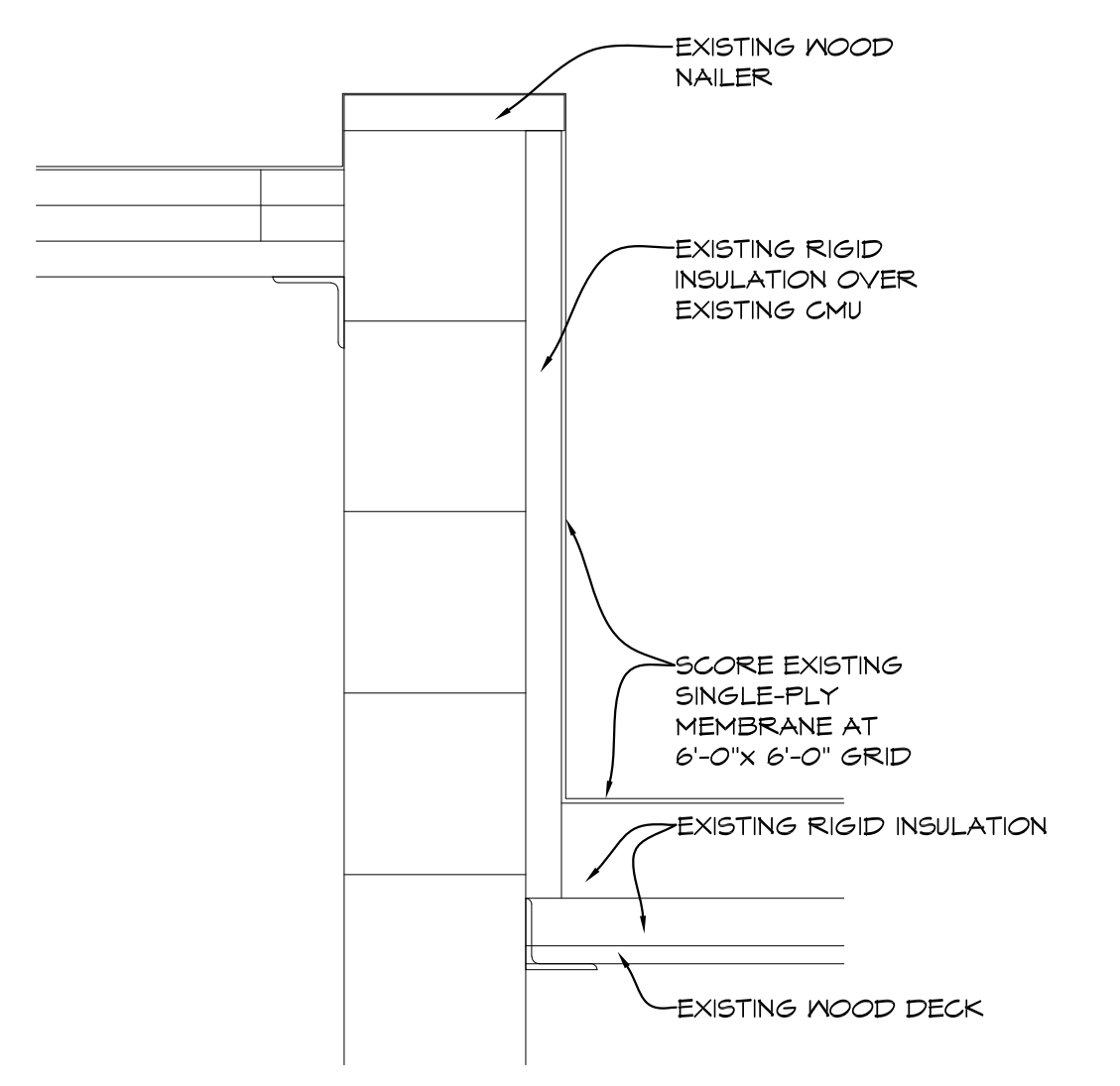
SCORE EXISTING SINGLE PLY ROOFING MEMBRANE @ 6"X 6" GRID



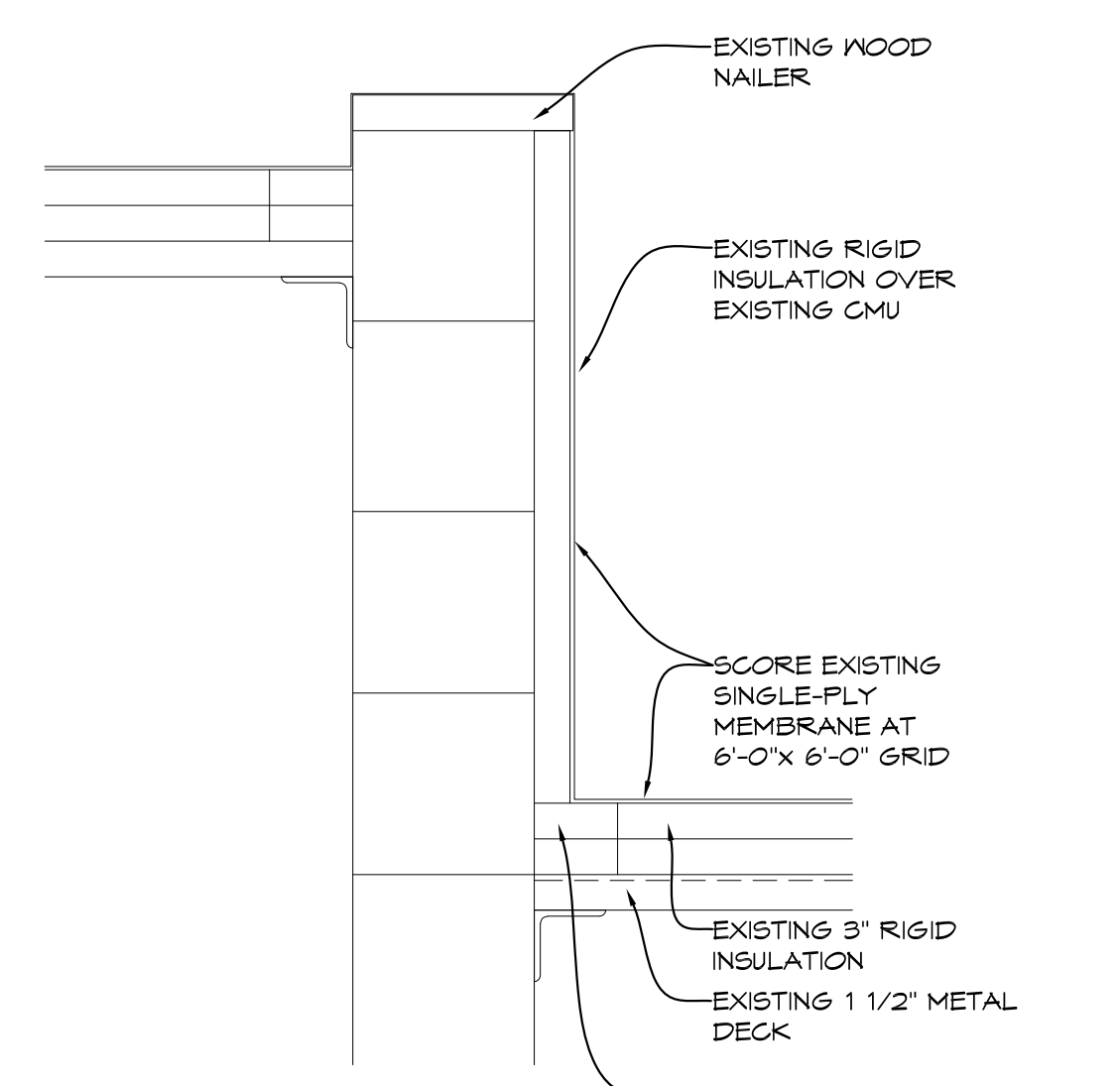
ROOF DEMOLITION PLAN
 NORTH
 1/16" = 1'-0" X01

ROOFING GENERAL NOTES

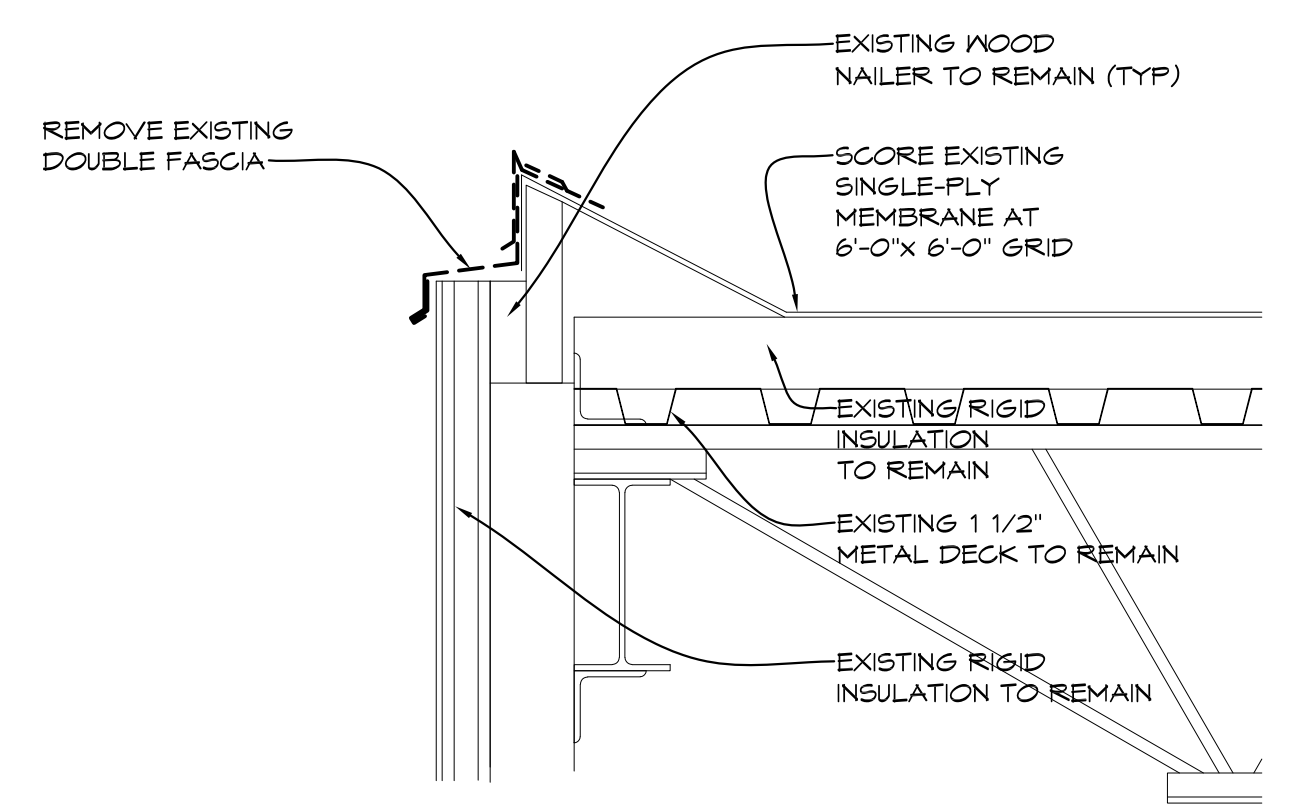
- DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
- ROOFING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ROOF MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- INSTALL INSULATION CRICKETS AS REQUIRED TO PROVIDE DRAINAGE AROUND EQUIPMENT AND ALL MAJOR ROOF PENETRATIONS.
- EXHAUST FANS, VENTS AND OTHER ROOF PENETRATIONS ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. ALL BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING.
- REMOVE ALL METAL ROOF EDGE, CAPPING AND MEMBRANE FLASHINGS.
- INSTALL FLASHINGS AND FASCIA WITH NECESSARY NAILERS, TERMINATION BARS OR COUNTER FLASHINGS.
- REMOVE ROOF SUMP GRATES, CLEAN AND ROD SUMP LINES AND REINSTALL GRATES.
- ADJUST HEIGHT OF EXISTING ROOF TOP EQUIPMENT TO PROVIDE MINIMUM 8" FLASHING HEIGHT.
- COORDINATE ALL WORK WITH GENERAL, MECHANICAL, AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL OPENINGS REQUIRED OF THESE AND OTHER TRADES.
- REMOVE EXISTING WOOD PIPE SUPPORTS AND WOOD EQUIPMENT RAILS. PROVIDE NEW SUPPORTS; REFER TO SPEC. PROVIDE WALKWAY FASCS BELOW EACH SUPPORT INCLUDING METAL SUPPORTS THAT REMAIN.



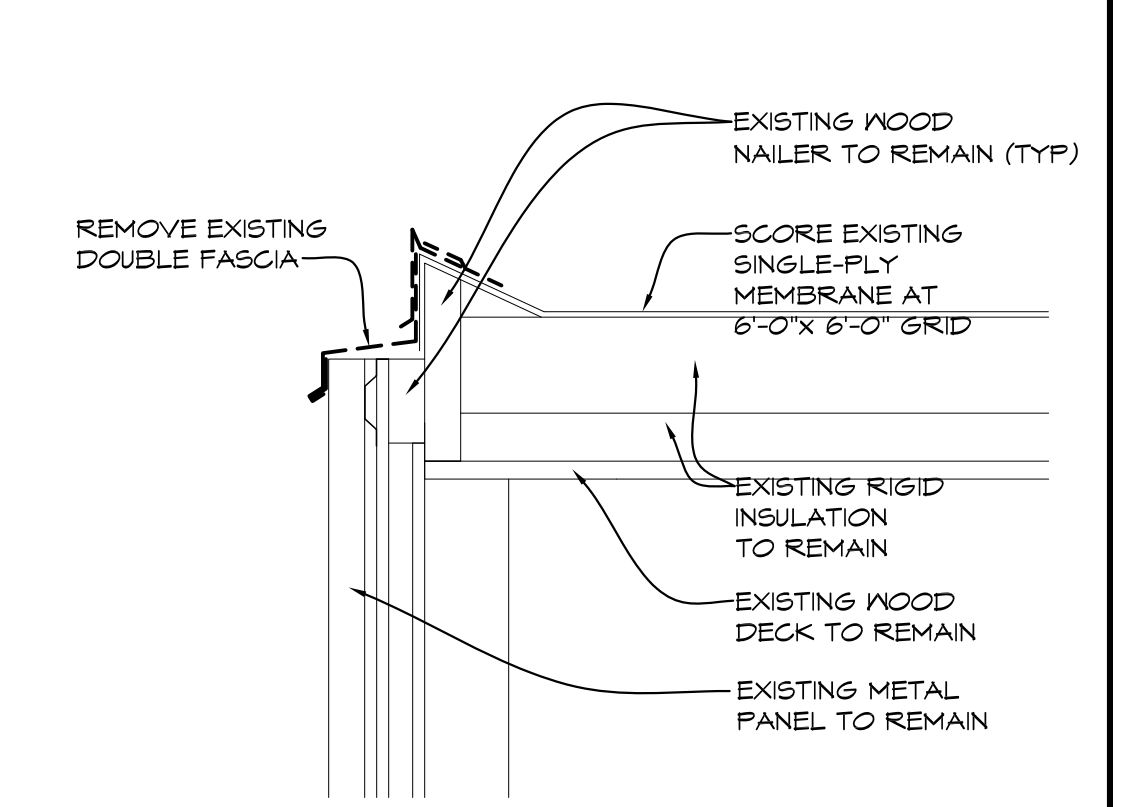
1 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



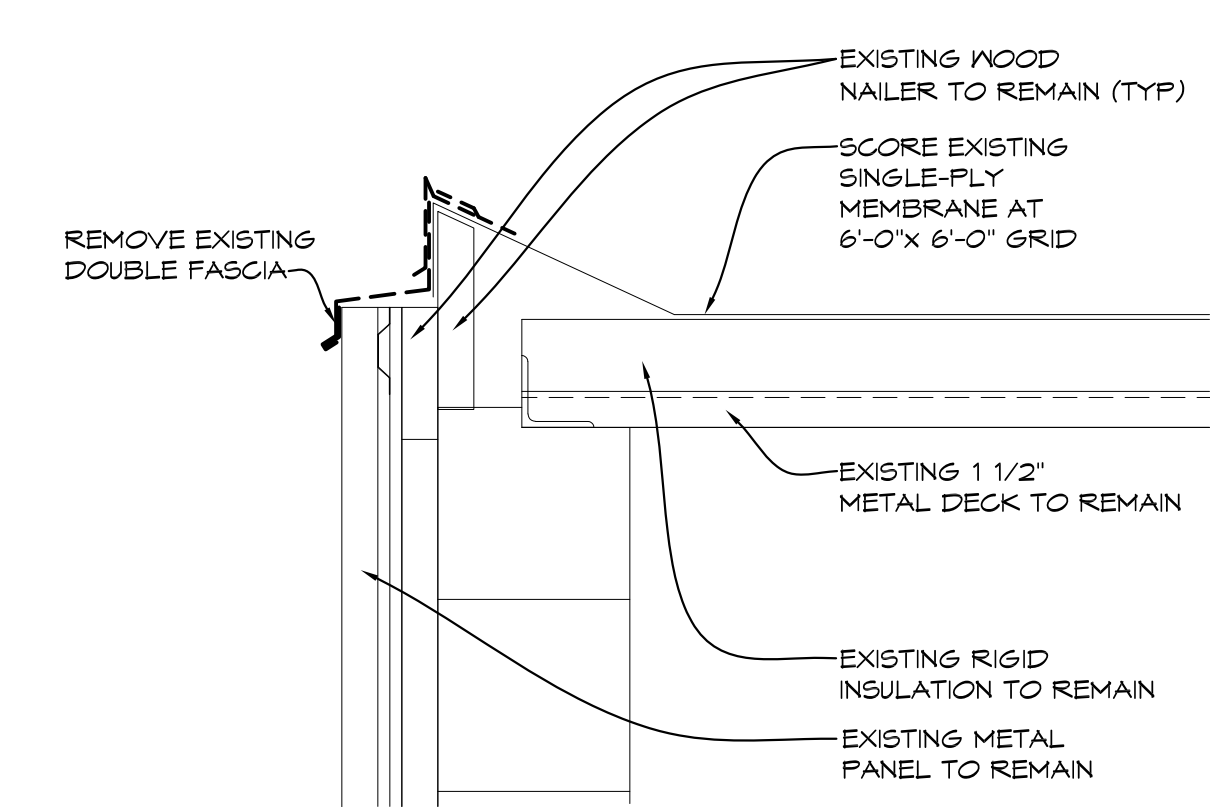
2 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



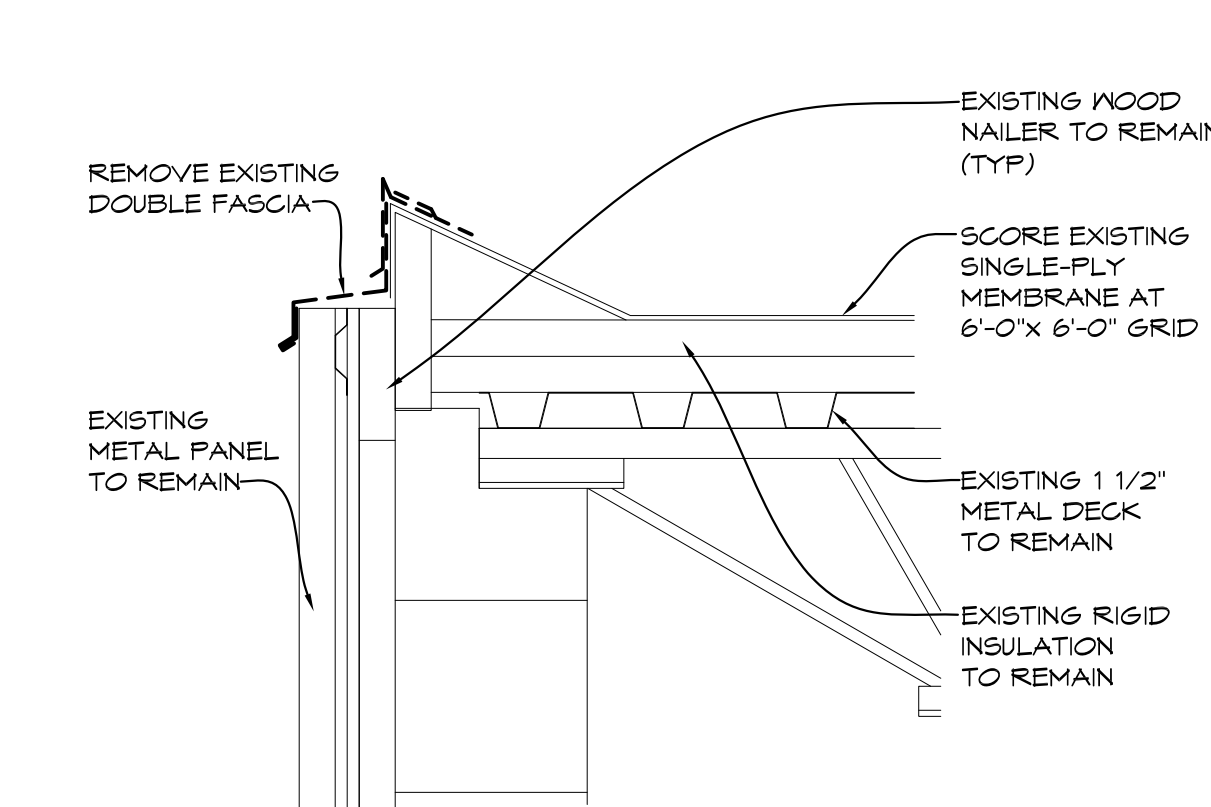
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 1 1/2" = 1'-0" ROOFPDETLO1



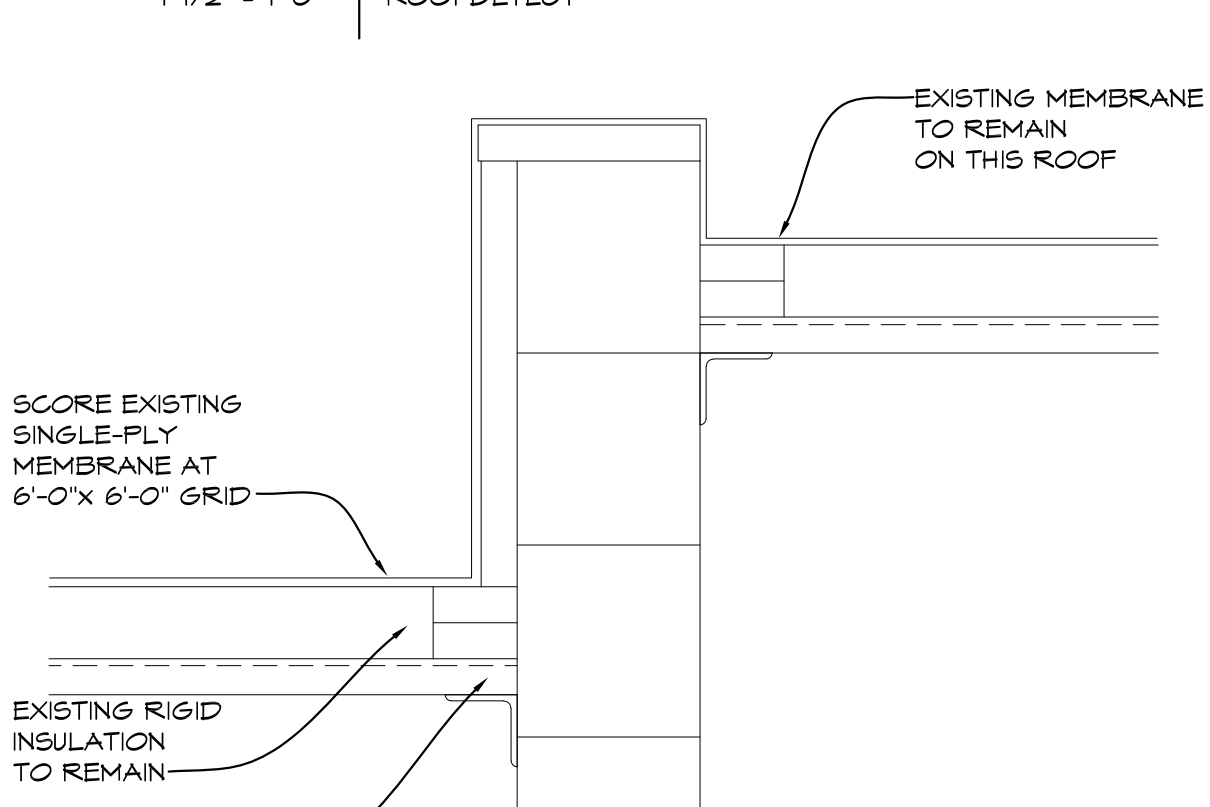
4 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



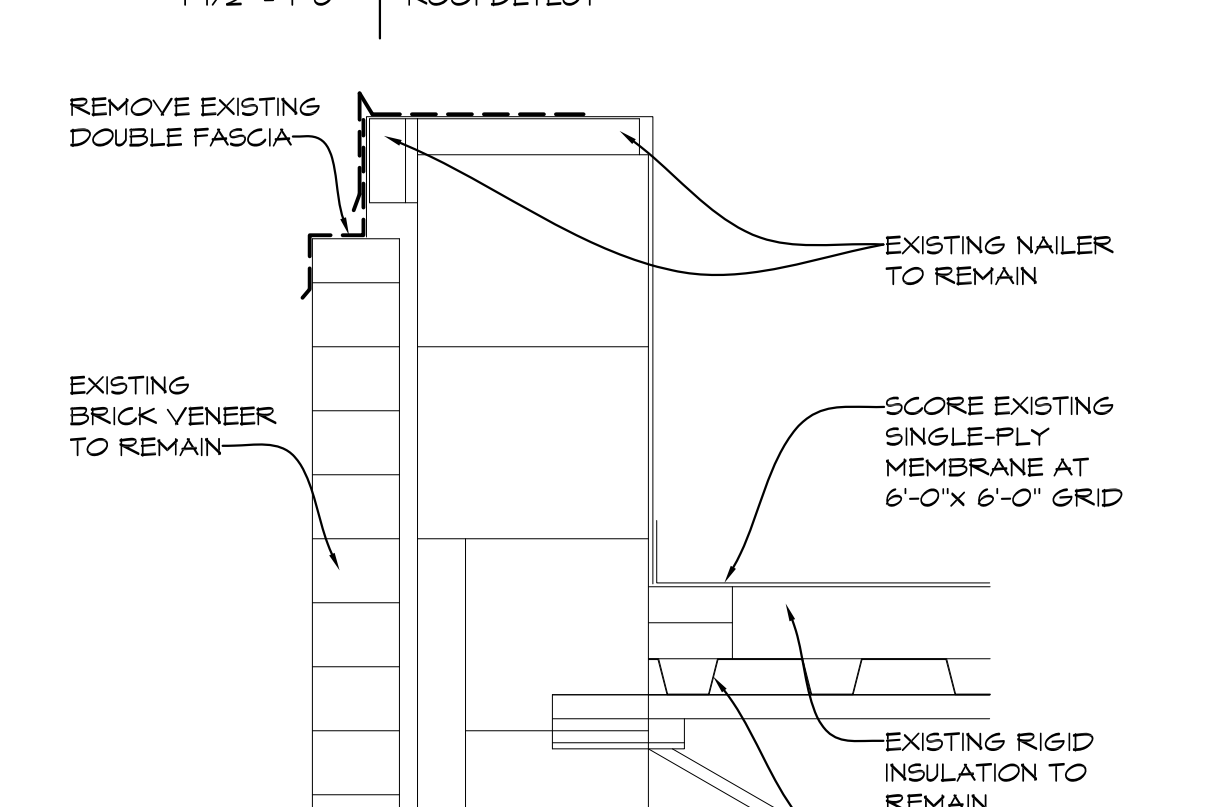
6 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



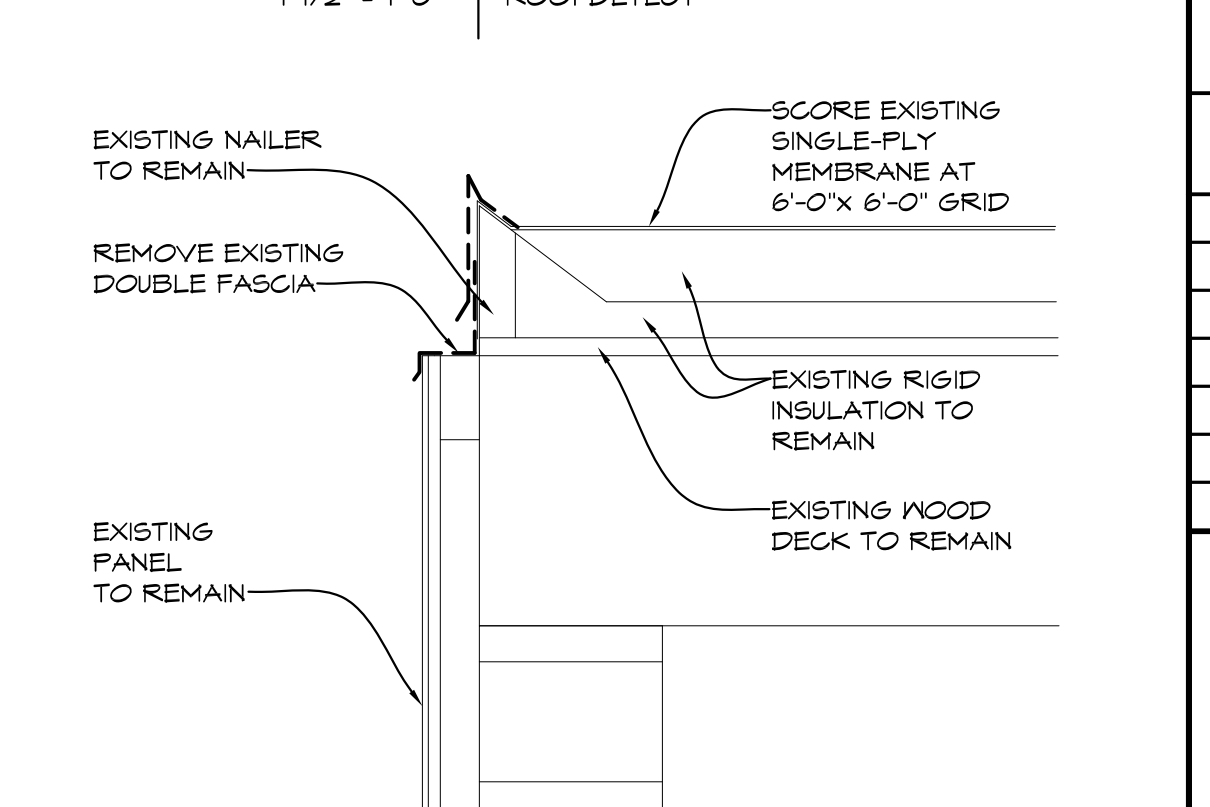
7 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



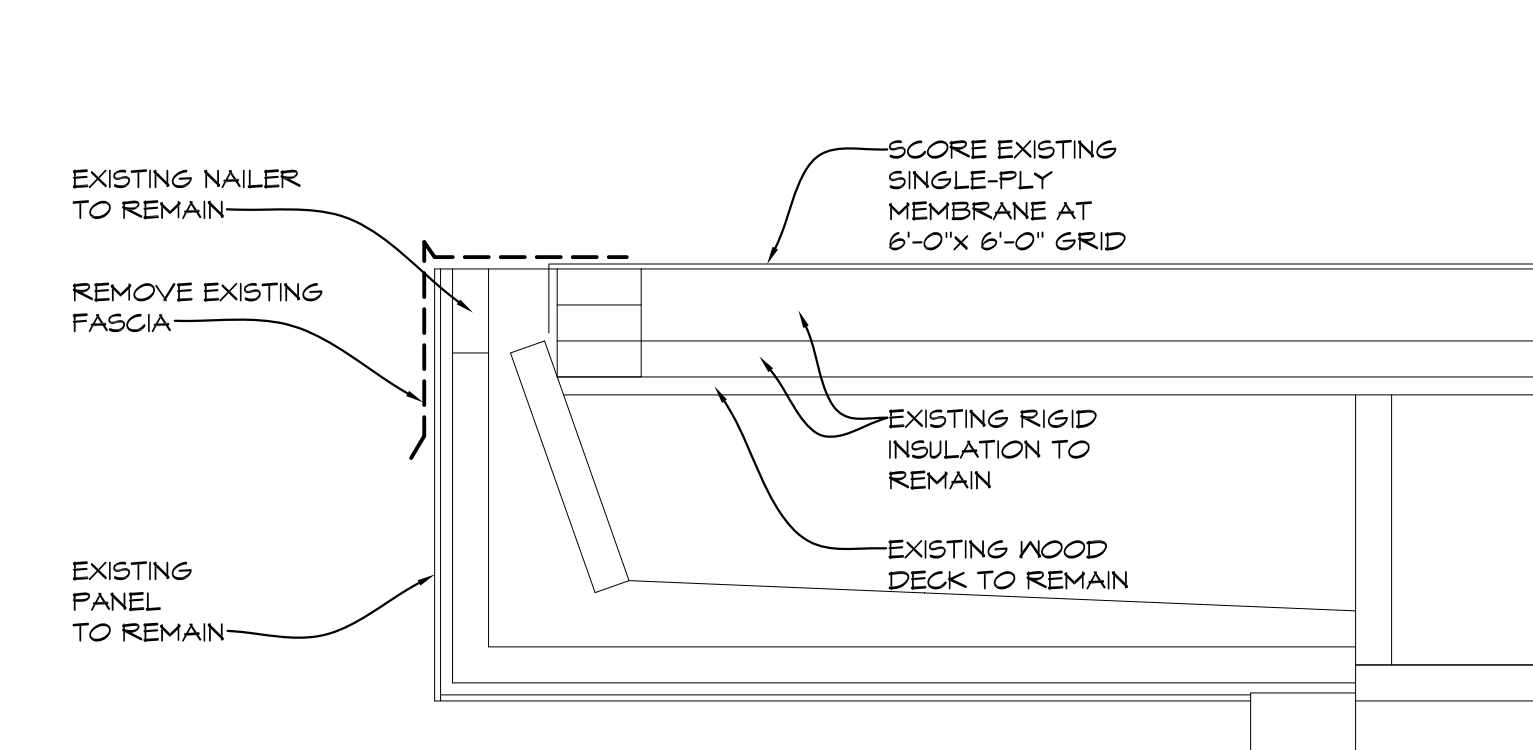
8 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



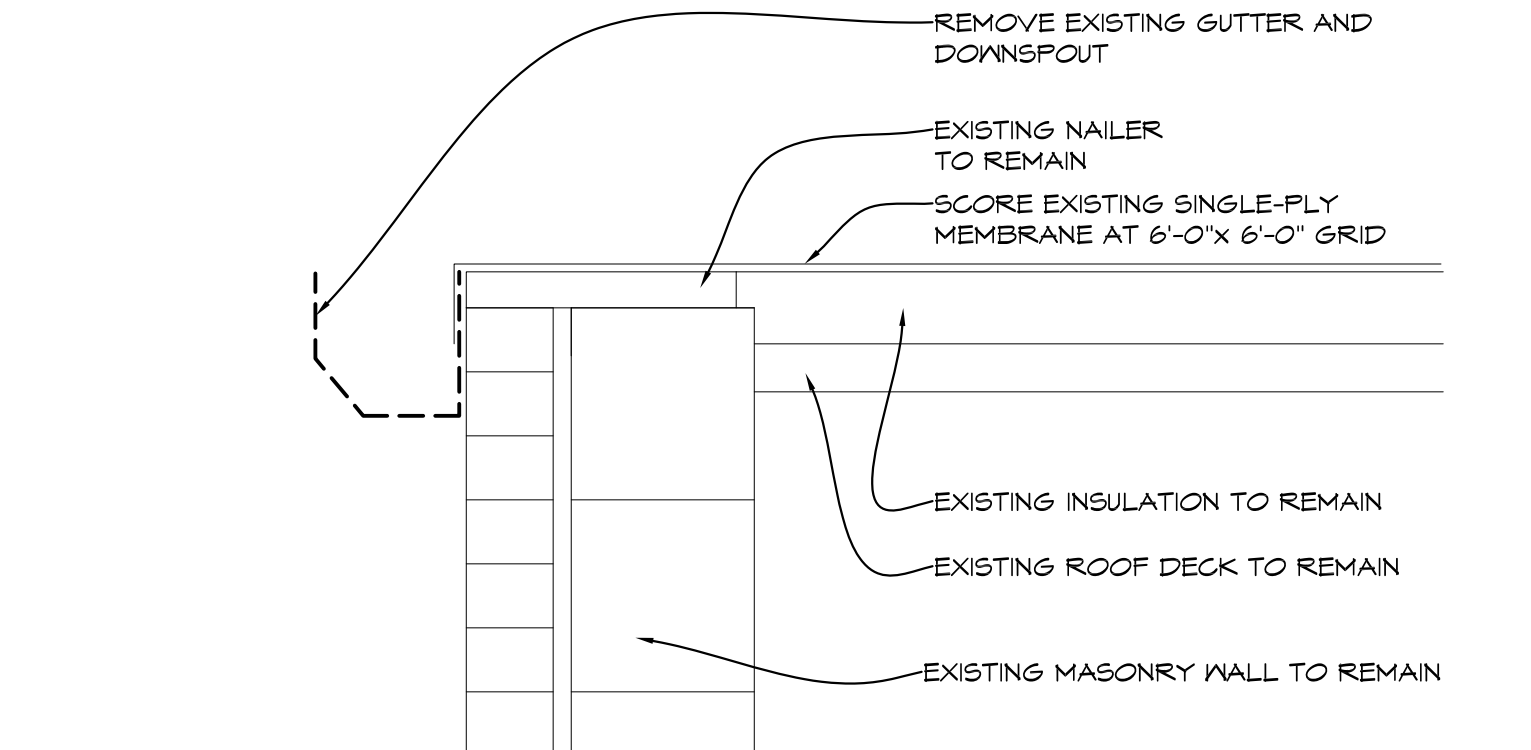
9 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



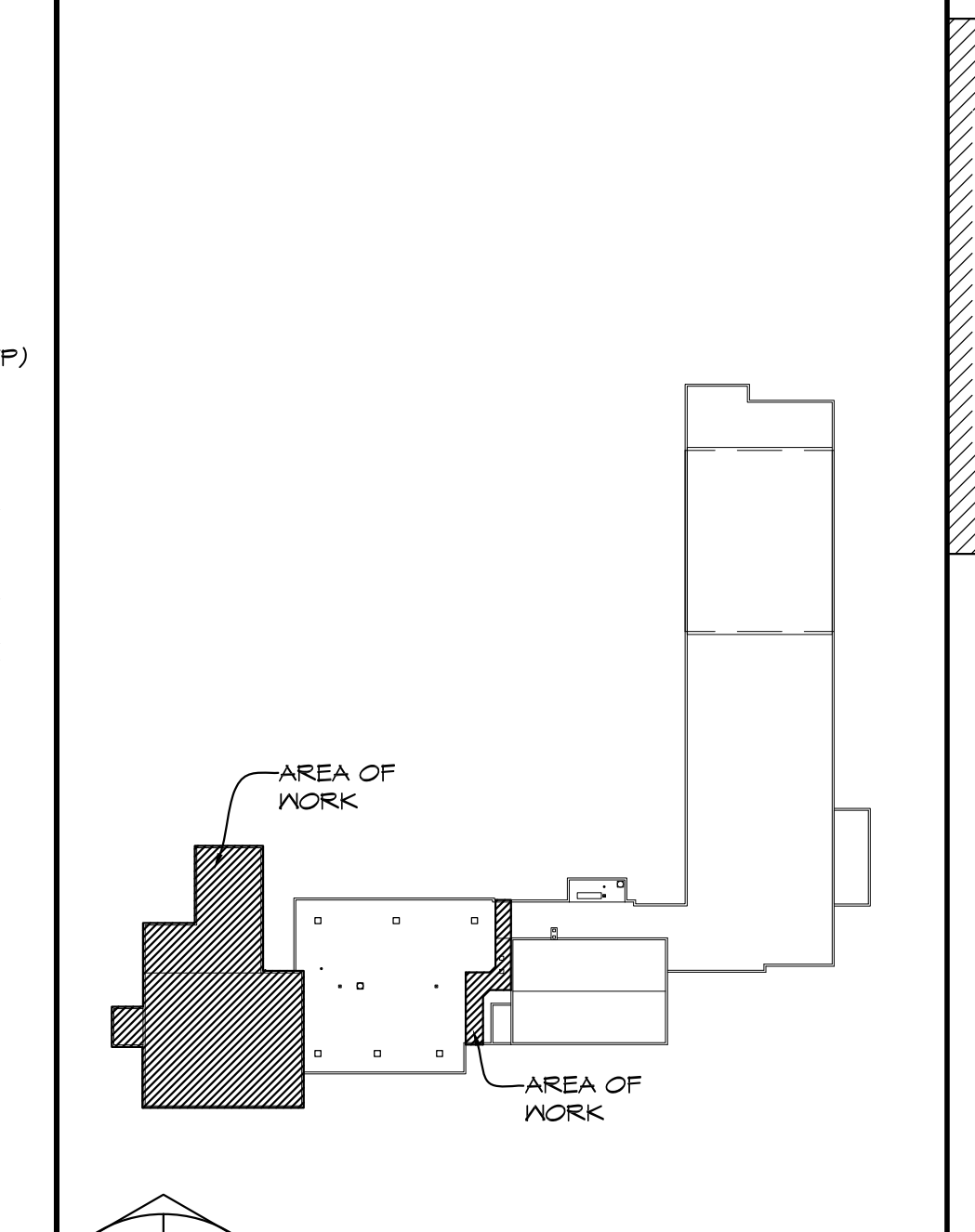
10 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



11 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



12 DEMOLITION DETAIL
 1 1/2" = 1'-0" ROOFPDETLO1



KEYPLAN
 NORTH

NO.	REVISIONS / SUBMISSIONS	DATE

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 Ph: 810-767-5600 | THA-Flint.com

PROJECT 'D' RENOVATIONS FOR:
FLOYD ELEMENTARY SCHOOL
 125 SOUTH EIGHT MILE ROAD
 MIDLAND, MI

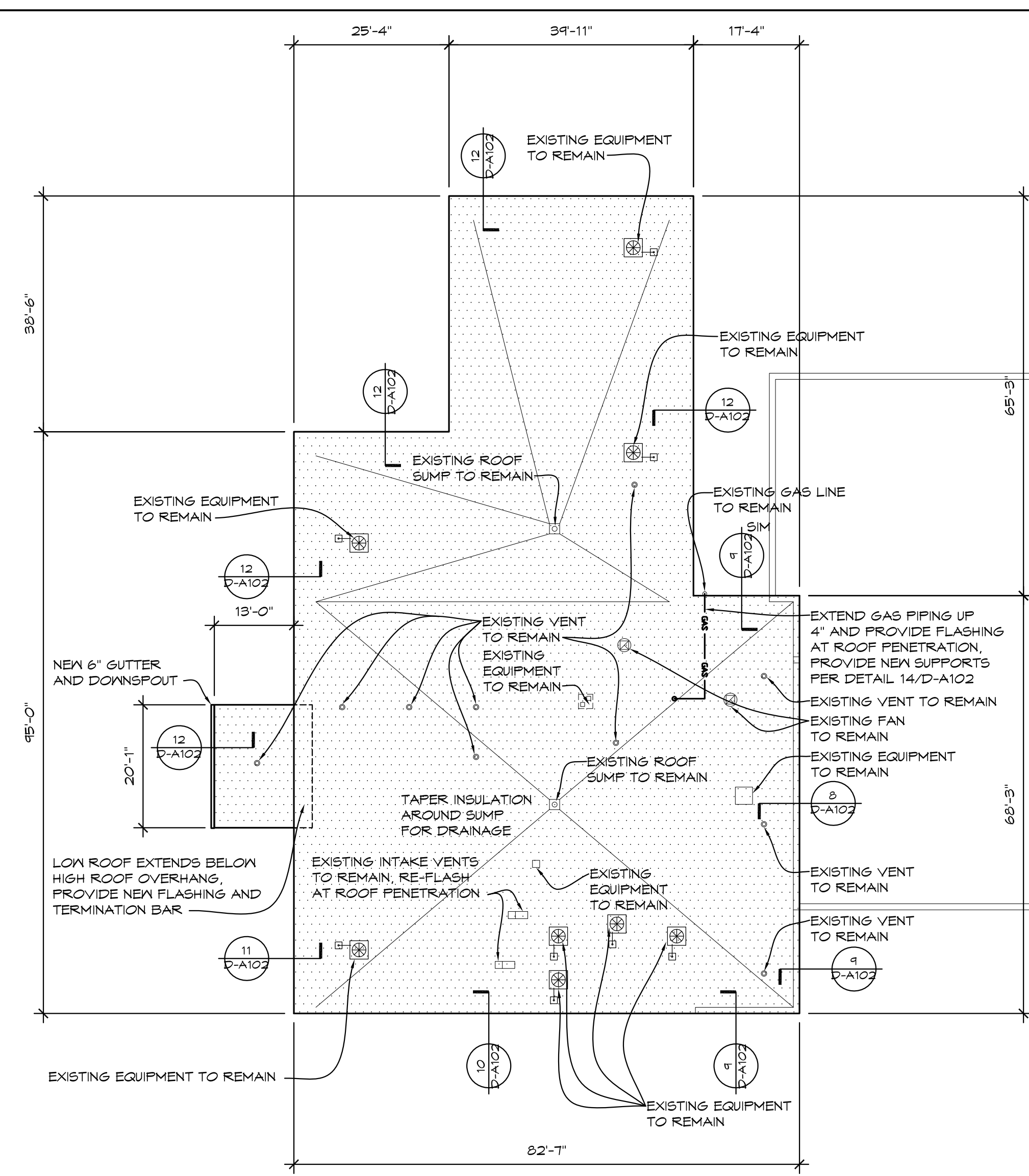
ROOF DEMOLITION PLAN AND DETAILS

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. D-A101
	REVIEWED JESS	DRAWING NO. D-A101
	DATE OCT 18, 2024	SHEET NO. 3 OF 4
	SCALE 1/16" = 1'-0"	

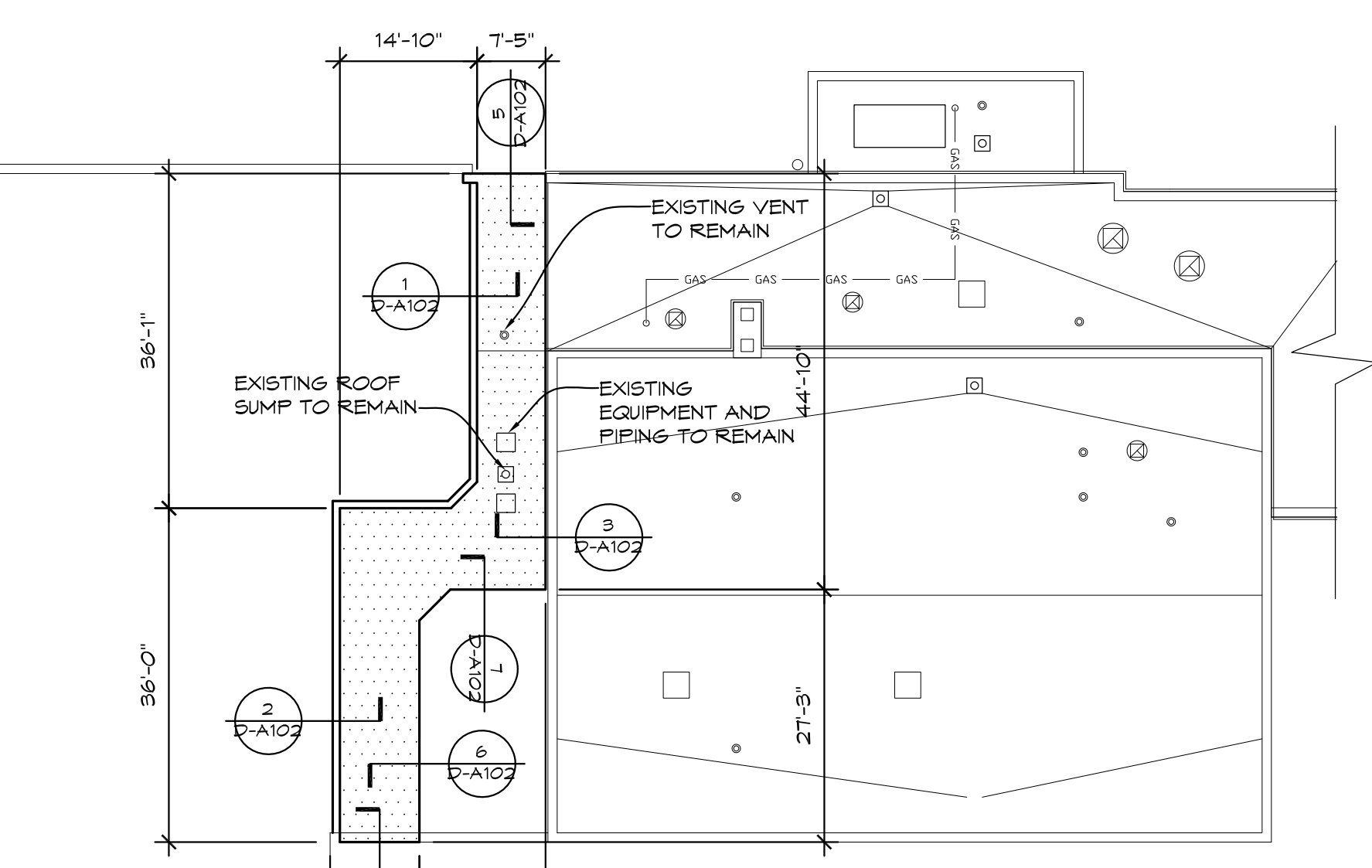
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 Plot Date: 10/22/2024 12:51 PM

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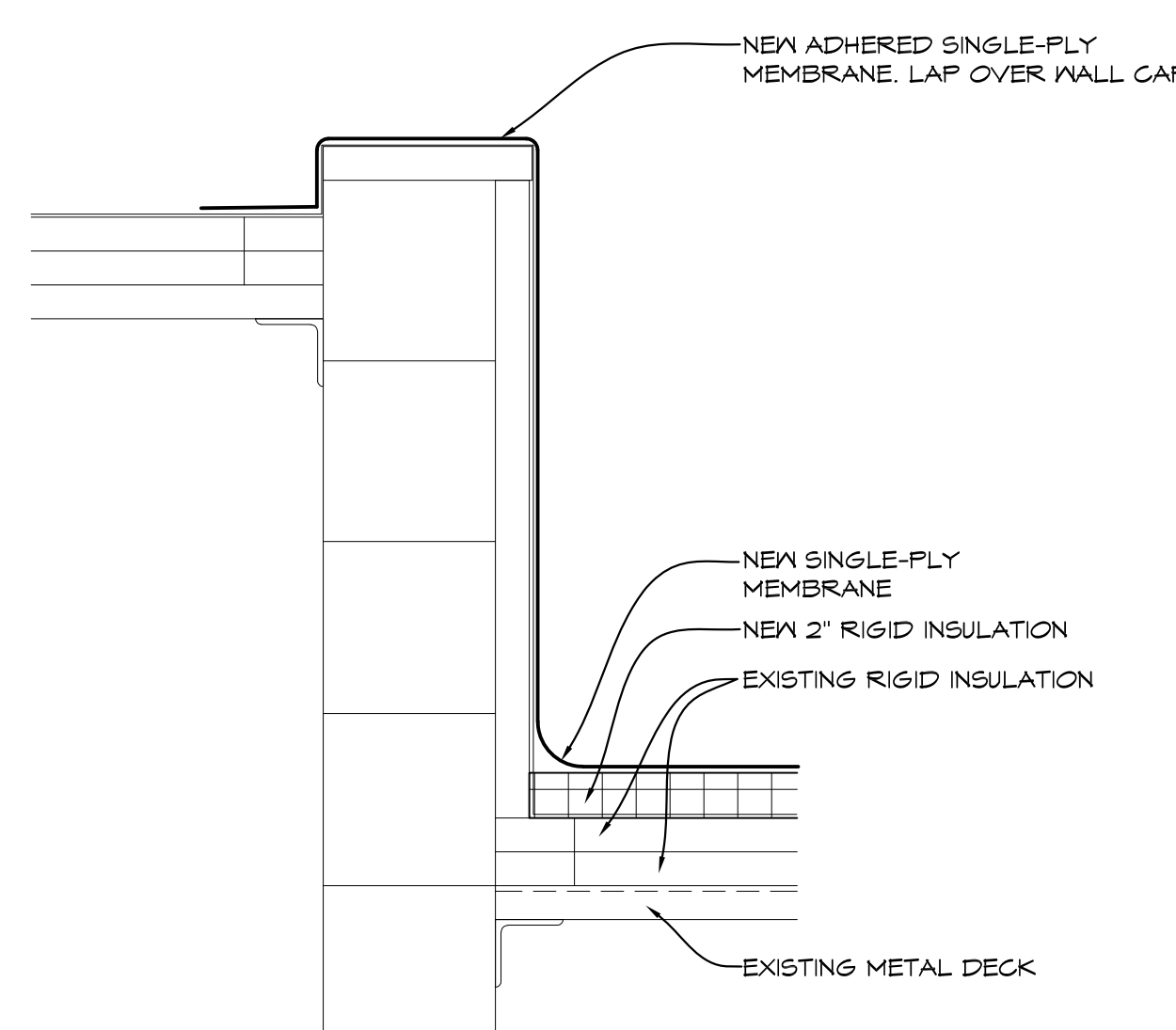
PROVIDE NEW MECHANICALLY FASTENED SINGLE PLY ROOFING MEMBRANE OVER 2" RIGID INSULATION OVER EXISTING SCORED MEMBRANE. RE: SPEC



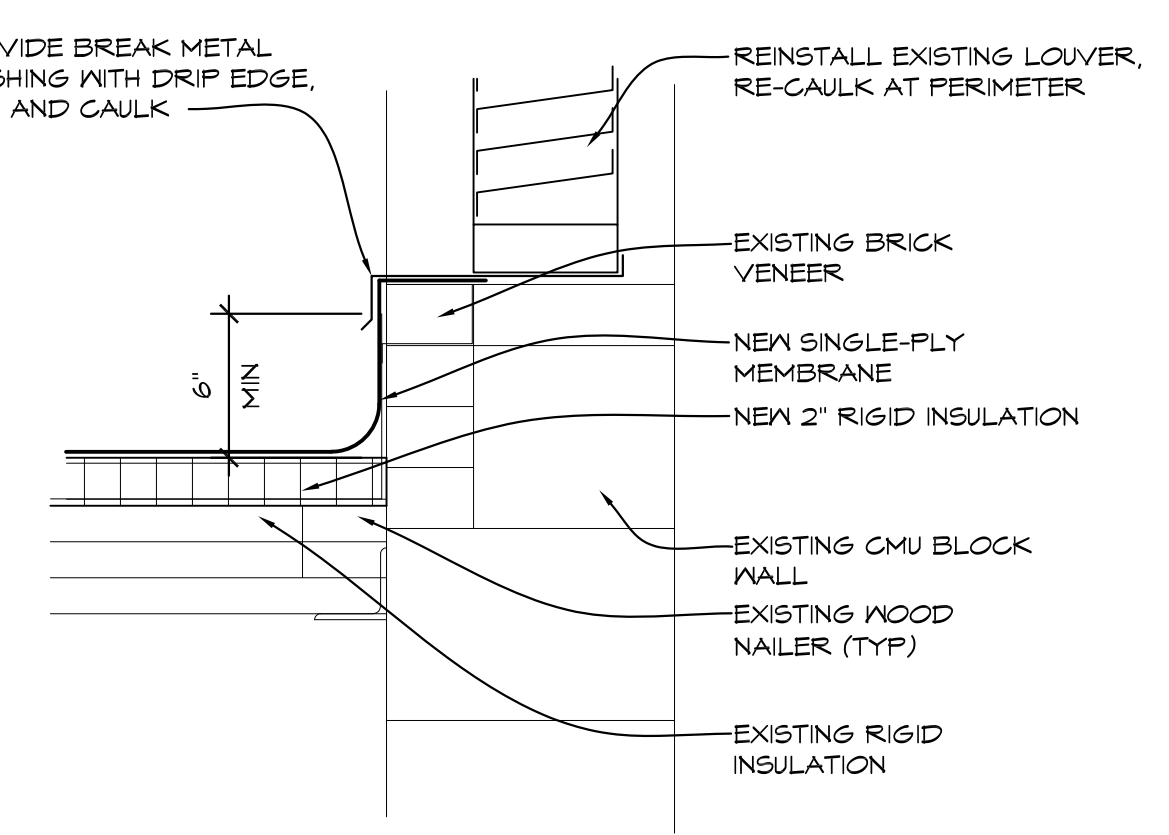
ROOF PLAN
1/16" = 1'-0"
X01



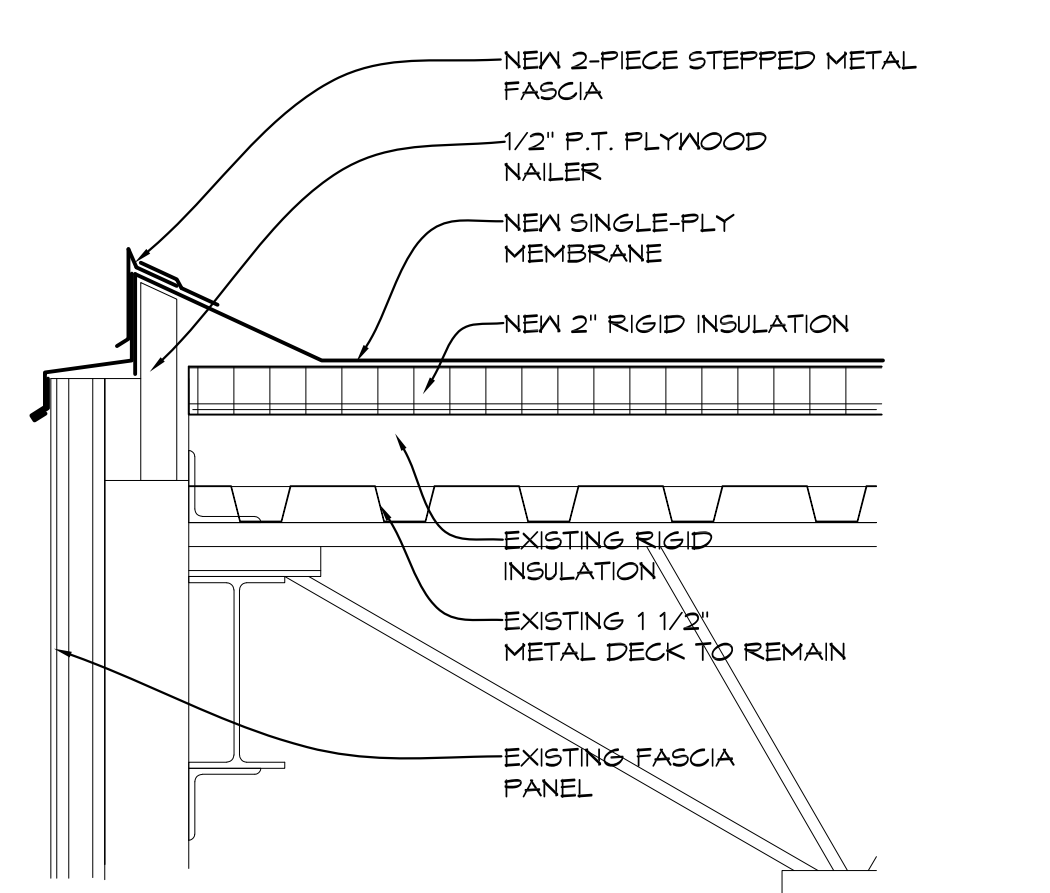
1 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



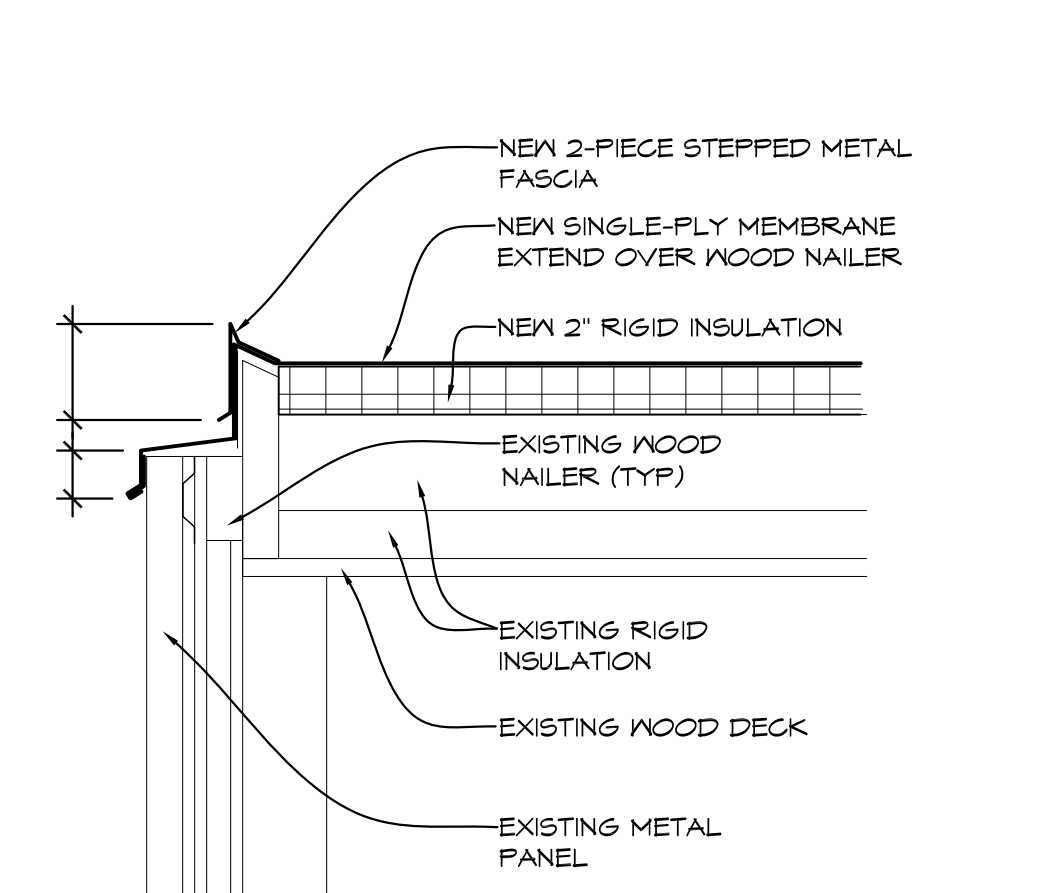
2 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



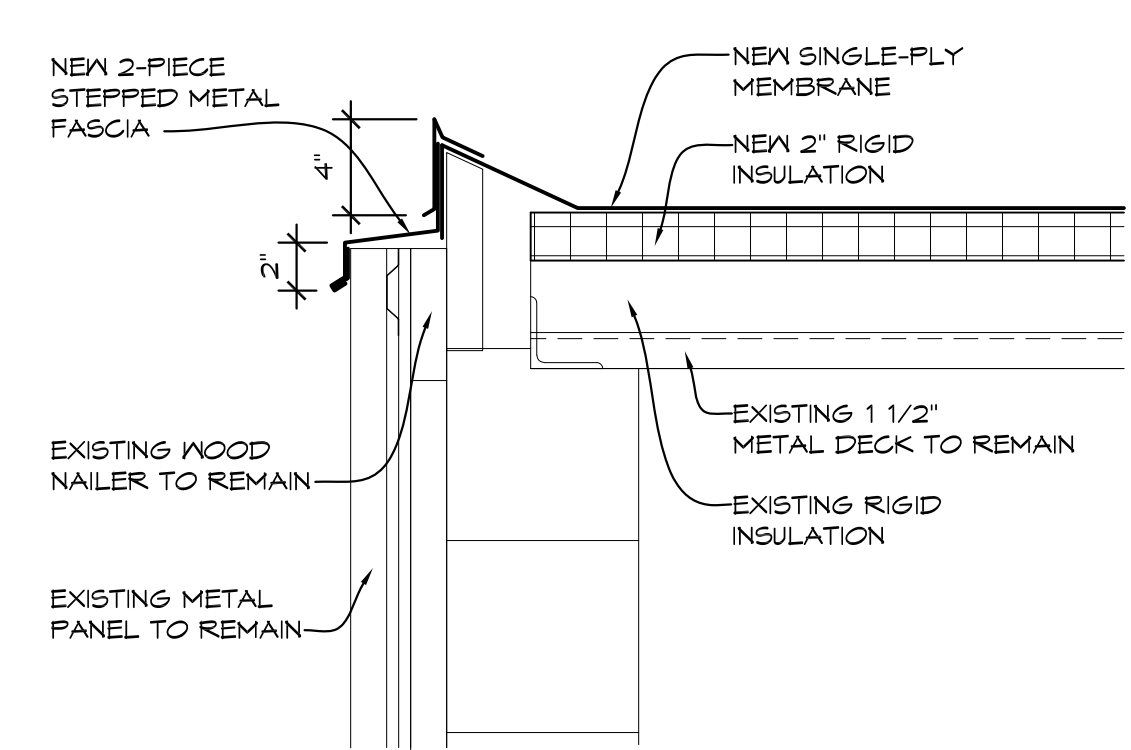
3 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



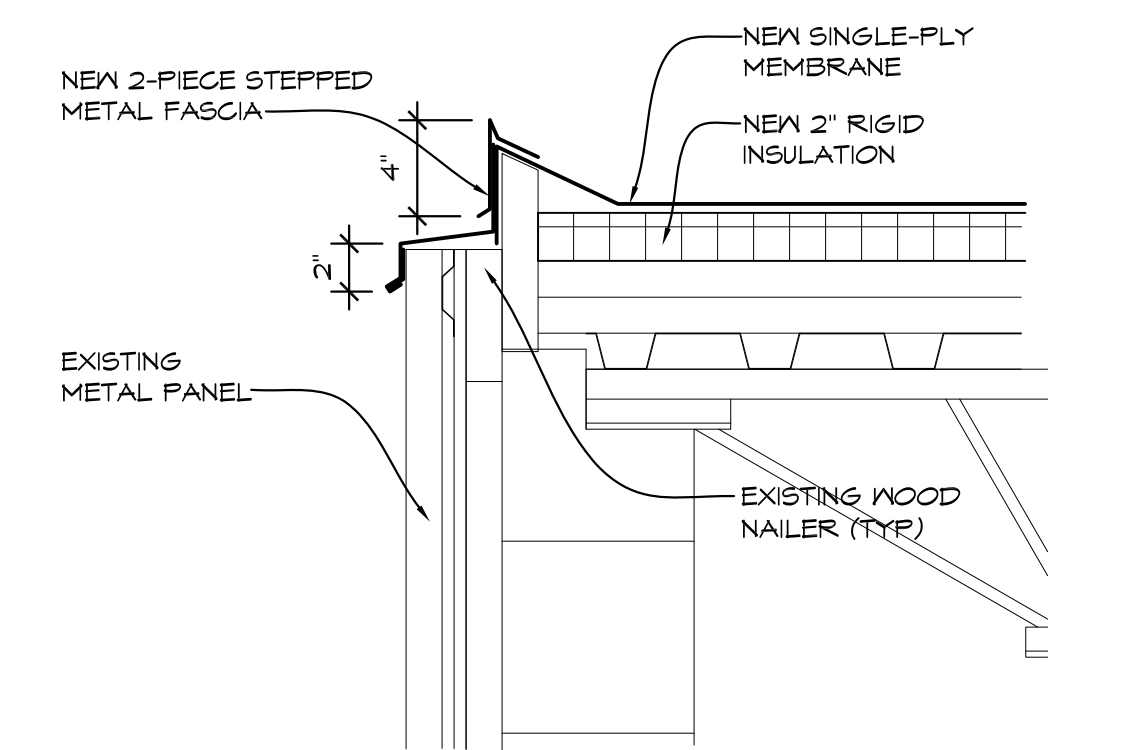
4 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



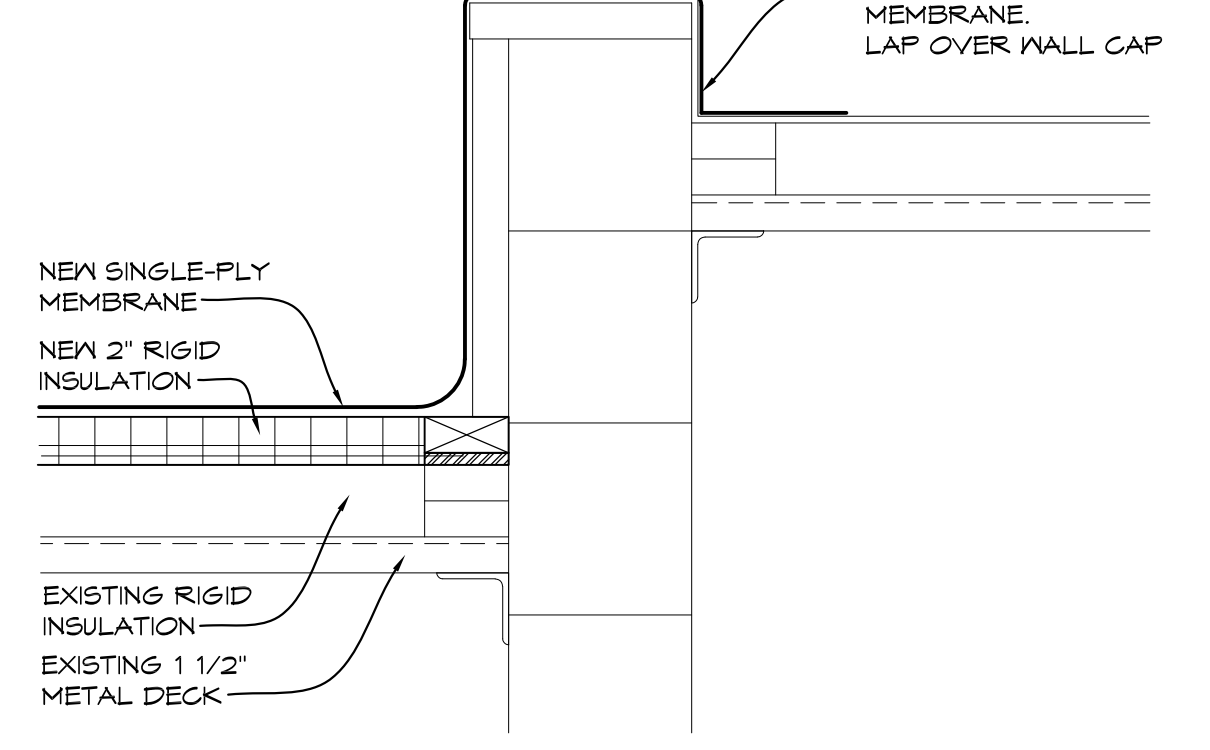
5 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



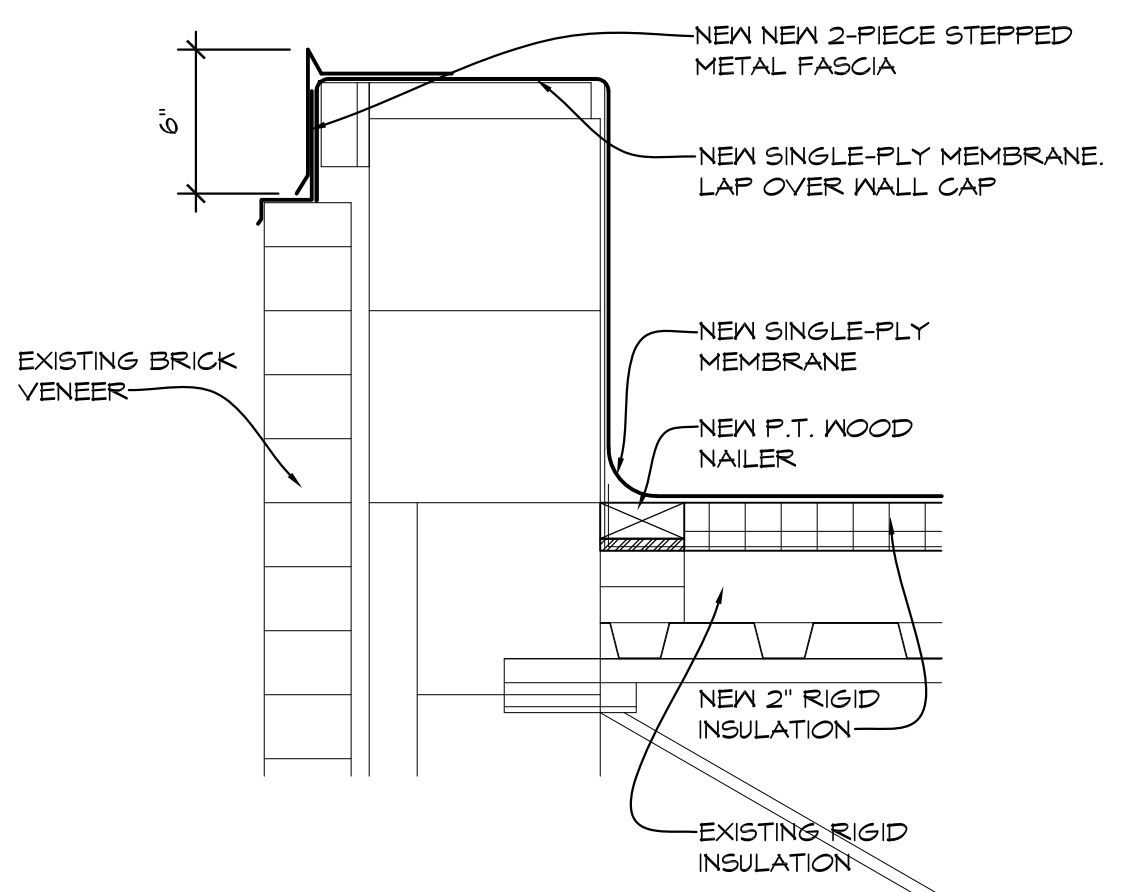
6 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



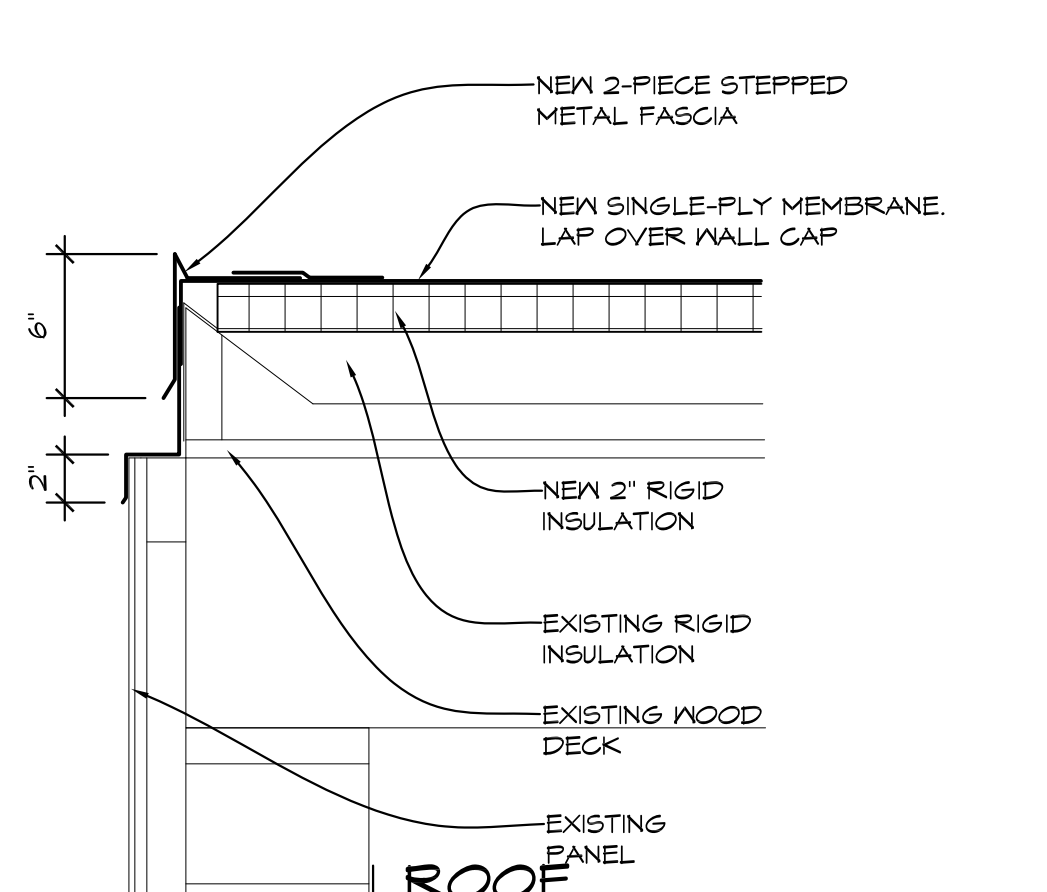
7 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



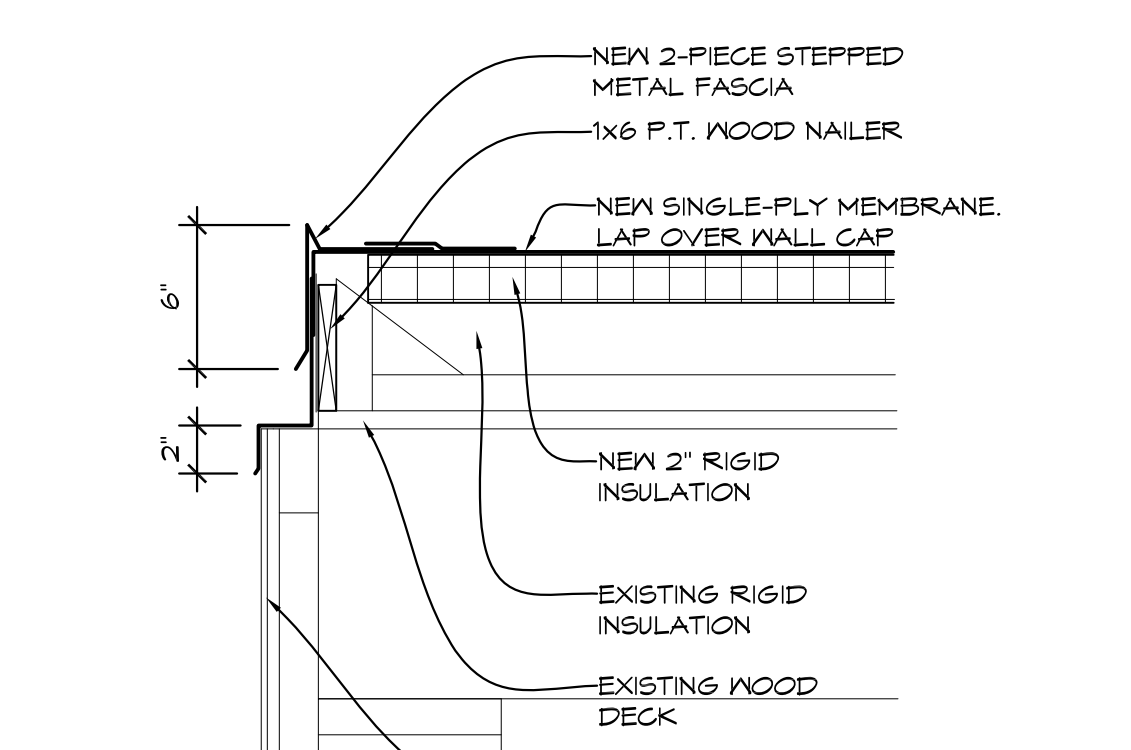
8 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



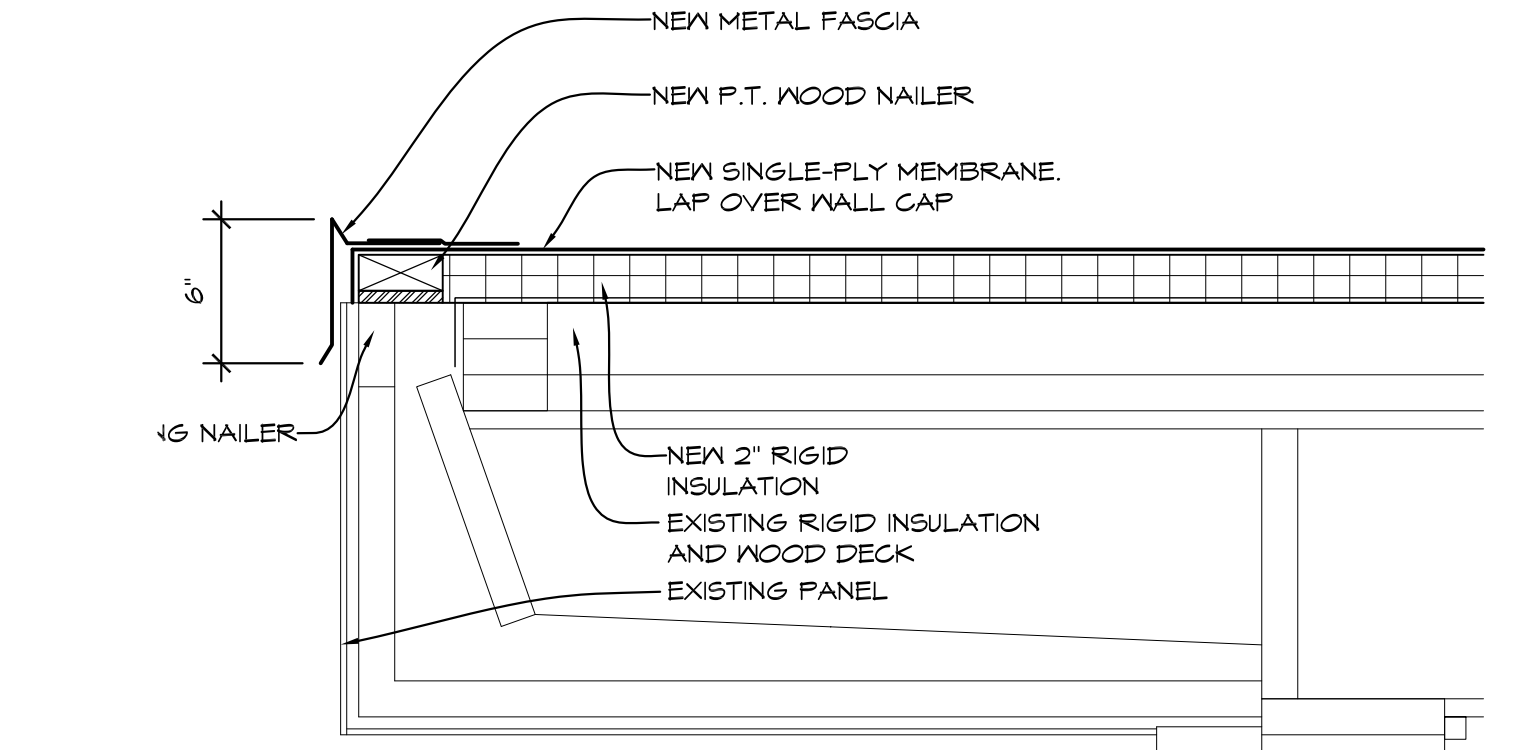
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1 1/2" = 1'-0"
ROOFDET01



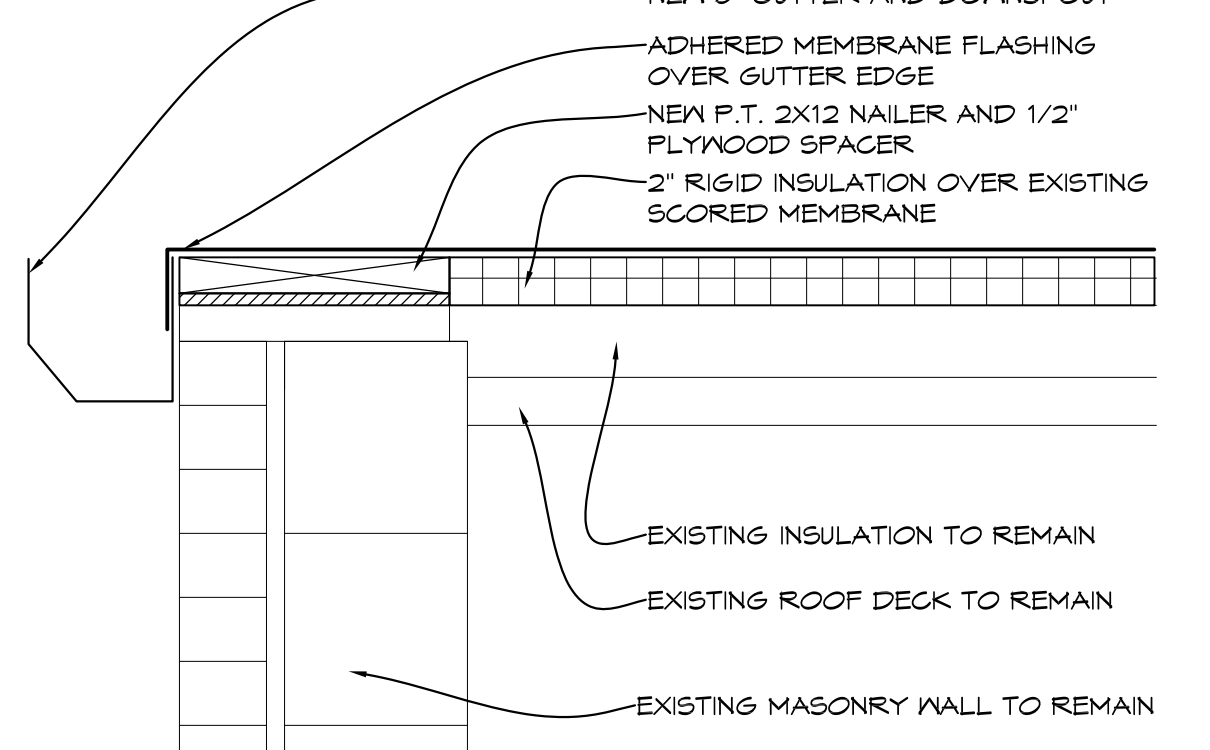
10 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



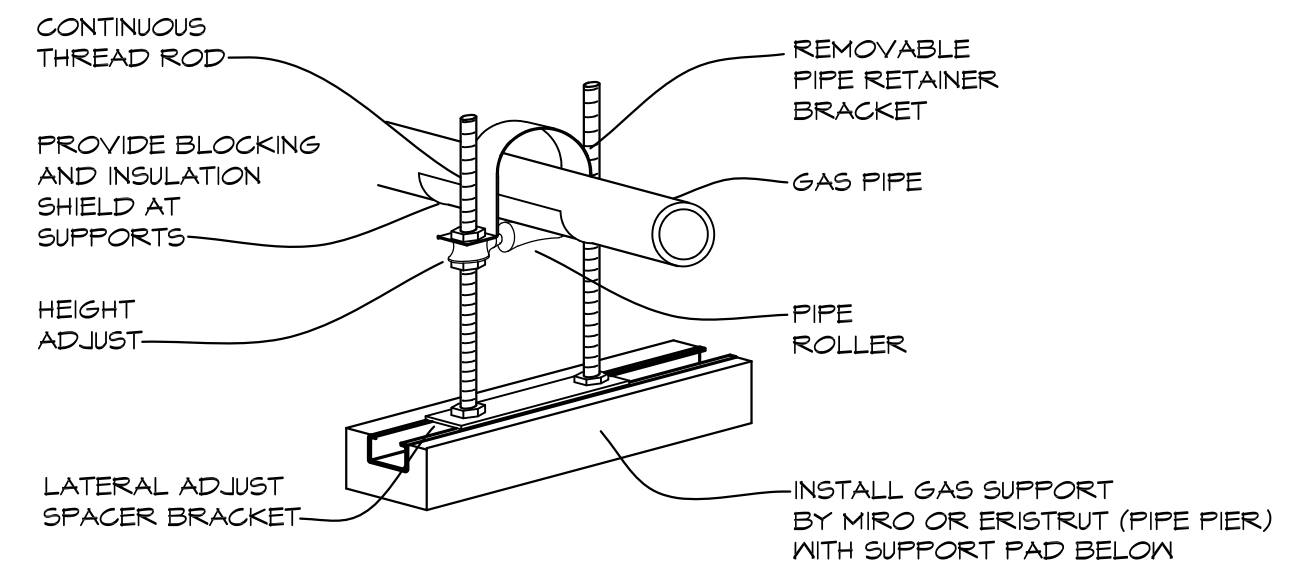
11 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



12 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



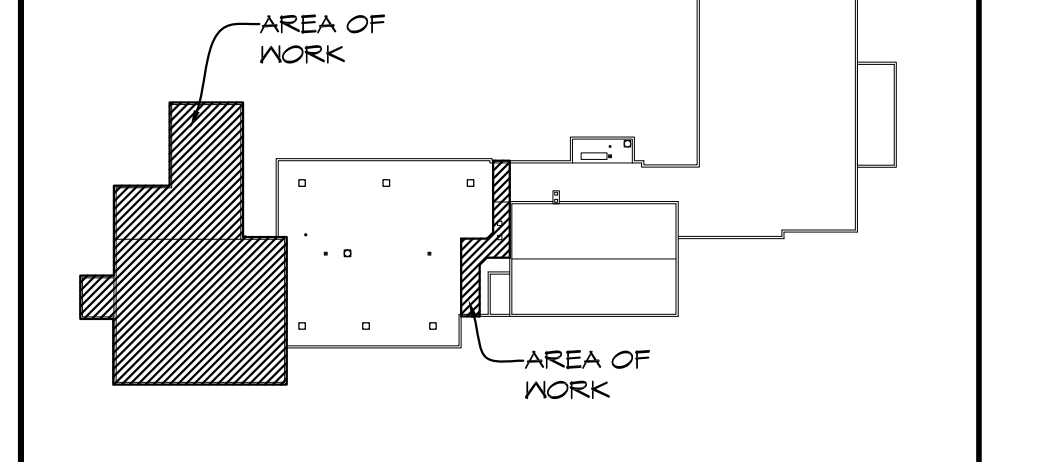
13 ROOF DETAIL
1 1/2" = 1'-0"
ROOFDET01



14 GAS PIPE SUPPORT DETAIL
NO SCALE

ROOFING GENERAL NOTES

- DIMENSIONS SHOWN ON PLAN ARE SHOWN TO THE EXTENT KNOWN AND SHOULD BE USED AS A GUIDE ONLY. BIDDER/CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND WILL BE RESPONSIBLE FOR ANY VARIATION FROM THE DRAWINGS.
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KEY PLAN

NO.	REVISIONS / SUBMISSIONS	DATE



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PROJECT 'D' RENOVATIONS FOR:
FLOYD ELEMENTARY SCHOOL
125 SOUTH EIGHT MILE ROAD
MIDLAND, MI

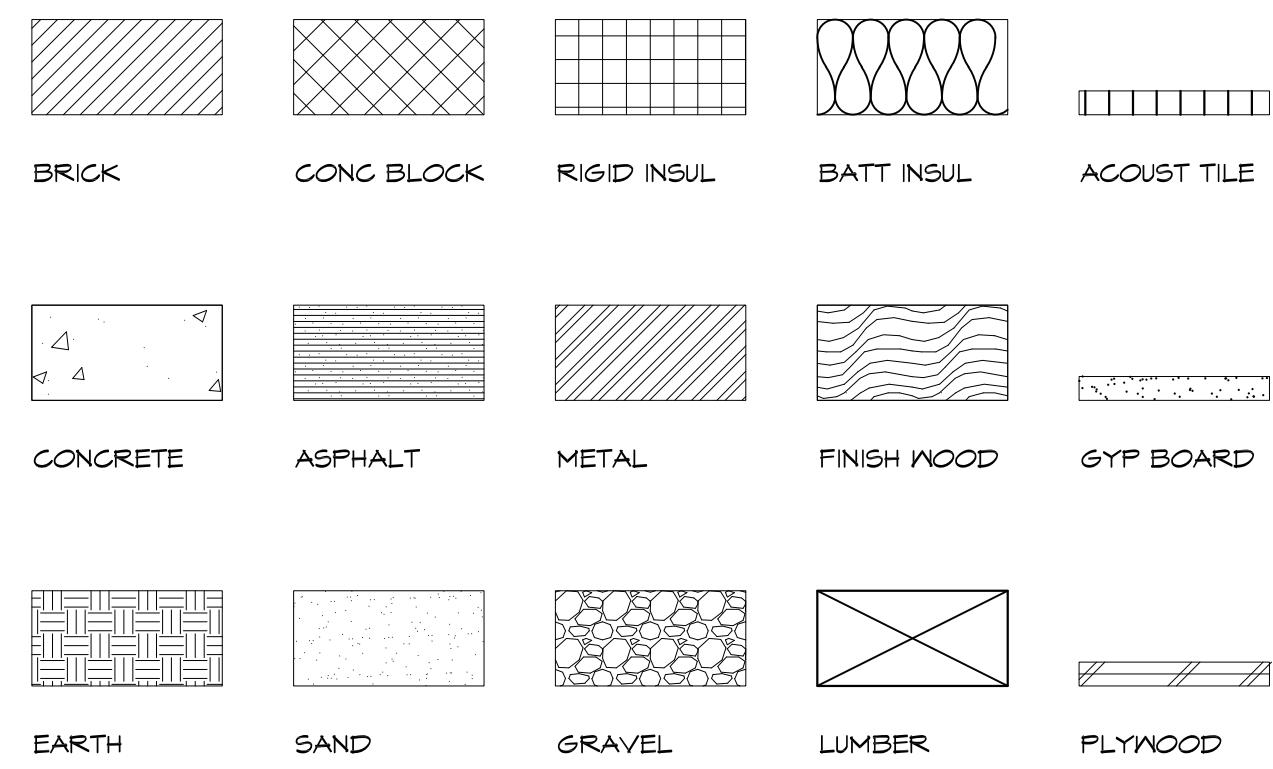
ROOF PLAN AND DETAILS

SEAL	DRAWN	PROJECT NO.
	JESS	24-120
	CHECKED	CAD FILE NO.
	JESS	D-A102
	REVIEWED	DRAWING NO.
	JESS	D-A102
	DATE	SHEET NO.
	OCT 18, 2024	D-A102
	SCALE	4 OF 4
	1/16" = 1'-0"	

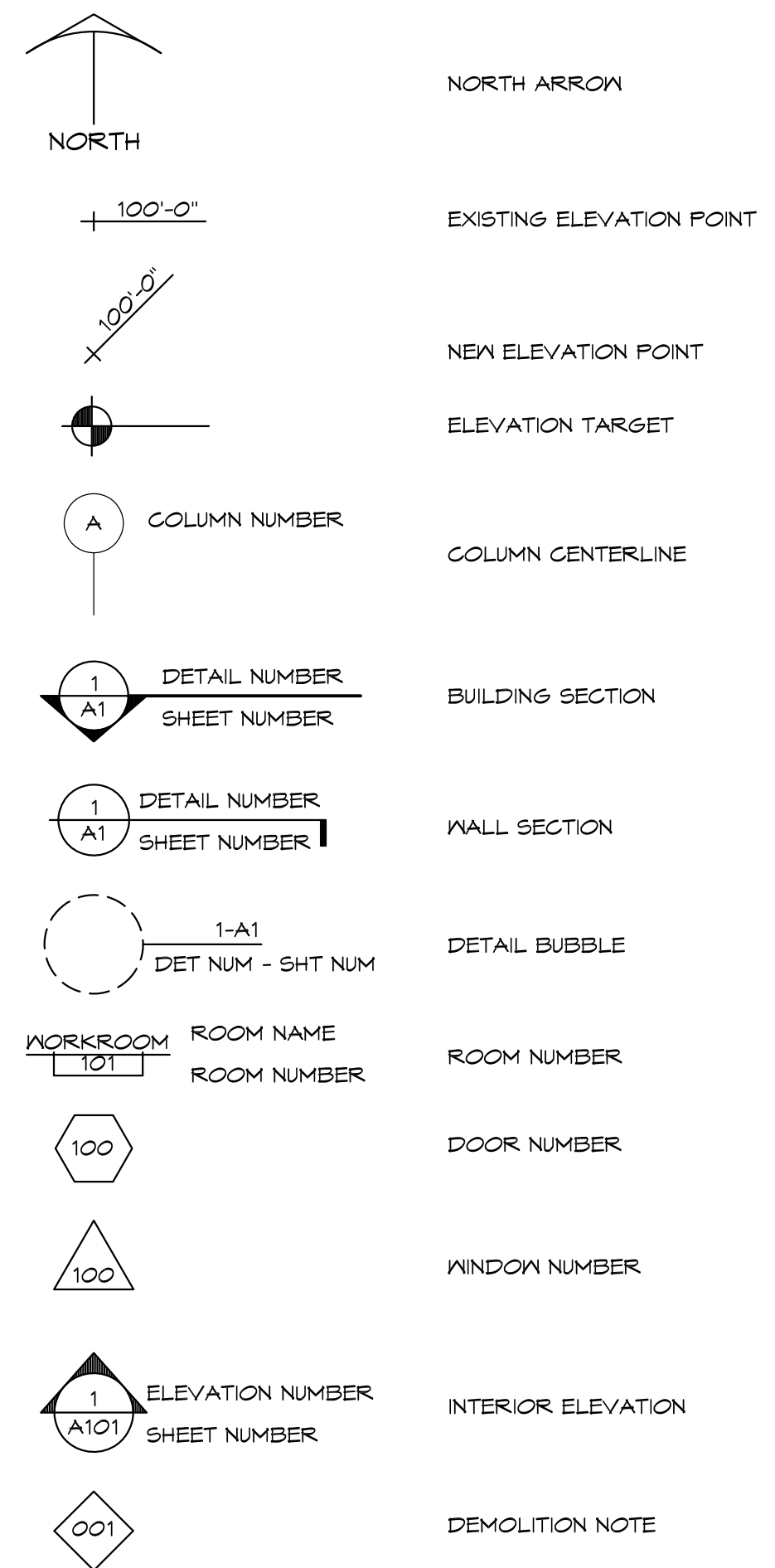
STANDARD ABBREVIATIONS

Table listing various abbreviations and their corresponding full names, organized in three columns. Includes terms like A/C, AD, AFF, ALT, ALUM, ANCH, ARCH, etc.

HATCHING PATTERN KEY



SYMBOLS KEY

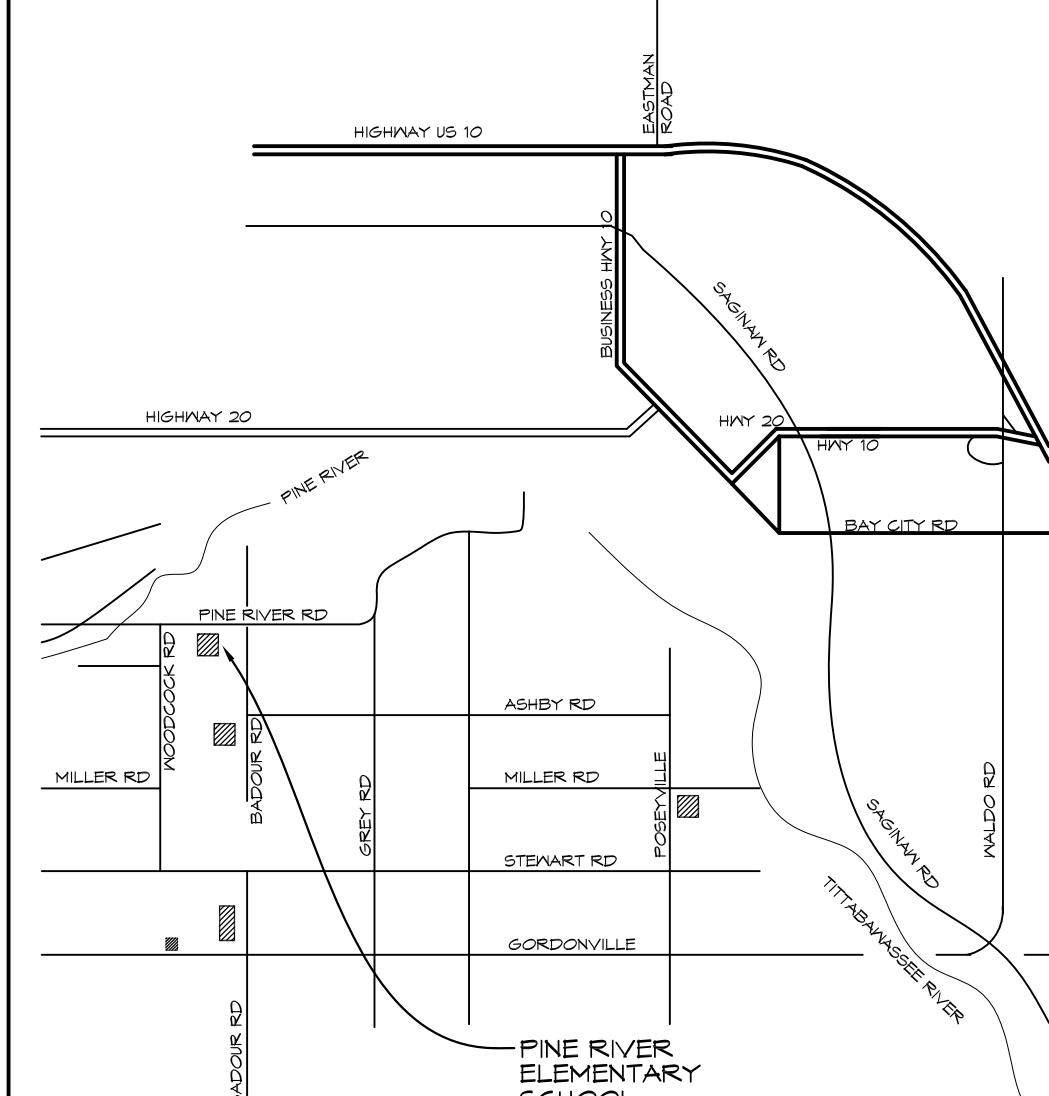


DEVELOPMENT DATA

APPLICABLE CODES & ORDINANCES
2015 MICHIGAN BUILDING CODE
2017 MICHIGAN ELECTRICAL CODE
HOMER TOWNSHIP ZONING ORDINANCE
BUILDING USE
EXISTING: E, EDUCATION
BUILDING AREA
EXISTING GROSS AREA = 29,106 SF

GENERAL NOTES

1. ANY PENETRATIONS OF CORRIDOR WALLS MUST MAINTAIN 1-HOUR FIRE RATING AND RESIST THE PASSAGE OF SMOKE



LOCATION MAP

BULLOCK CREEK SCHOOL DISTRICT
2023 BOND- SERIES 1 2025 IMPROVEMENTS
THA PROJECT #24-120

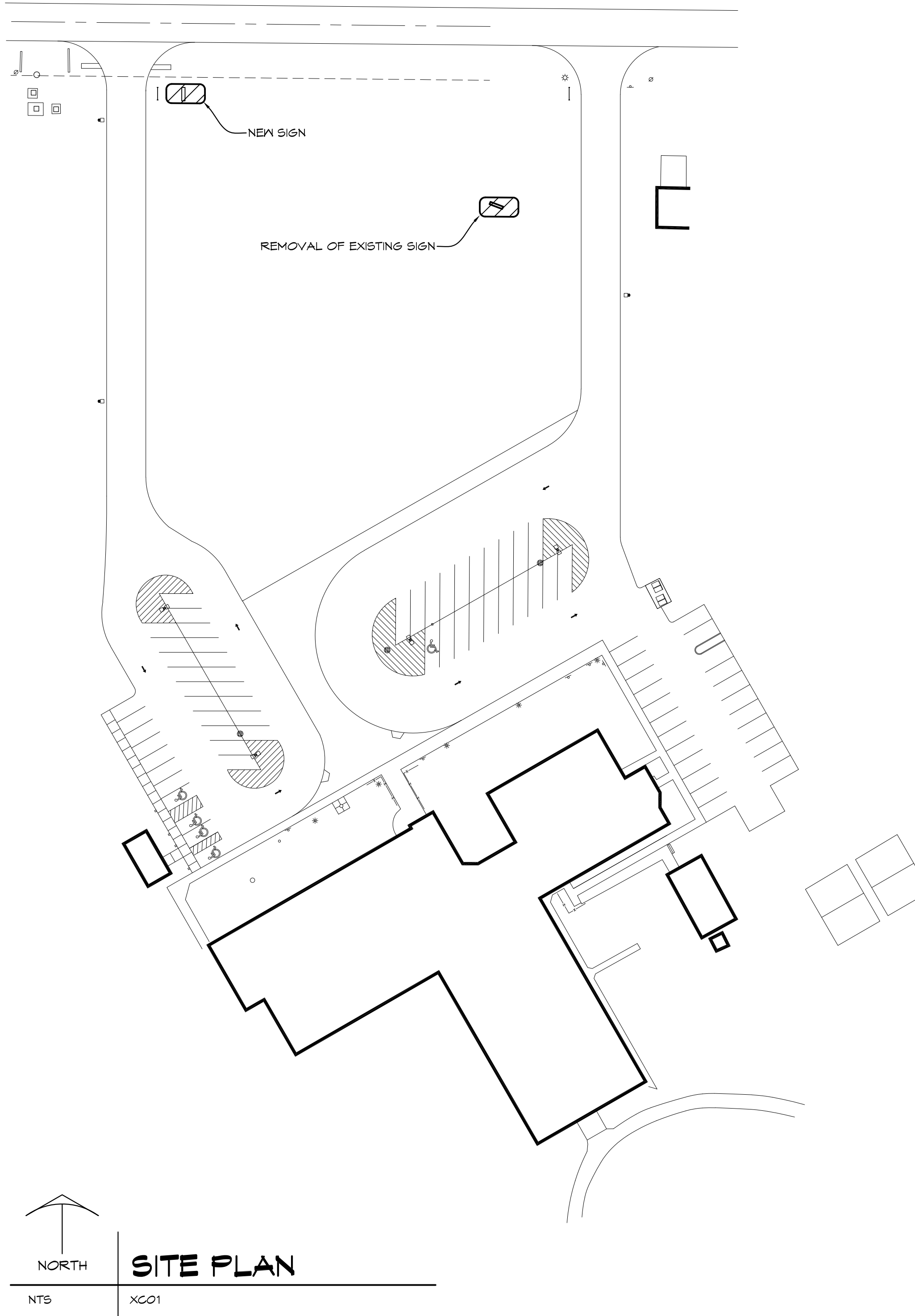
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

PROJECT 'E'
PINE RIVER ELEMENTARY SCHOOL
NEW EXTERIOR SIGN

1894 PINE RIVER ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

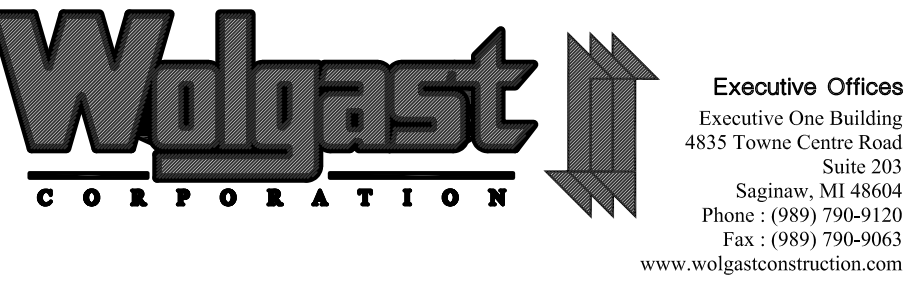
- E-001 TITLE SHEET
E-C101 SIGNAGE PLAN WITH ELECTRICAL, ELEVATIONS, AND FOOTING DETAIL



NORTH
SITE PLAN
NTS XCO1



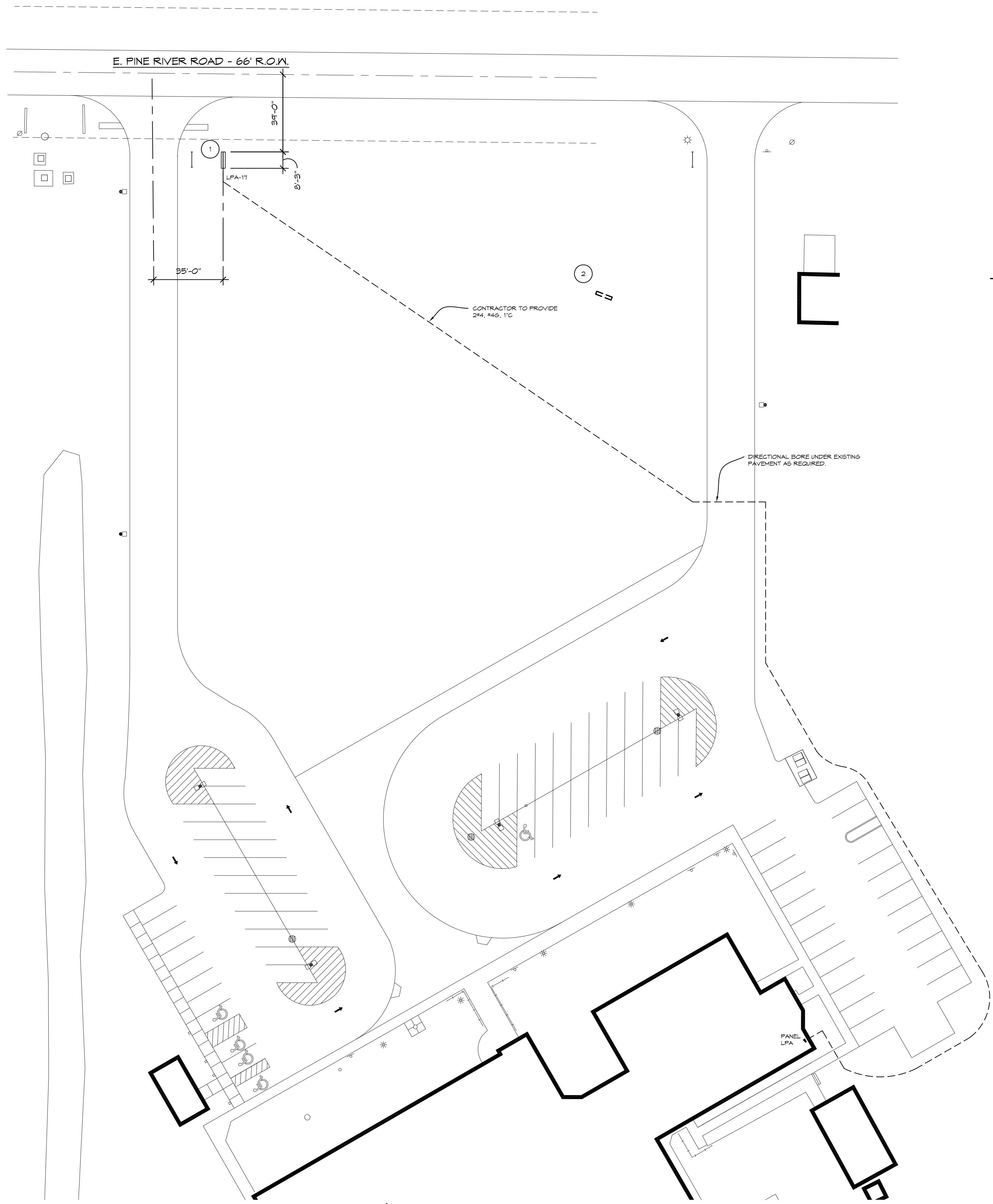
817 E. Kearsley St. | Flint, MI 48503
Ph: 810-767-5600 | THA-Flint.com



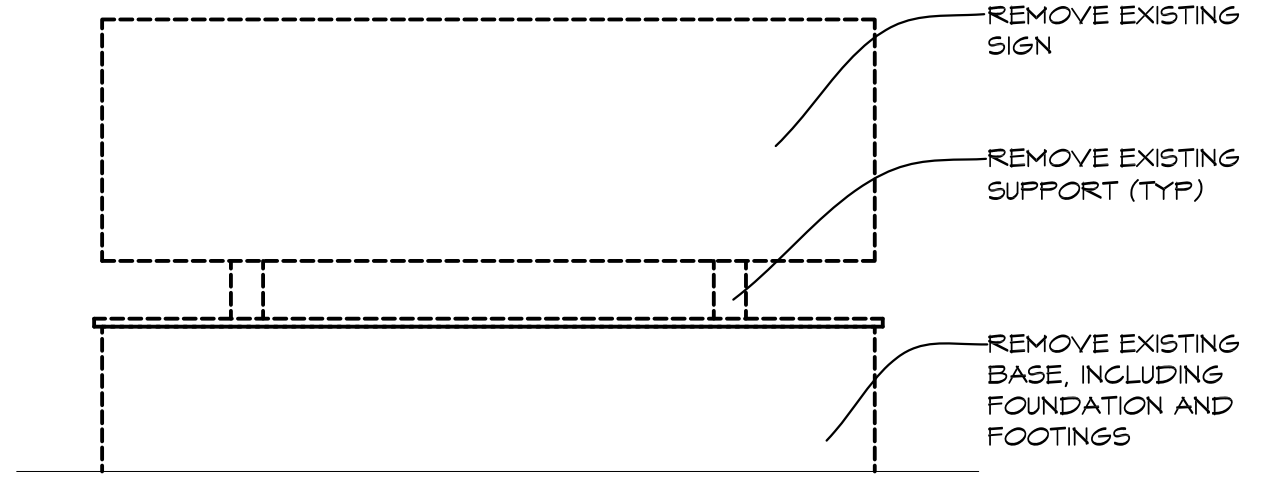
BULLOCK CREEK SCHOOL DISTRICT
2023 BOND- SERIES 1 2025 IMPROVEMENTS
THA PROJECT# 24-120
1420 SOUTH BADOUR ROAD MIDLAND MI 48640
PROJECT 'E'
PINE RIVER ELEMENTARY SCHOOL
NEW EXTERIOR SIGN
1894 PINE RIVER ROAD MIDLAND MI 48640

Revision table with columns for NO., REVISIONS / SUBMISSIONS, and DATE. Includes drawing details: DRAWN: NTS, CHECKED: ESS, REVIEWED: MLB, DATE: OCT 18, 2024, SCALE: NTS, PROJECT NO.: 24-120, CAD FILE NO.: E-001, DRAWING NO.: E-G001, SHEET NO.: 1 OF 2.

R
Q
P
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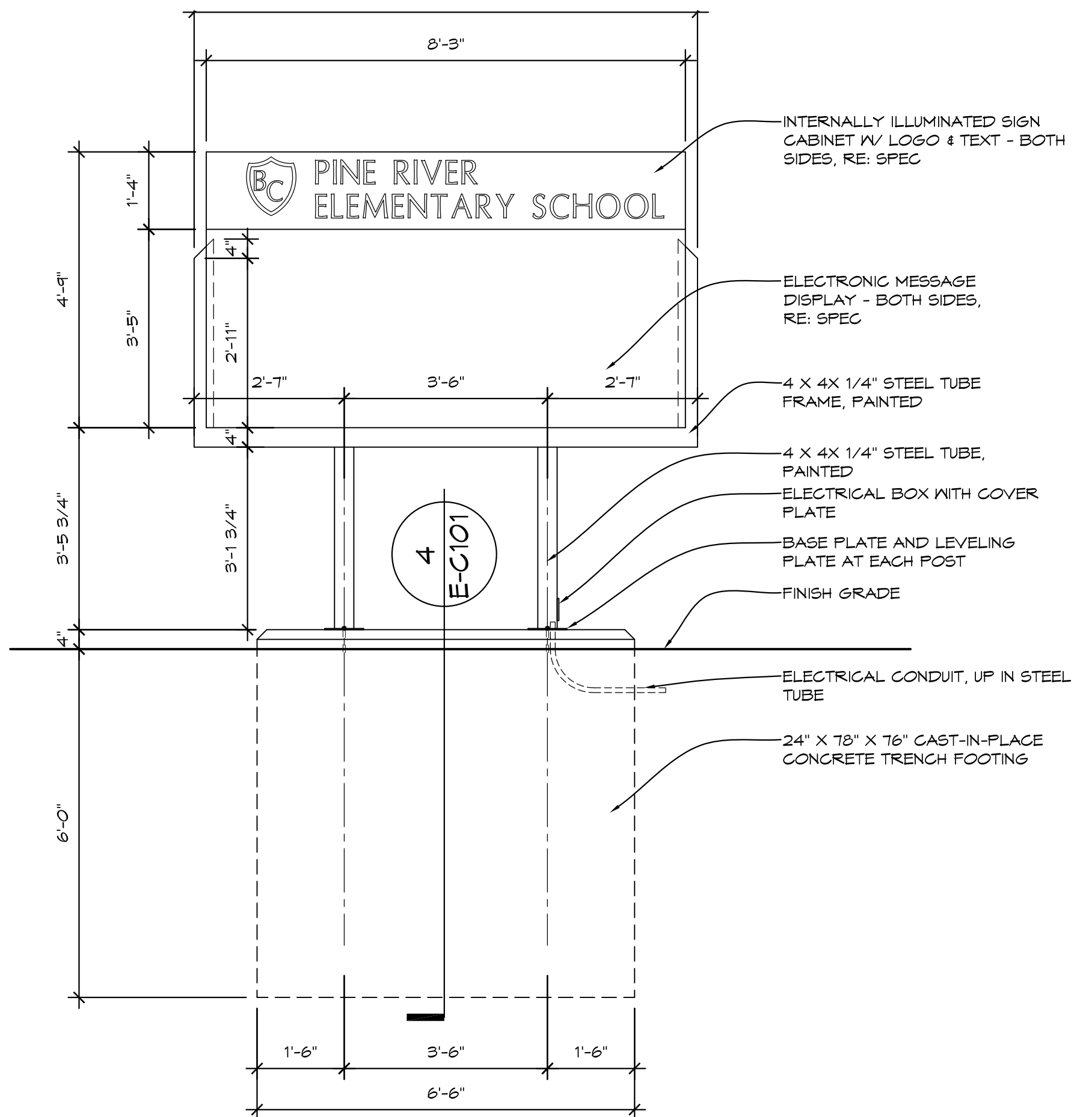
PARTIAL SITE PLAN
NORTH
1/32" = 1'-0"
XC01



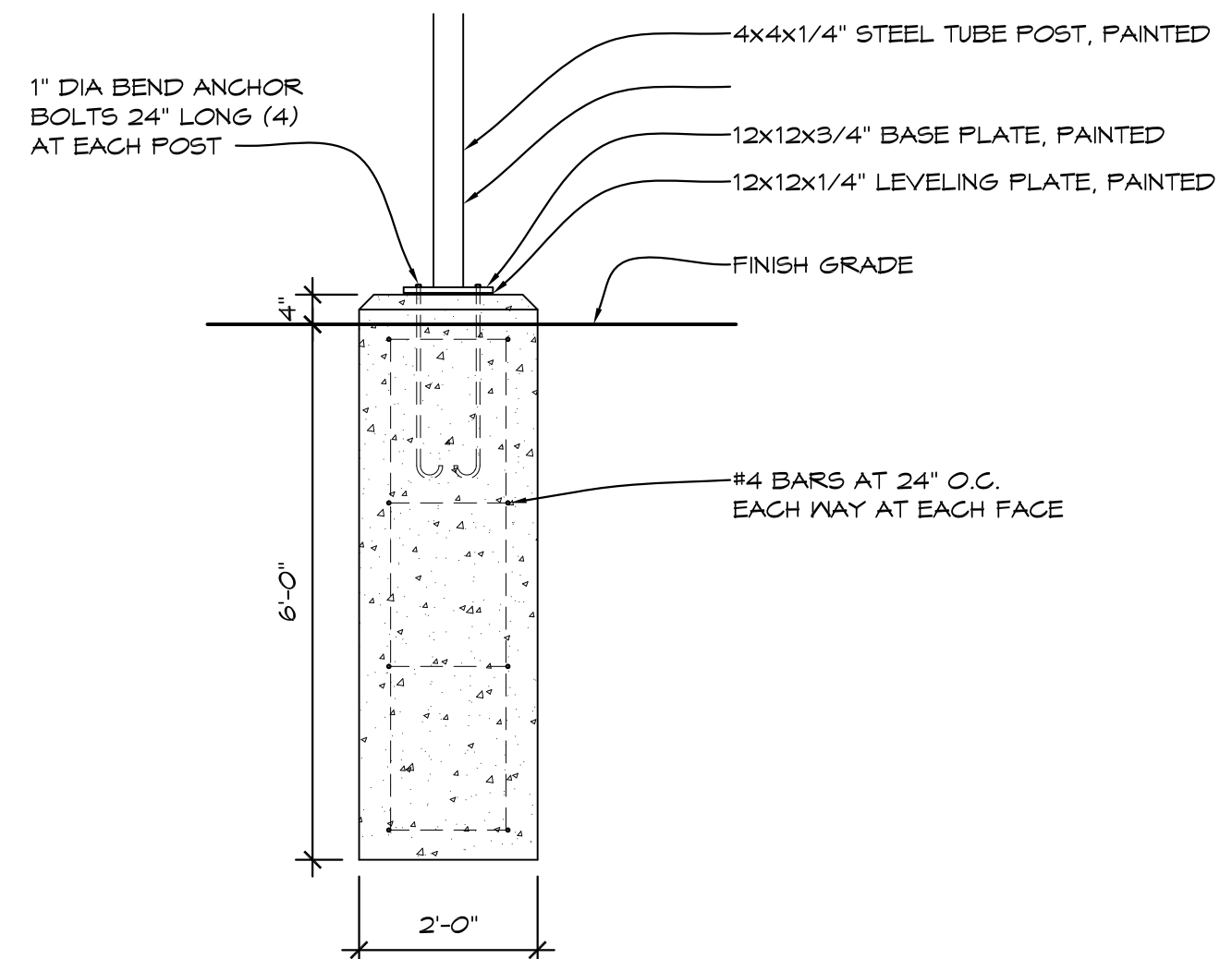
1 SIGN DEMOLITION ELEVATION
1/2" = 1'-0" DETL01



2 EXISTING SIGN ELEVATION
NTS DETL01



3 PROPOSED SIGN ELEVATION
1/2" = 1'-0" DETL01



4 PROPOSED FOOTING DETAIL
1/2" = 1'-0" DETL01

GENERAL DEMOLITION NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
- OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
- COORDINATE ALL WORK WITH ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF SIGN AND ELECTRICAL PANEL.
- REPAIR ALL WALLS, FLOORS AND CEILINGS AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, GAFFING AND DISCONNECTING ALL INCIDENTAL ITEMS.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED, HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

CONSTRUCTION NOTES

- NEW BUILDING SIGN, RE: SPEC
- REMOVE EXISTING BUILDING SIGN INCLUDING CONCRETE FOOTINGS. FILL HOLES AS REQUIRED AND REPAIR LANN

NO.	REVISIONS / SUBMISSIONS	DATE

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Ph: 810-767-5600 | THA-Flint.com

PROJECT 'E'
**PINE RIVER
ELEMENTARY SCHOOL
NEW EXTERIOR SIGN**
1894 E PINE RIVER RD.
MIDLAND, MI 48640

SIGNAGE PLAN WITH ELECTRICAL, ELEVATIONS, AND FOOTING DETAIL

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JES	CAD FILE NO. E-C101
	REVIEWED MLB	DRAWING NO. E-C101
	DATE OCT 18, 2024	SHEET NO. 2 OF 2
	SCALE AS NOTED	

PROJECT 'E'

THA Architects Engineers - P:\Bldg\Crk\24120\2023\2023 Improvements\Drafting\0-CAD\01-PRE-C101-SITE.PLT
Plot on: 10/22/2024 1:01 AM

STANDARD ABBREVIATIONS

a/c	air conditioning	KO	knockout
ACGUST	acoustical	LAM	laminated
AD	adjustable	LAV	lavatory
AF	above Finish Floor	LH	left hand
ALT	aluminum	LL	live load
ALUM	aluminum	LLH	long leg horizontal
ANCH	anchor, anchorage	LLV	long leg vertical
ARCH	architect/architectural	LTY	light weight
BD	board	MB	markerboard
BIT	bituminous	MAS	masonry
BLDG	building	MAX	maximum
BLK	block	MECH	mechanic/mechanical
BLKG	block	MET	metal
BM	bench mark	MH	manhole
BOTT	bottom	MIN	minimum
BRG	bearing	MISC	miscellaneous
BSMT	basement	MO	masonry opening
		MCJ	masonry control joint
		MT	metal threshold
		MULL	mullion
C/C	center to center	NIC	not in contract
CAB	cabinet	NO	number
CB	chalkboard/catch basin	NOM	nominal
CBM	cement	NRC	noise reduction coefficient
CER	ceramic	NTS	not to scale
CF	cubic foot	O/O	out to out
CHNR	chilled water return	OA	overall
CHNS	chilled water supply	OC	on center
CI	cast iron	OD	outside diameter
CJ	control joint	OPG	opening
CLG	ceiling	OPP	opposite
CMU	concrete masonry unit	PCF	pounds per cubic foot
CO	clear out	PLAS	plaster
COL	column	±	plus or minus
CONC	concrete	PLF	pounds per linear foot
CONSTR	construction	PSF	pounds per square foot
CONT	continuous/continuing	PSI	pounds per square inch
CONTR	contractor/contractor	PART	partition
CONV	convector	PVC	polyvinyl chloride
CRS	course(s)	PMT	pavement
CT	ceramic tile	R	riser/radius
CUH	cabinet unit ventilator	RA	return air
CW	domestic cold water	RD	roof drain
CY	cubic yard	RE	reference
		REF	refrigerator
		REINF	reinforced/reinforcing
		RES	resilient
		REV	revision(s)/revised
		RH	right hand
		RM	room
DET	degree	RO	rough opening
DF	drinking fountain	ROW	right of way
DIAS	diagonal	RS	roof sump
DIA or φ	diameter	RWC	rainwater conductor
DM	dimension	SAN	sanitary
DIV	division	SD	storm drain
DP	damp/proofing	SECT	section
DS	downspout	SHT	sheet
DWS	drawing	SIM	similar
		SPEC	specification(s)
		SQ	square
EA	each	SS	service sink
EFS	exterior insulation finish system	SST	stainless steel
ELEG	electric/electrical	STL	steel
EQ	equal	STD	standard
EQUIP	equipment	SUSP	suspended
EWAC	electric water cooler	SYM	symmetry/symmetrical
EXST	existing	T&G	terrace/groove
EXH	exhaust	TB	tackboard
EXT	exterior	TEL	telephone
FA	fire alarm	TERR	terrace
FAI	fresh air intake	THR	threshold
FD	floor drain	TV	television
FE	fire extinguisher	TYP	typical
FEC	fire extinguisher cabinet	UH	unit heater
FIN	finish(ed)	UR	unit ventilator
FL	floor(ing)	UY	unit ventilator
FOUND	foundation	V	vent
FTR	fin tube radiation	VERT	vertical
FTG	footing	W	width/wide
		WA	with
		WC	water closet
G	gas	WD	wood
GA	gauge/gauge	WH	water heater
GC	general contractor	WI	wrought iron
GI	galvanized iron	W/W	wall to wall
GL	glass/glazing	WWR	welded wire reinforcement
GST	glazed structural tile		
GALV	galvanized		
HB	hose bibb		
HDX	hardware		
HM	hollow metal		
HORIZ	horizontal		
HGT	height		
HTG	heating		
HVAC	heating/ventilating/air conditioning		
HX	heat exchanger		
HW	hot water		
HWHR	hot water heating return		
HWHS	hot water heating supply		
HW	hot water		
HWHR	hot water heating return		
ID	inside dimension		
INT	interior		
INV	invert		

SYMBOLS KEY

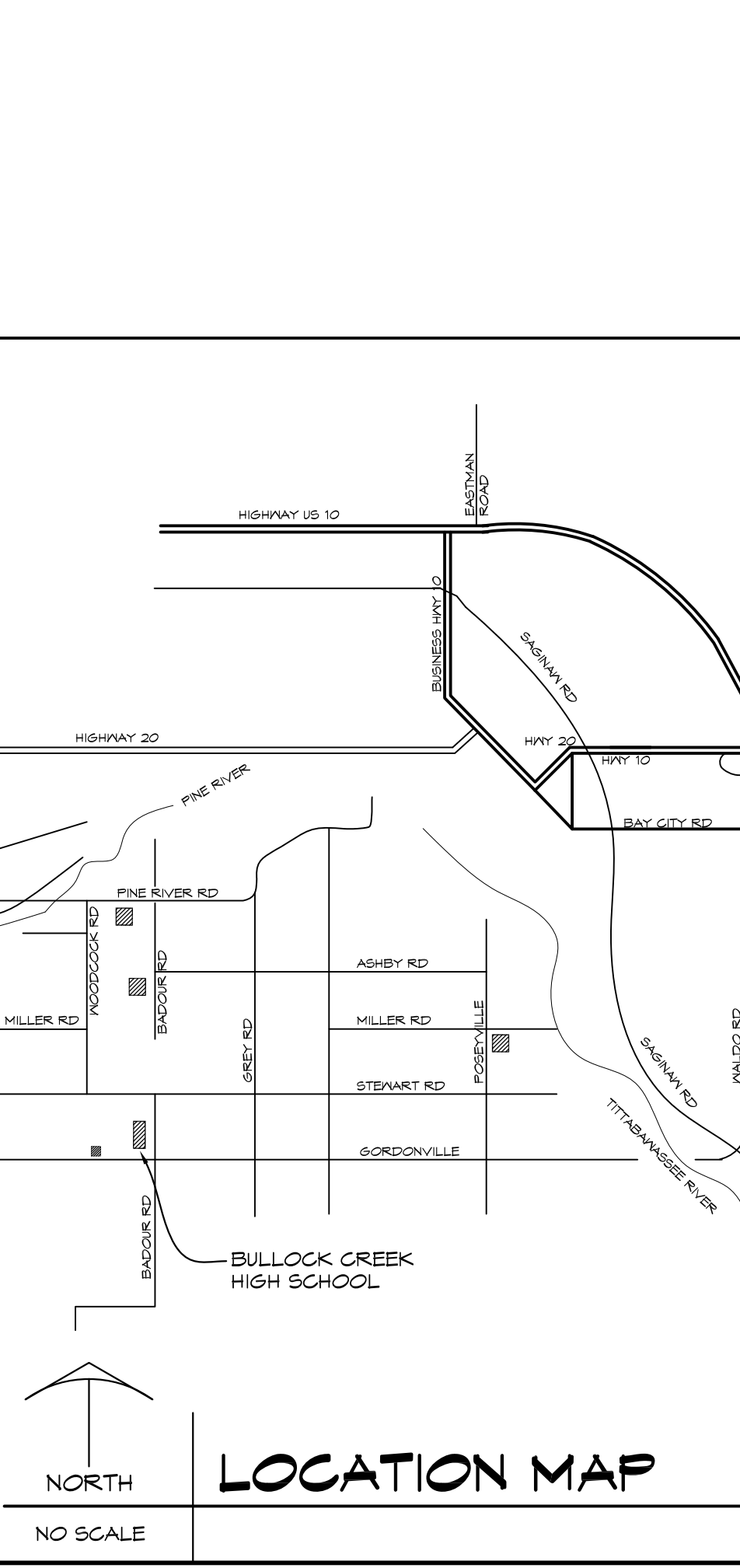
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	EXISTING ELEVATION POINT		EXISTING ELEVATION POINT
	NEW ELEVATION POINT		NEW ELEVATION POINT
	ELEVATION TARGET		ELEVATION TARGET
	COLUMN NUMBER		COLUMN CENTERLINE
	BUILDING SECTION		BUILDING SECTION
	WALL SECTION		WALL SECTION
	DETAIL BUBBLE		DETAIL BUBBLE
	ROOM NAME		ROOM NAME
	ROOM NUMBER		ROOM NUMBER
	DOOR NUMBER		DOOR NUMBER
	WINDOW NUMBER		WINDOW NUMBER
	INTERIOR ELEVATION		INTERIOR ELEVATION
	DEMOLITION NOTE		DEMOLITION NOTE

DEVELOPMENT DATA

- APPLICABLE CODES & ORDINANCES
 2015 MICHIGAN BUILDING CODE
 2021 MICHIGAN MECHANICAL CODE
 2021 MICHIGAN PLUMBING CODE
 2017 MICHIGAN ELECTRICAL CODE
- SITE AREA
 35.36± ACRES (ENTIRE HIGH SCHOOL SITE)
- BUILDING AREA
 NEW BUILDING AREA = 2560 S.F.
- BUILDING HEIGHT
 NEW BUILDING AREA = 20'-0"
- BUILDING USE
 NEW: U, UTILITY
- BUILDING CONSTRUCTION TYPE
 TYPE VB
- OCCUPANCY
 8 OCCUPANTS
- ASSUMED SOIL BEARING CAPACITY
 1500 PSF

HATCHING PATTERN KEY

BRICK	CONC BLOCK	RIGID INSUL	BATT INSUL	ACOUST TILE
CONCRETE	ASPHALT	METAL	FINISH WOOD	GYP BOARD
EARTH	SAND	GRAVEL	LUMBER	PLYWOOD



BULLOCK CREEK SCHOOL DISTRICT 2023 BOND- SERIES 1 2025 IMPROVEMENTS THA PROJECT #24-120

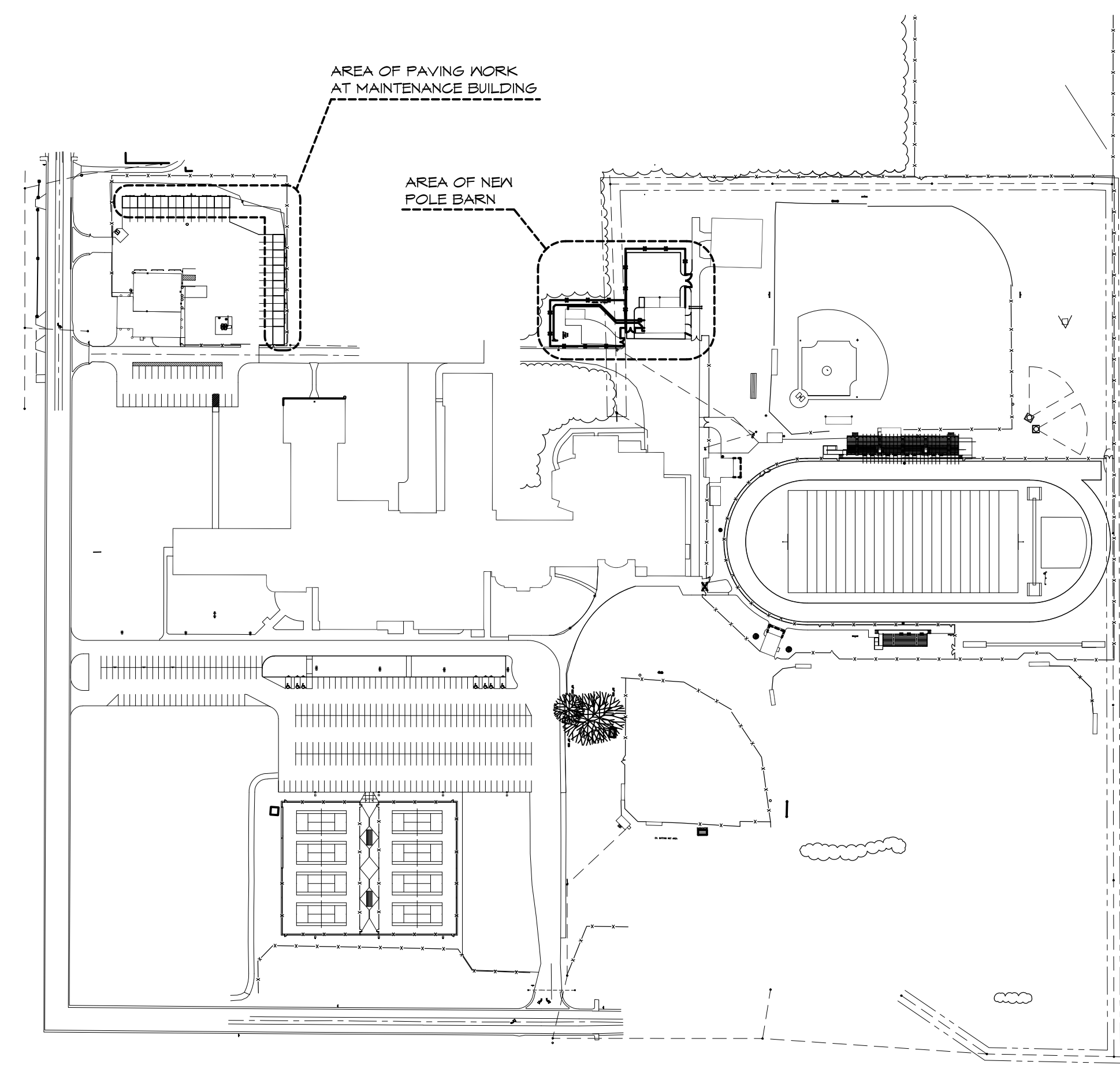
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

PROJECT 'F' SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN

1420 SOUTH BADOUR ROAD MIDLAND MI 48640

INDEX OF DRAWINGS

- F-G001 TITLE SHEET
- F-C101 SITE DEMOLITION PLAN
- F-C102 SITE DEVELOPMENT PLAN
- F-C103 MAINTENANCE BUILDING SITE DEVELOPMENT PLAN
- F-C104 SESC PLANS
- F-A101 POLE BARN PLANS AND ELEVATIONS
- F-A102 POLE BARN SECTIONS
- F-A103 POLE BARN ENLARGED DETAILS
- F-A104 MAINTENANCE BUILDING PARTIAL DEMOLITION PLAN, PARTIAL FLOOR PLAN AND DETAIL
- F-P101 POLE BARN PLUMBING PLAN
- F-E000 ELECTRICAL COVER SHEET
- F-E101 SITE ELECTRICAL DEMOLITION PLAN
- F-E102 SITE ELECTRICAL PLAN



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Wolcast CORPORATION

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 Executive One Building
 4835 Towne Centre Road
 Flint, MI 48504
 Phone: (989) 799-9128
 Fax: (989) 799-9663
 www.wolcastconstruction.com

**BULLOCK CREEK SCHOOL DISTRICT
 2023 BOND- SERIES 1 2025 IMPROVEMENTS
 THA PROJECT# 24-120**

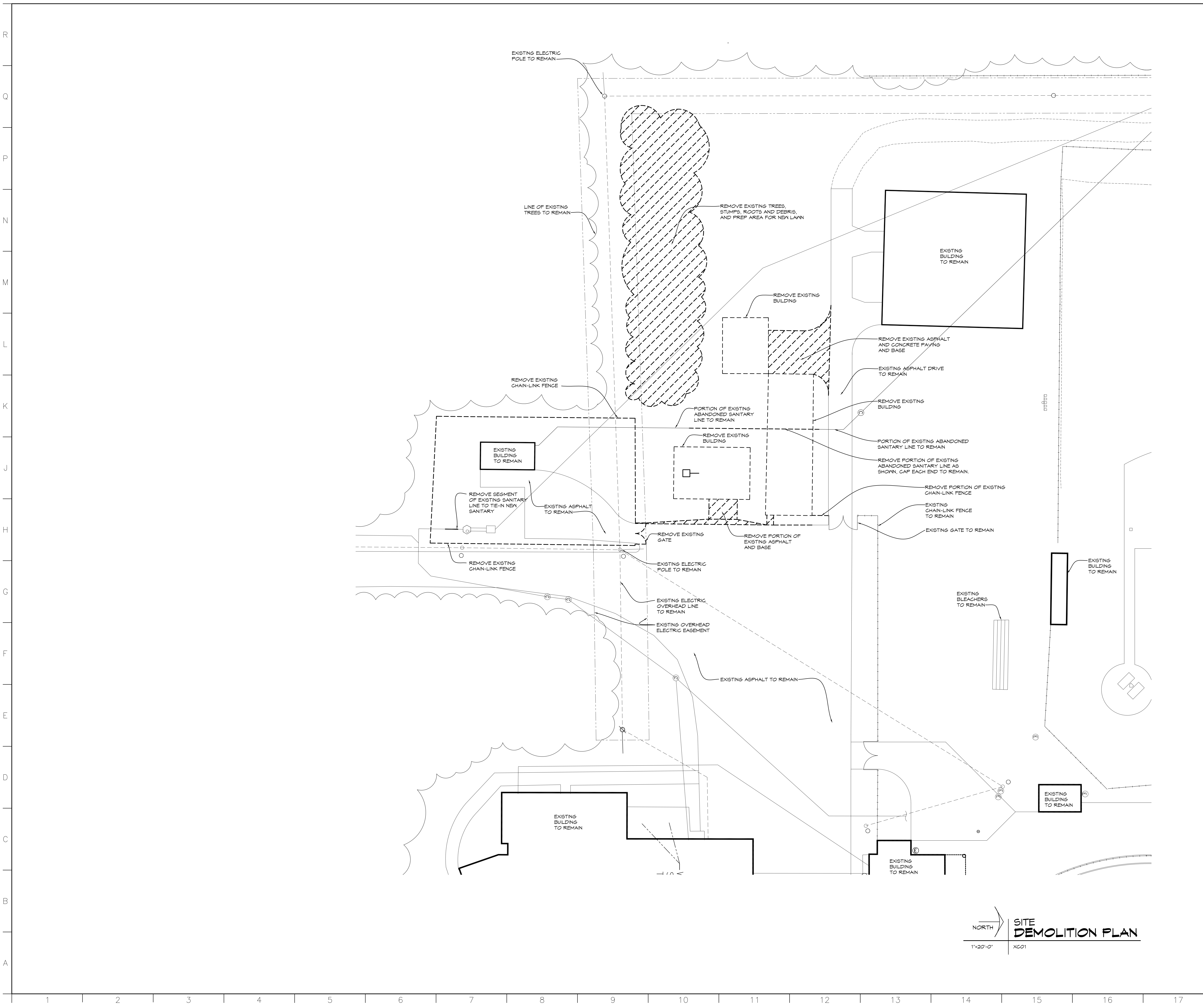
1420 SOUTH BADOUR ROAD MIDLAND MI 48640

**PROJECT 'F'
 SITE WORK AT MAINTENANCE BUILDING &
 NEW POLE BARN**

1420 SOUTH BADOUR ROAD MIDLAND MI 48640

NO.	REVISIONS / SUBMISSIONS	DATE
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	CHECKED JES	CAD FILE NO. F-2001
	REVIEWED MLS	DRAWING NO. F-G001
	DATE OCT 18, 2024	SHEET NO. 1 OF 13
	SCALE N.T.S.	

THA Architects Engineers - P:\Bullock Creek\24-120-2023 Bond Series 1 2025 Improvements\Drawing\01-CAD\Bullock Creek MT MLDR01-0001 - TITLE SHEET
 Plot Date: 10/21/2024 9:51 AM



GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
2. OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED
3. CONTACT 'MISS DIG' AT 1-800-482-1111 PRIOR TO ANY EXCAVATION OR DEMOLITION
4. UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. NO GUARANTEE IS MADE EITHER TO COMPLETENESS OR ACCURACY
5. AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
7. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
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9. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
1420 SOUTH BADOUR ROAD
MIDLAND, MI

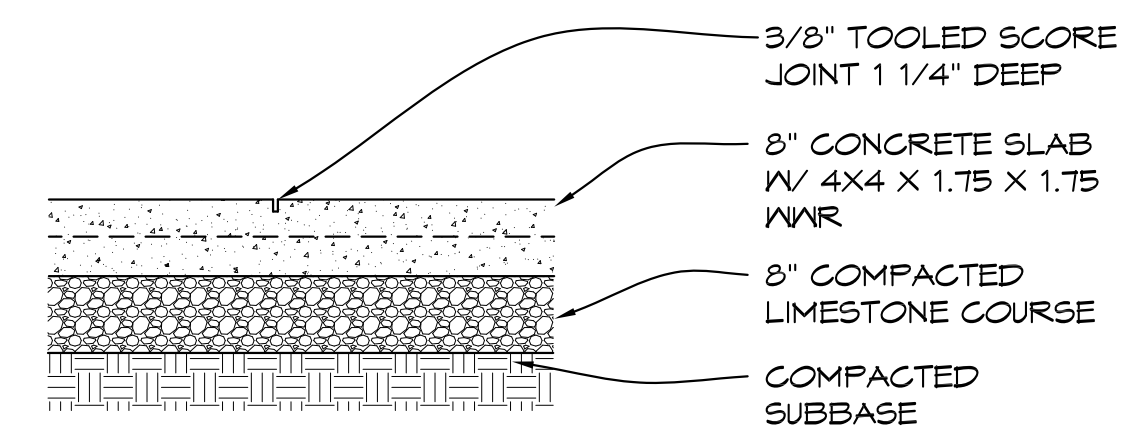
SITE DEMOLITION PLAN

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	CHECKED JESG	CAD FILE NO. F-C101
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	DATE OCT 18, 2024	F-C101 SHEET NO.
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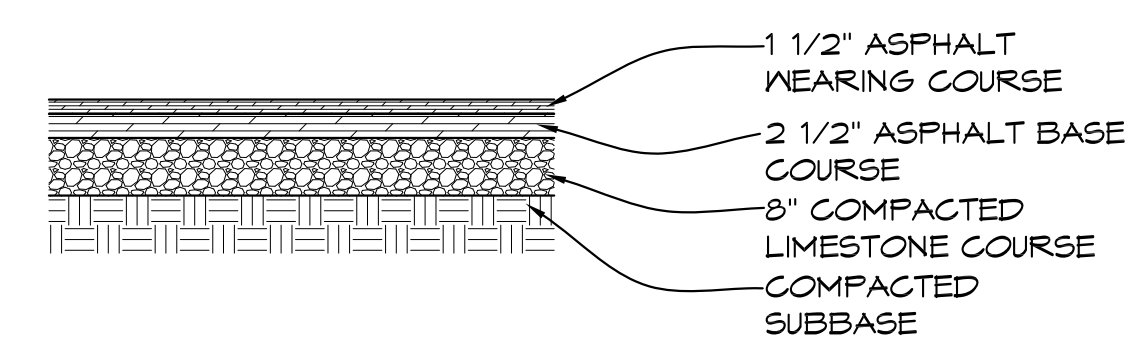
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PROJECT 'F'

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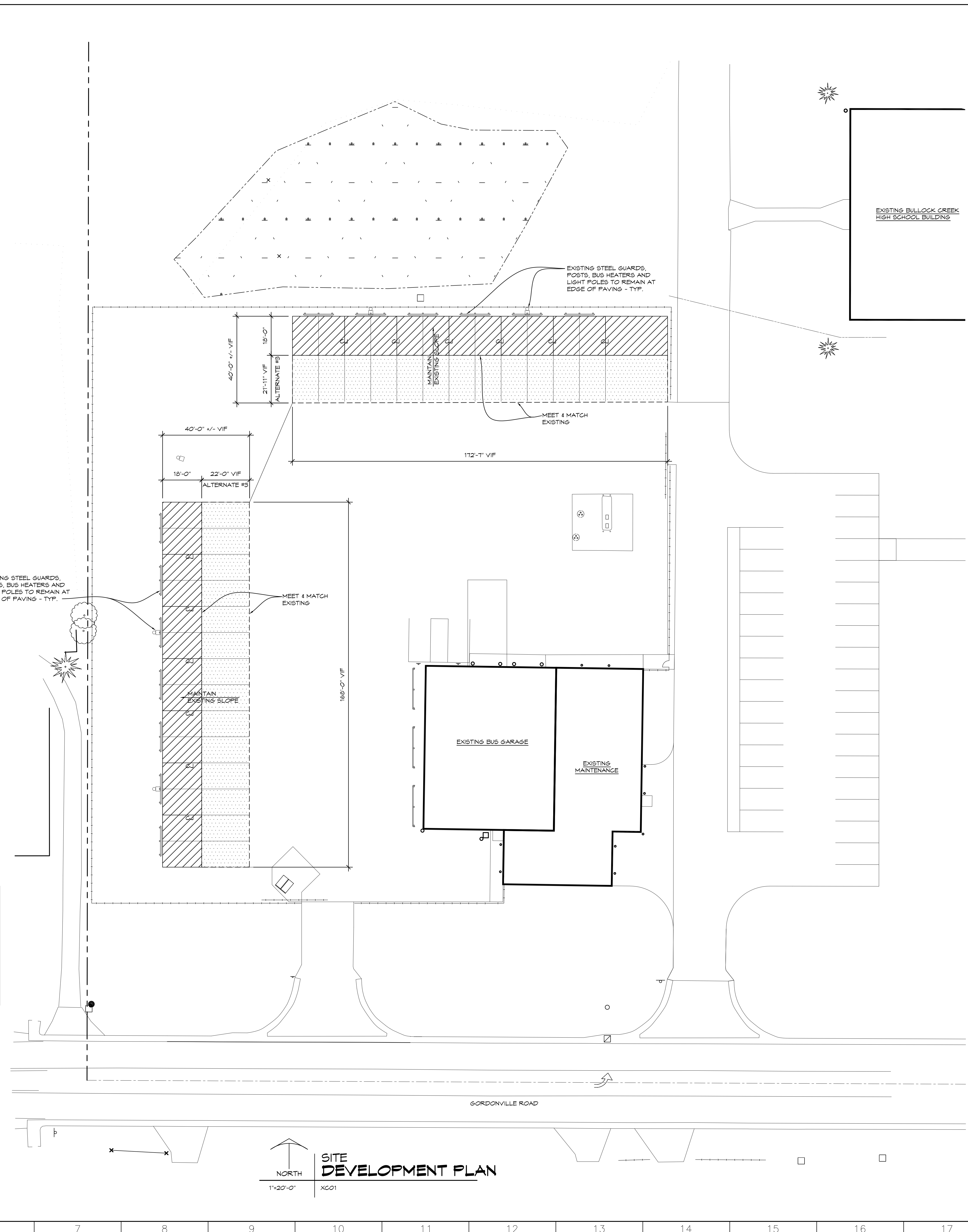


1 PAVING DETAIL
1/2" = 1'-0"
PH5IGN01



2 EXISTING PAVING DETAIL
1/2" = 1'-0"
PH5IGN01

	REMOVE EXISTING ASPHALT PAVING AND STONE BASE. EXCAVATE 4" AS REQUIRED FOR NEW PAVING DEPTH. INSTALL NEW 8" THICK CONCRETE PAVING ON 8" COMPACTED LIMESTONE BASE. RE-STRIP PORTIONS OF PARKING LINES AT NEW CONCRETE.
	ALTERNATE #5: REMOVE EXISTING ASPHALT PAVING AND STONE BASE. EXCAVATE 4" AS REQUIRED FOR NEW PAVING DEPTH. INSTALL NEW 8" THICK CONCRETE PAVING ON 8" COMPACTED LIMESTONE BASE. RE-STRIP PORTIONS OF PARKING LINES AT NEW CONCRETE.



SITE DEVELOPMENT PLAN
 1"=20'-0" X001

GENERAL NOTES

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NO.	REVISIONS / SUBMISSIONS	DATE

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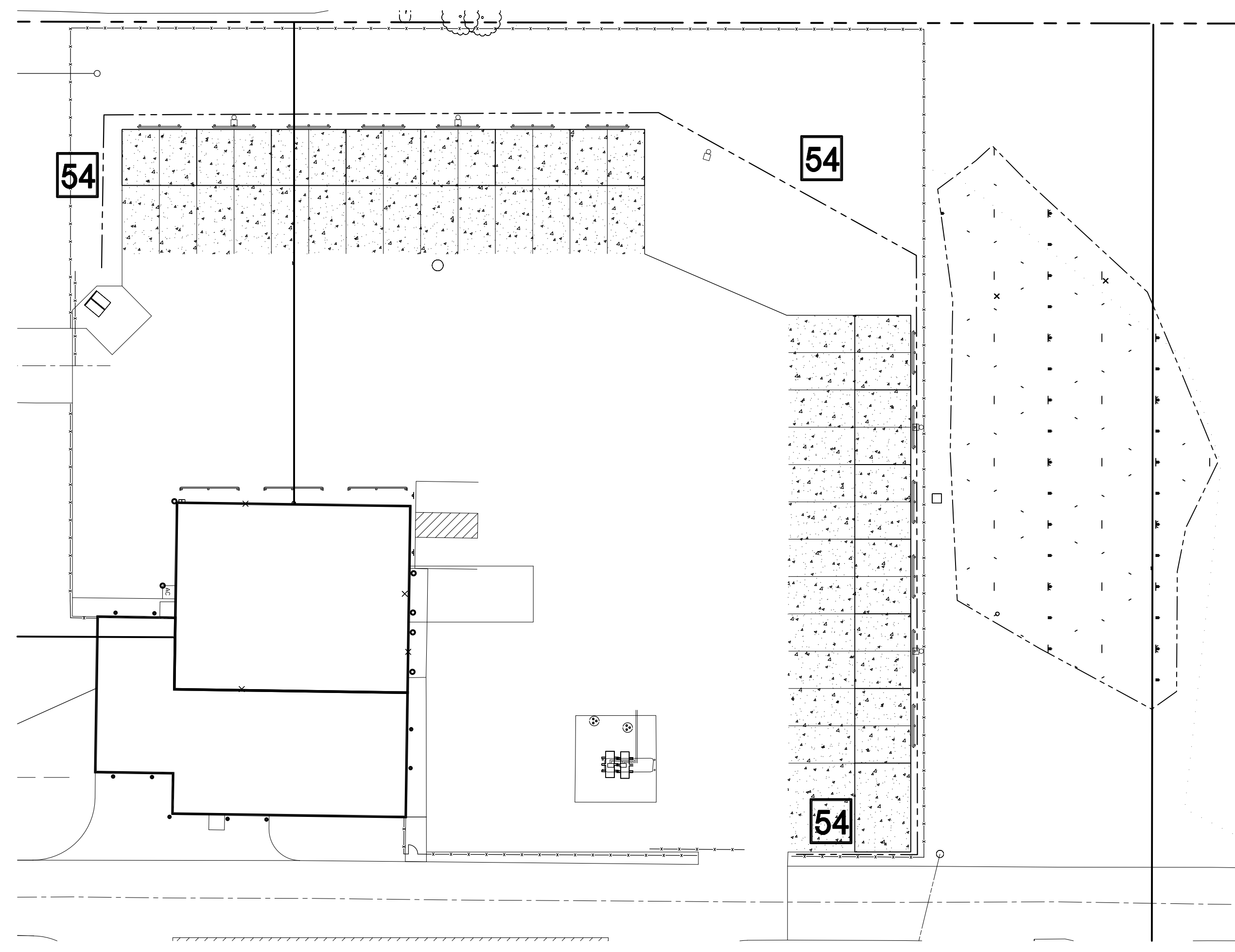
PROJECT 'F'
**SITE WORK AT
 MAINTENANCE BUILDING
 & NEW POLE BARN**
 1420 SOUTH BADOUR ROAD
 MIDLAND, MI

DRAWING TITLE
**MAINTENANCE BUILDING
 SITE
 DEVELOPMENT PLAN**

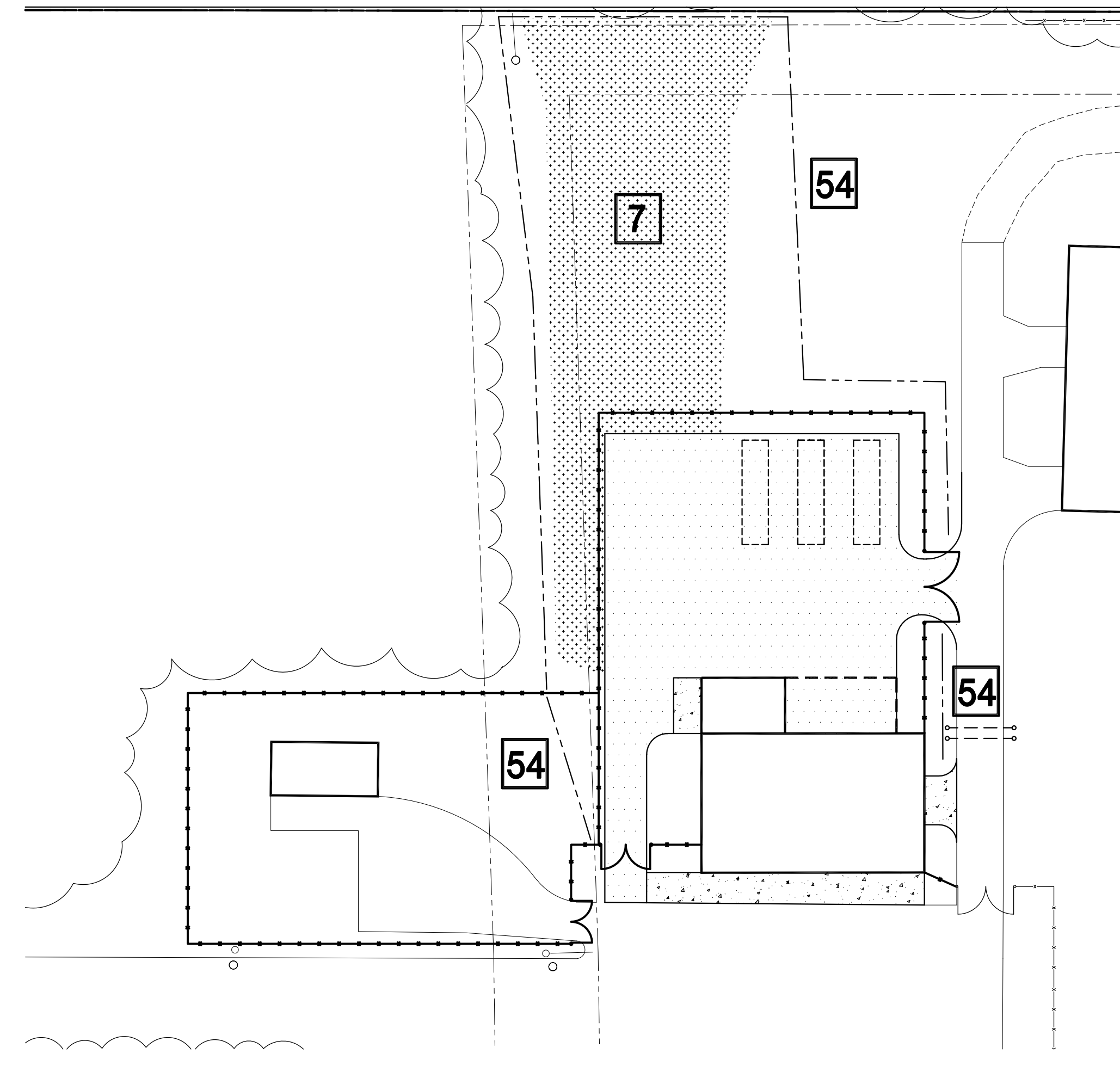
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	DATE OCT 18, 2024	F-C103
	SCALE 1"=20'-0"	SHEET NO. 4 OF 13

PROJECT 'F'

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NORTH
1"=30'
**MAINTENANCE BUILDING
SESC PLAN**



NORTH
1"=30'
**POLE BARN
SESC PLAN**

LEGEND:

	COMPACTED GRAVEL
	CONCRETE PAVING
	SEEDED TOPSOIL

SOIL EROSION AND SEDIMENTATION CONTROL

1. DEVELOPER / PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
2. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND / OR GRADING OPERATIONS.
3. BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF PLAN REVIEW.
4. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
5. CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
6. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
7. TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
8. ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE REMOVED FROM ROAD RIGHT-OF-WAY AREAS PRIOR TO ACCEPTANCE OF STREETS FOR ROUTINE MAINTENANCE.
9. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION GUARANTEE BY THE ROAD COMMISSION.

MICHIGAN UNIFIED KEYING SYSTEM

KEY	DETAIL	CHARACTERISTICS
7		EFFECTIVE ON LARGE AREAS. HIGH MOISTURE AREAS. USE TO PROVIDE IMMEDIATE PROTECTION. ONLY GRADE IS REQUIRED. SHOULD FOLLOW PREPARED TOPSOIL BED.
54		USE GEOTEXTILE FABRIC AND POSTS OR PILES. MUST TO CONSTRUCT AND MAINTAIN AS NECESSARY.

CONSTRUCTION SEQUENCE

1. EXCAVATION AND STOCKPILING OF SOIL.
2. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING; DIVERSIONS AS REQUIRED IN FIELD; PROTECTION OF STORM SEWER FACILITIES.
3. PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
4. PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.

RATE OF APPLICATION (ALL ZONES)

PER/1000 SF	PER ACRE
2 LB	3 BU
1/2 LB	20-25 LBS
1 LB	30-40 LBS
3 LBS	2-3 BU
1/2 LB	20-25 LBS
3 LBS	2-3 BU

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
TEMPORARY SESC MEASURES														
STRIP AND STOCKPILE SOIL														
ROUGH GRADING														
UNDERGROUND UTILITIES														
ROAD INSTALLATION														
BUILDING CONSTRUCTION (REMODEL)														
PERMANENT SESC MEASURES														
FINAL GRADE														
LANDSCAPING														

MAINTENANCE SCHEDULE 2024 / 2025	SEPT	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT
STREET SWEEPING														
SILT FENCING														
MAINTAIN BUFFER STRIPS														
INLET STRUCTURES														
SEEDING AND MULCH														
SEDIMENT BASINS														
RIP-RAP														
REMOVE TEMPORARY MEASURES														

PROJECT F

NO.	REVISIONS / SUBMISSIONS	DATE

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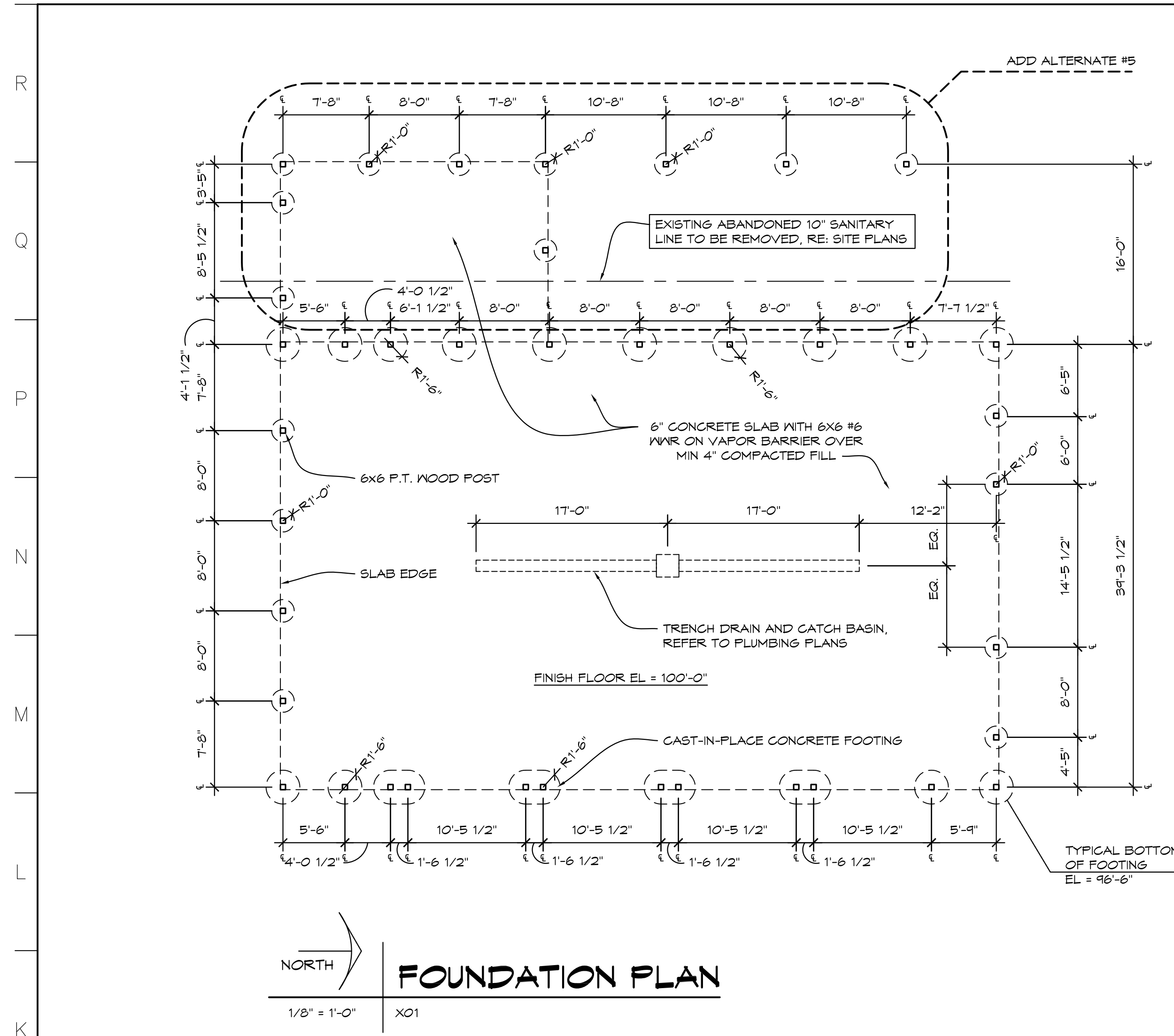
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PROJECT F
**SITE WORK AT
MAINTENANCE BUILDING
& NEW POLE BARN**
1420 SOUTH BADOUR ROAD
MIDLAND, MI

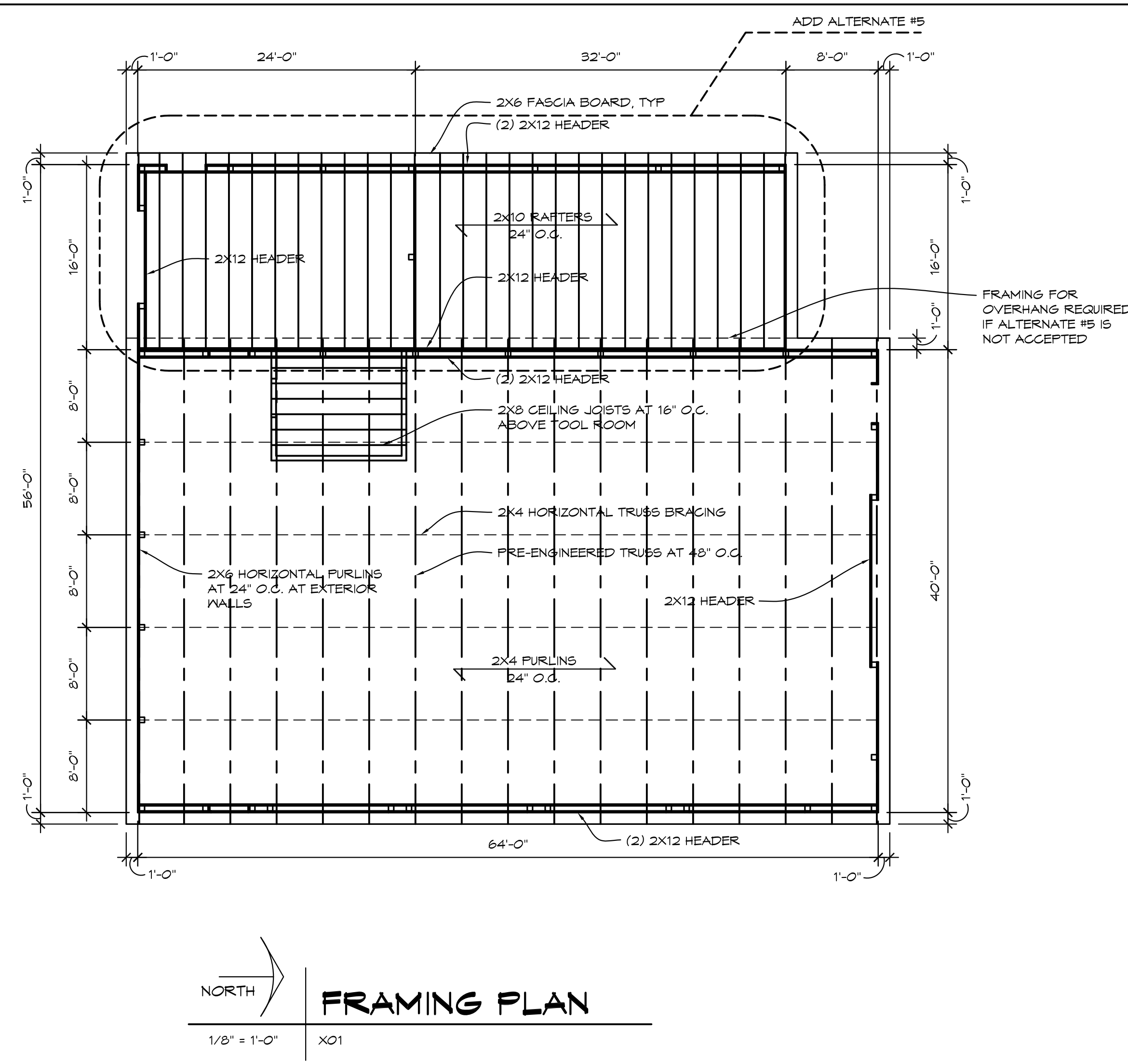
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SESC PLANS

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	REVIEWED MLB	DRAWING NO. F-C104
	DATE OCT 18, 2024	SHEET NO.
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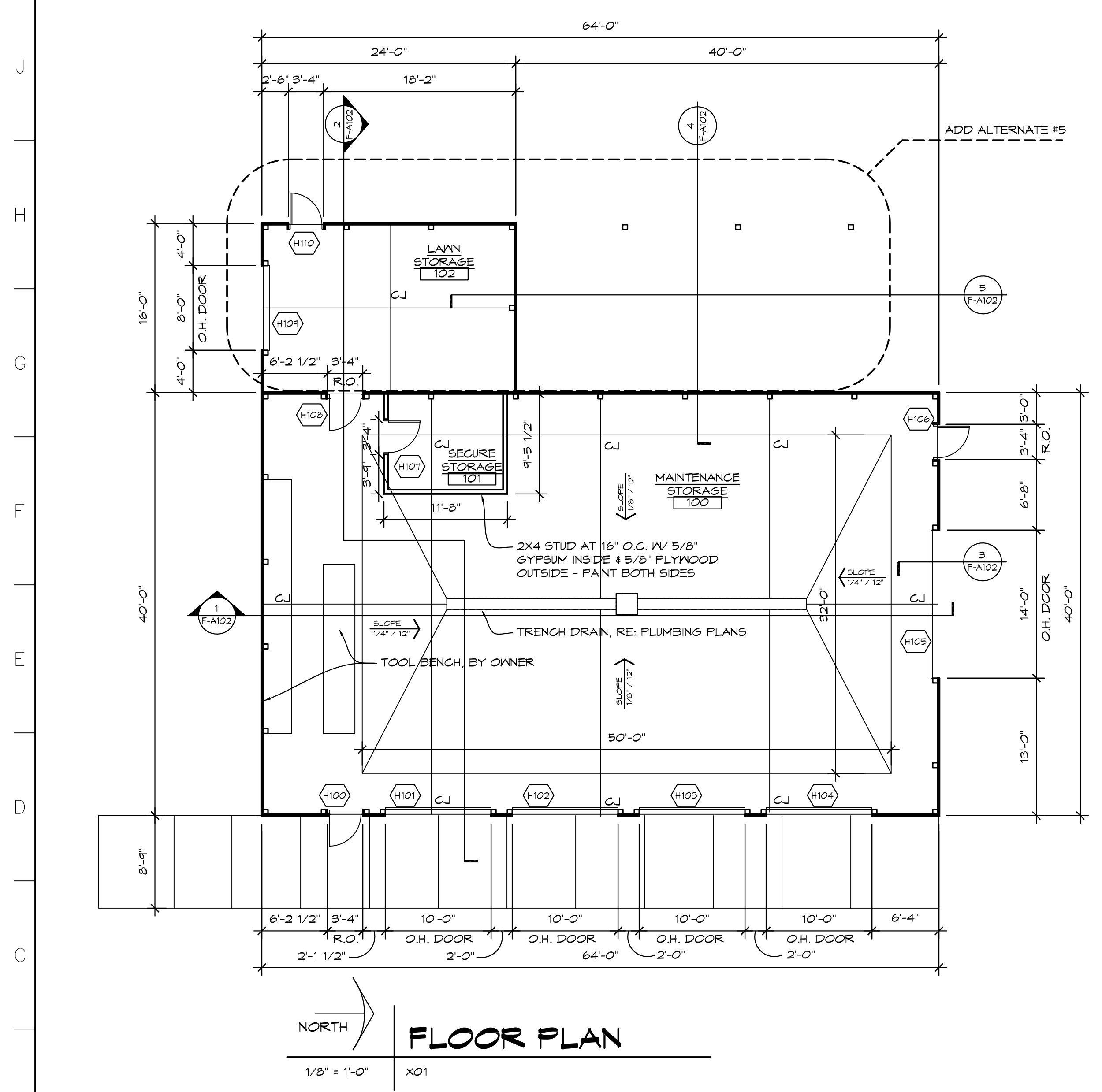
THA Architects Engineers - P: 810-767-5600 | F: 810-767-5601 | 1202 Harrison St. | Flint, MI 48503-1104 - SESC PLANS
Print Date: 10/21/2024 11:58 AM



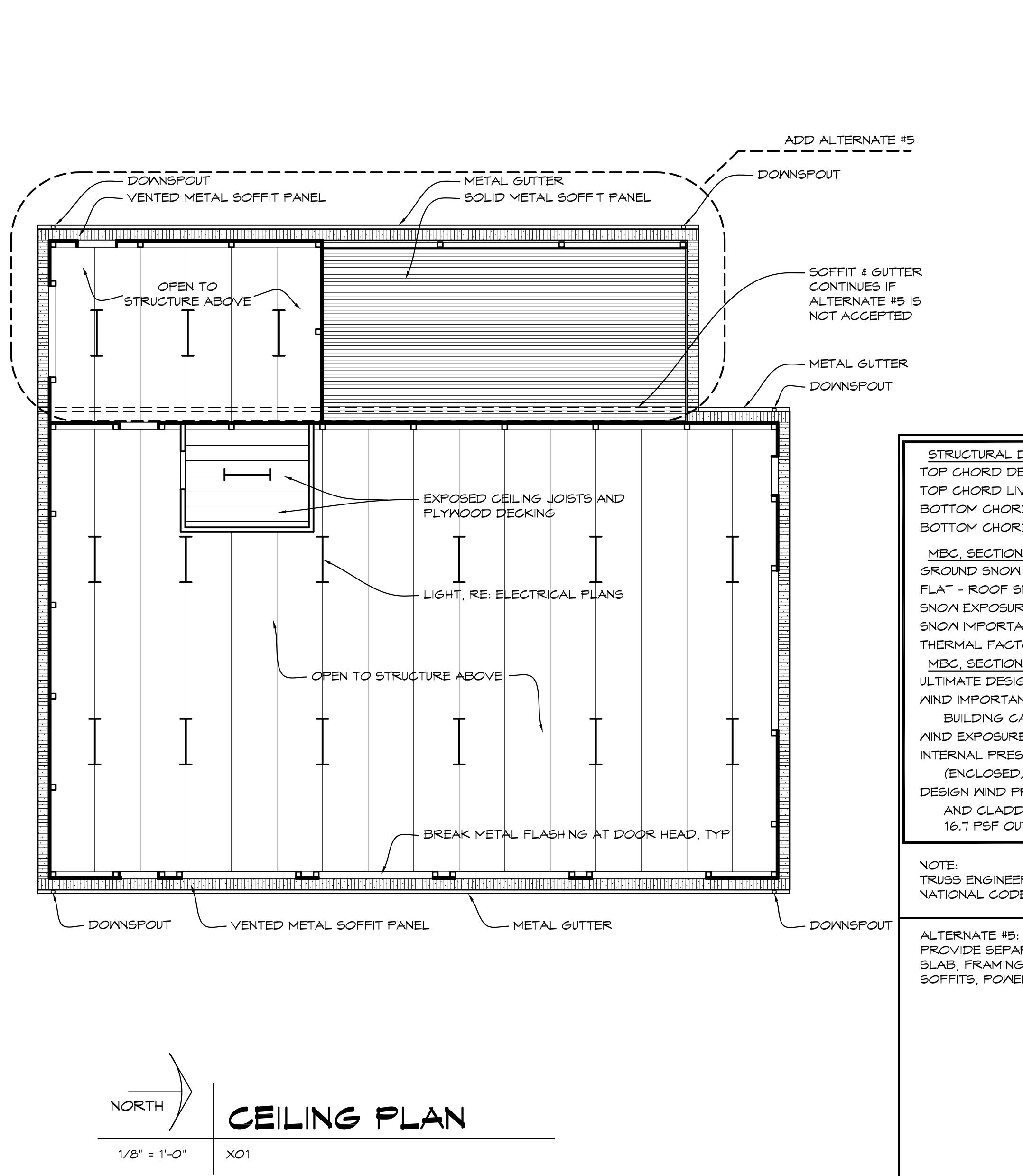
FOUNDATION PLAN
1/8" = 1'-0" X01



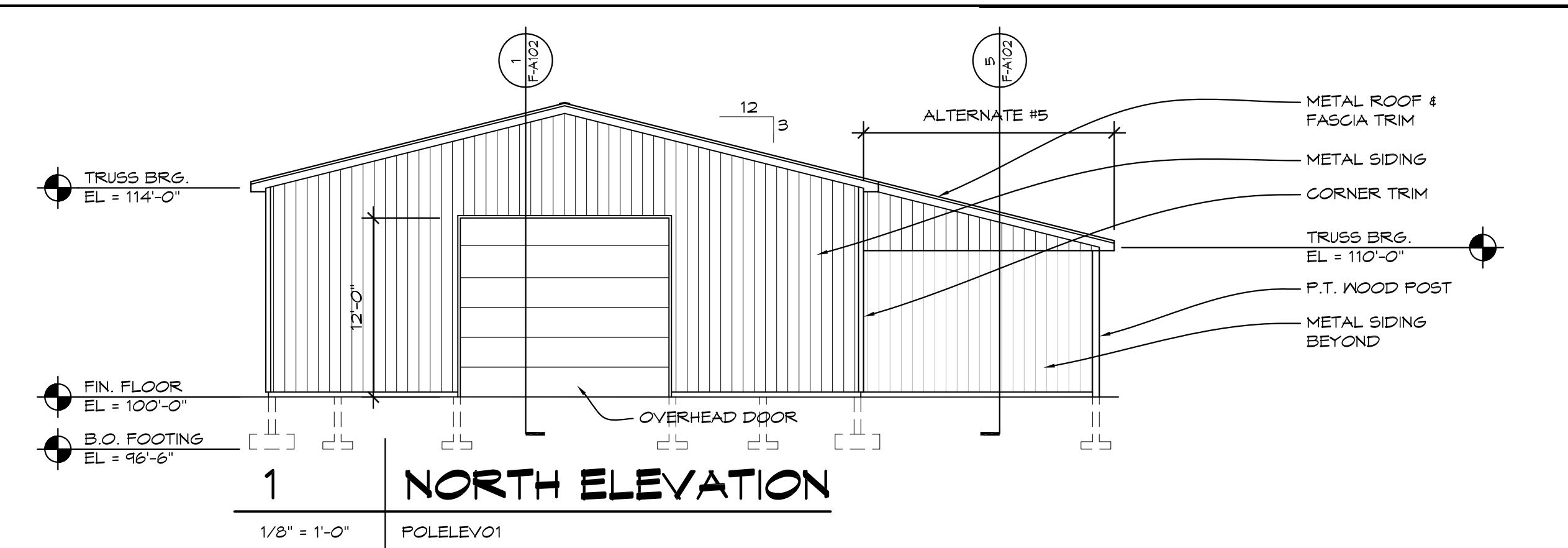
FRAMING PLAN
1/8" = 1'-0" X01



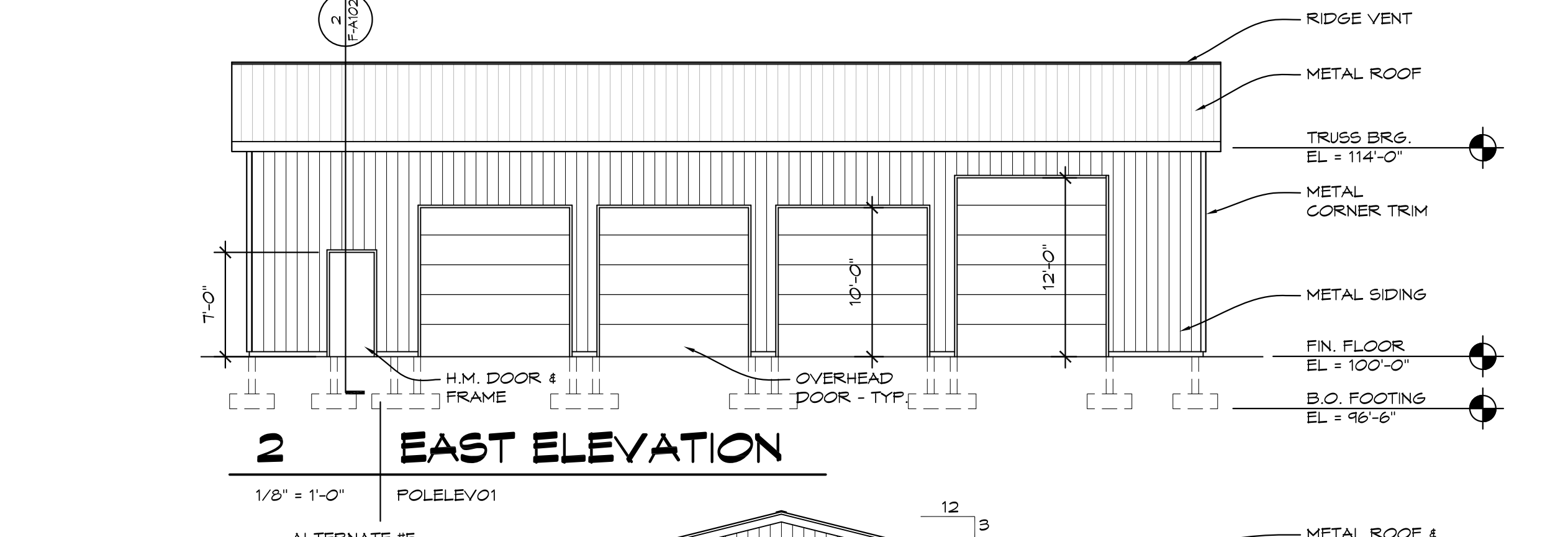
FLOOR PLAN
1/8" = 1'-0" X01



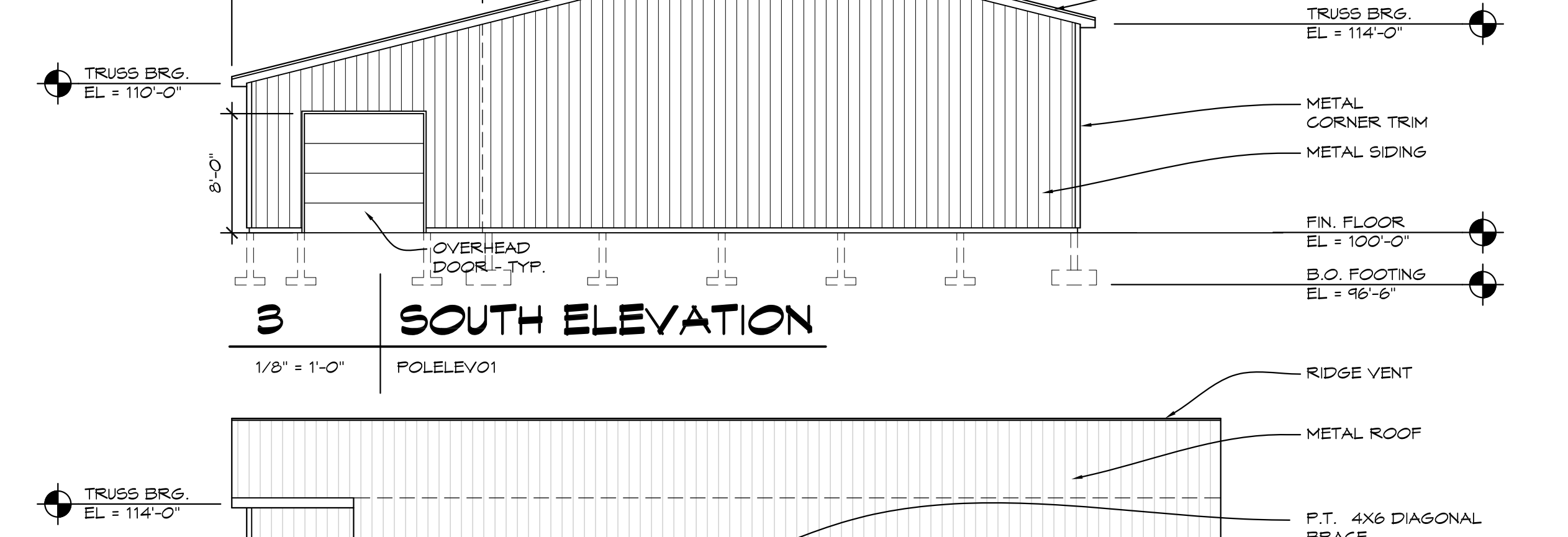
CEILING PLAN
1/8" = 1'-0" X01



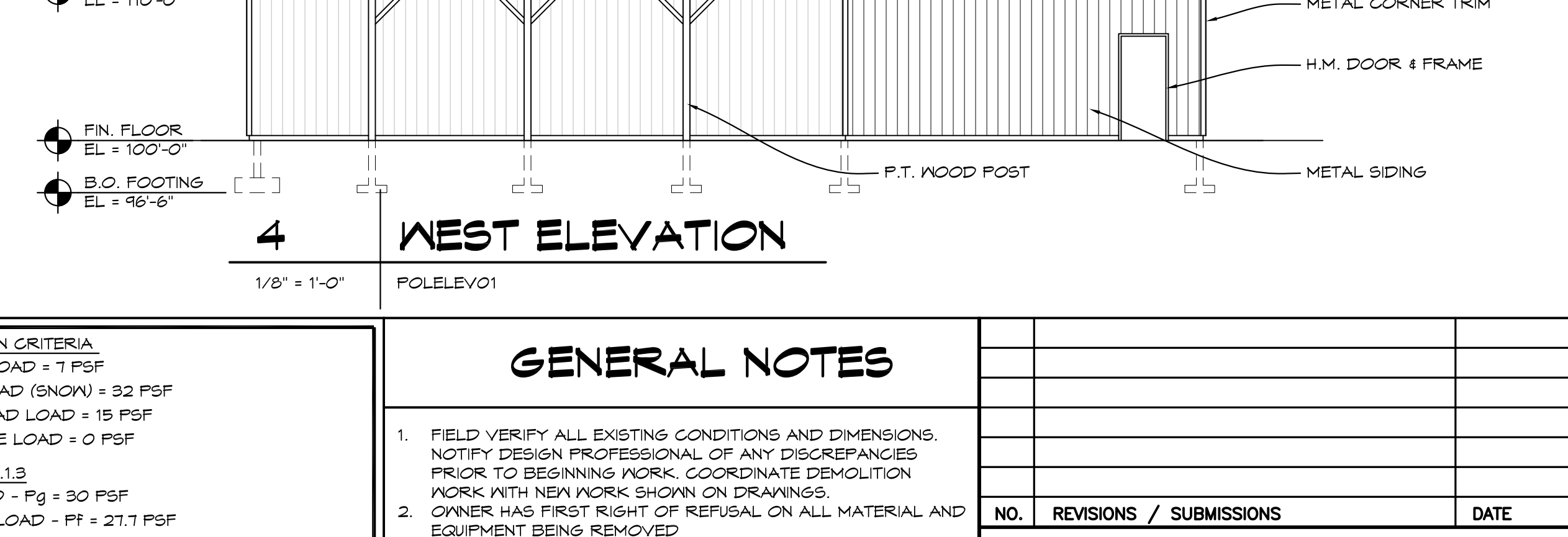
1 NORTH ELEVATION
1/8" = 1'-0" FOLELEV01



2 EAST ELEVATION
1/8" = 1'-0" FOLELEV01



3 SOUTH ELEVATION
1/8" = 1'-0" FOLELEV01



4 WEST ELEVATION
1/8" = 1'-0" FOLELEV01

STRUCTURAL DESIGN CRITERIA
TOP CHORD DEAD LOAD = 7 PSF
TOP CHORD LIVE LOAD (SNOW) = 32 PSF
BOTTOM CHORD LIVE LOAD = 15 PSF
BOTTOM CHORD DEAD LOAD = 0 PSF

MBC SECTION 1603.1.3
GROUND SNOW LOAD - Pg = 30 PSF
FLAT - ROOF SNOW LOAD - Pf = 27.1 PSF
SNOW EXPOSURE FACTOR - Ce = 1.0
SNOW IMPORTANCE FACTOR - Is = 1.0
THERMAL FACTOR - Ct = 1.2

MBC SECTION 1604
ULTIMATE DESIGN WIND SPEED = 115 MPH
WIND IMPORTANCE FACTOR - Iw = 1.15
BUILDING CATEGORY = CAT 2
WIND EXPOSURE = EXP. B
INTERNAL PRESSURE COEFFICIENT = +/- 0.18 (ENCLOSED)

DESIGN WIND PRESSURES FOR COMPONENTS AND CLADDING = 11.6 PSF INWARD, 16.7 PSF OUTWARD

NOTE:
TRUSS ENGINEER TO COMPLY WITH ALL LOCAL, STATE, AND NATIONAL CODES AND LOADING REQUIREMENTS.

GENERAL NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK. COORDINATE DEMOLITION WORK WITH NEW WORK SHOWN ON DRAWINGS.
- OWNER HAS FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND EQUIPMENT BEING REMOVED.
- COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL WALL, FLOOR AND ROOF OPENINGS REQUIRED OF THESE AND OTHER TRADES.
- REPAIR ALL WALLS, FLOORS AND CEILING AT ALL AREAS DISTURBED BY DEMOLITION TO MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING AND DISCONNECTING ALL INCIDENTAL ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE BUILDING DURING CONSTRUCTION TO PREVENT DAMAGE, INCLUDING WEATHERPROOFING AT ALL OPENINGS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWING TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

GENERAL FOUNDATION NOTES

- FINISH FLOOR = 100'-0"
- ALL EXTERIOR FOOTINGS TO HAVE BOTTOM OF FOOTING AT 96'-6" UNLESS OTHERWISE NOTED
- PROVIDE 6" CONCRETE FLOOR SLAB IV 6x6x16 WVR ON VAPOR BARRIER OVER COMPACTED SAND FILL AT ALL SLAB ON GRADE AREAS UNLESS OTHERWISE NOTED
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL WITH MINIMUM BEARING CAPACITY OF 1,500 PSF
- PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS IN CONCRETE FLOOR SLABS AS SHOWN
- PROVIDE FIBER REINFORCED CONCRETE AT POST FOOTINGS - TYP. RE: SPEC

NO.	REVISIONS / SUBMISSIONS	DATE

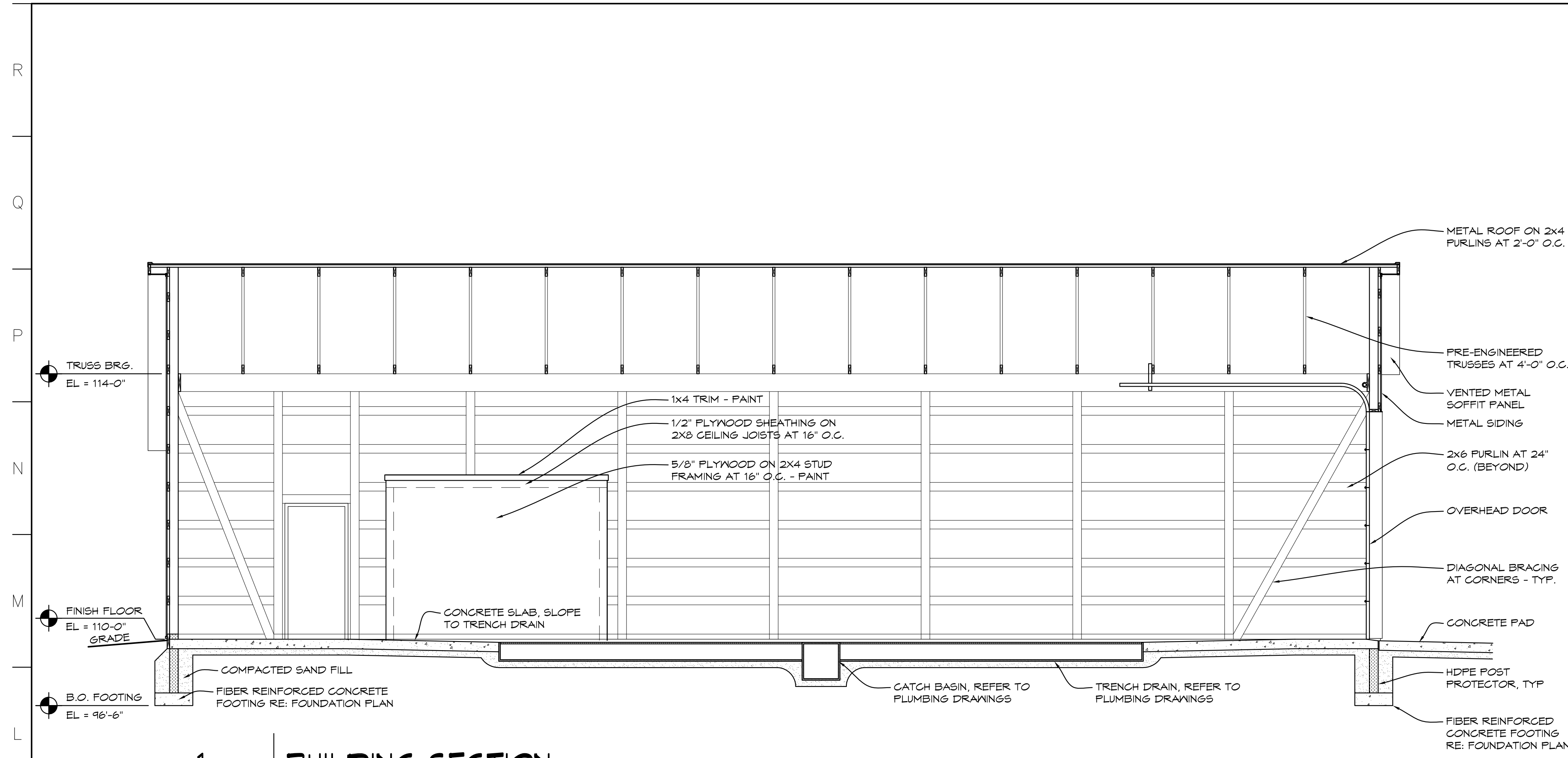
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PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
1420 SOUTH BADOUR ROAD
MIDLAND, MI

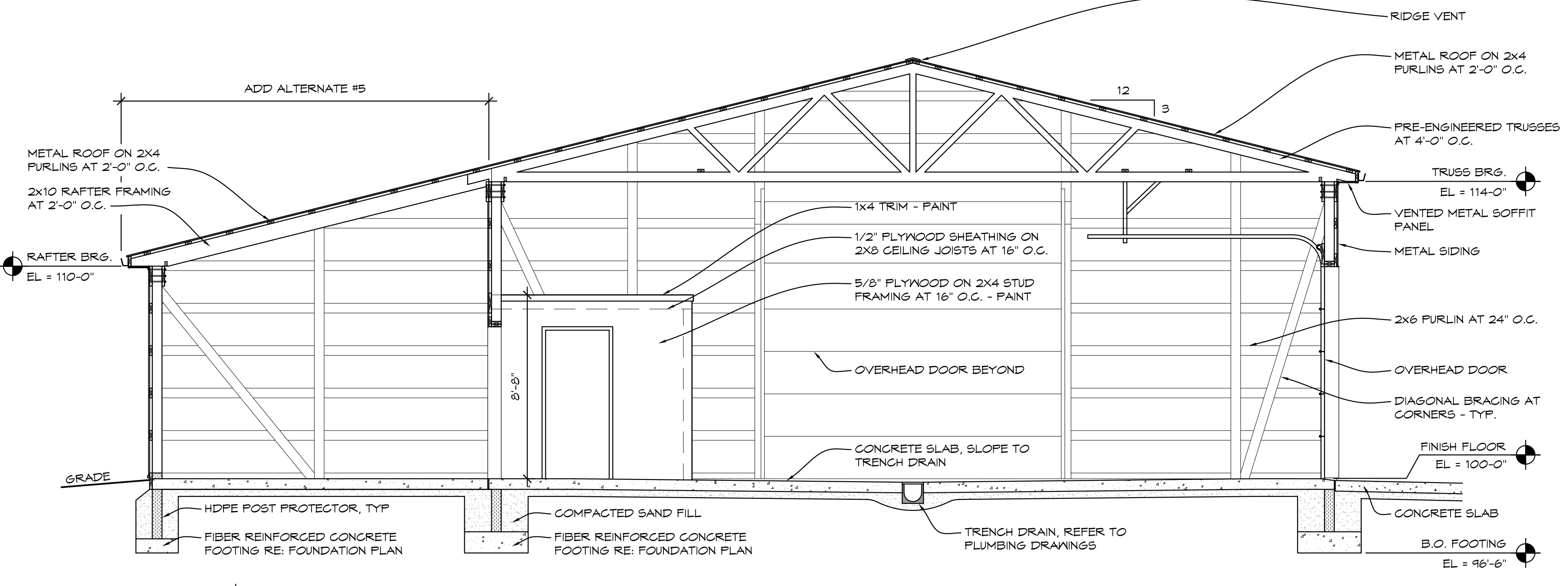
DRAWING TITLE
POLE BARN PLANS AND ELEVATIONS

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. F-A101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	F-A101
	SCALE 1/8" = 1'-0"	SHEET NO. 6 OF 13

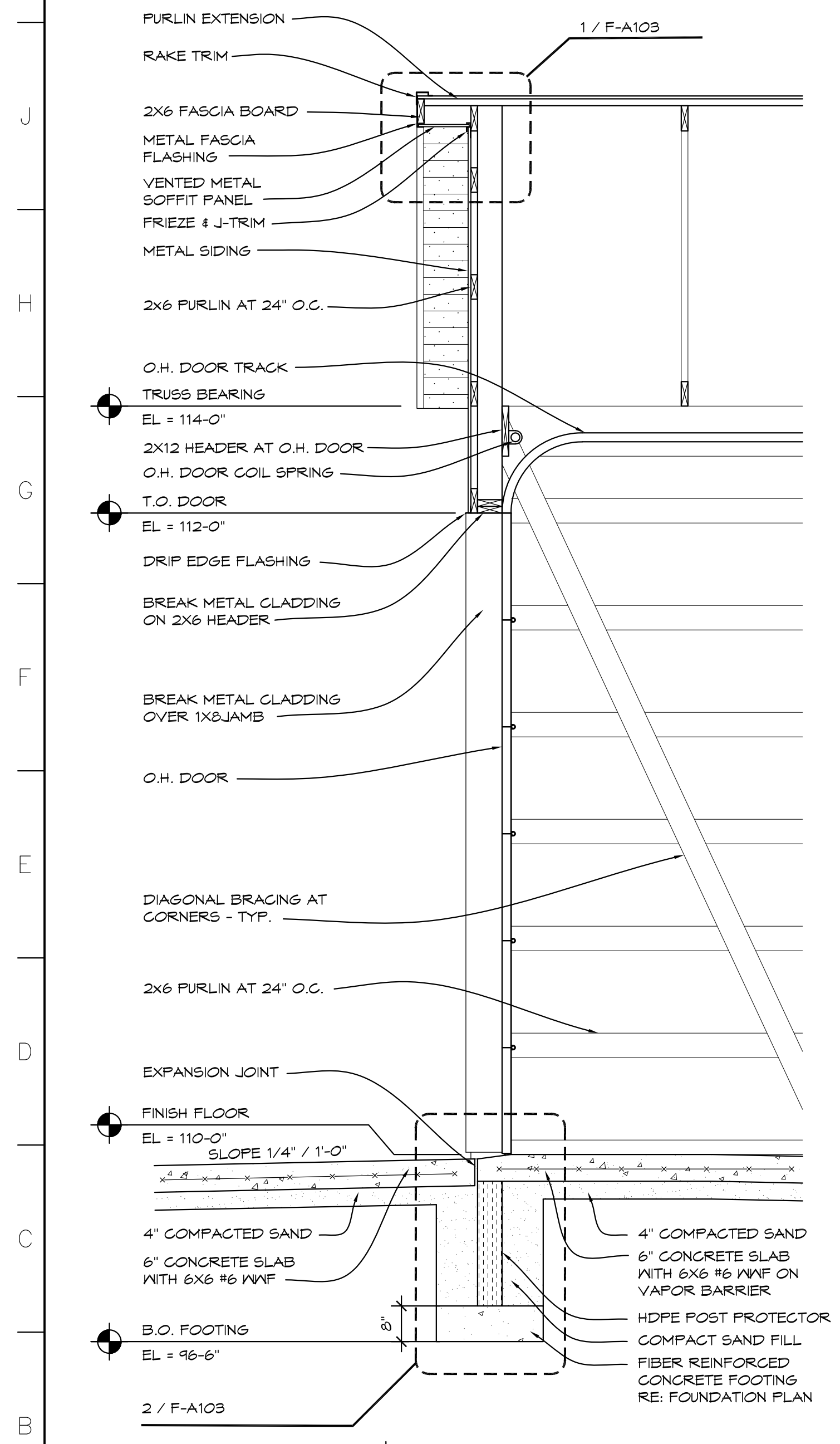
PROJECT 'F'



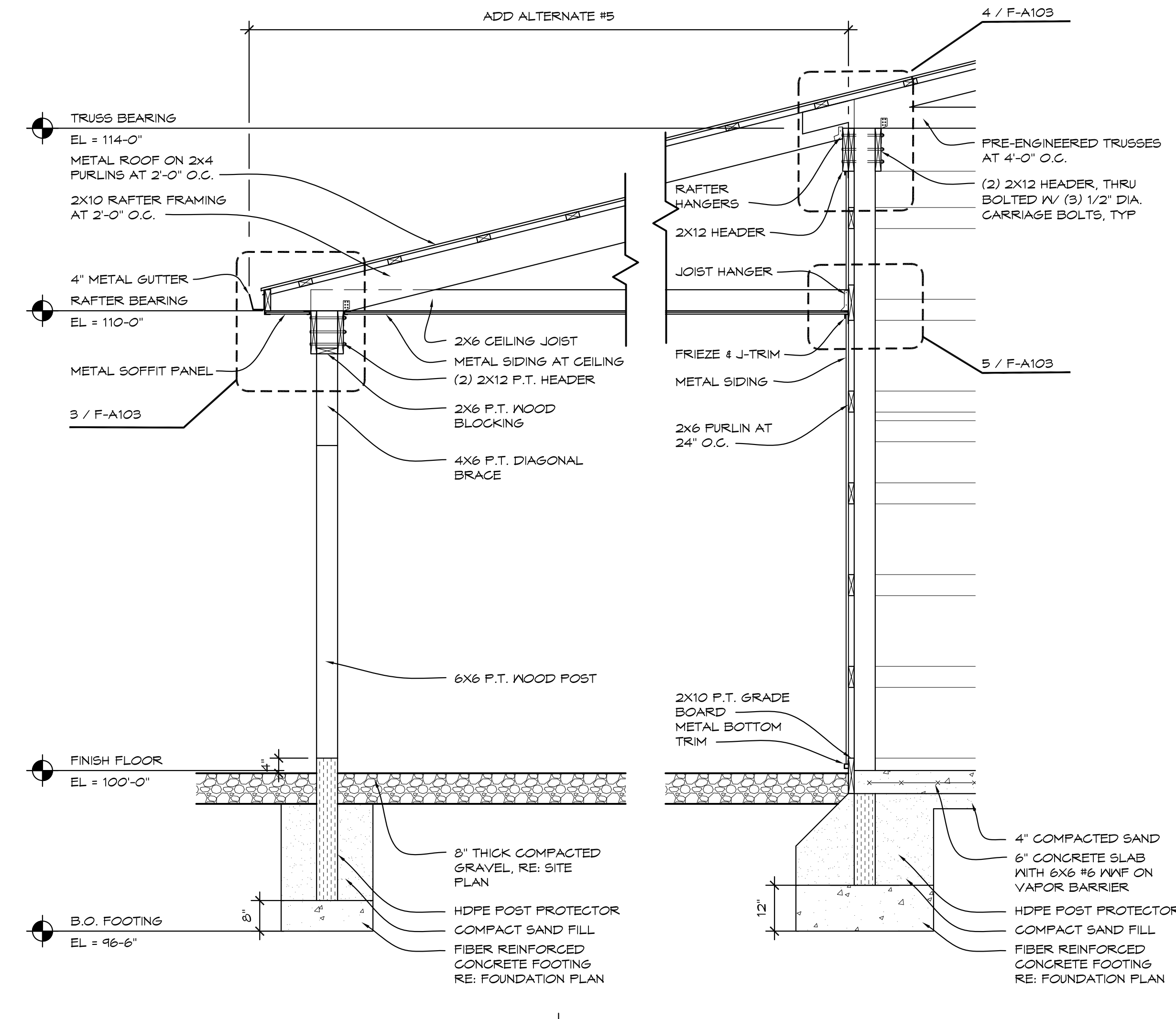
1 BUILDING SECTION
1/4" = 1'-0" SEC01



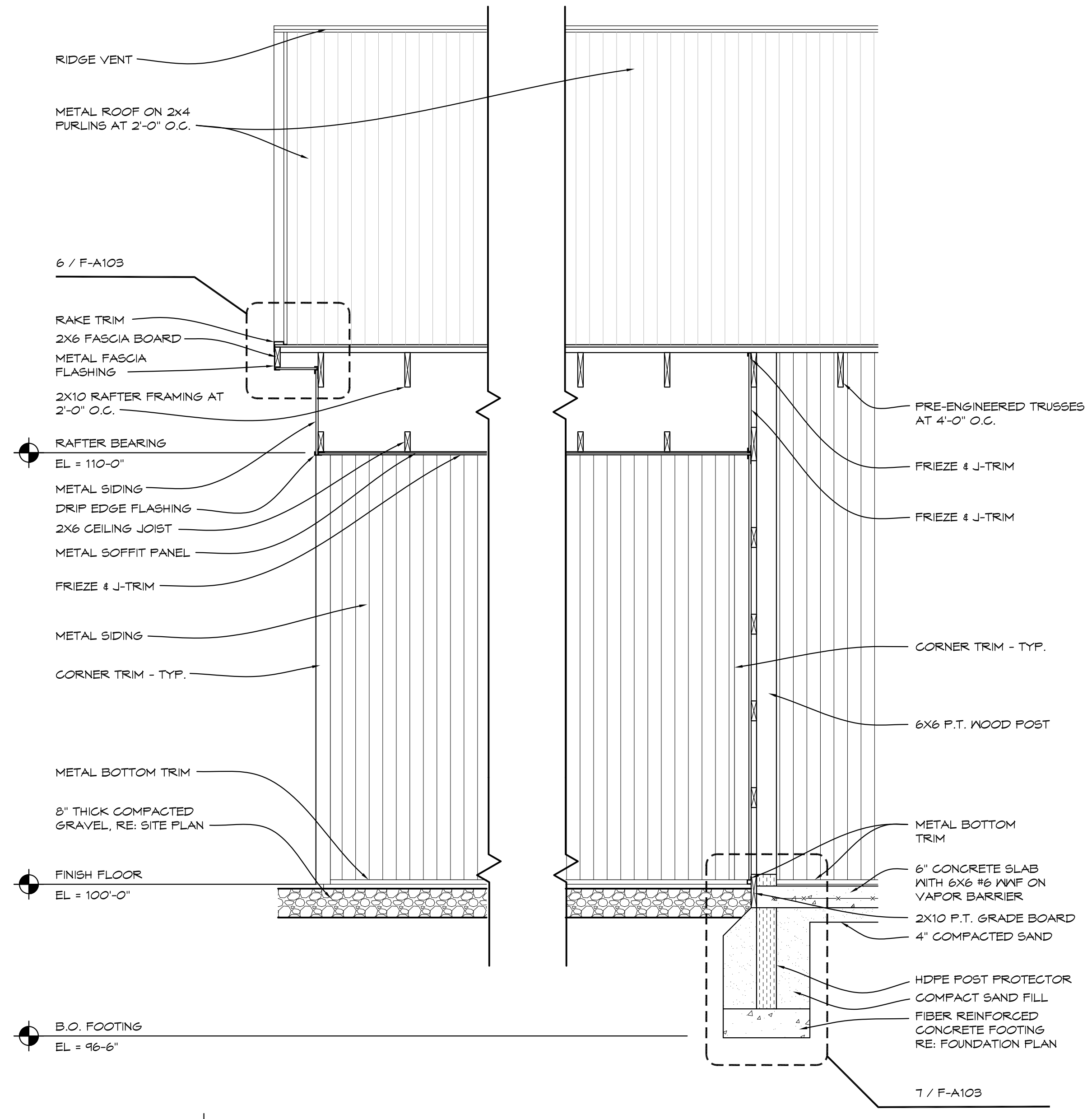
2 BUILDING SECTION
1/4" = 1'-0" SEC01



3 WALL SECTION
1/2" = 1'-0" SEC01



4 WALL SECTION
1/2" = 1'-0" SEC01



5 WALL SECTION
1/2" = 1'-0" SEC01

NO.	REVISIONS / SUBMISSIONS	DATE

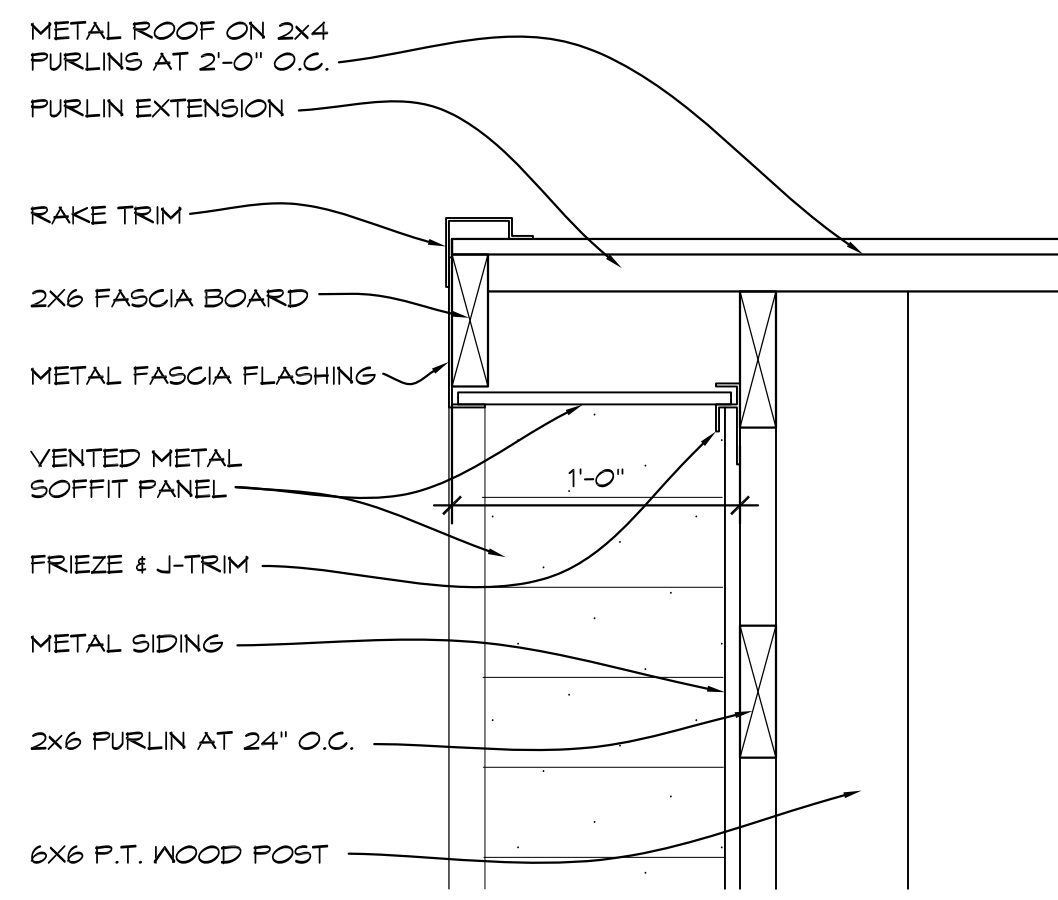
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PROJECT 'F'
**SITE WORK AT
MAINTENANCE BUILDING
& NEW POLE BARN**
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
POLE BARN SECTIONS

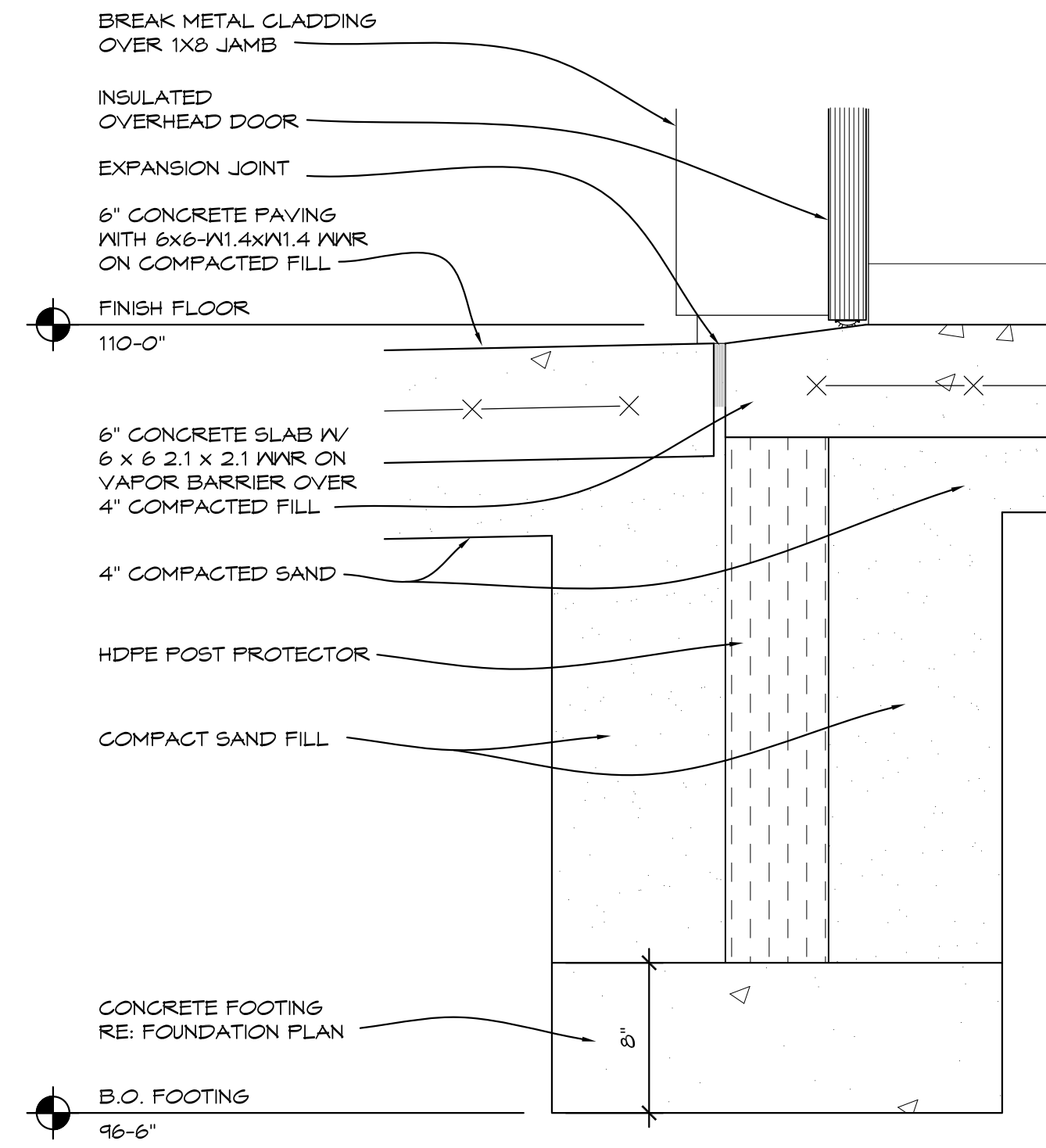
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	CHECKED JESS	CAD FILE NO. F-A102
	REVIEWED MLB	DRAWING NO. F-A102
	DATE OCT 18, 2024	SHEET NO. 7 OF 13
	SCALE AS NOTED	

PROJECT 'F'



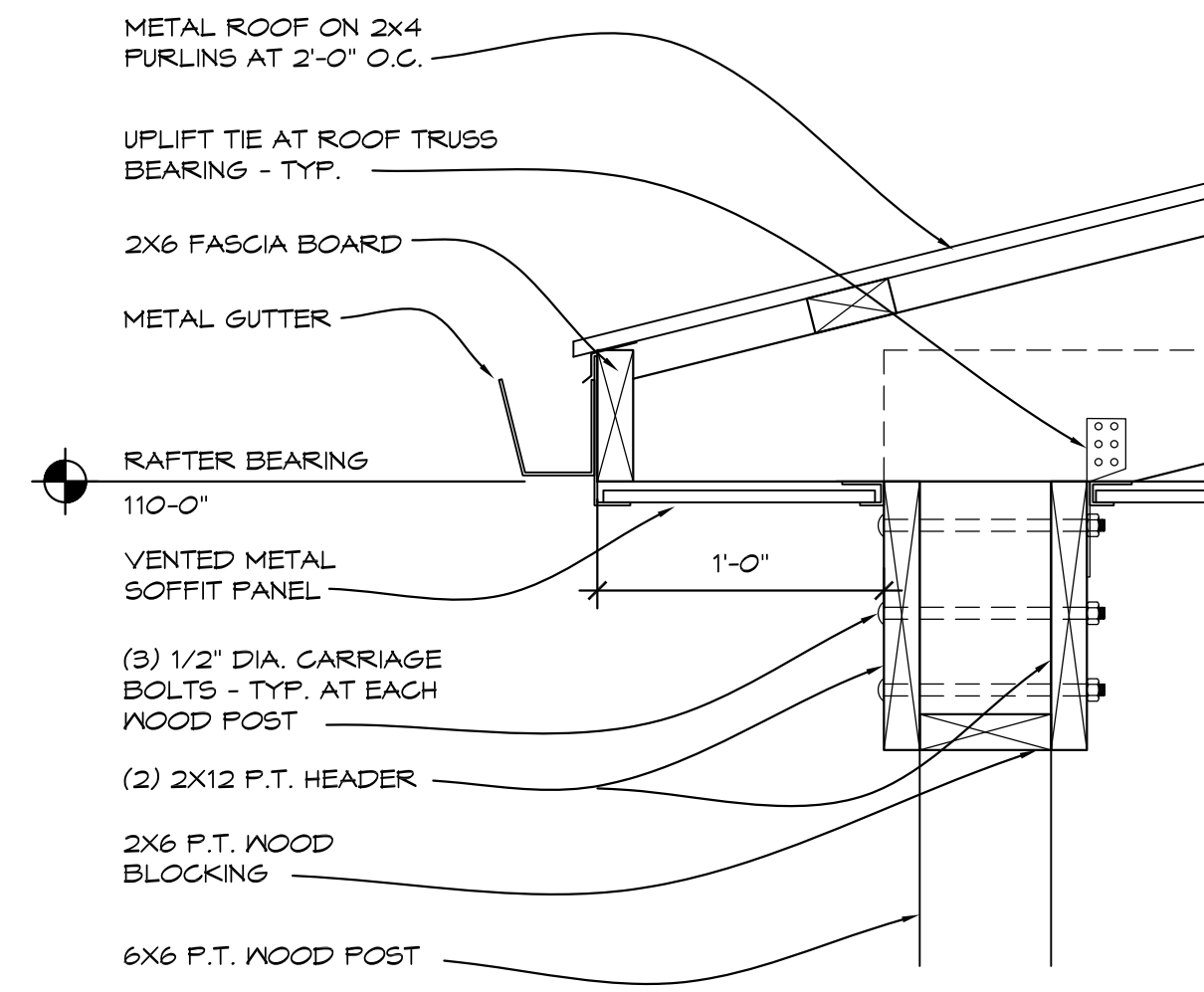
1 FASCIA DETAIL

1 1/2" x 1'-0" SEC01.DWG



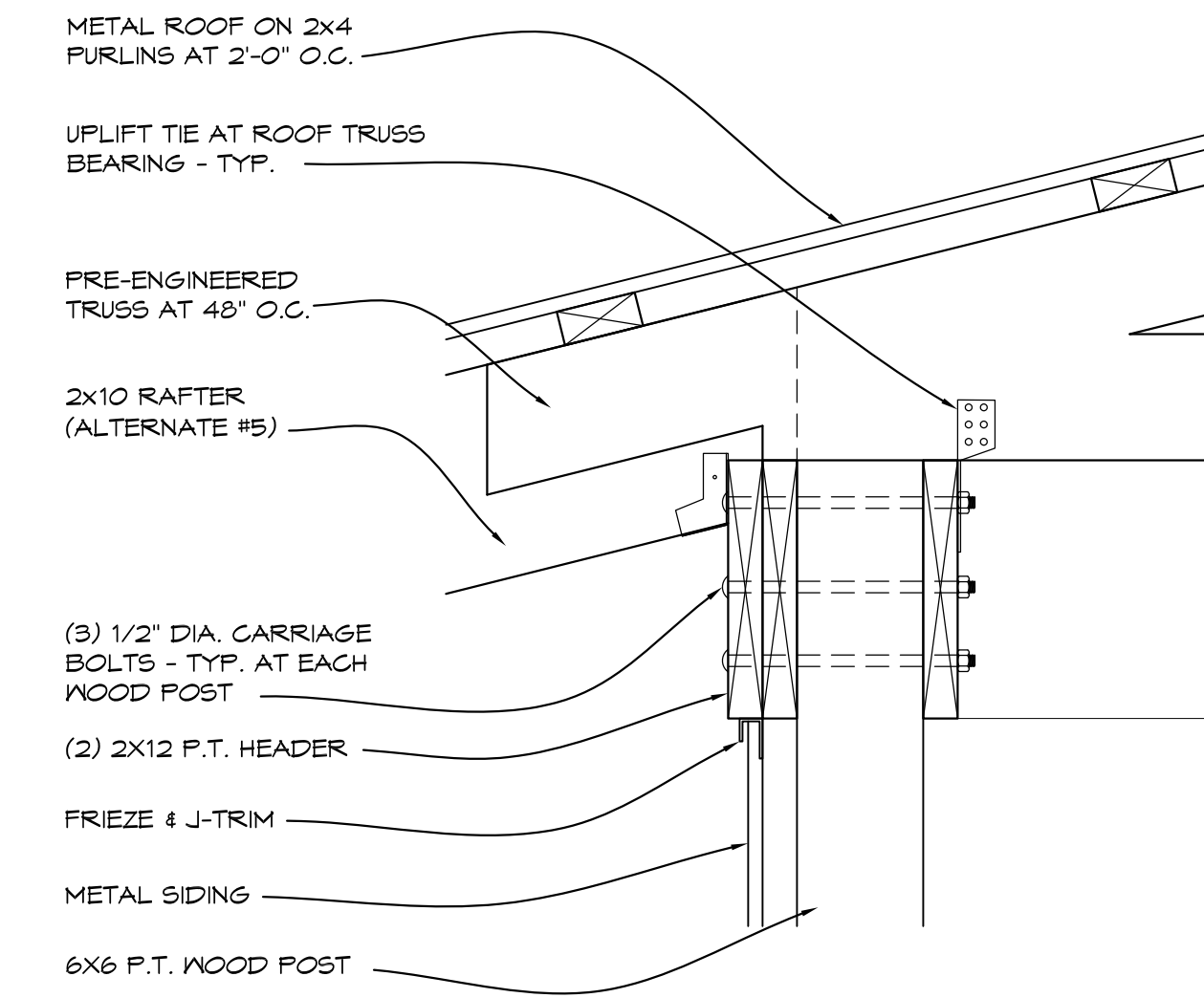
2 FOUNDATION DETAIL

1 1/2" x 1'-0" SEC01.DWG



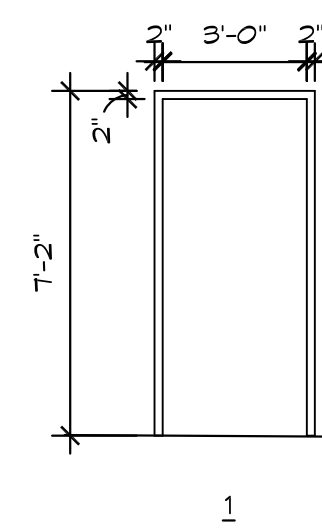
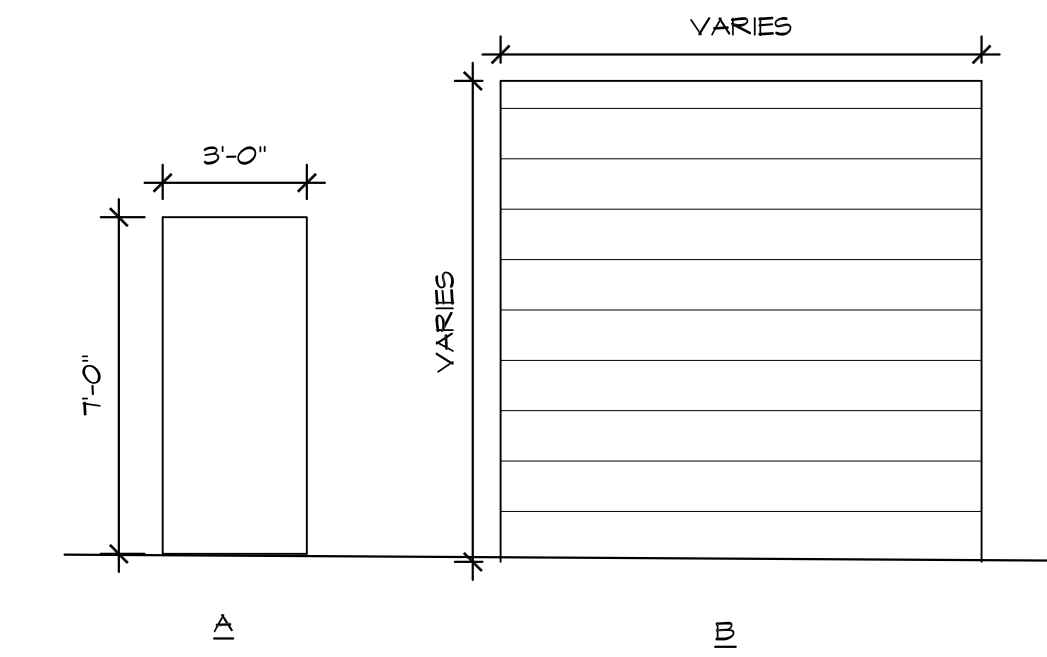
3 COLUMN DETAIL

1 1/2" x 1'-0" SEC01.DWG



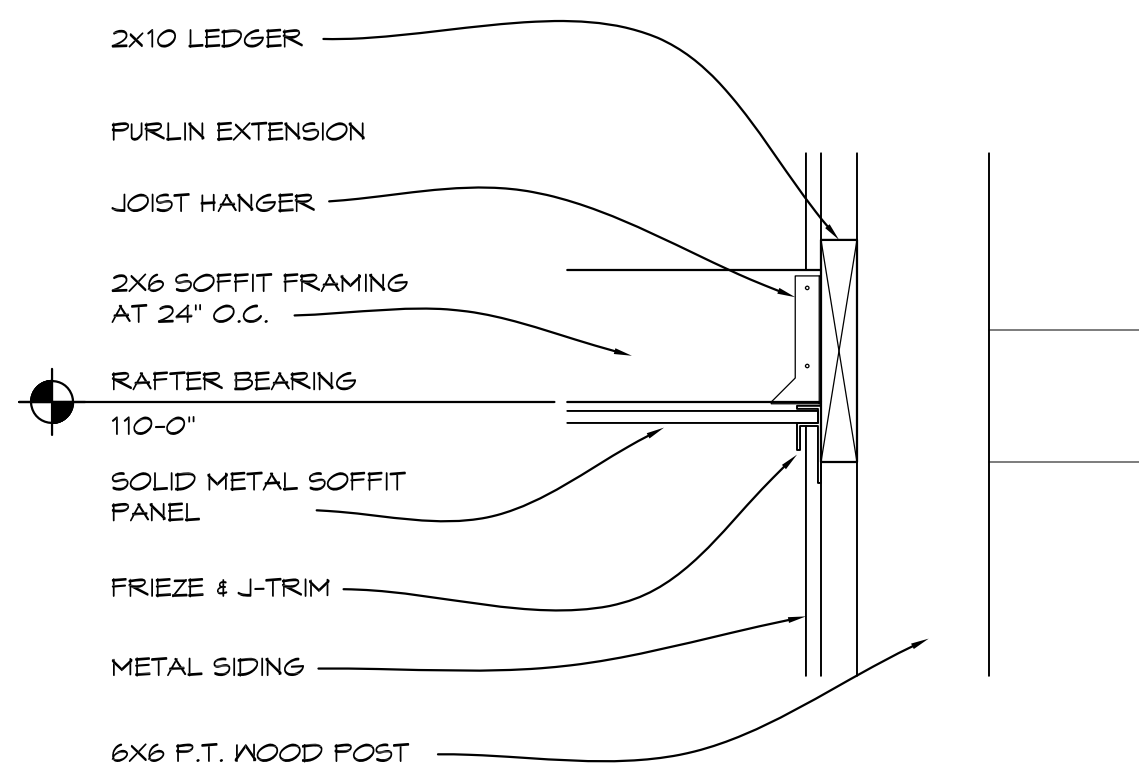
4 WALL DETAIL

1 1/2" x 1'-0" SEC01.DWG



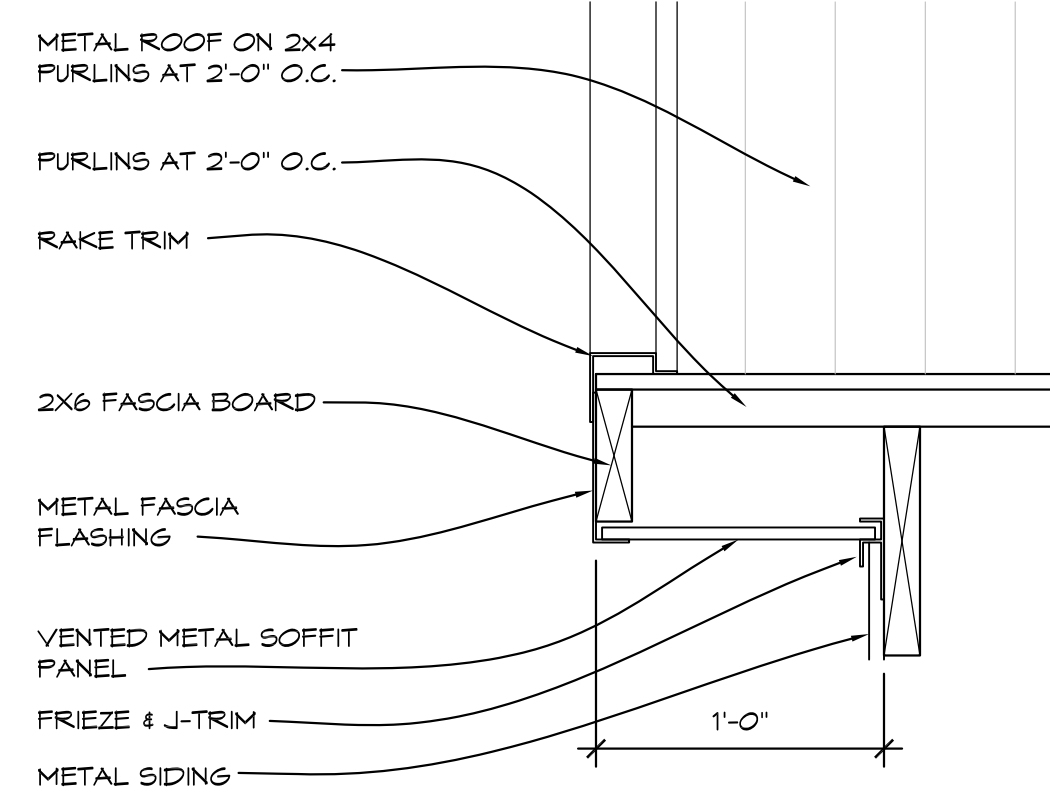
DOOR & FRAME ELEVATIONS

1/4" = 1'-0" DR. ELEV.DWG



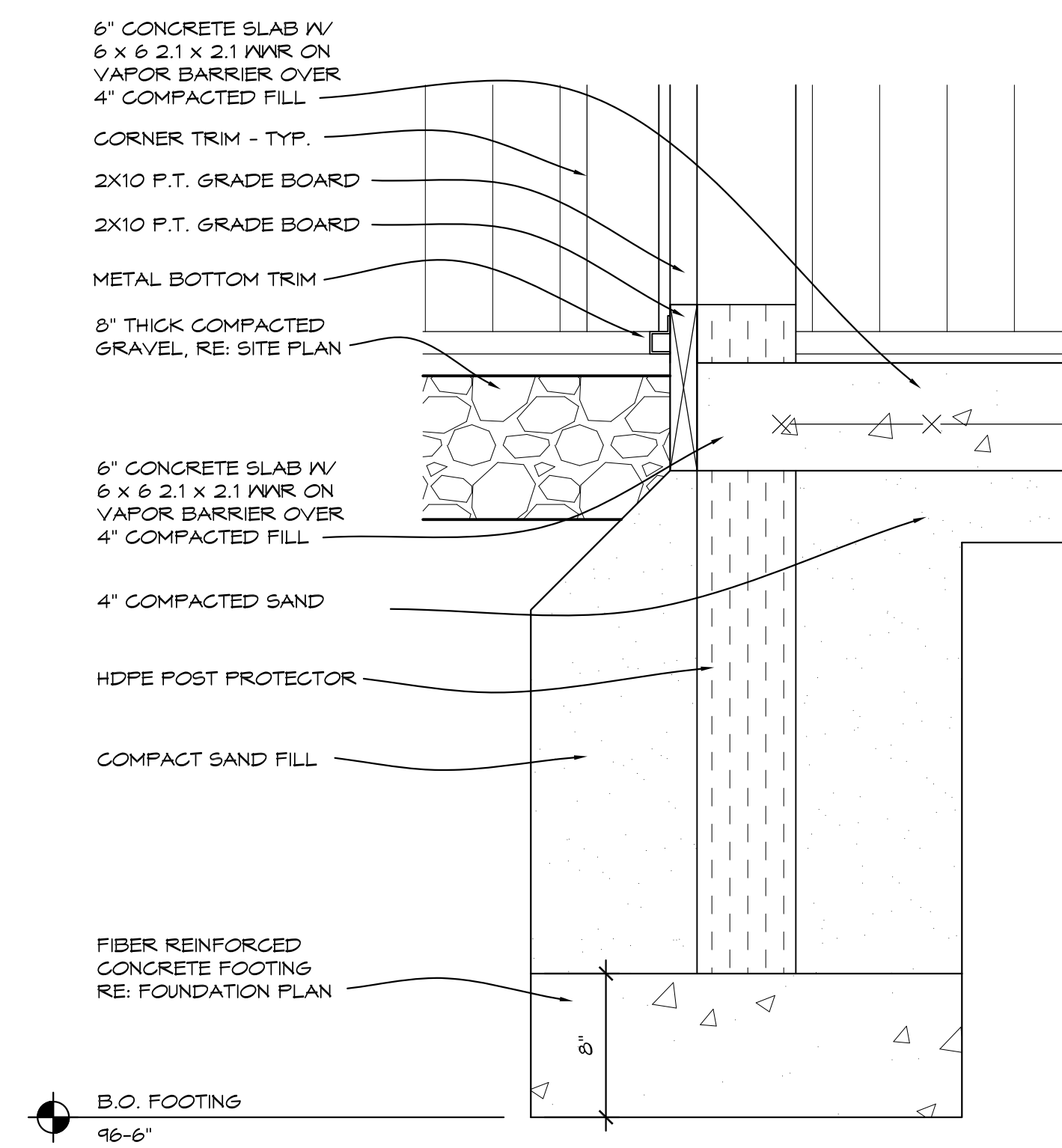
5 WALL DETAIL

1 1/2" x 1'-0" SEC01.DWG



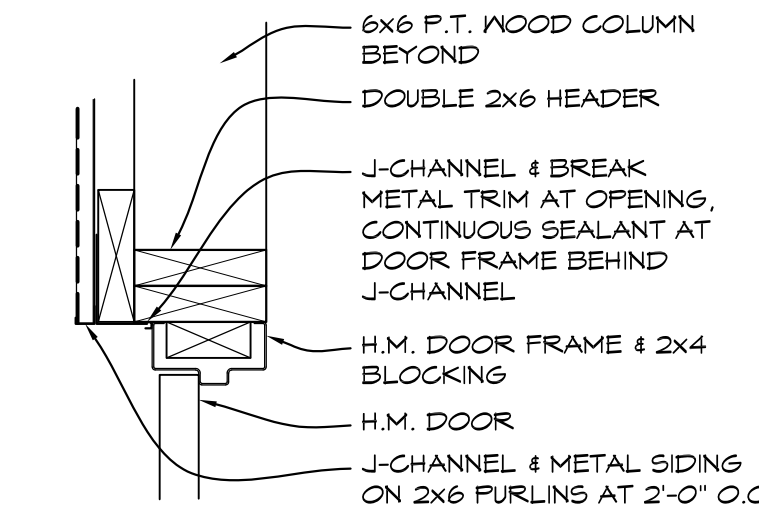
6 FASCIA DETAIL

1 1/2" x 1'-0" SEC01.DWG



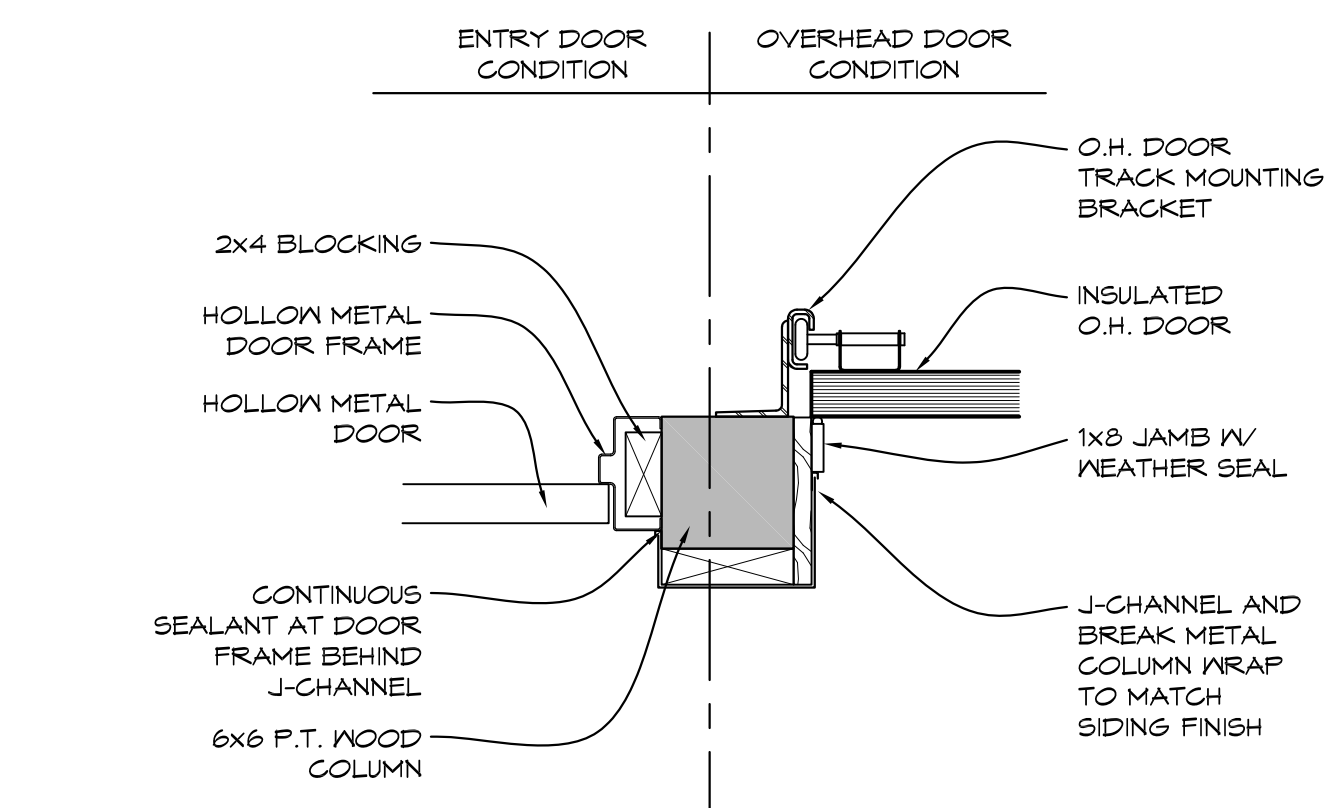
7 FOUNDATION DETAIL

1 1/2" x 1'-0" SEC01.DWG



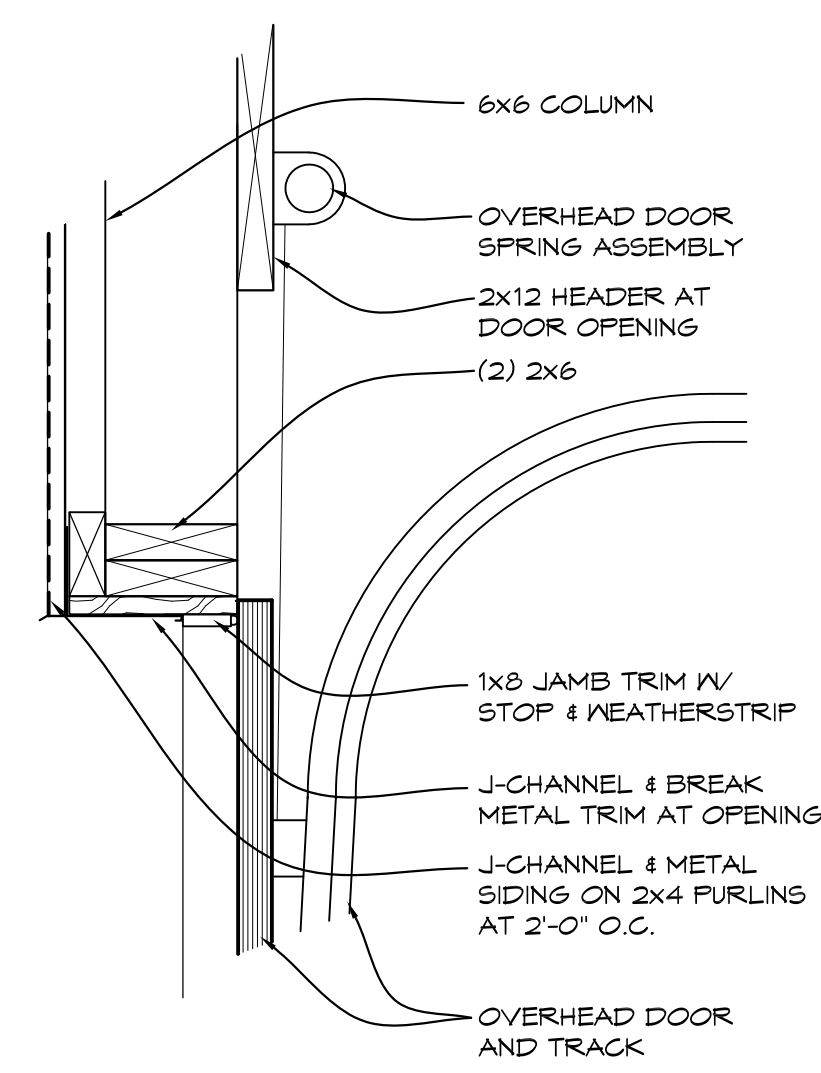
8 DOOR HEAD

1 1/2" x 1'-0" FB DOOR.H



9 DOOR JAMB

1 1/2" x 1'-0" FB DOOR.J



10 OVERHEAD DOOR HEAD

1 1/2" x 1'-0" OHD H.DWG

DOOR & FRAME SCHEDULE										
DOOR NO.	DOOR			FRAME			FIRE RATING (MINUTED)	HARDWARE	NOTES	
	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD				JAMB
H100	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	HO7	
H101	10'-0"x10'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	---	OVERHEAD DOOR
H102	10'-0"x10'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	---	OVERHEAD DOOR
H103	10'-0"x10'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	---	OVERHEAD DOOR
H104	10'-0"x12'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	---	OVERHEAD DOOR
H105	14'-0"x12'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	---	OVERHEAD DOOR
H106	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	HO4	
H107	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	HO4	
H108	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	HO7	
H109	8'-0"x8'-0"	B	MTL	---	---	10/F-A103	9/F-A103	---	---	OVERHEAD DOOR
H110	3'-0"x7'-0"	A	HM	1	HM	8/F-A103	9/F-A103	---	HO7	

NO.	REVISIONS / SUBMISSIONS	DATE

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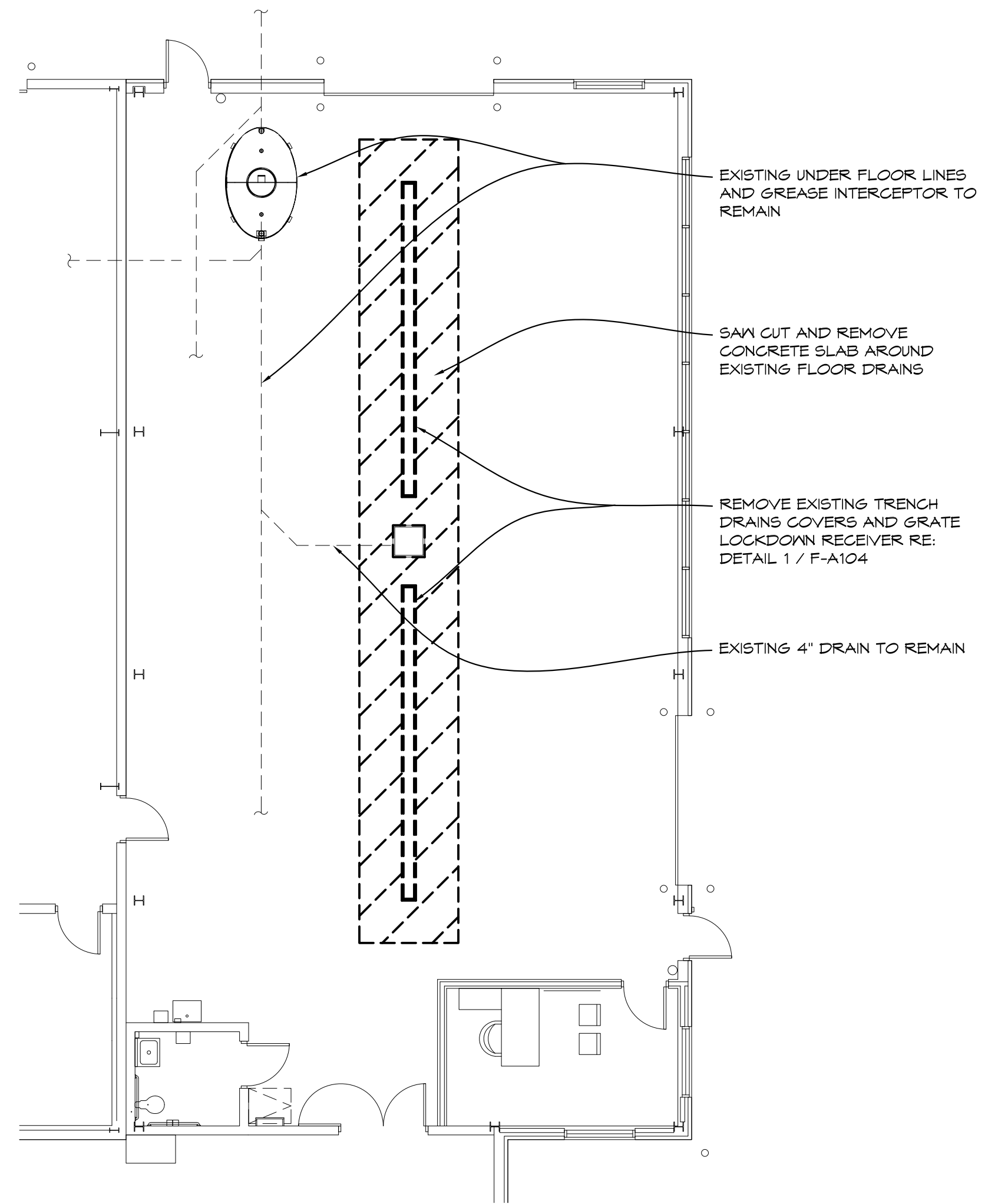
PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
POLE BARN ENLARGED DETAILS

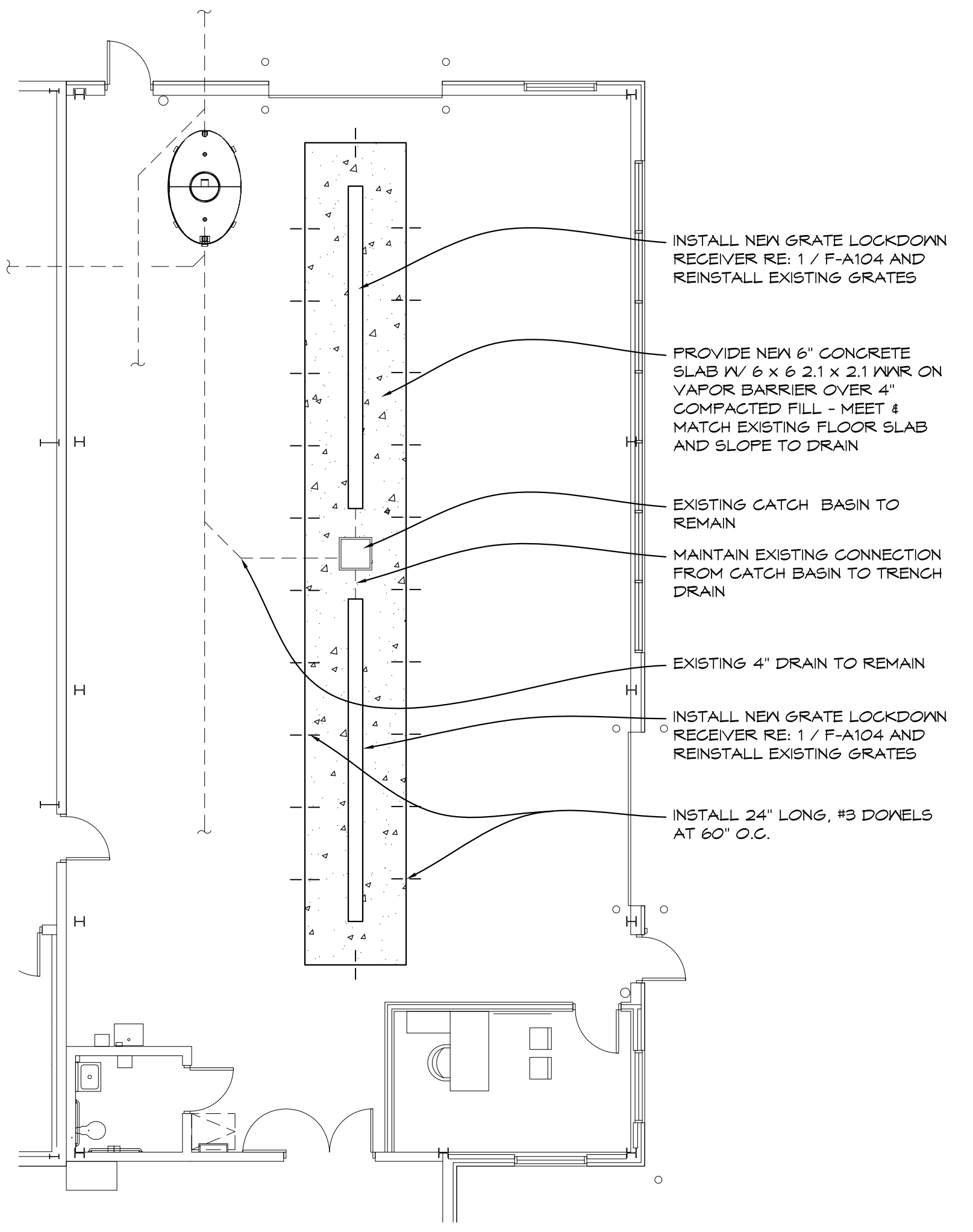
SEAL	DRAWN EPS	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. F-A103
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	F-A103
	SCALE AS NOTED	SHEET NO. 8 OF 13

PROJECT 'F'

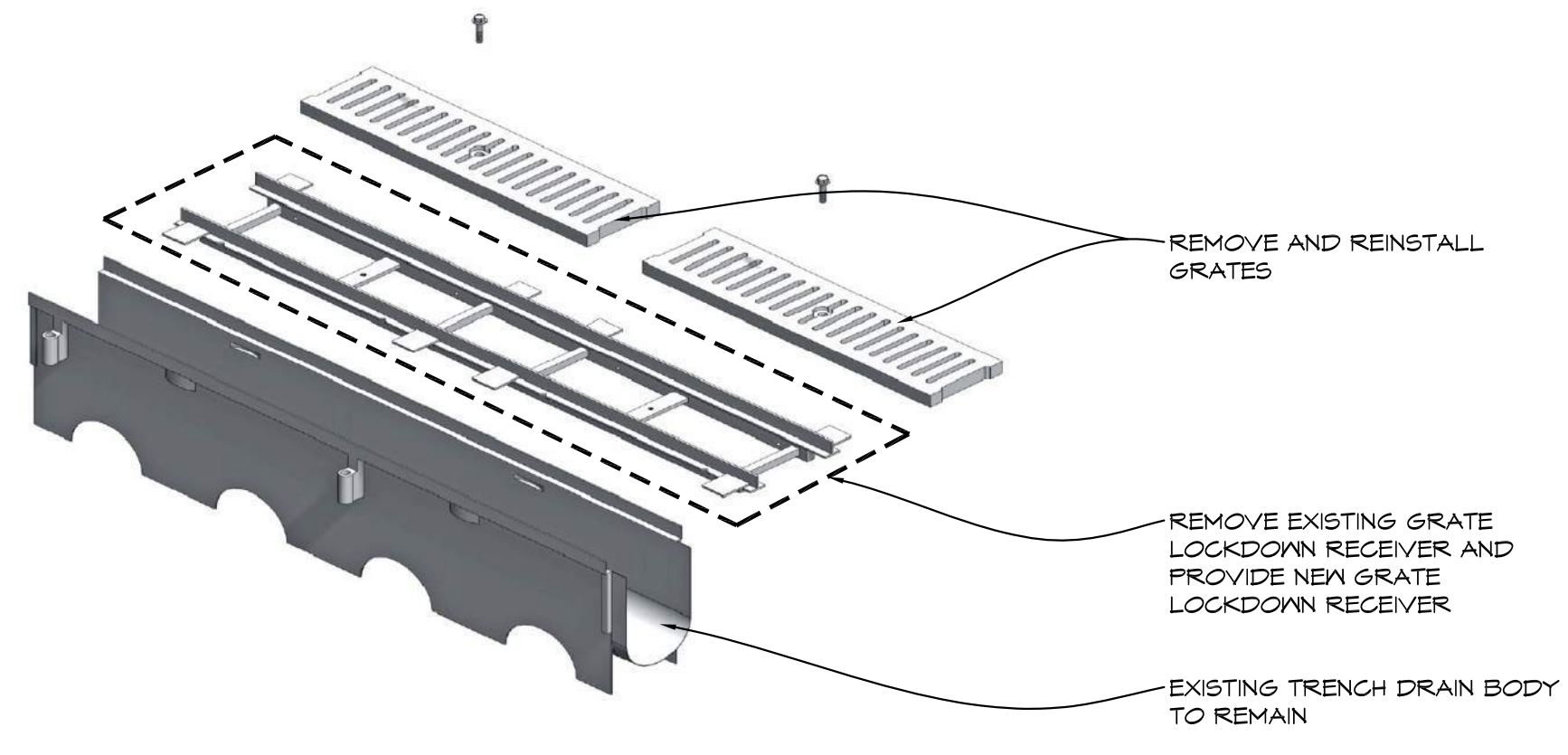
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PARTIAL DEMOLITION PLAN
1/8" = 1'-0"
X01



PARTIAL FLOOR PLAN
1/8" = 1'-0"
X01



1 TRENCH DRAIN DETAIL
N.T.S.

GENERAL NOTES

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- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK.

NO.	REVISIONS / SUBMISSIONS	DATE



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PROJECT 'F'
SITE WORK AT MAINTENANCE BUILDING & NEW POLE BARN
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
MAINTENANCE BUILDING PARTIAL DEMOLITION PLAN, PARTIAL FLOOR PLAN, AND DETAIL

SEAL	DRAWN EVA	PROJECT NO. 24-120
	CHECKED JESS	CAD FILE NO. F-A104
	REVIEWED MLB	DRAWING NO. F-A104
	DATE OCT 18, 2024	SHEET NO.
	SCALE AS NOTED	9 OF 13

PROJECT 'F'

**GENERAL
PLUMBING NOTES**

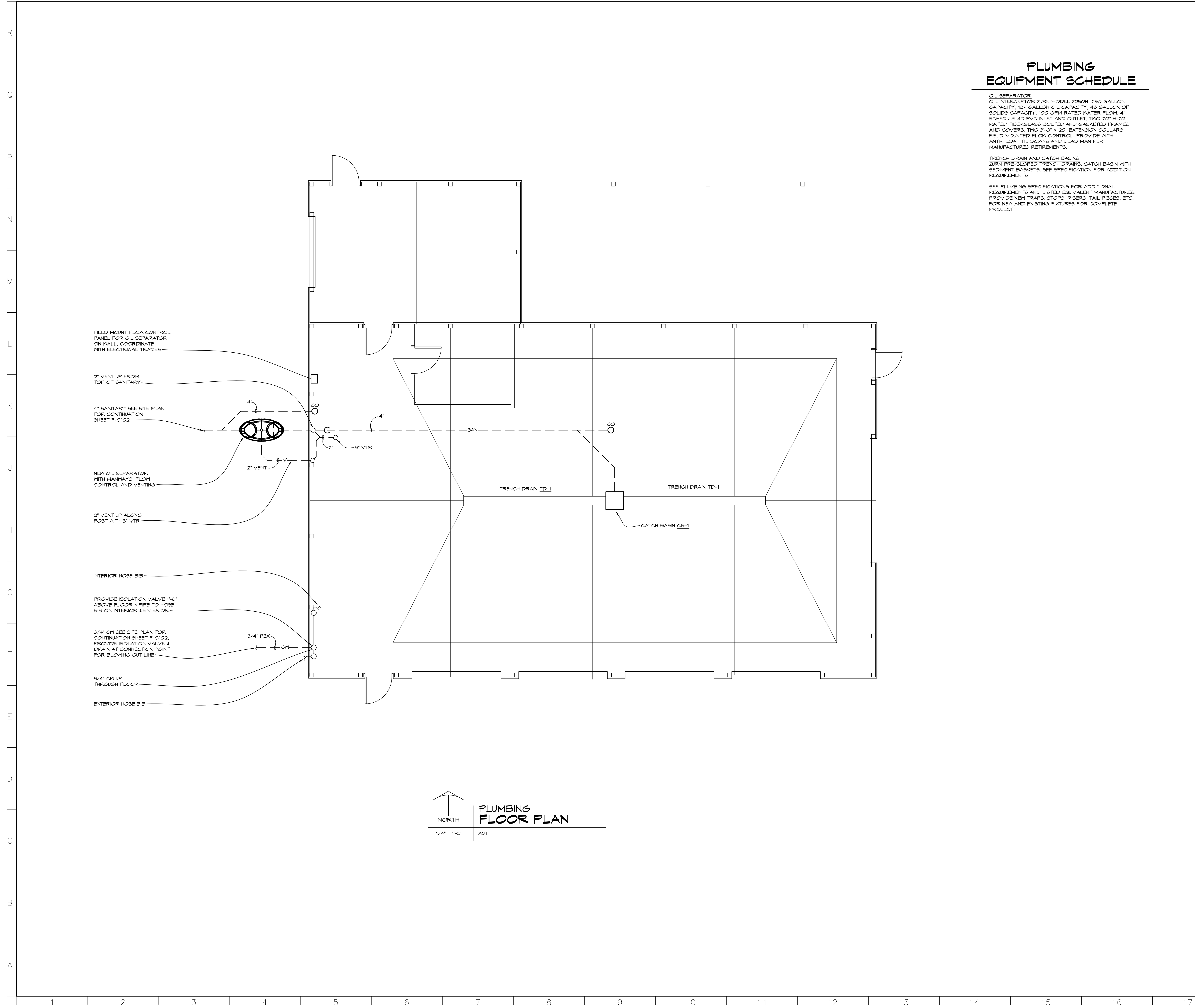
- SEE ALL PLANS FOR REQUIRED WORK
- OWNER HAS FIRST RIGHT OF REFUSAL, OTHERWISE DISPOSE FROM SITE
- FIELD VERIFY ALL EXISTING PIPING AND ADJUST PIPING AS REQUIRED FOR NEW WORK
- ALL WORK SHALL BE SCHEDULED WITH SCHOOL ANY INTERRUPTIONS OF HEATING, GAS, WATER SERVICE, POWER, ETC. SHALL BE COORDINATED TWO WEEK PRIOR TO REQUIRED WORK
- COORDINATE ALL WORK WITH ARCHITECTURAL AND ELECTRICAL DRAWINGS AND TRADES. VERIFY EXACT SIZES AND LOCATIONS OF ALL WALLS, OPENINGS, EQUIPMENT, ETC. REQUIRED OF THESE TRADES.
- AT AREAS OF DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR REMOVING, CAPPING, DISCONNECTING ALL INCIDENTAL ITEMS.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.

**PLUMBING
EQUIPMENT SCHEDULE**

OIL SEPARATOR
OIL INTERCEPTOR ZURN MODEL Z250H, 250 GALLON CAPACITY, 104 GALLON OIL CAPACITY, 40 GALLON OF SOLIDS CAPACITY, 100 GPM RATED WATER FLOW, 4" SCHEDULE 40 IRVQ INLET AND OUTLET, TWO 20" H=20 RATED FIBERGLASS BOLTED AND GASKETED FRAMES AND COVERS, TWO 3'-0" X 20" EXTENSION COLLARS, FIELD MOUNTED FLOW CONTROL, PROVIDE WITH ANTI-FLOAT TIE DOWNS AND DEAD MAN PER MANUFACTURERS RETIREMENTS.

TRENCH DRAIN AND CATCH BASINS
ZURN PRE-SLOPED TRENCH DRAINS, CATCH BASIN WITH SEDIMENT BASKETS. SEE SPECIFICATION FOR ADDITION REQUIREMENTS

SEE PLUMBING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND LISTED EQUIVALENT MANUFACTURERS. PROVIDE NEW TRAPS, STOPS, RISERS, TAIL PIECES, ETC. FOR NEW AND EXISTING FIXTURES FOR COMPLETE PROJECT.



**PLUMBING
FLOOR PLAN**
1/4" = 1'-0" X01

NO.	REVISIONS / SUBMISSIONS	DATE

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PROJECT 'F'
**SITE WORK AT
MAINTENANCE BUILDING
& NEW POLE BARN**
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
**POLE BARN
PLUMBING PLAN**

SEAL	DRAWN CJV/KLS	PROJECT NO. 24-120
	CHECKED KLS	CAD FILE NO. F-P101
	REVIEWED MLB	DRAWING NO.
	DATE OCT 18, 2024	F-P101
	SCALE 1/4" = 1'-0"	SHEET NO. 10 OF 13

PROJECT 'F'

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ABBREVIATIONS

A, AMP AMPERES
AF AMP FUSE OR AMP FRAME
AFC AVAILABLE FAULT CURRENT (SYMMETRICAL)
A.F.F. ABOVE FINISHED FLOOR
AIC AMPERE INTERRUPTING CAPACITY
AM AMP METER
ASYM. ASYMMETRICAL
AT AMP TRIP
ATS AUTOMATIC TRANSFER SWITCH
AWG AMERICAN WIRE GAUGE
C CONDUIT
CAP. CAPACITY OR CAPACITOR
CATV COMMUNITY ANTENNA TELEVISION
CB CIRCUIT BREAKER
CCIV CLOSED CIRCUIT TELEVISION
CCTV CIRCUIT TELEVISION
C.O. CONDUIT ONLY
CONN. CONNECT OR CONNECTION
CU COPPER
DA DURESS ALARM
DB DOOR BELL
DISC. DISCONNECT
DPST DOUBLE POLE SINGLE THROW
EC ELECTRICAL CONTRACTOR
EWC ELECTRIC WATER COOLER
ELEC. ELECTRIC OR ELECTRICAL
ELEV. ELEVATION OR ELEVATOR
EMERG. EM EMERGENCY
EPO EMERGENCY POWER OFF
EMT ELECTRICAL METAL TUBING
FIXT. FIXTURE
FLA FULL LOAD AMPERES
FLUOR. FLUORESCENT
GRC, GCR GALVANIZED RIGID CONDUIT
GEN. GENERATOR
GFI GROUND FAULT CIRCUIT INTERRUPTER
GFI GROUND FAULT INTERRUPTER
GND, GND.G GROUND
HD HIGH INTENSITY DISCHARGE
HDA HAND-OFF-AUTO
HP HORSEPOWER
HPS HIGH PRESSURE SODIUM
HE HERTZ
IMC INTERMEDIATE METAL CONDUIT
I.C. ISOLATED GROUND
INCAND. INCANDESCENT
JB JUNCTION BOX
KAIC THOUSAND AMPERE INTERRUPTING CAPACITY
KVA KILOWATT AMPERES
KH KILOWATT HOUR
LTH LIGHTING
LV LOW VOLTAGE
MATV MASTER ANTENNA TELEVISION
MCB MAIN CIRCUIT BREAKER
MCC MOTOR CONTROL CENTER
MH MANHOLE METAL HALIDE OR MOUNTING HEIGHT
MLO MAIN LUGS ONLY
N.C. NORMALLY CLOSED
N.E.C. NATIONAL ELECTRICAL CODE
N.I.C. NOT IN CONTRACT
NF NON FUSIBLE
N.O. NORMALLY OPEN
NTS NOT TO SCALE
OL OVERLOADS
P POLE
PB PULLBOX
PH OR Ø PHASE
PNL PANEL
PAR PAR
PVC POLYVINYL CHLORIDE
PWR. POWER
REC RECEPTACLE
RCS RIGID GALVANIZED STEEL
SOL SOLENOID
SPDT SINGLE POLE DOUBLE THROW
SPKR SPEAKER
SPST SINGLE POLE SINGLE THROW
SW. SWITCH
SYM. SYMMETRICAL
TEL TELEPHONE
XBAR TRANSFORMER
TIB TELEPHONE TERMINAL BACKBOARD
TV TELEVISION
TYP. TYPICAL
UG UNDERGROUND
U.O.N. UNLESS OTHERWISE NOTED
V VOLT
VA VOLT AMPERES
VD VOLTAGE DROP
VM VOLT METER
W WIRE
W/ WITH
W/O WITHOUT
WP WEATHERPROOF
XP EXPLOSION PROOF

GENERAL

KEY NOTE REFERENCE SYMBOL DENOTES "SEE KEY NOTE NO. 2"
FOOT ON DEVICE INDICATES WALL MOUNTED

DEMOLITION AND REMODEL

EXISTING ELECTRICAL ITEM TO BE REMOVED
EXISTING ELECTRICAL ITEM TO BE REMOVED AND RELOCATED
EXISTING ELECTRICAL ITEM RELOCATED. NEW LOCATION
EXISTING ELECTRICAL ITEM TO REMAIN
EXISTING ELECTRICAL ITEM TO BE REMOVED AND PROVIDED WITH A BLANK COVERPLATE
EXISTING ELECTRICAL OR SYSTEMS CIRCUIT TO REMAIN
EXISTING ELECTRICAL CIRCUIT TO BE REMOVED SHOWN ONLY WHERE CLARIFICATION BETWEEN EXISTING TO REMAIN AND REMOVED ITEMS IS REQUIRED

CIRCUIT DESIGNATIONS

BRANCH CIRCUIT HOMERUN. PROVIDE PHASE, NEUTRAL AND GROUND CONDUCTORS FOR EACH INDICATED CIRCUIT OR MULTI WIRE BRANCH AS REQUIRED. PROVIDE SWITCH LESS FOR SWITCH CIRCUITING AS REQUIRED. PROVIDE EQUIPMENT GROUND WIRE IN ALL BRANCH CIRCUIT RACKWAYS/CIRCUITS. PROVIDE SEPARATE ISOLATED GROUND WIRE TO ALL ISOLATED GROUND DEVICES.

CONDUIT SIZE	MAX QUANTITY OF CONDUCTORS PER CONDUIT CONDUCTOR SIZE			
	1/2 INCH	3/4 INCH	1 INCH	1 1/4 INCH
12	1	1	1	1
10	1	1	1	1
8	1	1	1	1
6	1	1	1	1
4	1	1	1	1
3	1	1	1	1
2	1	1	1	1
1	1	1	1	1

CONDUIT RISER UP
CONDUIT RISER DOWN
INDICATES CIRCUIT CONTINUATION
STUB INTO ACCESSIBLE CORRIDOR CEILING SPACE UNLESS OTHERWISE NOTED
CONDUIT SEAL FITTING FOR HAZARDOUS AREAS
CONDUIT SLEEVE
CAP END OF CONDUIT
CABLE OR CORD CONNECTION

LIGHTING

NOTE A: UPPER CASE ALPHANUMERIC SUBSCRIPT DENOTES FIXTURE TYPE. SEE SCHEDULE(S)
NOTE B: LOWER CASE LETTER SUBSCRIPT PROVIDED ADJACENT TO SWITCHING DEVICE AND ASSOCIATED LIGHT FIXTURE(S) WHERE REQUIRED FOR CLARIFICATION

○ CEILING LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE
◊ DIRECTIONAL AYMED FIXTURE AIM IN DIRECTION OF ARROW
◇ WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE

□ LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE
▯ WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE
▮ UNDER CABINET/COUNTER LIGHT OUTLET OR STRIP LIGHT OUTLET WITH FIXTURE CONNECTED TO NORMAL SOURCE
▭ LINEAR PENDANT/SUSPENDED LIGHT FIXTURE CONNECTED TO NORMAL SOURCE
◌ EXIT LIGHT OUTLET WITH FIXTURE - SHADING INDICATES LOCATION OF FACE(S). ARROWS INDICATE DIRECTIONAL ARROWS WHERE REQUIRED. WALL MOUNTED SIGNS AT +90° CENTERED ABOVE DOOR WHERE APPLICABLE
⊕ EMERGENCY LIGHT FIXTURE WITH INTEGRAL BATTERY SOURCE AND ADJUSTABLE HEADS

⊗ TRACK LIGHT OUTLET WITH FIXTURE. TYPE INDICATED, QUANTITY AND LENGTH AS SHOWN OR SCHEDULED
⊕ PENDANT LIGHT FIXTURE CONNECTED TO NORMAL SOURCE
□ LIGHTING STANDARD POLE FIXTURE, PROVIDE QUANTITY OF HEADS AND ORIENTATION AS INDICATED
◊ LIGHTING STANDARD WITH POST-TOP FIXTURE
⊕ BOLLARD FIXTURE
⊕ CEILING LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)
◊ WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)
◊ LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)
◊ WALL BRACKET LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)
▭ STRIP LIGHT OUTLET WITH FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)
⊕ PENDANT LIGHT FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)
▭ LINEAR PENDANT/SUSPENDED LIGHT FIXTURE CONNECTED TO EMERGENCY SOURCE (LIFE SAFETY BRANCH)

S SWITCH AT +48" U.O.N.
THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE VARIOUS TYPES OF SWITCHES.
NO SUBSCRIPT - SINGLE POLE
2 - DOUBLE POLE
3 - THREE WAY
4 - FOUR WAY
D - LIGHTING DIMMER
P - PILOT LIGHT
L - LIGHTED HANDLE
K - KEY OPERATED
TE - MANUAL STARTER WITH THERMAL ELEMENT
XP - EXPLOSION PROOF
M - MOTOR RATED

□ LOW VOLTAGE SWITCH
☒ PHOTOCELL
⌚ TIME CLOCK AT +48"
☑ OCCUPANCY SENSOR WITH INTEGRAL SWITCH-WALL MOUNTED AT +48"
☉ OCCUPANCY SENSOR - CEILING MOUNTED

THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPES OF OCCUPANCY SENSORS
NO SUBSCRIPT - COMBINATION INFRARED/ULTRASONIC SENSOR
I - INFRARED SENSOR
U - ULTRASONIC SENSOR

POWER AND DIAGRAMS

NOTE A: OUTLETS IN FINISHED OR SHELL SPACES SHALL BE MOUNTED AT +18" U.O.N.
NOTE B: RECEPTACLES LOCATED AT COUNTERS SHALL BE LOCATED 18" AFF IN KNEE SPACE IF PROVIDED OR 4" ABOVE COUNTER OR BACK SPLASH AS APPLICABLE IF NO KNEE SPACE IS PROVIDED U.O.N.
NOTE C: WHERE (AC) IS INDICATED NEXT TO RECEPTACLES AT WORK COUNTER, RECEPTACLES SHALL BE LOCATED ABOVE COUNTER RATHER THAN IN KNEE SPACE.

NOTE D: RECEPTACLES IN MECHANICAL AND ELECTRICAL SPACES SHALL BE MOUNTED AT +48" U.O.N.

THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE DIFFERENT TYPES OF RECEPTACLES

GF - GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE AT +42" IN TOILETS
ST - SAFETY TYPE RECEPTACLE
XP - EXPLOSION PROOF RECEPTACLE
IG - ISOLATED GROUND RECEPTACLE
WP - WEATHERPROOF
SW - TOP HALF OF DUPLEX RECEPTACLE SWITCHED
CL - CLOCK RECEPTACLE AT +84"
H - HORIZONTAL MOUNTING
U - RECEPTACLE SERVED BY UPS

⊕ 20A, 125V, 2 POLE, 3 WIRE GROUNDING DUPLEX RECEPTACLE, NEMA 5-20R
⊕ 20A, 125V, 2 POLE, 3 WIRE GROUNDING SINGLE RECEPTACLE, NEMA 5-20R
⊕ 20A, 125V, 2 POLE, 3 WIRE GROUNDING DOUBLE DUPLEX RECEPTACLE, NEMA 5-20R

⊕ PEDESTAL TYPE, FLOOR OR COUNTER MOUNTED RECEPTACLE RECEPTACLE TYPE AS INDICATED ABOVE
⊕ CEILING MOUNTED RECEPTACLE, TYPE AS INDICATED ABOVE
⊕ FLUSH FLOOR BOX WITH RECEPTACLE, TYPE AS INDICATED ABOVE
⊕ COMBINATION POWER/COMMUNICATIONS FLOOR BOX, SEE COMMUNICATIONS PLAN FOR SYSTEMS DEVICE

⊕ PIGTAIL DENOTES CONNECTION TO LIGHT SWITCH, LIGHT FIXTURE OR FIXED EQUIPMENT
⊕ SPECIAL PURPOSE RECEPTACLE SUBSCRIPT DENOTES NEMA TYPE, REFER TO SPECIFICATIONS

⊕ JUNCTION BOX, 4 INCH SQUARE UNLESS OTHERWISE NOTED

⊕ PLUG-IN RECEPTACLE STRIP (LENGTH AS INDICATED)
⊕ TELECOMMUNICATIONS/POWER POLE
⊕ 208 VOLT PANELBOARD AT +72" TO TOP
⊕ 480 VOLT PANELBOARD AT +72" TO TOP
□ CABLE TRAY OR WIREWAY

□ SAFETY SWITCH AT +54", CHARACTERISTICS AS INDICATED BY FRAME/POLES.

⊕ FUSED SAFETY SWITCH AT +54", CHARACTERISTICS AS INDICATED BY FRAME/FUSE/POLES/POLES.

⊕ MAGNETIC MOTOR STARTER AT +54", CHARACTERISTICS AS INDICATED BY FRAME SIZE/POLES/NEMA SIZE.

⊕ COMBINATION MAGNETIC MOTOR STARTER WITH DISCONNECT AT +54", CHARACTERISTICS AS INDICATED BY FRAME/FUSE/POLES/NEMA SIZE

⊕ ADJUSTABLE FREQUENCY DRIVE
⊕ MAGNETIC CONTACTOR AT +54". AMPS/POLES/CONTACT VOLTS/ COIL VOLTS AS INDICATED.
⊕ SEPARATELY MOUNTED, ENCLOSED MOLDED CASE CIRCUIT BREAKER AT +48". FLUSH MOUNTED IN FINISHED AREAS. AMP/POLES AS INDICATED.

⊕ CIRCUIT BREAKER, AMP/POLES AS INDICATED
⊕ FUSE, SIZE AS INDICATED
⊕ FUSIBLE SWITCH, AMP/POLES/FUSE SIZE AS INDICATED

⊕ AUTOMATIC TRANSFER SWITCH +72" TO TOP OR FLOOR MOUNTED.

⊕ DISCONNECT STABS FOR DRAWOUT TYPE EQUIPMENT

⊕ TRANSFORMER

⊕ GROUND CONNECTION
⊕ MOTOR CONNECTION, HP AS INDICATED
⊕ GENERATOR
⊕ START-STOP PUSHBUTTON STATION AT +48"
⊕ GROUNDING SYSTEM TEST WELL
⊕ GROUNDING CONNECTION
⊕ GROUND BUS ON STANDOFFS
⊕ CONTROL PANEL: INTEGRAL PART OF, OR FURNISHED BY OTHER THAN DIVISION 16
⊕ EQUIPMENT OR TERMINAL CABINET AT +72" TO TOP
⊕ POWER SUPPLY
⊕ PUSHBUTTON STATION AT +48"

FIRE DETECTION AND ALARM

⊕ CONTROL PANEL AT +72" TO TOP
⊕ FIRE ALARM ANNUNCIATOR PANEL AT +72" TO TOP
⊕ FIRE SUPPRESSION SYSTEM ABORT SWITCH STATION AT +48"
⊕ MANUAL STATION AT +48"
THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPE OF MANUAL STATIONS, FIRE SUPPRESSION SYSTEM CONTROL PANELS AND/OR ABORT SWITCHES
NO SUBSCRIPT - STANDARD FIRE ALARM PULL STATION
⊕ SMOKE DETECTOR
THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPE OF SMOKE DETECTORS
NO SUBSCRIPT - PHOTO ELECTRIC AREA BEAM
⊕ DUCT SMOKE DETECTOR
⊕ AUTOMATIC HEAT DETECTOR
THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS TYPE OF HEAT DETECTORS
NO SUBSCRIPT - FIXED TEMPERATURE (155 DEGREE U.O.N.)
R/F - COMBINATION RATE OF RISE FIXED TEMPERATURE (135 DEGREE U.O.N.)
XP - EXPLOSION PROOF, FIXED TEMPERATURE (135 DEGREE U.O.N.) CLASS 1, GROUP C
NOTE: WALL MOUNT VISUAL AND COMBINATION AUDIO/VISUAL NOTIFICATION APPLIANCES AT +80" AFF TO BOTTOM OF FACE PLATE U.O.N.

⊕ VISUAL NOTIFICATION APPLIANCE
⊕ WALL MOUNTED AUDIBLE NOTIFICATION APPLIANCE
⊕ WALL MOUNTED COMBINATION AUDIBLE/VISUAL NOTIFICATION APPLIANCE
⊕ CEILING MOUNTED VISUAL NOTIFICATION APPLIANCE
⊕ CEILING MOUNTED COMBINATION AUDIBLE/VISUAL NOTIFICATION APPLIANCE
⊕ MAGNETIC DOOR HOLDER/RELEASE. COORDINATE MOUNTING HEIGHT WITH DOOR MANUFACTURER.
⊕ SPRINKLER OR STANDPIPE FLOW ALARM SWITCH CONNECTION
⊕ VALVE TAMPER SWITCH
⊕ SOLENOID VALVE FOR PREACTION SPRINKLER SYSTEM
⊕ AIR PRESSURE MONITOR SWITCH FOR PRE-ACTION OR DRY PIPE SPRINKLER SYSTEM

⊕ CEILING MOUNTED REMOTE ALARM INDICATOR
⊕ WALL MOUNTED REMOTE ALARM INDICATOR AND TEST STATION AT +48"
⊕ FIRE FIGHTERS TELEPHONE JACK AT +48"
⊕ FIRE FIGHTERS TELEPHONE HANDSET AT +48"

TELECOMMUNICATION

GENERAL NOTES

NOTE A: OUTLETS IN FINISHED OR SHELL SPACES SHALL BE MOUNTED AT +18" U.O.N.
NOTE B: OUTLETS LOCATED AT COUNTERS SHALL BE LOCATED 18" AFF IN KNEE SPACE IF PROVIDED OR 4" ABOVE COUNTER OR BACK SPLASH AS APPLICABLE IF NO KNEE SPACE IS PROVIDED U.O.N.
NOTE C: WHERE ASTERISK (*) IS INDICATED NEXT TO OUTLET AT WORK COUNTER, OUTLET SHALL BE LOCATED ABOVE COUNTER RATHER THAN IN KNEE SPACE.

⊕ STANDARD TELECOMMUNICATIONS OUTLET - PROVIDE EXTRA DEEP DOUBLE GANG BOX WITH SINGLE GANG MUD RING AND 1-1/4" CONDUITS TO ABOVE FINISHED CEILING. PROVIDE PLASTIC BUSHING AT THE ENDS OF THE CONDUITS. DATA DEVICES AND WIRING PROVIDED BY OTHERS U.O.N.

THE FOLLOWING SUBSCRIPTS ARE USED TO INDICATE THE VARIOUS (NON-STANDARD) TYPES OF OUTLETS
- 1ST NUMBER INDICATES QUANTITY OF DATA CABLES
2ND NUMBER INDICATES QUANTITY OF VOICE CABLES
B - BLANK (ROUGH-IN TO ACCESSIBLE CEILING SPACE)
F - FIBER
W - WALL PHONE OUTLET AT +48"
C - CEILING PHONE OUTLET
P - PUBLIC TELEPHONE AT +44"
FL - PEDESTAL FLOOR FITTING

SECURITY

⊕ FIXED VIDEO SURVEILLANCE CAMERA
⊕ PAN/TILT/ZOOM VIDEO SURVEILLANCE CAMERA
⊕ DOOR POSITION SWITCH
⊕ CONNECTION TO ELECTRIC OR PNEUMATIC DOOR LOCK
⊕ CARD READER AT +48"

NOTE:
SYMBOLS SHOWN ARE FOR REFERENCE ONLY
AND DO NOT CONSTITUTE A CHECK LIST
OF DEVICES REQUIRED BY THE CONTRACT

NO. REVISIONS / SUBMISSIONS DATE

THA

Architects Engineers
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PROJECT "F"
**SITE WORK AT
MAINTENANCE BUILDING
& NEW POLE BARN**
1420 SOUTH BADOUR ROAD
MIDLAND, MI

DRAWING TITLE
ELECTRICAL COVER SHEET

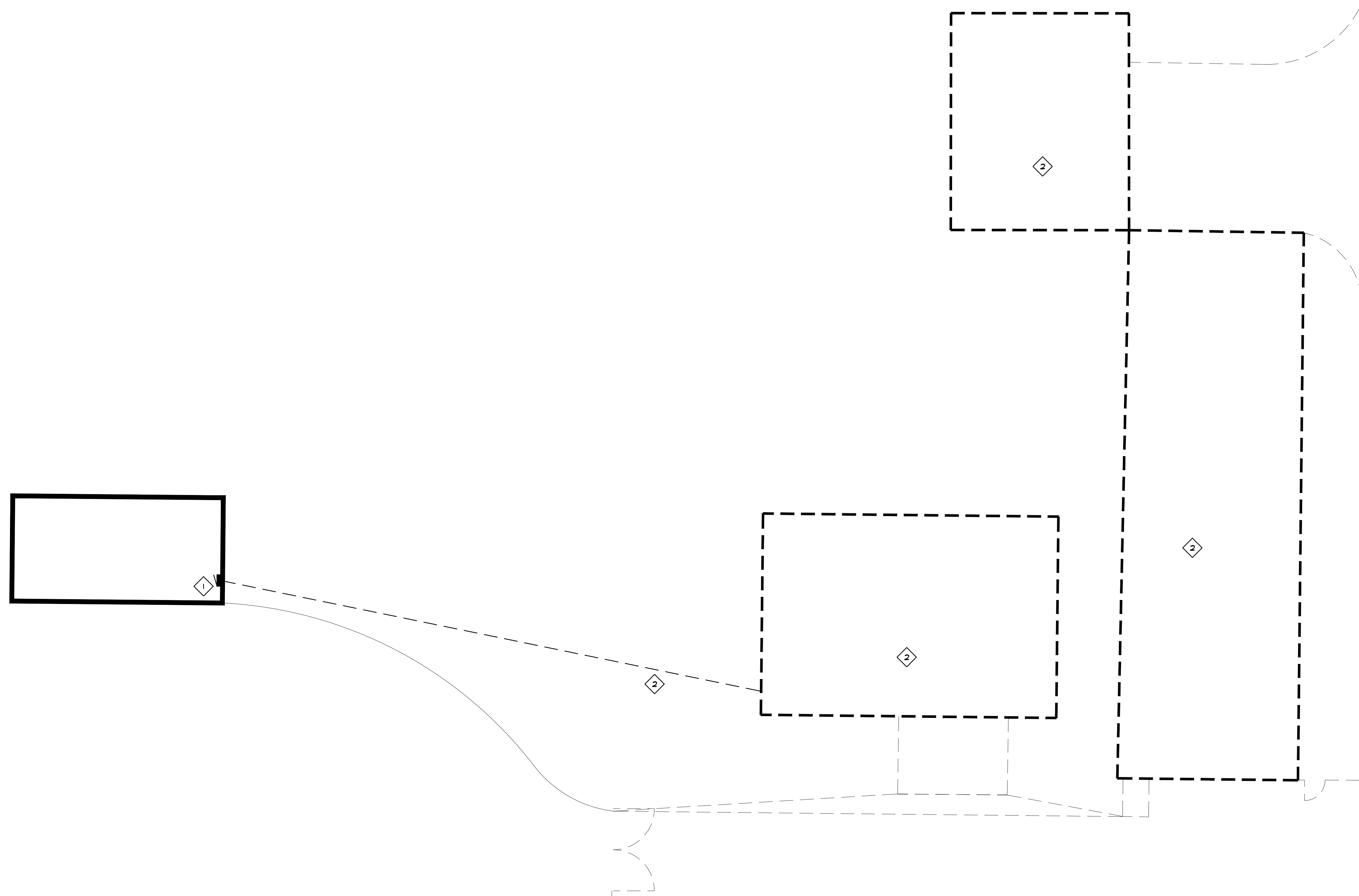
SEAL	DRAWN	PROJECT NO.
	FJA	24-120
	CHECKED	CAD FILE NO.
	RGH	F-5000
	REVIEWED	DRAWING NO.
	RGH	F-5000
	DATE	OCT 18, 2024
	SCALE	AS NOTED
		SHEET NO. 11 OF 13

THA Architects Engineers - F-5000 ELECTRICAL COVER SHEET
Proj date: 10/22/2024 1:32 PM

ELECTRICAL

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NORTH
1/8" = 1'-0"
X01
SITE ELECTRICAL DEMOLITION PLAN

DEMOLITION NOTES

1. EXISTING PANEL TO REMAIN.
2. REMOVE ELECTRICAL FROM BUILDINGS BEING DEMOLISHED. REMOVE WIRE AND CONDUIT BACK TO EXISTING BUILDING EXISTING PANEL.

NO.	REVISIONS / SUBMISSIONS	DATE

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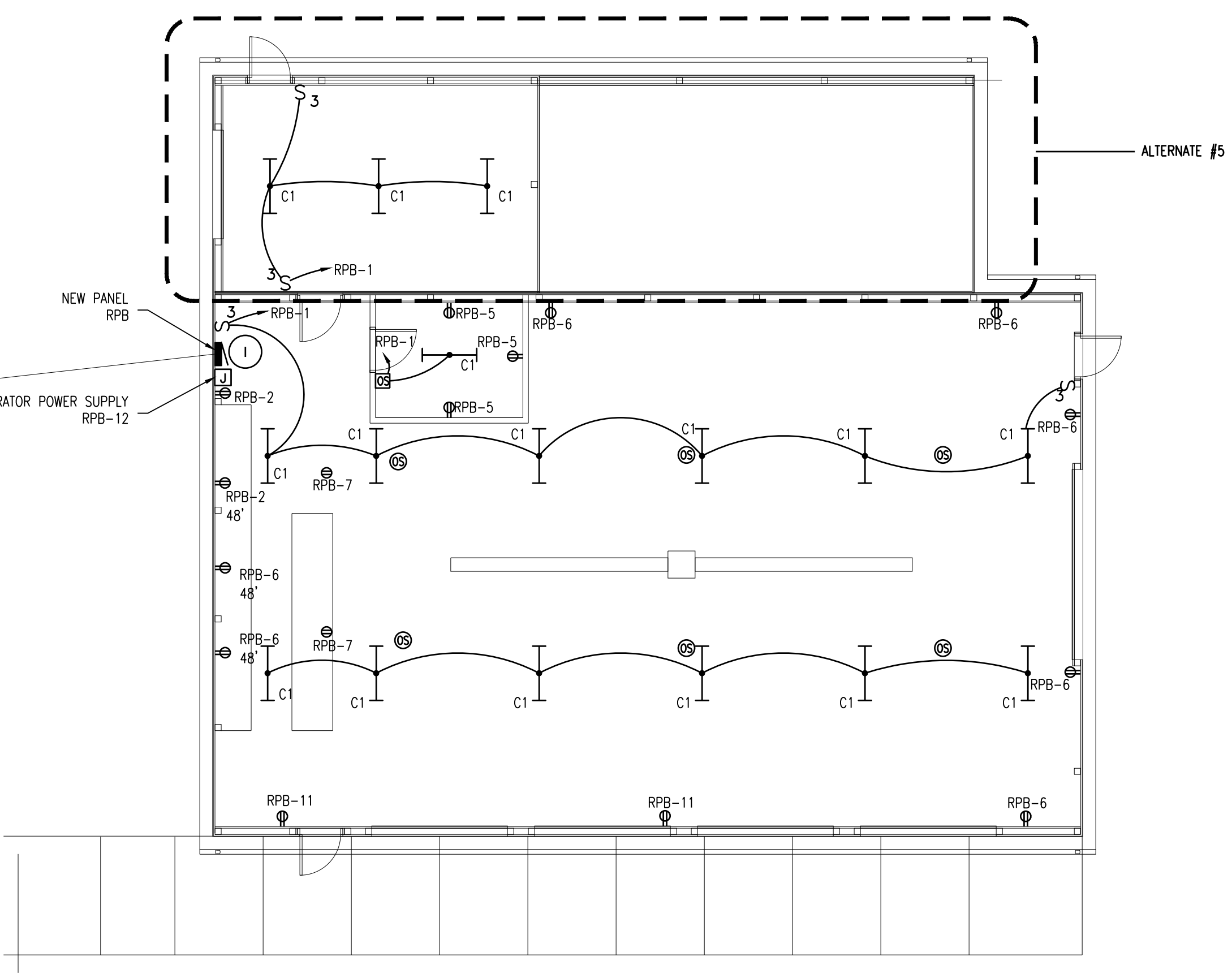
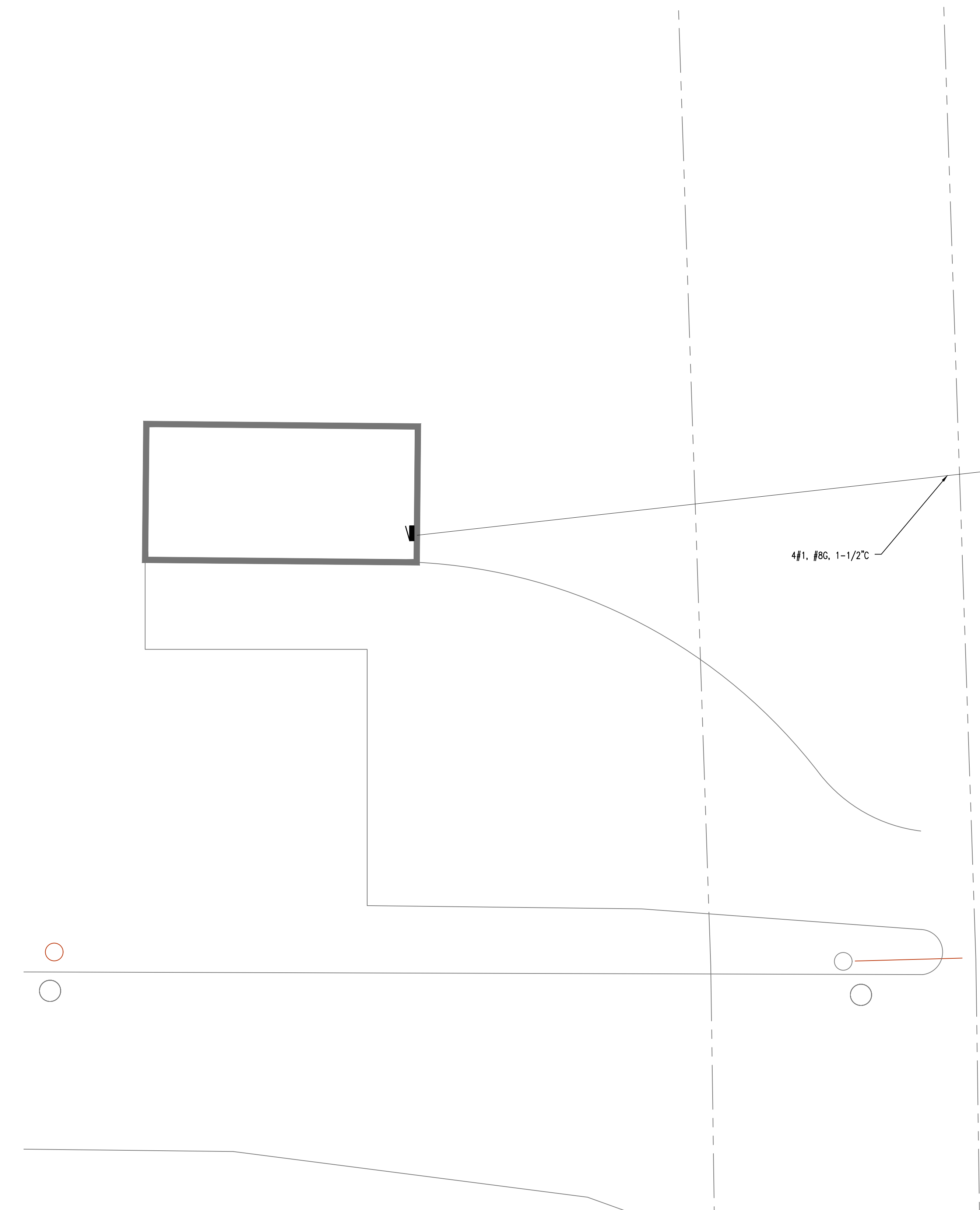
PROJECT 'F'
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1420 SOUTH BADOUR ROAD
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DRAWING TITLE
ELECTRICAL DEMOLITION PLAN

SEAL	DRAWN TJA	PROJECT NO. 24-120
	CHECKED RCH	CAD FILE NO. F-E101
	REVIEWED RCH	DRAWING NO.
	DATE OCT 18, 2024	F-E101
	SCALE AS NOTED	SHEET NO. 12 OF 13

PROJECT 'F'

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NORTH
1/8" = 1'-0"
X01
SITE ELECTRICAL PLAN

PANEL NAME: RPB														
SECTION: 1 OF 1					BUB: 100A					L-L VOLTS: 240 HL				
POLBS: 42					MAIN: 100A MCB					PHASE: 3				
LOCATION: DWING HALLWAY					MIN KAIC: EXISTING					FED FROM: EXISTING BUILDING PANEL				
MOUNTING: RECESSED					ISO GND BUS: NO					WIRE: 4				
PROJECT #: 24670.00 * DENOTES GFCI CIRCUIT BREAKER														
** DENOTES SCREW ON TYP LOCKING DEVICE														
OKT	LOAD DESCRIPTION	LTS	REC	MOTOR	OTHER	KIT	OCOP	P	OKT	PH	OKT	P	OCOP	LOAD VOLT-AMPERES
1	LIGHTING	700						20	1	1	A	2	1	360
3	SPACE									3	B	4		
5	RECP		540					20	1	5	C	6	1	540
7	COILING RECP		360					20	1	7	A	8	1	360
9	SPACE									9	B	10		
11	RECP		360					20	1	11	C	12	1	1500
13	SPACE							20	1	13	A	14	1	
15	SPACE									15	B	16		
17	SPACE							20	1	17	C	18	1	
19	SPACE							20	1	19	A	20	1	
21	SPACE									21	B	22		
23	SPACE							20	1	23	C	24	1	
25	SPACE							20	1	25	A	26	1	
27	SPACE									27	B	28		
29	SPACE							20	1	29	C	30	1	
31	SPACE							20	1	31	A	32	1	
33	SPACE									33	B	34		
35	SPACE							20	1	35	C	36	1	
37	SPACE							20	1	37	A	38	1	
39	SPACE									39	B	40		
41	SPACE							20	1	41	C	42	1	

SUBTOTAL CONNECTED KVA						
LTS	REC	MOTOR	OTHER	KIT	TOTAL	
0.7	1.1	0.0	0.0	0.0	1.8	
0.0	0.0	0.0	0.0	0.0	0.0	
0.0	1.4	0.0	1.5	0.0	2.9	

LOAD SUMMARY & FEEDER CALCULATION						
LTS	REC	MOTOR	OTHER	KIT	SUBTOT	TOTAL
0.7	2.5	0.0	1.5	0.0	4.7	0%
1.0	#1	1.0	1.0	1.0		
0.7	2.5	0.0	1.5	0.0	4.7	0%
1.25	1.0	1.0	1.0	1.0		

CONNECTED KVA		DEMAND FACTOR	
PHASE A	PHASE B	PHASE C	DEMAND FACTOR
0.7	0.0	0.0	4.7
0.0	0.0	0.0	11.4
0.0	1.4	0.0	11.8

RECEPTACLE DEMAND FACTOR:	
100% FIRST 10 KVA + 50% REMAINING	CONTINUOUS/NONCONT FACTOR
	11.8

LIGHTING FIXTURE SCHEDULE							
DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS			BALLAST	MOUNTING	NOTES
		QUANTITY	AND	WATTS			
		FLUOR	LED	INC			
C1 4' LED STRIP FIXTURE. 5000 LUMEN. 4000K COLOR TEMPERATURE. PROVIDE TYPE 'EM' FIXTURES WITH OPTION E10WLCP. 10 WATT EMERGENCY BATTERY BACK UP.	LITHONIA: CLXL48-5000LM-SEF-WDL-MVOLT-GZ10-40K-80CR/WH-ZACVHM100		32W		DRIVER	SUSPENDED	

CONSTRUCTION NOTES

- PROVIDE CONNECTION TO NEW PANEL IN NEW STORAGE BUILDING FROM EXISTING BREAKER IN EXISTING BUILDING.

NO.	REVISIONS / SUBMISSIONS	DATE

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DRAWING TITLE
ELECTRICAL PLAN

SEAL	DRAWN	PROJECT NO.
	FJA	24-120
	CHECKED	CAD FILE NO.
	RCH	A-E000
	REVIEWED	DRAWING NO.
	RCH	F-E102
	DATE	SHEET NO.
	OCT 18, 2024	13 OF 13
	SCALE	
	AS NOTED	

PROJECT 'F'